

Planning Assessment Officer Report

PA2503863 62 EVERINGHAM ROAD
ALTONA MEADOWS VIC 3028



Planning Assessment Officer Report
Development Assessment

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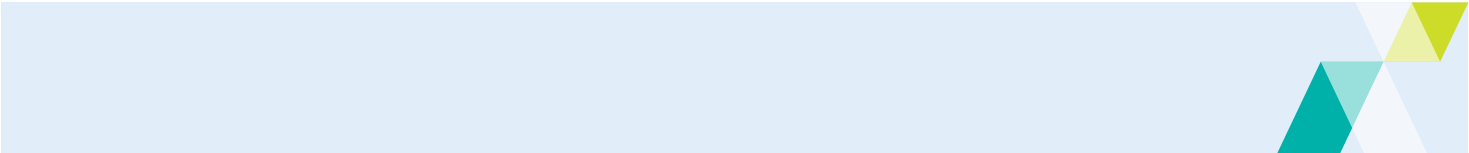
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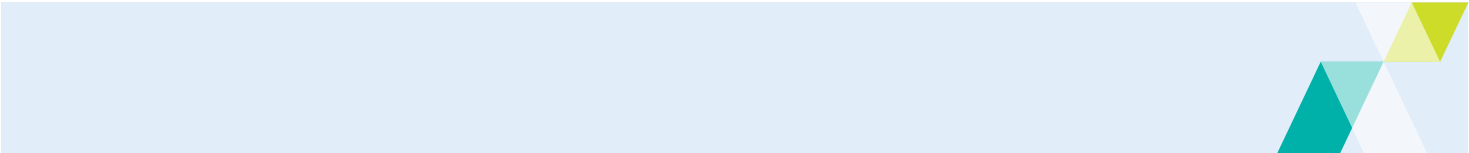
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Executive Summary



Key Information	Details		
Application No:	PA2503863		
Received:	4 August 2025		
Statutory Days:	75		
Applicant:	The Roman Catholic Trusts Corporation for the Diocese of Melbourne c/- Minx Architecture		
Planning Scheme:	Hobsons Bay		
Land Address:	62 Everingham Road Altona Meadows VIC 3028		
Proposal:	Buildings and works associated with an existing education centre.		
Development Value:	\$ 3.45 m		
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the responsible authority for a: ▪ <i>Primary school or secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school, if any of the following apply:</i> - <i>There is no existing primary school or secondary school on the land.</i> - <i>The estimated cost of development is \$3 million or greater</i>		
Why is a permit required?	Clause	Control	Trigger
Zone:	Clause 32.09	Neighbourhood Residential Zone (NRZ5)	Construct a building or construct or carry out works associated with a section 2 use.
Overlays:	Clause 43.02	Design and Development Overlay Schedule 4	Construct a building or carry out works.
Particular Provisions:	Clause 52.06	Car Parking	No permit triggered
	Clause 52.34	Bicycle Facilities	No permit triggered
	Clause 53.18	Stormwater in Urban Development	N/A
	Clause 53.19	Non-government schools	N/A
Cultural Heritage:	The site is not within an area of cultural heritage sensitivity.		
Total Site Area:	26,924	m²	
Gross Floor Area:	606	m²	
Project Area:	1,511	m²	
Height:	1	Storey excluding plant	
	6.475	Metres excluding plant	
Public Notice:	Notice of the application was undertaken by the applicant at the direction of the Minister for Planning in the following manner: ▪ Notice of the application in the prescribed form by ordinary post to the owners and occupiers of all properties to the south and southeast of the site (sections 52(1)(a) and 52(1)(d)) ▪ Notice to the Hobsons Bay City Council (section 52(1)(b))		



1 objection has been received as of **18 November 2025**.

Delegates List:	N/A
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Application Process

1. The key milestones in the application process were as follows:

Milestone	Date/Title
Pre-application meeting	N/A
Application lodgement	4 August 2025
Further information requested	N/A
Decision Plans	Plans prepared by Minx Architecture, titled 'Stage 2 Proposed Learning Centre' and dated 4 August 2025.
Other Assessment Documents	- Planning report prepared by Minx Architecture dated August 2025, - Landscape Plan prepared by Blom Design, dated 28 July 2025, - Sustainable Design Assessment prepared by Energy Efficient Choices dated July 2025,

2. The subject of this report is the decision plans (as described above).

Proposal Summary

3. The proposal can be summarised as follows:

Key Information	Details
Proposal:	Demolition of six portable buildings and construction of a single storey learning centre with associated landscaping.
Total Site Area:	26,924 m ²
Gross Floor Area:	606m ²
Height:	6.475m
Setbacks:	3.2m from the southern boundary, 47.6m from the southeastern boundary, 86.6m from the northeastern boundary, 5.3m from school buildings to the west, 7.2m from school buildings to the north.

4. Existing conditions are shown in Figure 1, with the six portable buildings being replaced by a single classroom building as shown in Figure 2 and Figure 3.



Figure 1 Existing aerial image showing the area of works (red)

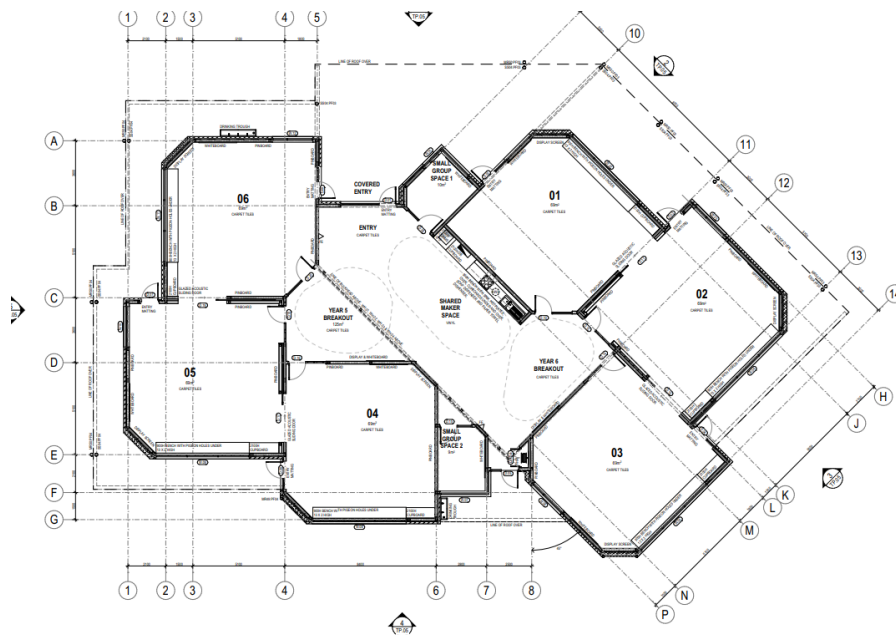


Figure 2 Proposed Floor Plan



Figure 3 Proposed Elevations



Site Description

5. The site is located 62 Everingham Road, Altona Meadows.
6. The existing site comprises of the Queen of Peace Parish Primary School complex as shown in Figure 1.
7. The site is an irregular hexagon with 81.5m fronting Queen Street, 149.2m fronting Everingham Road, and a total size of 26,924m².

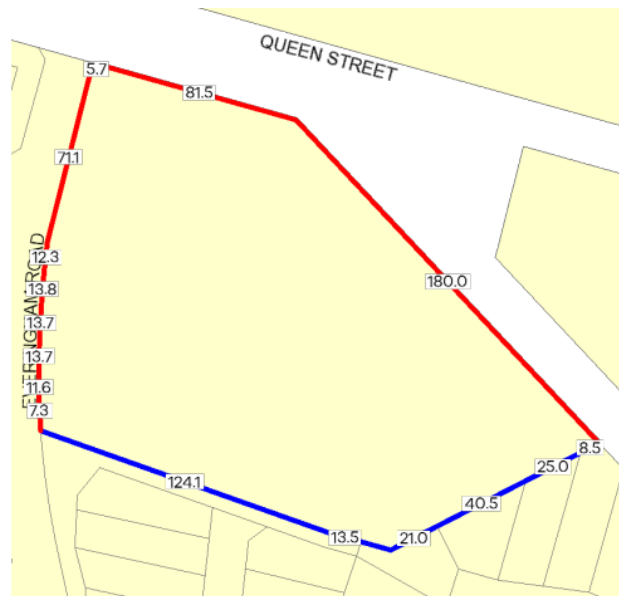


Figure 4 Property measurements

8. The site is formally described as comprising the following land parcels:
 - Lot A on Plan of Subdivision 135404
9. There are no easements, restrictions or reserves on the site.

Site Surrounds

10. The subject site is located within the Neighbourhood Residential Zone, with low scale detached dwellings to the south and west. These are predominantly single storey, though double storey dwellings are mixed throughout. These dwellings feature pitched or hipped roofs and are predominantly built of brick and weatherboard.
11. The site also has an interface with Public Park and Recreation Zone and Public Use Zone to accommodate the Altona Treatment Plant (north), Altona Community Facilities including the Altona Sports Centre (east). Further east are Laverton Creek and a number of parks and reserves leading to the Altona Foreshore.
12. Development surrounding the site can be described as follows:
 - To the **north** of the site, the site has a direct interface with Queen Street. The northern site of Queen Street is the Altona waste treatment plant (Figure 5).
 - To the **south** of the site: A linear park and single storey residential dwellings (Figure 6).
 - Lot A on Plan of Subdivision 135404 indicates that the east of the site has direct abuttal with a road reserve. It is noted that this road reserve is not currently in use and the land to the east is used for the Altona Meadows BMX and Skatepark (Figure 7).

- To the **west** of the site, the site has direct abuttal with Everingham Road and the east of Everingham Road accommodates a range of single storey residential dwellings (Figure 8).



Figure 5 View northeast showing Queen Street and the waste treatment plant to the north



Figure 6 Linear park and adjacent residential properties from Hygea Court, looking west



Figure 7 View of the BMX and Skatepark site, looking southwest towards the subject site



Figure 8 View southwest along Everingham Road



Municipal Planning Strategy

13. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
2.01	Context
2.02	Vision
2.03	Strategic Directions
2.04	Strategic Framework Plan

Planning Policy Framework

14. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 15	Built Environment and Heritage
15.01-1L-02	Landscape design and canopy tree cover
15.01-2L-04	Environmentally sustainable development
15.01-5L	Hobsons Bay preferred neighbourhood character
Clause 19	Infrastructure
19.02-2S	Education Facilities

15. The assessment section of this report provides a detailed assessment of the relevant planning policies

Zoning and Overlays

Applicable Zone

16. A planning permit is required to construct a building or construct or carry out works associated with a section 2 use in the **Neighbourhood Residential Zone Schedule 5** (NRZ5). The purpose of the Neighbourhood Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas of predominantly single and double storey residential development.
- To manage and ensure that development is responsive to the identified neighbourhood character, heritage, environmental or landscape characteristics.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

17. The following sections include a discussion of how the proposal responds to these requirements.

Design and Development Overlay

18. Pursuant to Clause 43.02-2, a permit is required to construct a building or construct or carry out works.
19. Pursuant to Clause 2.0 of the DDO4, a permit may not be granted to construct a building or to construct or carry out works exceeding a height of two storeys.
20. The purpose of the Design and Development Overlay Schedule 4 is:

- To protect and enhance the environment of the Hobsons Bay foreshore as an environmental, conservation and recreational asset of State, metropolitan and local significance.
- To ensure that the height, scale, bulk, setback and appearance of new development is compatible with the prevailing character of the area.
- To achieve development that is a high quality architectural and urban design standard.
- To preserve solar access to the foreshore, including associated roadways, bicycle and pedestrian paths.
- To protect and enhance key views and vistas.
- To protect the foreshore reserve and significant public open spaces from inappropriate development.

Particular and General Provisions

Clause 52.05 – Car Parking

21. Pursuant to Clause 52.06-5, where an existing use is increased by the measure specified in Column C of Table 1 for the use, the car parking requirements only apply to the increase, provided the existing number of car parking spaces currently being provided in connection with the existing use is not reduced.
22. Therefore, the provision of car parking does not apply to this application as the number of students and staff are not proposed to change because of this application and the existing provision of car parking currently being provided is not being altered as part of this application.

Clause 52.34 – Bicycle Facilities

23. The proposal is for replacement building which does not vary the staff or student numbers on the site, increase the overall floor area of a use, or affect the current bicycle arrangements. Accordingly, the proposal does not trigger a bicycle facilities assessment, and a permit is not required pursuant to Clause 52.34

Clause 53.19 – Non-government Schools

24. Clause 53.19 applies to use or development for a primary school, secondary school or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school
25. An application to which clause 53.19 applies is exempt from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act

General Requirements and Performance Standards

26. Clause 53.18 applies to the buildings and works of this application. The clause includes standards and objectives relating to stormwater which will be assessed below.



Notice

27. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions:
- Clause 32.09 Neighbourhood Residential Zone.
 - Clause 43.02 Design and Development Overlay.
28. Notice was given to the Hobsons Bay City Council under section 52(1)(b) on 7 October 2025. No response was received.
29. The applicant was directed to give notice under section 52(1)(a) and 52(1)(d) by way of notifying adjoining owners and occupiers. This notice was given on 19 September 2025.
30. One (1) objection was received, raising the following concerns:
- Parking
 - Traffic
 - Pedestrian Safety
31. These concerns are addressed below at [Response to objector submission](#).

Municipal Council Comments

32. The Hobsons Bay City Council (the council) responded to an informal referral on 14 August 2025. The council did not object or raise any concerns with the application..



Strategic Direction and Land Use

34. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning

Planning Policy Framework

35. The application seeks approval for buildings and works to construct a new building associated with the existing school which will improve the capacity of the school to cater to the future needs of the local community, strengthen a source of local employment, and contribute to 20-minute neighbourhoods (Clauses 15.01-4S, 17.01-1S, 19, 19.02-2S).
36. The proposal will be developed in association with the existing school which has existing use rights. The proposal will improve the facilities for the existing school community noting that there will be no change in student or staff numbers as a result of the proposal. Accordingly, the proposal maintains land use compatibility with the surrounding area (Clause 13.0-7-1S).
37. The proposed built form, scale, siting and appearance of the development is in keeping with the existing buildings at the subject site. The materials and architectural style relate to the existing buildings and the surrounding development as discussed further below (Clause 15.01-2S and 15.01-2L-01).
38. The development includes passive environmental features and water sensitive urban design measures to support a cooler environment and minimise impacts of stormwater runoff (Clauses 15.01-2S, 15.01-2L-04, 15.01-2L-04, 19.03-3S, and 19.03-3L).
39. The proposal responds directly to the intent of Clause 19.02-2S (Education Facilities), which encourages development that improves access to education and supports the delivery of appropriately located and designed education facilities. Overall, it is considered that the proposed development is consistent with the relevant policies of the Hobsons Bay Planning Scheme.

Buildings and Works

Neighbourhood Residential Zone

40. The purpose of the zone has been considered, and it is noted that the zone supports educational development in appropriate locations. As the proposal is on an existing school site, it is considered an appropriate location.
41. The proposal is appropriate having regard to the built-form decision guidelines of the **Neighbourhood Residential Zone** as follows:
- The proposal seeks approval for the construction of a single storey building with a peak height of 6.475m, and a main form of approximately 5m. This is in keeping with the scale and form of the existing buildings on the school site. The six classrooms contained in the building will replace six portable classroom buildings, and there will be no increase in staff or student numbers. As such, the proposal is not a significant increase in the scale or intensity of the use or development of the site.
 - The overall design of the proposal includes a contemporary multi-angled roof with clerestory windows which is in keeping with the existing buildings on site, which are predominantly flat roofed with clerestory windows. The increased articulation of the proposed roofing forms a visual link to the surrounding dwellings which typically have hipped or gable roofs.
 - The materials reflect those already used on the site, and the predominance of brick in the surrounding residential area. The metal roofing and flashing in medium to dark grey tones are also typical of the area.
 - The minimum 3.2m setback from the southern boundary will contain landscaping which will contribute to the neighbourhood character objectives of the schedule to the zone which seek canopy trees and a high portion of permeable area. The proposal will not increase the traffic or result in any additional offsite amenity impacts.

42. As a result of the above considerations, the proposed built form is acceptable with regard to the purpose and guidelines of the Neighbourhood Residential Zone.

Design and Development Overlay Schedule 4

43. The purpose of the Design and Development Overlay Schedule 4 (DDO4) has been considered, and the single storey form of the proposal is of an appropriate height for the area. It represents a marginal increase in height compared the existing built form, though is consistent with other buildings on the site. It will not change the prevailing character of the area or adversely impact any key views or vistas.
44. The pedestrian path which links to the H D Graham Reserve will have a marginal increase in overshadowing at certain points on the equinox. The overshadowing will not have a significant impact, and, considering the purpose and decision guidelines, is considered acceptable under the DDO4.

Amenity and Microclimate

Amenity Impacts (internal and offsite)

45. The area of the proposal is currently occupied by six portable classrooms linked by covered walkways. The replacement of these with the proposed single building will enable indoor circulation between the classrooms, with the main building entry oriented to the interior of the school site. This site-internal orientation will minimise offsite noise impacts.
46. The provided daylight modelling shows a daylight factor in excess of the BESS requirements. Additionally, the proposal positively contributes to the site amenity of the school site due to the upgrading of facilities and the improved landscaping in the area.

Overshadowing

47. The provided shadow diagrams (Figure 9) show an extremely small additional area of overshadowing to the linear park at 9am. There is no overshadowing of adjacent residential properties.



Figure 9 9am, 12pm, and 3pm shadow diagrams of the proposed building

48. As there is minimal overshadowing, and only of parkland at 9am, the effects are considered acceptable.

Landscaping

49. The area to the south and southeast of the proposed building will be landscaped with a mixture of native vegetation appropriate for their semi coastal location.



50. The retention and introduction of canopy trees is in line with cl. 15.01-1L-02 which seeks to mitigate climate change impacts, integrate with existing planting, and provide canopy coverage.

51. The proposed landscaping is an appropriate response to the site and planning scheme policies.

Sustainability

Environmentally Sustainable Design

52. The application included a Sustainable Design Assessment as required by Cl. 15.02-2L-04. This report identified a number of passive environmental design strategies, including orientation, shading, and natural ventilation, to support energy efficiency. The building will use light colours to mitigate heat island effect, and the layout allows for future integration of renewable energy technologies. The SDA also contains commitments to manage construction waste and ensure high finished Indoor Environment Quality. These outcomes align with objectives for improving energy performance and reducing environmental impact.

Stormwater Management

53. The submitted SDA includes appropriate assessment of the stormwater capacity of the proposal in the form of a MUSIC Report and response to Clause 53.18 standards. The proposal will use Atlan Stormsacks and filters to treat stormwater, and connect to existing rainwater tanks. The SDA confirms that the proposal achieves best practice stormwater management outcomes including 100% reduction of gross pollutants shown in the MUSIC report. These outcomes are consistent with current urban water management objectives of Clause 53.18 which encourage development to be designed to minimise wastewater and stormwater discharge and maximise reuse.

54. Hobsons Bay City Council did not raise any concerns with the stormwater management approach, and these treatments and calculations show appropriate regard to cl. 53.18.

Other Matters

Response to objector submission

55. One objection was received, raising concerns over parking, traffic, and pedestrian safety.

56. The objector was concerned that the application would result in an increase in the student numbers at the school, and thus increase traffic and parking demand, with a consequent impact on pedestrian safety.

57. As this application:

- Is for buildings and works,
- Does not seek to vary the staff or student numbers allowed on the site,
- Does not require additional traffic or car parking assessment,
- Does not affect the existing car parking arrangements of the school, and
- Will not change any existing pedestrian access routes.

58. The proposal will not have an impact on the existing traffic and parking conditions.

Non-Government Schools

59. As this application is subject to Clause 53.19 (Non-government Schools), it is exempt from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act. As a result of this exemption, a permit can be issued without a notice of decision to the objector.



60. The proposal is generally consistent with the relevant planning policies of the Hobsons Bay Planning Scheme and will contribute to the provision of education facilities within the Altona Meadows area.
61. It is **recommended** that Planning Permit No. **PA2503863** for the **classroom building** at **62 Everingham Road**, Altona Meadows be issued subject to conditions, and the following documents endorsed:
- Plans prepared by Minx Architecture, titled 'Stage 2 Proposed Learning Centre' and dated 4 August 2025
 - Landscape Plan prepared by Blom Design, dated 28 July 2025,
 - Sustainable Design Assessment prepared by Energy Efficient Choices dated July 2025.
62. It is **recommended** that the applicant, the council, and the objector be notified of the above in writing.



Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- ☒ **No Conflict**
- ☐ Conflict and have therefore undertaken the following actions:
- ☐ Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
- ☐ Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
- ☐ Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name:

Title:

Signed:

Phone:

Dated:

18 November 2025

Reviewed / Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- ☒ **No Conflict**
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Name:

Title:

Signed:

Phone:

Dated:

19 November 2025