

**ADVERTISED
PLAN**

This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright

ENGINEERING SERVICING REPORT



BAPS Hindu Mahā-Mandir, Melbourne Engineering Servicing Report 23rd April 2026

Rev 5

MELBOURNE
Level 20, 390 St Kilda Road
Melbourne, VIC 3004
E melbourne.reception@cosweb.com.au
T (03) 8548 1560

COSSILLWEBLEY.COM.AU

Documentation Record

Revision	Date	Distribution	Comment
0	29/09/25	For information	Engineering servicing report
1	10/10/25	For Information	Revised as per Urbis comments
2	31/03/26	For Information	Revised as per revised layout & updated SWMP & Traffic advice
3	13/04/26	For Information	Revised as per client comments
4	17/04/26	For Information	Revised as per lawyer comments
5	23/04/26	For Information	Revised as per client comment

BAPS Hindu Mahā-Mandir, Melbourne

Project No.: 3455
 Document Title: Engineering Servicing Report
 Document No.: 3455-ESR
 Revision: 5
 Date: 23/04/2026
 Client: BAPS Swaminarayan Sanstha, Australia Ltd
 Project Manager: Simon Davies
 Author(s): Simon Davies
 Business Details: Cossill & Webley Consulting Engineers Australia
 Level 20, 390 St Kilda Road,
 Melbourne, Victoria, 3004
 PO Box 33152
 Melbourne, Victoria, 3004
 T: +61 3 8548 1560
 E: melbourne@cosweb.com.au
 W: www.cosweb.com.au
 ABN: 59 614 256 683

**ADVERTISED
PLAN**

This document has been prepared on behalf of, and for the exclusive use of the Client, and is subject to, and issued in accordance with, the provisions of the contract between Cossill & Webley Consulting Engineers Australia and the Client. Cossill & Webley Consulting Engineers Australia accepts no liability or responsibility whatsoever for, or in respect of, any use of, or reliance upon, this document by any third party.

© Copyright 2026 Cossill & Webley Consulting Engineers Australia. The concepts and information contained in this document are the property of Cossill & Webley Consulting Engineers Australia. Use or copying of this document in whole or in part without the written permission of Cossill & Webley Consulting Engineers Australia constitutes an infringement of copyright.

Application & Interpretation of this Document

It is the responsibility of the users of this Report to ensure that the application of information is appropriate and that any construction based on this report is fit for purpose and complies with all relevant Australian Guidelines, Acts and Regulations.

Users of this Report accept sole responsibility for interpretation and use of the information contained in this Report. Users should independently verify the accuracy, fitness for purpose and application of information contained in this Report.

Cossill & Webley Consulting Engineers Australia accept no liability for any loss or damage caused by reliance on this Report whether caused by error, omission, misdirection, misstatement, misinterpretation, or negligence.

Contents

1. INTRODUCTION.....	4
2. SITE CONTEXT	4
2.1 PLANNING CONSIDERATIONS.....	5
2.2 LANDFORM.....	5
2.3 GEOLOGY.....	6
2.4 GROUNDWATER.....	6
3. EARTHWORKS	7
4. ROADWORKS.....	7
4.1 SITE ACCESS & CIRCULATION	7
4.2 WESTERN PORT HIGHWAY	8
4.3 HOMEWOOD ROAD	9
5. STORMWATER DRAINAGE.....	11
6. SERVICES	12
6.1 SEWER RETICULATION	13
6.2 POTABLE WATER RETICULATION	14
6.3 RECYCLED WATER RETICULATION	14
6.4 ELECTRICITY.....	15
6.5 GAS SUPPLY	16
6.6 COMMUNICATIONS.....	16
7. SUMMARY.....	17

APPENDIX A – CW EARTHWORK PLANS
APPENDIX B – SEW PRELIMINARY ADVICE

**ADVERTISED
PLAN**

1. INTRODUCTION

This report has been prepared by Cossill & Webley Consulting Engineers Australia (CW) for BAPS Swaminarayan Sanstha, Australia Ltd and summarises the results of a preliminary desktop assessment of the engineering aspects of the proposed Place of Worship at 1390-1450 Western Port Highway, Cranbourne South (known herein as 'the Site'). The Site is defined by the red boundary below.



Figure 1. Site Map (Metro Map, 2025)

2. SITE CONTEXT

ADVERTISED PLAN

The following section summarises the existing on-site conditions based on a desktop assessment.

The Site is located at an interface location between urban land to the west and non-urban land to the east and south and currently in a Green Wedge zone.

The Site is bound by rural residential properties to the south and east. Western Port Highway forms the western boundary of the Site and Homewood Road extends along the northern boundary. A low-level local drainage channel picks up flows from within the Site and conveys them east.

Melbourne Water is the responsible catchment management authority responsible for waterways and major drainage infrastructure. South East Water is responsible for sewer and water services. United Energy is responsible for electricity services.

2.1 PLANNING CONSIDERATIONS

The Site is currently zoned “Green Wedge” as shown in Figure 2 below, with the Site indicated by the red boundary.

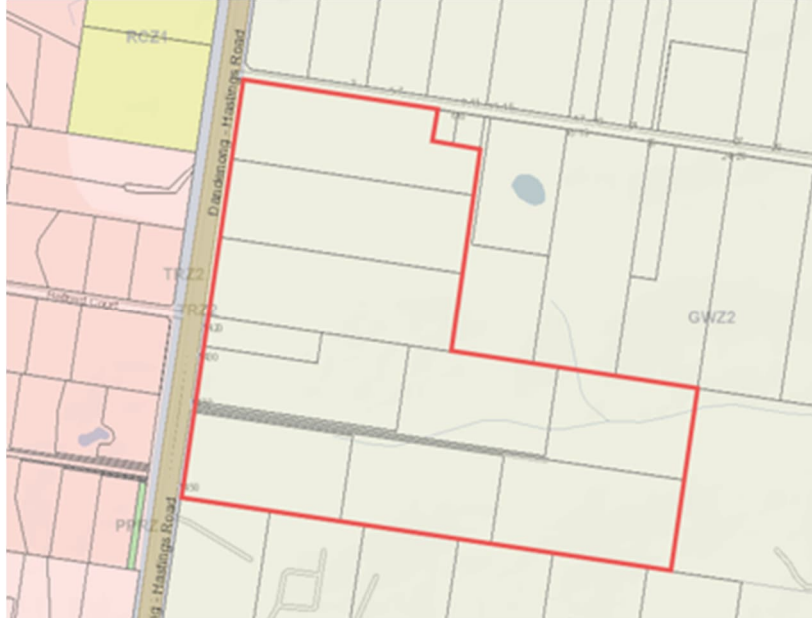


Figure 2. Planning Overlays (VPA, 2025)

2.2 LANDFORM

The Site generally falls from north west to south east, and generally falls away from Western Port Highway. Existing dwellings within the site cause some irregular flow patterns for stormwater, and there are several localised mounds which are common in the undulating nature of undeveloped land. The highest point of the Site is toward the north west corner at 91.0 RL, with a few other localised high points along the southern parcels. The lowest points of the Site are located to the south east and eastern extent of the parcel at 67.0 and 65.6 RL. The natural grade of the site is generally 1-in-20 (5%) to 1-in-40 (2.5%).

ADVERTISED PLAN



Figure 3. Nobelius Land Surveyors Feature & Level Survey, 2024

2.3 GEOLOGY

The approximate location of the Site on the regional geographical conditions map is presented in Figure 4 below.

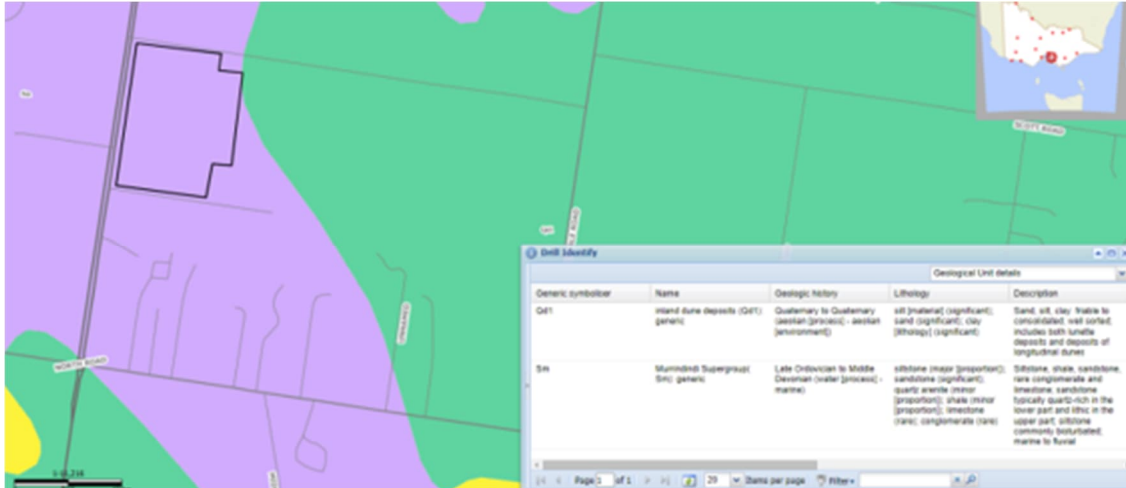


Figure 4. Regional Geological Conditions Map, 2025

This shows that the site is underlain by Late Ordovician to Middle Devonian aged Murrindindi Supergroup soils. Ground Science has completed a Geotechnical Site Investigation report for the Site and goes into greater detail within their report. Ground Science's report confirms the underlying soils are suitable for development of roads, services and buildings expected at the Place of Worship.

2.4 GROUNDWATER

As per Figure 5 below, the virtual depth to groundwater table across the Site is shown. It is estimated that the groundwater is 10-40m below the ground level, with a small area to the north that could be within 5m. Ground Science has completed a Geotechnical Site Investigation for the Site, within this report they discuss groundwater and subsurface conditions and provide recommendations to work around these. Ground Science's investigation confirmed that the groundwater will not likely hinder the necessary construction for the Place of Worship.

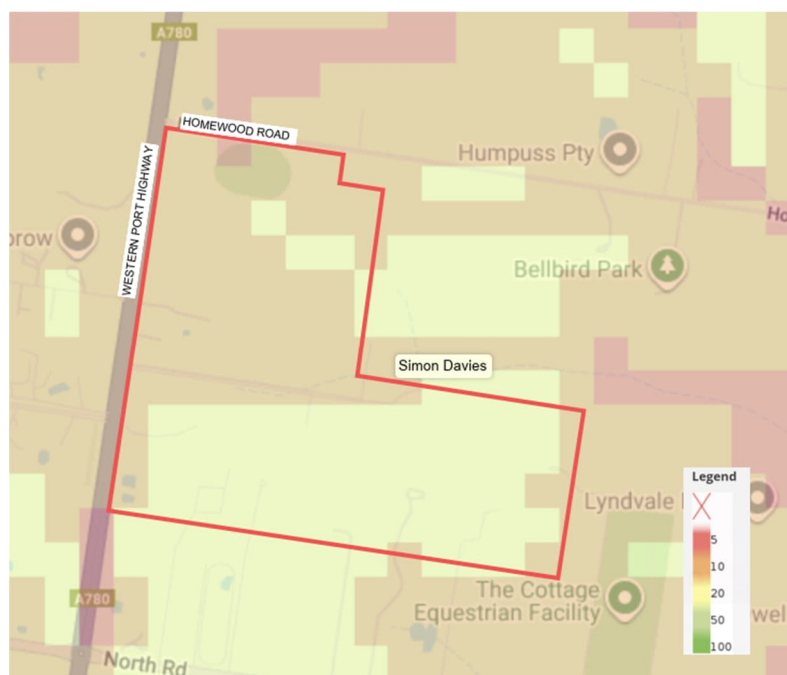


Figure 5. Virtual Depth to Watertable (VVG, 2025)

ADVERTISED PLAN

3. EARTHWORKS

Earthworks and grading of the Site is required to ensure all stormwater can appropriately be conveyed to the proposed wetland east of the overflow carpark.

Given the site has grades between 2.5%-5% with large building pads cut and fill will be required to achieve numerous objectives including providing flat pads for the built form throughout the Site, respecting the existing landform, and creating seamless interfaces to the surrounding roads and green rural landowners.

There are numerous trees across the Site that provide a mix of low and high value of retention. CW has extensive experience with strategic earthworks design that can achieve balances between competing objectives. Collaboration with all project stakeholders will enable CW to design an optimal earthworks strategy that maximising tree retention.

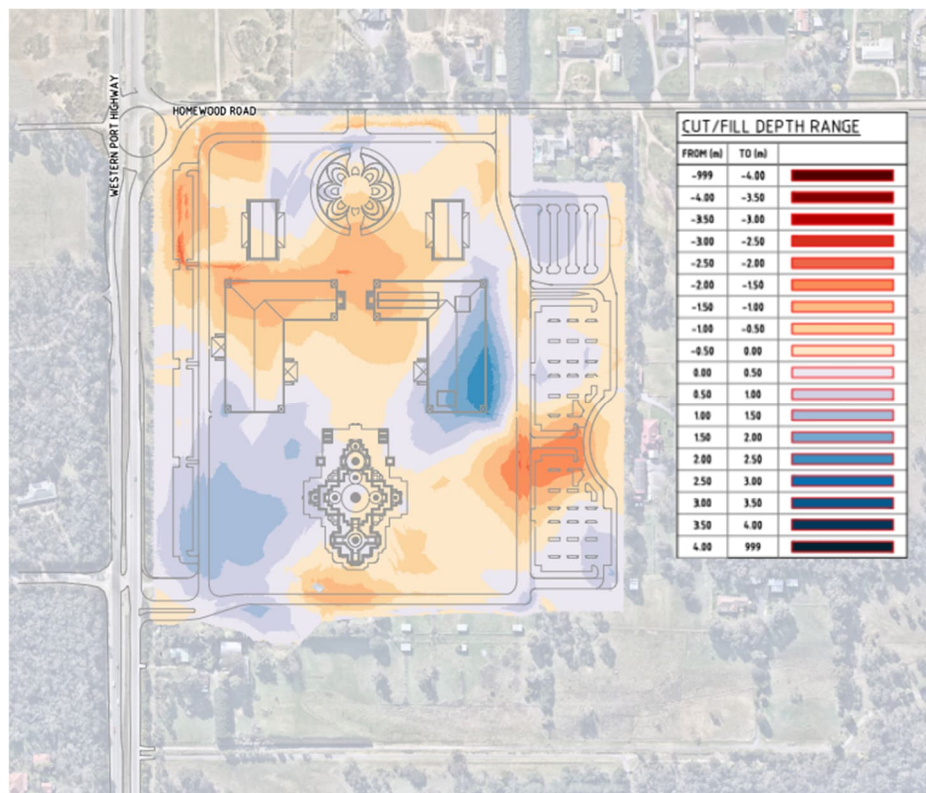


Figure 6 Preliminary Earthwork Cut/Fill Heat Map, 2026

4. ROADWORKS

City of Casey are responsible for the local road network, ie; Homewood Road to the north. The Department of Transport and Planning (DTP) are responsible for arterial roads, highways and freeways, ie; Western Port Highway to the west.

Traffic Group have completed a traffic memorandum which addresses site access, internal traffic circulation and car park requirements. Traffic have also had feedback from DTP on the Western Port Highway access, this has resulted in a proposed roundabout at the intersection of Homewood Road and Western Port Highway.

4.1 SITE ACCESS & CIRCULATION

The proposed layout plan provides 3 points of access, including 2 access points to Homewood Road and a single access to Western Port Highway. The access points to Homewood Road are proposed to be a minimum of 12m wide to allow for turn lanes and passing opportunities to minimise any impacts to the external network. The access off

Western Port Highway is proposed to be 7m wide entry and exit lanes. This will allow for additional capacity to and from the Site during events.

The Site provides for internal circulating roads with a minimum 7m width to provide comfortable circulation. The main circulating road is proposed to be 9m wide to allow two-way movements and a central turning lane to minimise any impacts to the Site from turning vehicles.

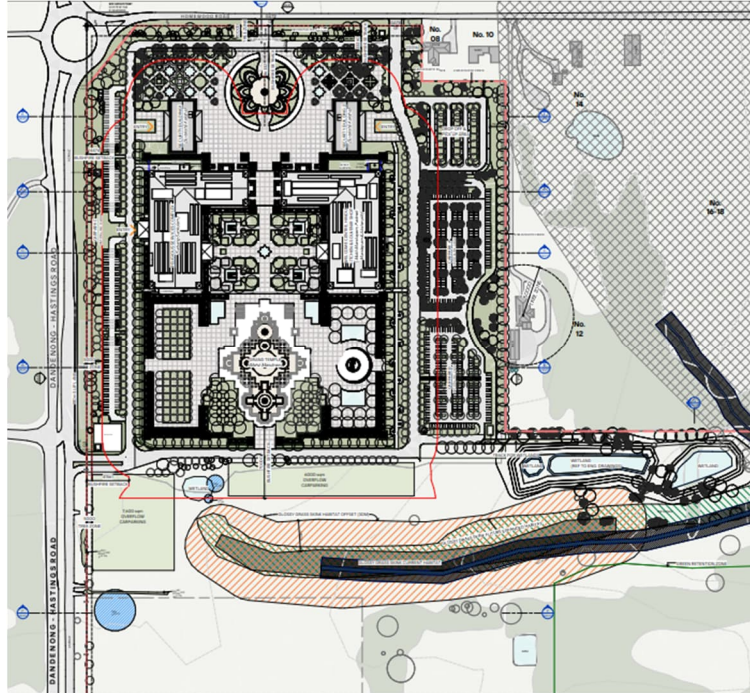


Figure 7. Site Access (Peddle Thorp, April 2026)

4.2 WESTERN PORT HIGHWAY

Traffic, through discussions with DTP, have advised the site access off Western Port Highway needed to be shifted south and a roundabout is required at the intersection of Homewood Road and Western Port Highway to avoid a 4-way intersection with Bellbird Court. The existing U-turn lane for northbound traffic will be closed with the right turn lane into Bellbird Court to be retained. The Western Port Highway access to the site will then be a left in/left out only, with a left in deceleration lane requiring construction. Figures 8 & 9 below reflect the proposed works.

**ADVERTISED
PLAN**

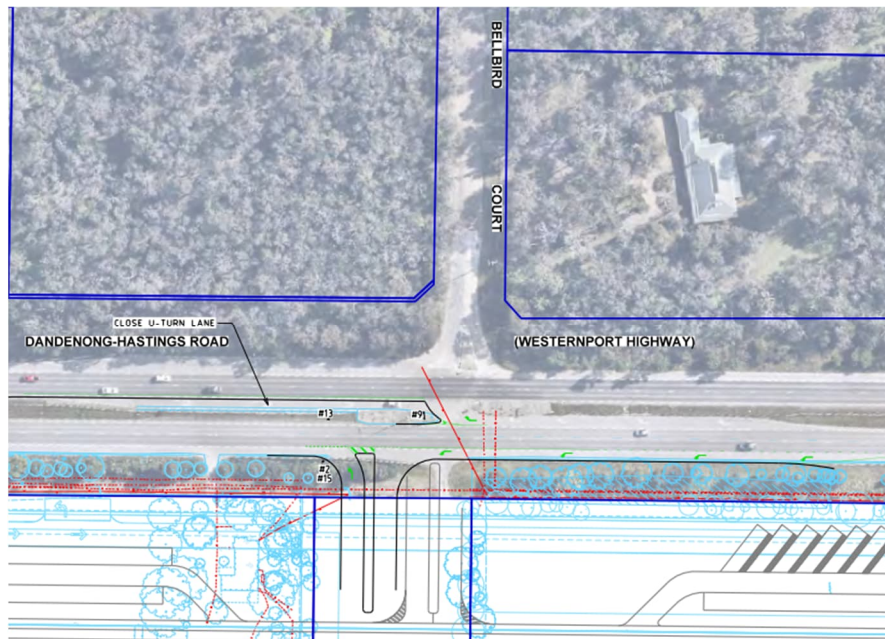


Figure 8 Proposed Western Port Highway Augmentations (Traffix, March 2026)

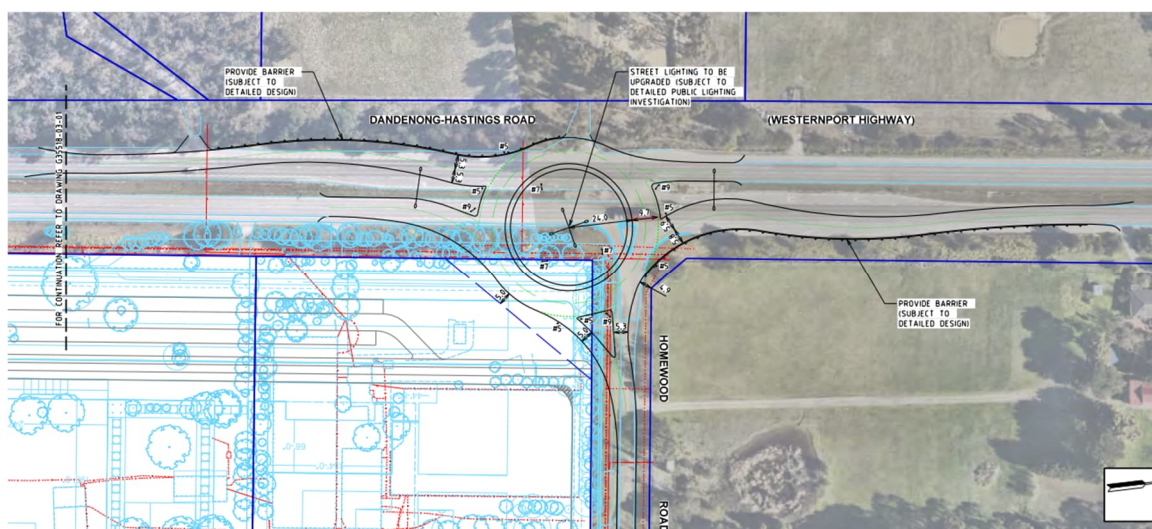


Figure 9 Proposed Western Port Highway & Homewood Road Intersection Augmentations (Traffix, March 2026)

4.3 HOMEWOOD ROAD

Homewood Road is currently a 5.5m wide unsealed road with grass shoulders along both sides of the road. This road allows for 2-way traffic. There are no footpaths along either sides of this road. It is anticipated that Homewood Road will need to be widened to 7m and sealed for the extent of the interface with the Site. As there is no drainage network in the area to connect into it is also anticipated that no kerb and channel or drainage will be required.

Street view imagery is shown below of the existing conditions of this road.

**ADVERTISED
PLAN**



Figure 10. Existing Homewood Road (Google Streetview, April 2023)

ADVERTISED PLAN

5. STORMWATER DRAINAGE

The Site is not within an established drainage scheme. Water Studio has developed a comprehensive storm water management plan that addresses all aspects of stormwater conveyance and treatment for the Site. The SWMS is dated March 2026 and is based upon pre-development advice from Melbourne Water in consideration of Glossy Grass Skink area identified south of the works.

Figure 11 below demonstrates the proposed strategy to manage the development's stormwater runoff. This proposes to send flows toward the proposed Sediment Basin/Wetland for treatment and detention, located in the south east corner of the Site. There is also a minor water quality and flow control system immediately north/west of the Glossy Grass Skink habitat identified in the green hatch below. Underground drainage will convey minor flows while the road network will convey the overland flows.

The extent and sizing of the sediment basin and wetland is defined in the SWMS, the cost of which will be privately funded and not reimbursed through a Melbourne Water drainage scheme.

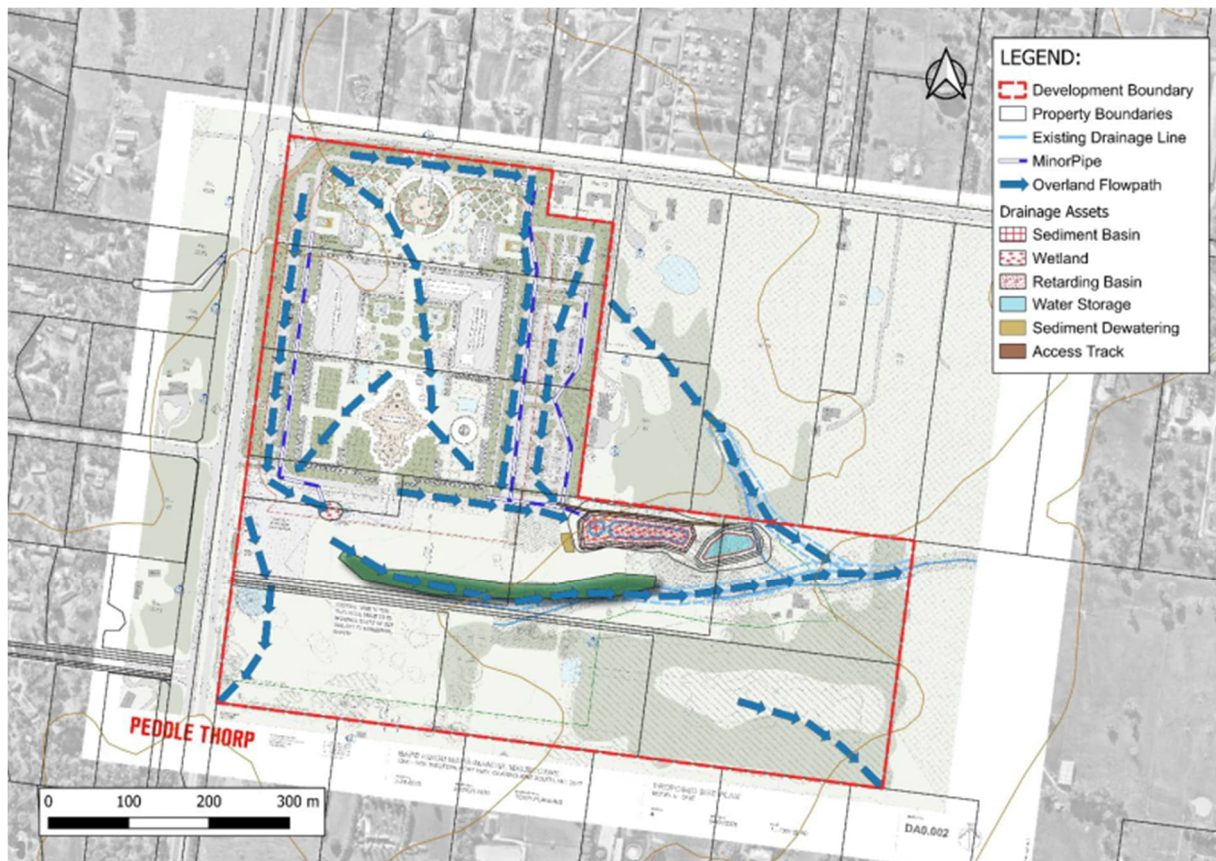


Figure 11 Developed Conditions Flow Layout (Water Studio, March 2026)

The detailed engineering design of the sediment basin and wetland will ensure natural landscape values are retained where possible, and interface with adjacent rural properties is considered.

**ADVERTISED
PLAN**

6. SERVICES

Figure 12 outlines the existing services for the site. Service alignments are adapted from South East Water (SEW) asset maps and service providers' BYDA information.

CW has received preliminary servicing advice from SEW, a summary of the servicing advice is provided within the sewer, potable water and recycled water sections, the letter of advice is included in Appendix B.



Figure 12. Services Markup (Adapted from BYDA and South East Water Asset Map, 2025)

**ADVERTISED
PLAN**

ADVERTISED PLAN

6.1 SEWER RETICULATION

South East Water is the responsible authority for the sewer servicing of the Site.

The existing properties across the Site operate off septic tank systems with no authority-owned mains sewer in the immediate area. However, SEW has confirmed in preliminary servicing advice that the Site can be serviced by existing SEW infrastructure in the nearby residential area.

SEW has proposed a privately owned and maintained sewer pump station can pump sewer from the Site to an existing gravity sewer location approximately 3500m from the Site along Centre Road. As an alternative, the rising main could be extended approximately 4000m to a secondary outfall option. Refer Figure 13 below for the two proposed routes.

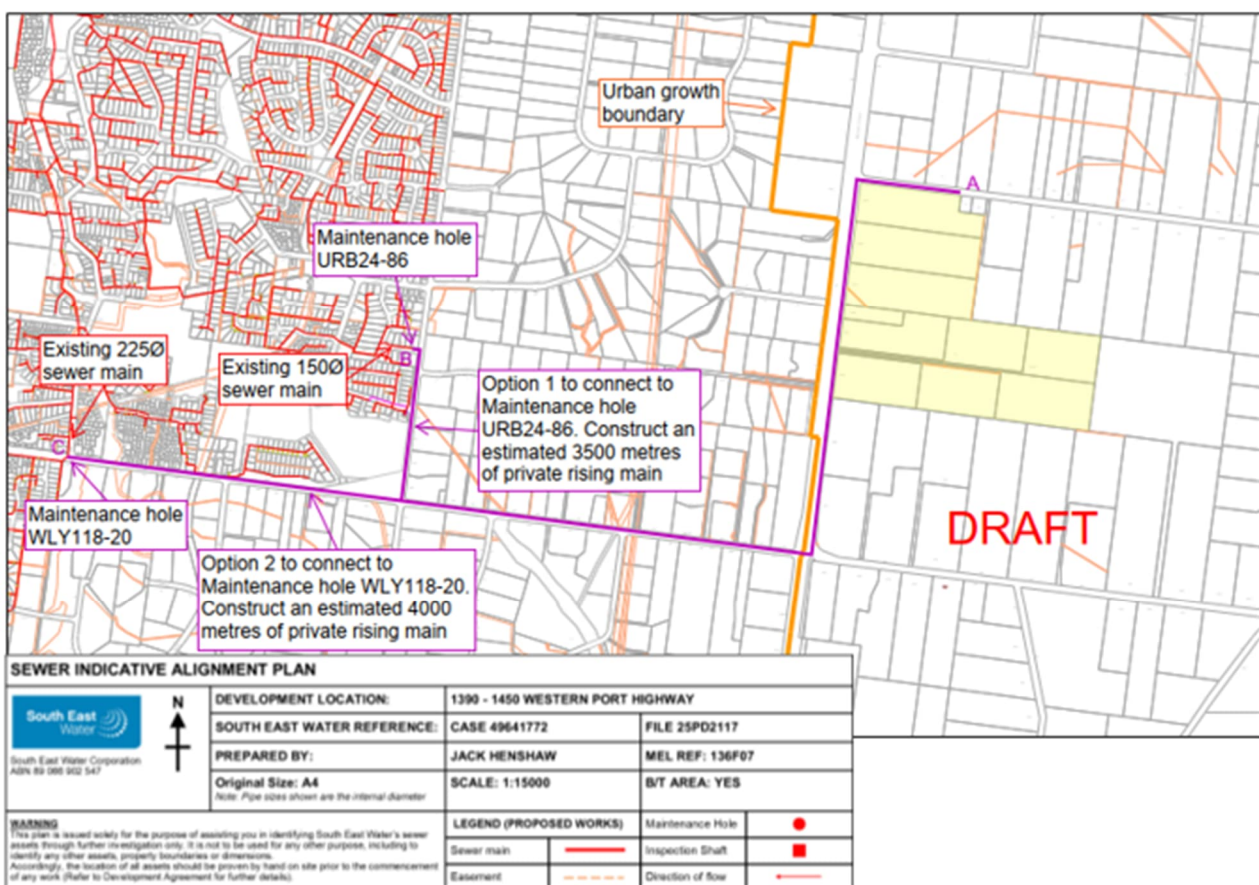


Figure 13: SEW Indicative sewer alignment plan (SEW Asset Map, September 2025)

An alternative to the rising main would be to dedicate an area to a septic system which would remove the requirement for the pump station. A dedicated area is required for the septic irrigation system which would also require ongoing maintenance obligations. SEW has agreed this is an option subject to council and Environment Protection Authority (EPA) approval, however, the client has ruled this out due to the land take and excessive vegetation that would need to be removed to accommodate this solution.

A third option provided by SEW is a privately owned and maintained sewer treatment plant (STP), which treats the on-site sewage and reticulates recycled water throughout the property for irrigation and other non-potable uses. Similar to the septic system option, a designated area would be required to construct the STP and council and EPA approval would be required. Similar to the above, the client has ruled this out due to the land take and excessive vegetation that would need to be removed to accommodate this solution.

6.2 POTABLE WATER RETICULATION

South East Water is the responsible authority for the water servicing of the Site.

SEW has advised that the existing 150mm water main located in Homewood Road and the 225mm water main along Western Port Highway both have sufficient capacity to provide for the proposed development based on initial water consumption requirements for the Place of Worship. Any existing redundant water services fronting the Site are to be plugged at the main and the meter returned to SEW.



Figure 14. Water Services Markup (Adapted from BYDA and South East Water Asset Map, 2025)

6.3 RECYCLED WATER RETICULATION

South East Water is the responsible authority for the recycled water servicing of the Site.

There is currently no recycled water directly available to the Site. SEW did not provide any commentary on the provision of recycled water, as such it is assumed no recycled water reticulation will be made available to the Site. Water Studio's SWMS provides a provision for 1000m³ of stormwater harvesting which can be made available for on site irrigation.

**ADVERTISED
PLAN**

6.4 ELECTRICITY

United Energy is the responsible authority for the electrical servicing of the Site.

An electrical overhead line runs down Western Port Highway, with overheads running down the common property to service properties 1438, 1440 and 1444. The overheads into the Site will need to be removed and a point of supply will be provided from the existing overheads to service the Site.

NDY's initial investigation does not anticipate any capacity issues connecting into the existing 22kV HV power lines along Western Port Highway. Further discussions are required to be held with United Energy to negotiate future servicing of the Site with solar energy or if a connection to the network is required and capacity available for the planned development.



Figure 15 Existing Electrical Overhead Assets (Adapted from BYDA and United Energy Asset Map, 2025)

**ADVERTISED
PLAN**

6.5 GAS SUPPLY

APA Group is the responsible authority for gas supply of the Site. BYDA indicates there is no reticulated gas infrastructure fronting the Site.

While the site could be serviced via an extension of nearby infrastructure, a dedicated supply would require further investigation with the APA Group. Further to this, Victorian Government's gas connection prohibition will apply to all commercial buildings from 2027, therefore timing of the permit and works may be impacted by this. Further advice should be sought from APA Group should the development wish to proceed with gas supply prior to the Victorian Government's phase out date in 2027.

6.6 COMMUNICATIONS

The Site can be readily serviced via Fibre to the Premises (FTTP) as NBN connection is readily available along Western Port Highway. Alternative providers such as Opticomm and Superloop can also be considered.

CW do not envision any issues obtaining a connection to the NBN services.

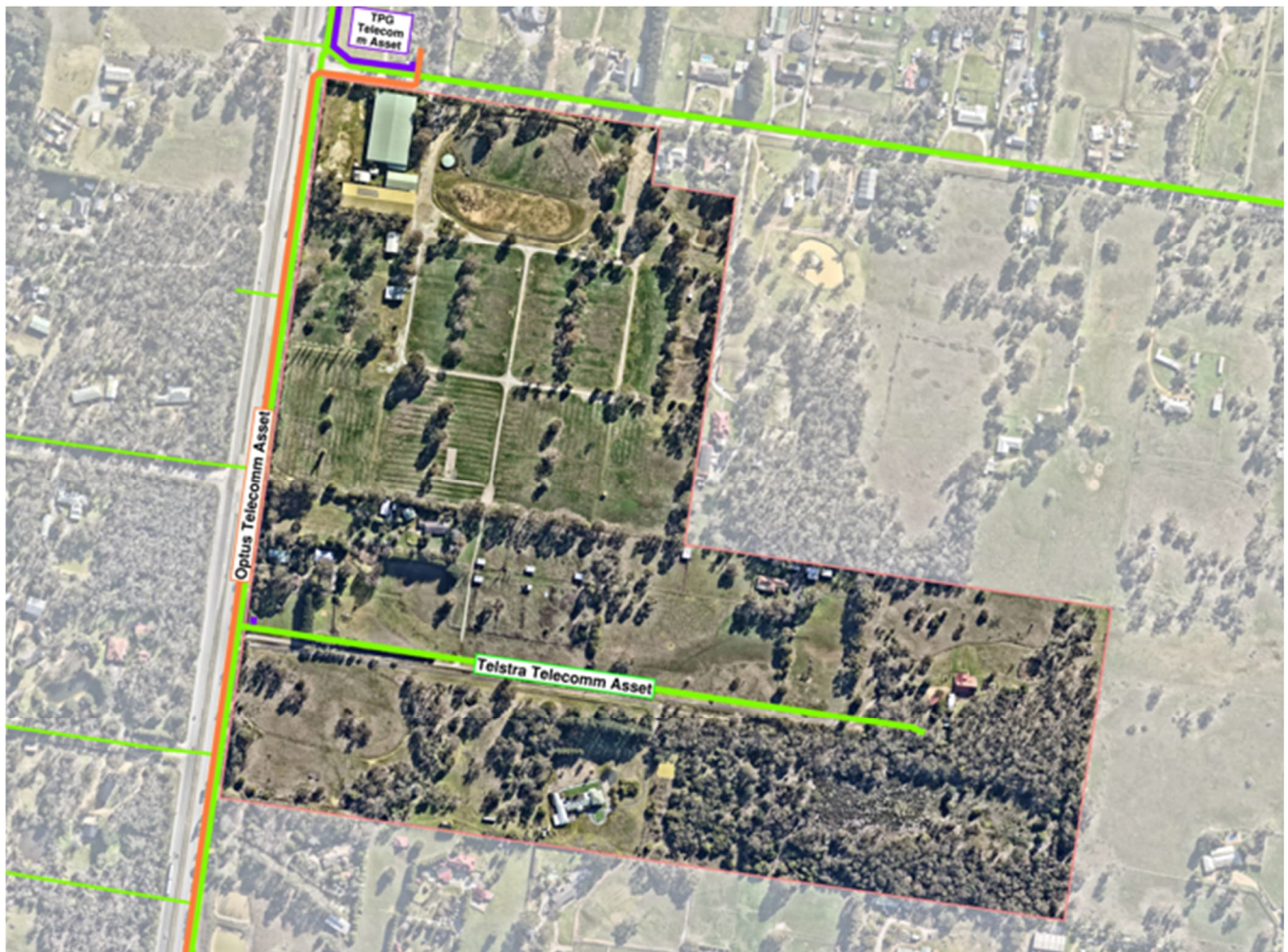


Figure 16. Telecommunications Service Markup (BYDA, 2025)

**ADVERTISED
PLAN**

7. SUMMARY

Following a desktop review of the Site, CW considers there to be no major constraints for the proposed development of the Place of Worship.

The below summarises the key findings of this report:

- The Site has reasonable slope, preliminary grading demonstrates that the internal road network and drainage can be designed to convey development generated flows to the sediment basin & wetland for treatment and detention to pre-development flows. This is in accordance with the SWMS by Water Studio.
- Road works are required to upgrade Homewood Road and augmentation works are required on Western Port Highway to facilitate access to the Site.
- A sewer pump station and 3500m-4000m rising main is the required infrastructure to appropriately service the Site's sewer generation. Alternative options of onsite sewer treatment plant or septic system have been ruled out due to land-take and vegetation removal required to accommodate.
- Potable water is readily accessible for the Site
- Recycled water is not available to the site but stormwater harvesting is a possibility, subject to authority approval
- Further advice should be sought should the development wish to proceed with gas supply prior to the Victorian Government's phase out date in 2027.
- The electrical overhead supplies into the Site will need to be removed and a point of supply will be provided from the existing overheads along Western Port Highway to service the Site.
- Telecommunications networks are readily available to the Site.

Please contact either of the parties below if you have any further queries relating to this report.

Name:	Brock Jeffery-Monck	Simon Davies
Title:	Director	Associate
Telephone:	03 8548 1560	03 8548 1560
Mobile:	0434 881 034	0433 547 943
Email:	brockj@cosweb.com.au	simond@cosweb.com.au

**ADVERTISED
PLAN**

APPENDIX A

SEW Preliminary Advice

**ADVERTISED
PLAN**

ADVERTISED PLAN

Simon Davies

From: Henshaw, Jack <Jack.Henshaw@sew.com.au>
Sent: Tuesday, 16 September 2025 12:12 PM
To: Simon Davies
Cc: Brock Jeffery-Monck; Bollard, Darren
Subject: RE: 1390-1450 Western Port Highway
Attachments: IAP 1390-1450 Western Port Highway - Copy.pdf

OFFICIAL

Hi Simon,

One final internal stakeholder is currently reviewing the odour risk assessment associated with the proposed development. This process is inherently complex and requires extensive coordination and planning across multiple business units, which may result in some delays.

In the interim, we are pleased to provide the following draft servicing advice to support your ongoing planning efforts

Water:

The existing 150mm water main located in Homewood Road and 225mm water main in Dandenong-Hastings Road both have sufficient capacity to provide for the proposed development, as shown on the attached 'Drinking Water Indicative Alignment Plan'. Please note that inline pumping directly from SEW main is not permitted for general supply.

Any existing redundant water service fronting the site is to be plugged at the main and the meter returned to South East Water. In order to carry out the disconnection, it will be necessary for the owner to lodge a plumbing application via PropertyConnect® on South East Water's website and engage a licensed plumber to carry out the works

Sewer:

To provide sewerage facilities to the development, South East Water requires one of the following options, as shown on the attached 'Sewer Indicative Alignment Plan'

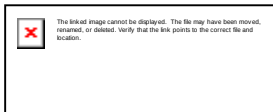
- Option 1: Construct an estimated 3500 metres of private rising main as shown A-B that connects to the existing 150mm sewer main in Fieldwood Lane; or,
- Option 2: Construct an estimated 4000 metres of private rising main as shown A-C that connects to the existing 225mm sewer main in North Road.
- All infrastructure associated with these options (e.g., SPS and rising main) would be privately owned.
- These options will require a plumbing application to be lodged which will further assess the potential connection.

Onsite wastewater management is also a feasible option based on the size of the allotment, however Council consent would be required to confirm that flows can be contained onsite based on their proposed servicing arrangement (septic tank, treatment plant).

NOTE: Gravity connection is not feasible due to insufficient elevation to transfer flows to the adjacent Carrum Downs catchment. Pressure sewer connection is also not feasible due to the required tank size exceeding acceptable limits for pressure sewer systems. Additionally, there is currently no existing pressure sewer within the vicinity for this development.

We trust this preliminary advice will assist in progressing your development planning. A formal Preliminary Servicing Advice (PSA) will be issued once the odour risk assessment and any potential epoxy lining requirements have been finalised.

Kind regards,



Jack Henshaw - Land Development Officer
WatersEdge 101 Wells Street, Melbourne VIC 3199 southeastwater.com.au
Telephone: 9552 3802



Making it easier to lodge plumbing and development applications online 24/7

From: Simon Davies <simond@cosweb.com.au>
Sent: Tuesday, 16 September 2025 8:40 AM
To: Henshaw, Jack <Jack.Henshaw@sew.com.au>
Cc: Brock Jeffery-Monck <brockj@cosweb.com.au>; Bollard, Darren <Darren.Bollard@sew.com.au>
Subject: RE: 1390-1450 Western Port Highway

This Message Is From an External Sender

This message came from outside your organization.

Think before you click on links, open attachments or respond to this message.

[Report Suspicious](#)

Hi Jack,

Just following up on the below, we are finalising a response to DTP over the next fortnight and one of the key items we need to address in our response is sewer management.

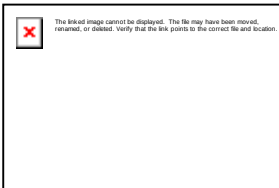
It's now been three months since our preliminary advice submission to SEW.

Can you please provide a response over the next week.



Kind Regards,

Simon Davies
Associate

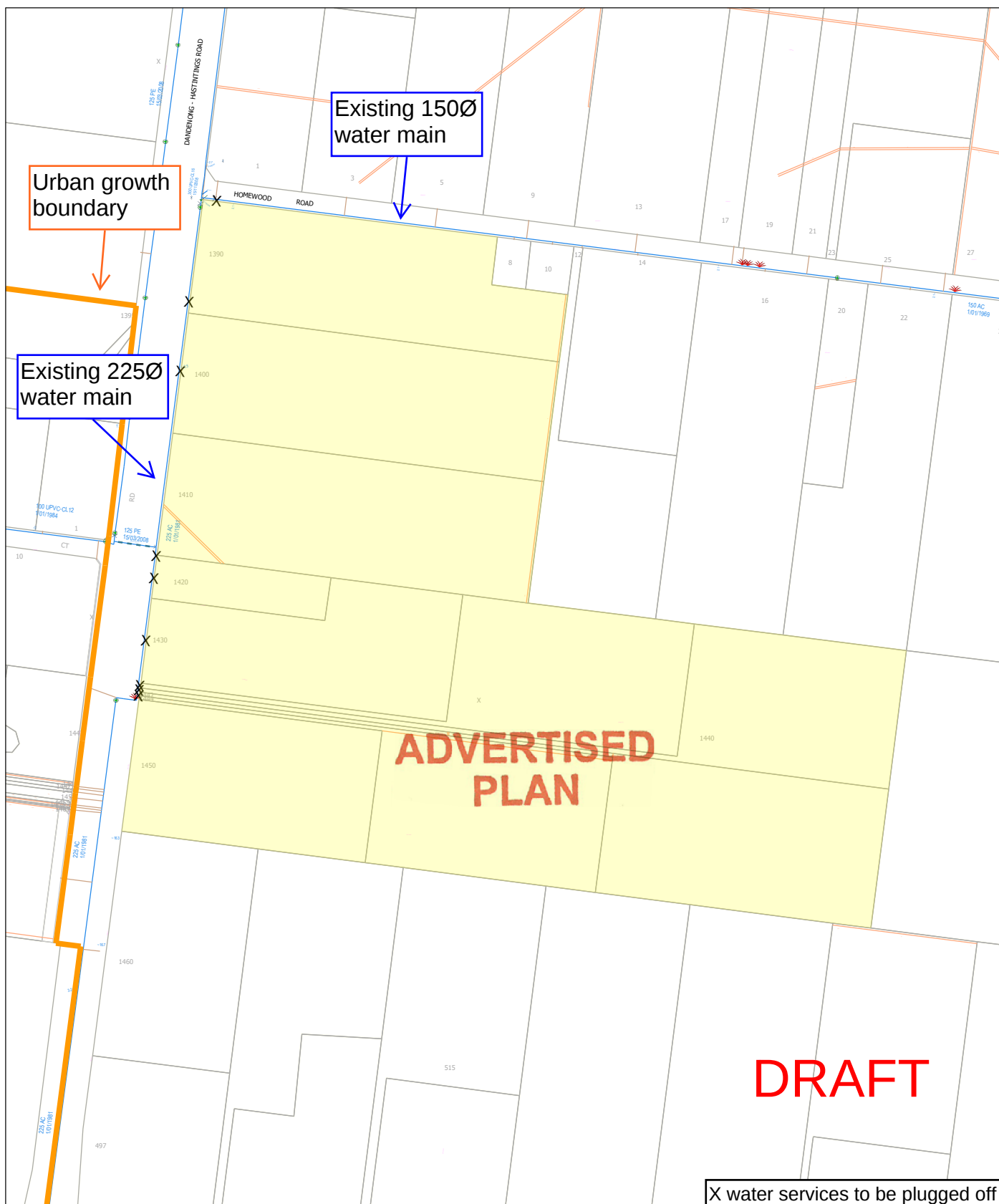


M [0433 547 943](tel:0433547943)
E simond@cosweb.com.au
cossillwebley.com.au



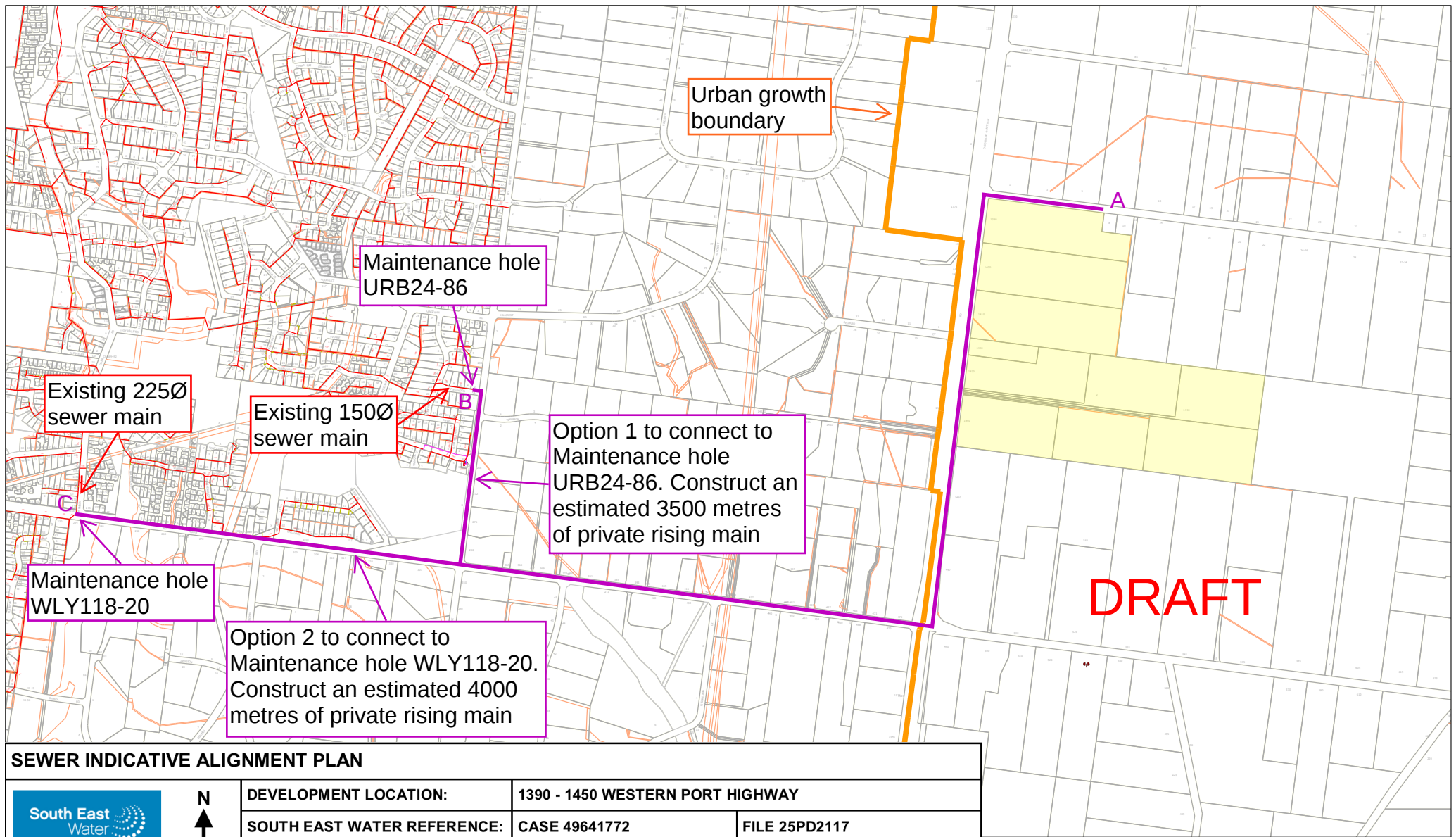
**ADVERTISED
PLAN**

From: Henshaw, Jack <Jack.Henshaw@sew.com.au>
Sent: Monday, 8 September 2025 11:44 AM
To: Simon Davies <simond@cosweb.com.au>



DRINKING WATER INDICATIVE ALIGNMENT PLAN

 South East Water Corporation ABN 89 066 902 547 N 	DEVELOPMENT LOCATION:		1390 - 1450 WESTERN PORT HIGHWAY	
	SOUTH EAST WATER REFERENCE:		CASE 49641772	FILE 25PD2117
	PREPARED BY:		JACK HENSHAW	MEL REF: 136F07
	ORIGINAL SIZE: A4 <i>Note: Pipe sizes shown are the internal diameter</i>		SCALE: 1:6000	MAX HGRL: 145.0M (125.0m + 20.0m surge)
WARNING This plan is issued solely for the purpose of assisting you in identifying South East Water's water assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work (Refer to Development Agreement for further details).	LEGEND (PROPOSED WORKS)		Hydrant	
	Water main		Fireplug/Washout	
	Valve		Tapper/Reducer	



SEWER INDICATIVE ALIGNMENT PLAN

 South East Water Corporation ABN 89 066 902 547	DEVELOPMENT LOCATION: 1390 - 1450 WESTERN PORT HIGHWAY	
	SOUTH EAST WATER REFERENCE:	CASE 49641772 FILE 25PD2117
	PREPARED BY:	JACK HENSHAW MEL REF: 136F07
	Original Size: A4 <i>Note: Pipe sizes shown are the internal diameter</i>	SCALE: 1:15000 B/T AREA: YES
WARNING This plan is issued solely for the purpose of assisting you in identifying South East Water's sewer assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work (Refer to Development Agreement for further details).	LEGEND (PROPOSED WORKS)	
	Sewer main	—
	Easement	- - - -
	Maintenance Hole	●
	Inspection Shaft	■
	Direction of flow	→

**ADVERTISED
PLAN**