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## **Planning Report**

# **26 Innovation Avenue & 77 Viola Drive Rockbank**

March 2024

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# 26 Innovation Avenue & 77 Viola Drive, Rockbank

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Date Prepared	Version Number	Author	Reviewer	Distributed
5 March 2024	1	T. Landouris	K. Nash	Client

## Executive Summary

KLM Spatial acts on behalf of Abideen College in preparing and submitting this application for a planning permit to use and develop the land known as 26 Innovation Avenue and 77 Viola Drive, Rockbank (the subject site) as a primary and secondary school, with ancillary kindergarten, in stages as well as the erection and display of signage.

### Subject Site

The subject site is commonly known as 26 Innovation Avenue and 77 Viola Drive, Rockbank, and can be formally identified as Lot AA on Plan of Subdivision 811312J (26 Innovation Avenue) and Lot A on Plan of Subdivision 828055H (77 Viola Drive).

### Proposal

Broadly, the proposal is for the establishment of a new Islamic School generally in accordance with the submitted plans and documents. The proposed Islamic School is to be a non-government (private) school. It is proposed to teach up to 1,000 students when fully developed from kindergarten to prep to Year 12. It is the intention of the school to open Stage 1 in 2025/2026.

The establishment of the school will be undertaken in Stages, with Stage 1 to include the use and development of a primary school building and administration building which will accommodate up to 200 students and 14 full time staff.

A summary of the proposed staging of the masterplan is as follows;

Stage	Component	No. of Students	No. of Staff	Anticipated timing
1	Primary school	200	14	2025/2026
2	Primary school	325	22	2028
3	Kindergarten Secondary school	50 210	11 14	2032
4	Secondary school	210	14	2035
5	Gym/cafeteria, hardcourts & nature	0	0	2032
6	Assembly hall, play space & forecourt	0	0	2032
7	School swimming pool	0	0	2035
<b>Total</b>		<b>995</b>	<b>75</b>	

A copy of the masterplan is also provided as part of Attachment 5.

The proposal is considered to meet the purpose and intent of the Rockbank Precinct Structure Plan (PSP) which identifies the subject land for a non-government school. Further, the proposal satisfies the outcomes sought under the Melton Planning Scheme, particularly those which identify the need for community infrastructure, such as schools, to be delivered in a timely manner.

We therefore rely upon this Planning Report and Development Plans which details the proposed use and development in further detail.

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## Planning Controls

Pursuant to the Melton Planning Scheme, the following planning controls apply to the subject land:

Zoning:	Urban Growth Zone – Schedule 7 – Rockbank PSP
Applied Zoning:	General Residential Zone – Schedule 1
Overlays:	Development Contributions Plan Overlay – Schedule 7 Heritage Overlay (HO204) – Part Only

Particular Provisions:	Clause 52.05 – Signs
	Clause 52.06 – Car Parking
	Clause 52.34 – Bicycle Facilities
	Clause 53.18 – Stormwater Management in Urban Development
	Clause 53.19 – Non-Government Schools

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A planning permit is required under the following provisions of the Melton Planning Scheme:

- Pursuant to Clause 32.08-2, a planning permit is required to use the land as a primary and secondary school.
- Pursuant to Clause 32.08-9, a planning permit is required to construct or carry out works for a Section 2 Use.
- Pursuant to Clause 52.05-13, a planning permit is required to display business identification signage.

## Other

Part of the northern area of the subject site is located within an area of cultural heritage sensitivity and the proposal constitutes a high impact activity.

Two Cultural Heritage Management Plans have been approved for the subject site for the purpose of residential subdivisions and the proposed primary and secondary school use is considered to be in accordance with the approved residential subdivision works.

Further detail regarding this matter has been provided at Section 1.3 of this report.

## Key Issues

The key issues associated with the proposal which this report seeks to respond to are:

**Car Parking & Traffic** – A total of 14 car parking spaces have been provided to Stage 1 which will be available for both staff and parents dropping off/picking up students. This satisfies the statutory requirement of Clause 52.06, Table 5.

We note that carparking and bus access has been raised through initial discussions with officers of Melton City Council, as this is a common issue associated with any school. The Transport Impact Assessment submitted considers both the specifics of Stage 1 as well as the capacity of the site overall to accommodate up to 1,000 students and the subsequent sequencing that this will occur.

At capacity, the site will provide for a total of 84 carparks which exceeds the current statutory requirement (total of 79 car parking spaces required). The car parking provided is therefore considered appropriate noting;

- Availability of indented on street carparking which can be utilised in peak periods.
- The site is opposite a future local convenience centre hence it is anticipated that there will be carparks utilised for multi-purpose trips.
- The walkability and cyclability of the site.
- Use of buses as the school grows.

We refer to the Transport Impact Assessment prepared by Onemilegrid for further consideration on this matter.

**Urban Design and Street Presence** – Whilst the existing conditions of the site and area are under development, it is important to have regard to the outcomes sought under the Rockbank PSP for what the area is seeking to achieve and key connections.

- South - Land directly to the south of the site, is identified as a local convenience centre which also includes a childcare centre. There is a need to ensure there is pedestrian connectivity between the land uses given the synergies. Further, to ensure the built form presents as an identifiable development at this prominent local corner. We understand a permit for this development is imminent.
- North – Future sports fields to the north, which are yet to have been planned, requires the site to have an open and landscaped treatment as well as ensuring this is not treated as a rear setback which appears as ‘back of house’.

The layout of the site subsequently responds to the above by;

- Providing a clearly defined entry into the site for Stage 1 which will be the main entry into the site by students, staff, and visitors.
- Although carparking is proposed in the front setback, it is complemented through extensive landscaping to create a green break which complements the urban form.
- The future delivery of Stage 2, will include a storey building which will be located on the corner of Innovation Avenue and Fuchsia Drive. This building will be a ‘book end’ for the site and will ultimately obstruct views of the carparking from Innovation Avenue. The school itself does also require car parking to be made available for visitors and parents which is to be easily identifiable and accessible. As such, from a functional perspective the school needs some carparking to be made available within the front setback.

**Staging** – the establishment of the school is to be undertaken in stages. As a result, there are some interim works to be undertaken until such time as the school develops.

The overall masterplan submitted with this application outlines how the school is proposed to be developed from a built form and school composition perspective. Regard has also been had to overall carparking requirements and vehicle manoeuvrability.

The current layout is such that the logical sequencing of development has been considered. This is demonstrated through Stage 2 including additional carparking and access which will be expanded as Stage 3 is developed.

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It is considered that as the detail of each stage is progressed, further supporting documents would also be prepared including;

- Stormwater management strategy
- Waste management plan
- Landscape plan
- Sustainability Management Plan

This approach ensures the documents submitted are specific for the works proposed and that they reflect the best practice of time.

We provide the below planning statement to assist in supporting this application.

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## 1.0 Background Information

### 1.1. Pre-Application Meeting

A pre-application meeting was held on 7 September, 2023, between representatives of KLM Spatial, the project architect, client, and representatives from Melton City Council.

Council advised that the proposal is generally supported and the proposed education centre use on the land is considered to be in accordance with the Rockbank PSP.

A copy of the meeting minutes have been provided for as part of this application (see Attachment 8), and we provide a summary and response of the main points raised during the pre-application meeting below:

- ***Commentary on the overall masterplan including broad timeframes and general staging of works/development is to be provided.***

The proposed development will be undertaken in 7 Stages as demonstrated on the Master Plan.

Further details regarding the anticipated student and staff numbers for each are can be found further within this application.

- ***Clarification as to what buildings would be public versus school exclusive use noting that the intent is for the mosque and gymnasium to be private/school use only and not open to the general public.***

There will be no buildings open to the general public. During the non-operating hours, the school grounds will be locked with no public access permitted.

- ***Outline what works are temporary/interim versus ultimate.***

There are no significant temporary/interim works proposed. That said, there will be minor adjustments from Stage 1 to Stage 2 such as;

- Relocation of the waste area as part of Stage 2.
- Utilising 3 carparking spaces constructed as part of stages for mini-bus parking. These spaces will be reverted when Stage 2 is constructed and formal bus areas are provided to the north of the site.

The proposed development will be undertaken in Stages with all works shown on the Development Plans to be completed accordingly.

- ***Plan is to be provided to ensure that that there is no conflict with the access points to the local convenience centre and childcare centre directly south of the land.***

The proposed crossover locations along the southern boundary of the site have been well located and the proposed crossover located within the south eastern corner of the site has not been located directly opposite of the access point to the local convenience and childcare centre.

- ***Onsite car parking is likely to be an issue and Council do not want on-street parking provisions to be relied on.***

The Traffic Impact Assessment prepared by One Mile Gride states that there is sufficient on site carparking to meet the statutory requirement for Stage 1. From an overall masterplan perspective, a total of 84 car parking spaces are to be provided which meets the car parking

requirements pursuant to Clause 52.06, being a total of 79 car parking spaces required. On this basis a reduction is not required to be sought as part of this application and the proposal can therefore comfortably accommodate the anticipated car parking demand.

- **Statement architect is to be encouraged at the corner of Innovation Avenue and Fuchsia Drive.**

The proposed south eastern corner of the site (corner of Innovation Avenue and Fuchsia Drive) will feature a 2 storey primary building (Stage 2 – fronting Innovation Avenue) and a 2 Storey primary and admin building (Stage 1 – fronting Fuchsia Drive).

It is however advised that the primary and administration building within Stage 1 will not be in view from Fuchsia Drive given the location of the primary building within Stage 2.

The development particulars are yet to be determined for the 2 storey primary building at Stage 2 however it is advised that appropriate setbacks, windows, and articulation will be incorporated into the design of the primary building within Stage 2.

On this point, we wish to highlight the design elements incorporated to the 2 storey primary and admin building within Stage 1 along the southern elevation (front), this being large windows at the ground floor, a feature art wall at the north western corner of the first floor which will consist of custom bond pattern with blockwork in various sizes and finishes. In addition, the first floor level has been setback from the ground floor slightly which creates articulation and a visual break when viewed from Fuchsia Drive.

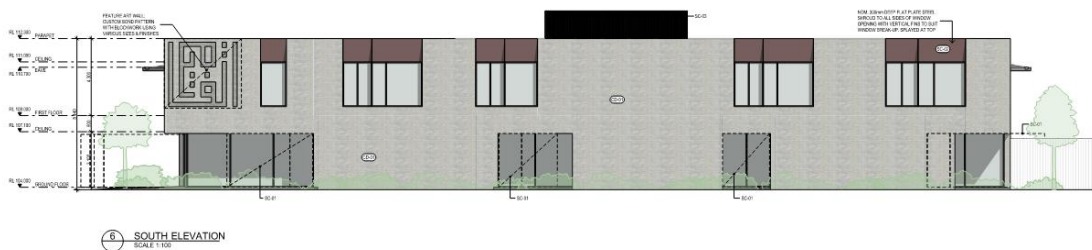


Figure 1. Southern Elevation (Front) of the Primary and Administration Building within Stage 1.

## 1.2. Previous Planning Permits

A review of Council's online planning register confirms that there have been no planning permits granted for either 26 Innovation Drive or 77 Viola Drive, Rockbank.

It is noted that the land parcels were created as part of the broader subdivision of the Estate for which the land now forms part.

## 1.3. Preliminary Site Investigation

Whilst it is assumed that a preliminary site assessment was undertaken to confirm likelihood of potential contamination prior to the land being subdivided for residential purposes, an assessment was undertaken as part of the due diligence for the land.

The preliminary assessment provided by Provincial Geotechnical has confirmed the site is not subject to contamination and therefore no remediation works are required. The report does note that the existing retarding basin would need to be filled in the future.

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## 2.0 Cultural Heritage Sensitivity

Part of the northern area of the subject site is located within an area of cultural heritage sensitivity and the proposal constitutes a high impact activity (education centre).

Two (2) Cultural Heritage Management Plans have been approved for the subject site for the purpose of residential subdivision;

1. CHMP No 14429 prepared by Ochre Imprints, approved 20 January 2017.
2. CHMP No 11154 prepared by Ecology and Heritage Partners, approved (as amended) 24 March 2020.

The extents of the CHMPs, as relevant to the subject land, is as per the below;



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The salvage work required under the CHMPs has been undertaken.

Whilst the proposed use and development as an education centre does not reflect the originally approved residential subdivision, the proposed works associated with the proposed education centre are considered to be in accordance with the approved residential subdivision works, and will not have any impact to any sensitive areas identified within the approved CHMPs, nor is the proposed development within an area that is identified as 'not to be developed'.

On this basis the approved activity (residential subdivision) can be 'swapped' to an education centre as per the Red Dot VCAT Decision *Wegg Pty Ltd v Melton CC (Red Dot) [2023] VCAT 957 (17 August 2023)*.

The activities identified in the CHMPs included works related to the subdivision of land including;

- Excavation and levelling for the construction of buildings, deep excavation for service trenches, landscaping.

The CHMPs noted that the subdivision would provide;

- For '*...development of residential, recreation, community and educational allotments...*' (Section 3.2 of CHMP11154, pages 9-10 ).
- '*...residential allotments however, reserves and associated commercial and community facilities for part of the subdivision....*' (Section 1.4 of CHMP14429, page 37).

Accordingly, it is considered that the existing approved CHMPs can continue to be relied on for this proposal.

### 3.0 Proposal

#### 3.1. Staging

It is proposed to use and develop the site as a non-government school (Islamic School) which will cater for kindergarten and prep to Year 12.

This school will be known as Abideen College and will accommodate a maximum of 1,000 students.

A masterplan has been prepared to inform the overall site layout and staging of future works (see TP05 of the plans submitted), an excerpt is provided below;

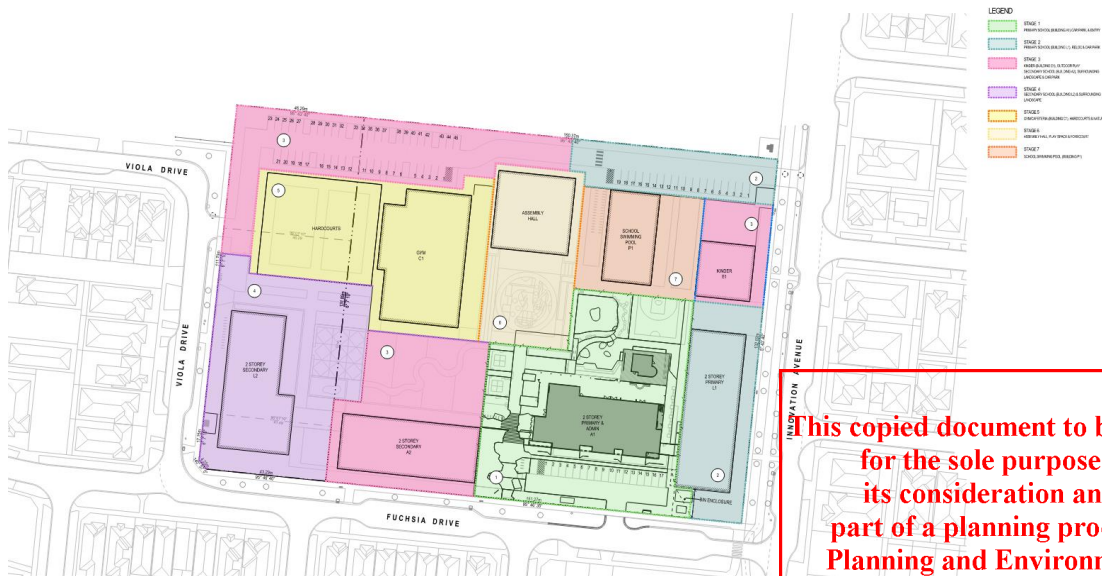


Figure 2. Proposed Staging Plan, prepared by LAW Architects, TP05 excerpt.

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The staging plan provides for 7 stages as follows;

Stage	Component	No. of Students	No. of Staff	Anticipated timing
1	Primary school	200	14	2025/2026
2	Primary school	325	22	2028
3	Kindergarten Secondary school	50 210	11 14	2032
4	Secondary school	210	14	2035
5	Gym/cafeteria, hardcourts & nature	0	0	2032
6	Assembly hall, play space & forecourt	0	0	2032
7	School swimming pool	0	0	2035
<b>Total</b>		<b>995</b>	<b>75</b>	

The Masterplan has been informed by various specialist inputs to ensure it is able to accommodate the anticipated number of students and that matters such as carparking and provision of onsite open space/play areas has been considered.

The Transport Impact Assessment prepared by One Mile Grid has considered the overall traffic flow within the site, the broader context and provision of on site carparking. The assessment concludes that sufficient carparking is provided on site and the future bus connections through the site are sufficient and in accordance with the requirements of Clause 52.06.

We note that the existing retarding basin on the corner of Viola Drive and Fuchsia Drive is required to be retained on the land until such time as the ultimate outfall is constructed (to be undertaken by others). The masterplan may be required to be amended depending on the timing of this works and the development of the school itself. It is the intent, that as each Stage is developed, supporting documents such as Stormwater Management Strategy, Landscape plans, waste management plans and sustainable design assessment would be submitted to support the development proposed and be prepared against the provisions of that time.

### 3.2. Use

Abideen College is proposed to be a primary and secondary school with an ancillary kindergarten. A planning permit is accordingly sought for these uses.

The operational aspects of the school are as follows;

- Abideen College will open from Monday to Friday 8.00 am, with classes to commence at 8.30 am, and will close at 4.30 pm, with classes ceasing at 3.30 pm.
- There will also be after school programs run by the school, such as sport and music classes. These would cease by 6.00 pm.
- School sports, tutoring or other activities may also occur from time to time on Saturday and Sundays, between 9 am to 3.00 pm.
- On occasion, the school will have graduation ceremonies, concerts, and the like. These will be for the school community. There may be times when these will operate in the evenings. These events would be infrequent.
- Education facilities and programs to operate at Abideen College will consist of general classes such as Mathematics, English, Science, Humanities, I.T, Health, Psychological Education, Visual Arts, Drama. Islamic studies, reciting the Quran, and the Arabic language will also be offered as classes at the Abideen College.
- The kindergarten is proposed to be an ancillary component noting that it will be established as a 'feeder' into the primary school. It will be a structured kindergarten as opposed to a child care centre.
- Additional Islamic religious activities such as prayer will be undertaken within the Pavilion which also offers a WUDU/Foot wash to be utilised prior to the student's undertaking

prayer

### 3.3. Design Principles

The design of the proposed primary and administration building within Stage 1 has been informed by the following design principles:

- The need to ensure the main reception and administration functions of the school area readily identifiable and accessible from the public realm as well as being fit for purpose.
- Creating a statement piece of architecture by way of incorporating feature art wall along the first floor of southern and western elevation.

- Has proposed an appropriate maximum building height of 8.84 metres.
- The need to provide high quality internal amenity for staff and students with various spacious classrooms and staff rooms/kitchen.
- The need to provide for adaptable and innovative learning spaces for students, particularly for the Islamic community by way of providing a prayer area (pavilion) and wudu/foot wash.
- Landscaping has been incorporated along the site's frontage (southern boundary of the site) which softens the appearance of the built form.

### 3.4. Development

**Stage 1** will consist of the following works:

- Construction of one (1) 2 storey primary and admin building.
  - o The building is orientated to front Fuchsia Drive which will be the main entry into the site for both pedestrian and vehicles.
  - o A 20 metre setback from the street is adopted which provides for carparking within the front setback (ensuring it is easily accessible for visitors and parents alike) as well as an extensive landscaping buffer to soften the interface.
  - o Maximum height of 8.84 metres.
  - o The design of the building seeks to include feature wall art on the southern elevation with upper floor windows utilising shrouds to create fenestration and articulation for the main frontage.
  - o The external materials and finishes are predominantly brick with vertical metal cladding used as a feature element to create visual interest.
- Construction of outdoor deck area to the rear of the primary and admin building.
- Construction of one (1) single storey pavilion to be located within the outdoor deck area.
  - o To be developed with large windows and brick material.
- Construction of one (1) Wudu/foot wash to be located within the outdoor deck area.
- Provision of concrete paving along the northern and part western areas of the primary and admin building.
- Provision of BBQ area further north of the primary and admin building.
- Provision of junior play area within the rear area of Stage 1 consisting of one (1) basketball court.
- Provision of services yard located within the south eastern corner of Stage 1, adjacent to the eastern primary and admin building.
- Provision of raised planters to the north of the service yard.

A permanent palisade fence is proposed along the frontage of the site. It is visually permeable but will be 1.8 metres in height to provide for security for the school.

Until such time as the balance of the land is developed, temporary coated chain mesh fencing is provided around the perimeter of the Stage 1 works area. This fencing will be gradually removed as future stages are developed.

### 3.5. Key Design Elements

The following provides a summary of the key design elements:

- **Height** – The primary and admin building presents as a 2 storey, well-articulated, flat roofed, development from Fuchsia Drive, with the proposed pavilion being located to the

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rear of the primary and admin building. The maximum height of the building is 8.84 metres and the pavilion is 4.12 metres.

- **Setbacks** – A front setback from the southern boundary of 20 metres has been incorporated which is considered sufficient in offsetting any potential visual bulk when viewed from Fuchsia Drive. It is however important to note that the setbacks are varied within Stage 2, with buildings being provided a smaller setback from the southern and western boundary.
- **Material** – The external materials of both the include brickwork with the use of steel plates, large windows, and feature art walls, to create visual interest and fenestration. The colour selection includes pale grey with steel-coloured features and shrouds to create interest which is considered appropriate and reflective of the surrounding residential area. This ultimately creates a consistent built form outcome within the area.

### 3.6. Waste Management

All waste will be collected by a private waste company and a detailed Waste Management Plan can be prepared as a condition on any Planning Permit issued.

### 3.7. Landscaping

A 6-metre-wide landscaping strip has been provided for along the southern boundary (frontage of the site) which is considered substantial to provide for the planting of shrubs/low cover planting which are to be accentuated with palm trees.

Natural play areas are proposed around the building which will be for school use only. This also includes productive garden beds which will be used as part of the learning experience for students.

We refer to the concept landscape plan prepared by Rush Wright Associates for further information on the landscape design intent.

### 3.8. Signs

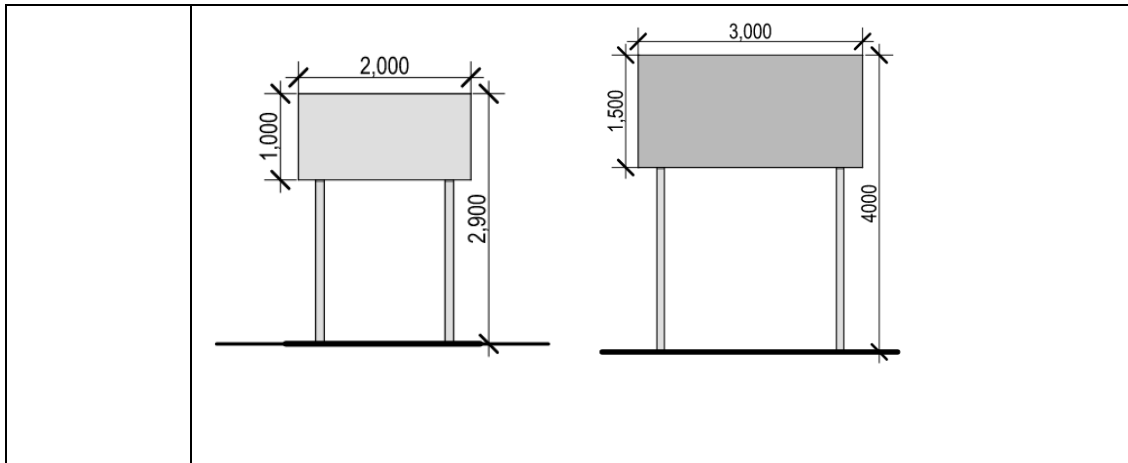
It is proposed to display two (2) business identification entry signs which are to be located within the frontage of Stage 1.

The signage details are as follows:

Proposed Sign	Sign Type	Description	Dimensions and Location	Area
<b>Sign 1</b>	Business identification sign (non illuminated)	To display business identification detail regarding Abideen College. The design of the school logo is in the process of being prepared and will be confirmed in due course.	2.0 metres in length and 1.0 in width, with a total height of 2.9 metres.  To be located adjacent to the gate entry further west along the front boundary.	2.0 sq.m (display panel).
<b>Sign 2</b>	Business identification sign (non illuminated)	To display business identification detail regarding Abideen College. The design of the school logo is in the process of being prepared and will be confirmed in due course.	3.0 metres in length and 1.5 metres in width, with a total height of 4.0 metres.  To be located further east of the proposed east located along the front boundary.	4.5 sq.m (display panel).

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### 3.9. Drainage and Services

Stage 1 will be appropriately drained and serviced in accordance with the relevant servicing authority requirements. This is expected to require the site to drain to the existing retarding basin to the south-west of the land which will be upgraded once the ultimate outfall is delivered by others.

There will be no external services visual to the public realm.

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## 4.0 Subject Site and Surrounds

### 4.1. Subject Site

The subject site is commonly identified as 26 Innovations Avenue and 77 Viola Drive, Rockbank, and can be formally described as Lot AA on Title Plan 811312J (77 Viola Drive, Rockbank), and Lot A on Plan of Subdivision 828055H (77 Viola Drive).

A review of the Title (26 Innovation Avenue) confirms that there are no Easements or Restrictive Covenants registered on Title. There is however a Section 173 Agreement and Notice Section registered on Title as follows:

- Section 173 (AR609125R – 31/10.2018) – This Agreement has been entered into by Melton Council and the land owner for the purpose of ensuring that the applicable DCP rate and POS rate is made.
- Notice Section (201UB – AH462111E – 20/08/2010) – This Notice Section is an application to record notification regarding the notification that the subject land is subject to GAIC.

A review of the Title for 77 Viola Drive confirms that there is a 60-metre-wide drainage easement that is located within the centre of the site, as well as there being a Notice Section and two (2) Section 173 Agreements registered on Title which are as follows:

- Section 173 Agreement (AT089939V – 20/03/2020) – This Agreement has been entered into by Melton Council and the owner of the land for the purpose of ensuring the obligations of the owner to make payment of the Development Infrastructure Levy.
- Section 173 Agreement (AV450318B – 22/03/2022) – This Agreement has been entered into by Melton Council, the owner of the land, and the developer for the purpose of ensuring the interim and ultimate drainage outfall requirements are satisfied.
  - o *Note;* whilst the current application seeks to include this land parcel as part of this application, no works are proposed within this part of the site recognising the interim retarding basin which exists. It is understood that this retarding basin can be decommissioned and removed from the land once the ultimate outfall is constructed. The timing for this is ambiguous. It is not considered that the granting of a permit on the land breaches this agreement given its ongoing requirements.
- Notice Section (201UB – AH462111E – 20/08/2010) – This Notice Section is an application to record notification regarding the notification that the subject land is subject to GAIC.

The above-mentioned Agreements and Notice Sections do not impact the proposed use and development, at this stage. Although the use of the land for a primary and secondary school is proposed over that part of the land burdened by the interim retarding basin, no works are proposed on this part of the land at this stage.

The subject site is rectangular in shape with three (3) road frontages, with a frontage to Viola Drive of 111.7 metres, Fuchsia Drive of 198.79 metres, and Innovation Drive of 132 metres, and a total area of 2.5 hectares. The site is vacant and has not been utilised or developed for any purpose.

In terms of topography, the subject site is relatively flat with there being no vegetation present on the site.

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Access to the site is currently through a paved double road located on the southern east corner of the site via Fuchsia Drive. Three (3) access points have also been constructed along the eastern boundary (Viola Drive), with two (2) pedestrian paths constructed along the eastern boundary of the site (Innovation Drive).



Figure 3: Aerial Image of Subject Site as at 20 July, 2023, sourced from NearMap, accessed on 10 September, 2023.

## 4.2. Site Context

The subject site and surrounding area are located within the Urban Growth Zone – Schedule 7 which is currently being developed in accordance with the Rockbank Precinct Structure Plan.

The immediate area, in accordance with the Rockbank Precinct Structure Plan, has been nominated to be developed and utilised for the purpose of open space, standard and medium density residential, local convenience centre, and government and non-government school.

The following land uses and development directly about the subject site:

**North** – Land to the north of the site is to be utilised and developed as a local sports reserve.

**East** – Land directly to the east of the site is Innovation Avenue, with land further east of the site having been developed with standard conventional density housing in the form of single dwellings on a lot, as envisioned within the Rockbank Precinct Structure Plan.

**South** – Land directly south of the site is Fuchsia Drive, with land further south having been partially developed with standard conventional density housing as per the Rockbank Precinct Structure Plan.

**West** – Land directly to the west of the site is Viola Drive, with land further west having been developed with standard conventional dwellings, ranging from single to double storey dwellings on a lot.

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In terms of public transport, Rockbank Railway Station is located approximately 1.5 kilometres north west of the subject site. A review of the Rockbank Precinct Structure Plan also confirms that Innovation Avenue has been identified as being a ‘bus capable road’ as well as other surrounding streets. On this basis there will be future bus routes providing direct access to the Rockbank Railway Station.

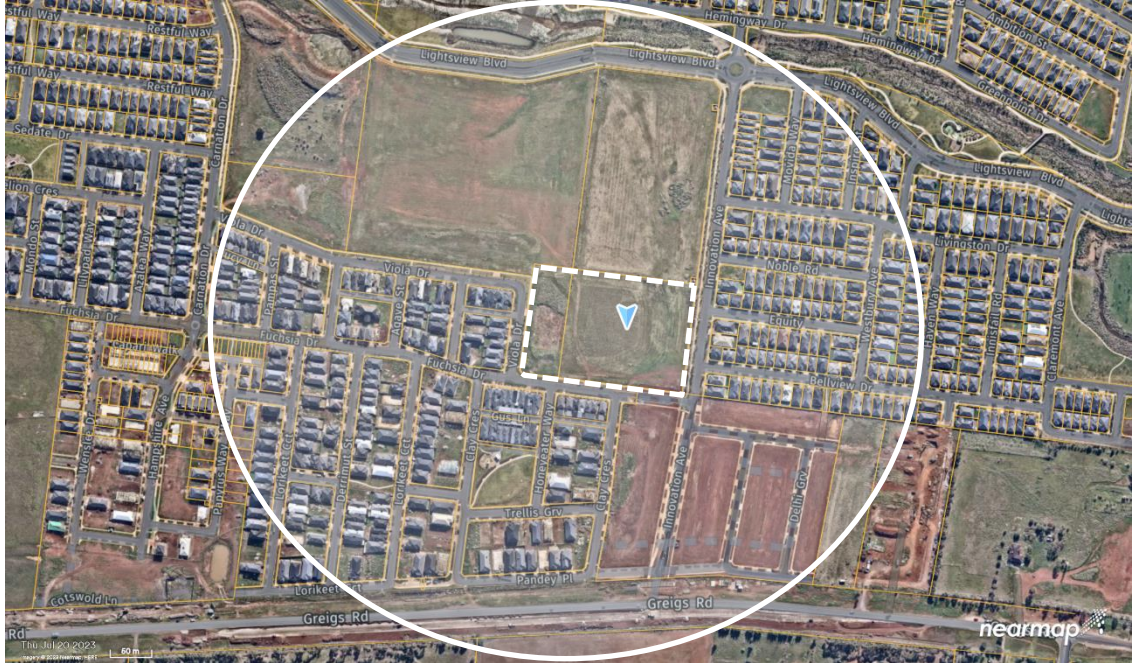


Figure 4: Aerial Image of Subject Site and Surrounds as at 20 July, 2023, sourced from NearMap, accessed on 10 September, 2023.

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## 5.0 Planning Assessment

### 5.1. Permit Triggers

A planning permit is required under the following provisions of the Melton Planning Scheme:

- Pursuant to Clause 32.08-2, a planning permit is required to use the land as a primary and secondary school with an ancillary kindergarten.
- Pursuant to Clause 32.08-9, a planning permit is required to construct or carry out works for a Section 2 Use (education centre).
- Pursuant to Clause 52.05-13, a planning permit is required to display business identification signage.

### 5.2. Zoning

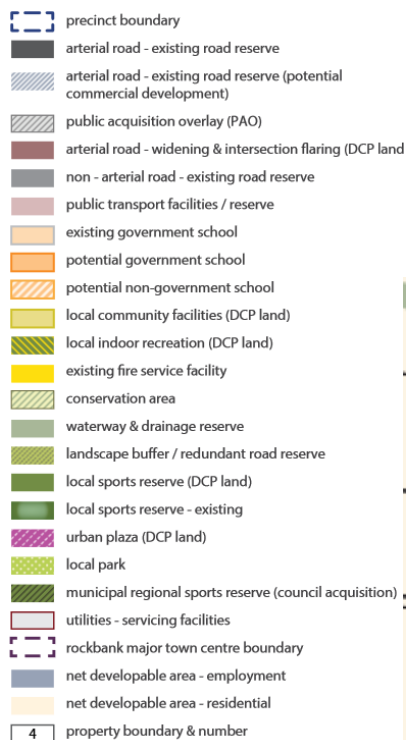
#### Urban Growth Zone – Schedule 7:

The subject land is located within the Urban Growth Zone – Schedule 7 (Rockbank Precinct Structure Plan) of the Melton Planning Scheme.

The main purposes of this Zone are to:

- *To manage the transition of non-urban land into urban land in accordance with a precinct structure plan.*
- *To provide for a range of uses and the development of land generally in accordance with a precinct structure plan.*

A review of Plan 1 within Schedule 7 confirms that the subject site is identified as being a ‘potential non-government school’ which has an applied General Residential Zone – Schedule 1.



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Figure 5. Excerpt of Land Use Budget and Legend – Rockbank Precinct Structure Plan.

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**Response**

The proposed use and development is considered to be in accordance with the Rockbank PSP and a detailed assessment against the Community Facilities and Education Requirements of the Rockbank PSP has been provided for Section 5.5 of this Planning Report.

The land benefits from its direct abuttal to future open space as well as being centrally located to residents.

An additional assessment against the objectives of the applied zone (General Residential Zone – Schedule 1) has been provided for below.

**Applied General Residential Zone – Schedule 1:**

The purpose of this Zone is to:

- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A planning permit is required to use and develop the subject site as an education centre.

There is no maximum building height specified pursuant to the General Residential Zone, nor are there any varied requirements within the Schedule to the Zone.

**Response**

The proposed use and development is encouraged within the General Residential Zone and the subject site is located within an appropriate location having been identified as a ‘non-government school’ within the Rockbank PSP.

In addition, the proposal is considered to be appropriate having regard to the purpose of the Zone as well as the Decision Guidelines which specifically relate to non-residential use and development for the following reasons:

- The proposed non-government school will be of benefit to the surrounding residential area by way of providing an education centre accessible to the surrounding residents.
- The proposed use and development will be of no detriment to the surrounding residents. This is achieved by ensuring that all outdoor activities (recess and lunch/prayer/sport classes and the like) are undertaken within designated areas outdoors (Junior Play), or indoors (Pavilion). We also highlight that the school will operate within standard business hours in which there will be no additional noise/traffic impacts generated after hours.
- In terms of building design, the scale of the building seeks to ensure that it is easily identifiable and it is a statement architecture given the building itself is to be the main entry into the school itself for visitors and staff/students. A 20-metre setback from the primary and administration building has been provided from the southern (front) boundary which is considered sufficient to offset any perceived visual bulk when viewed from Fuchsia Drive and the residents further south of the site.

In addition, the height and massing of the building will not result in any overlooking or overshadowing impacts to the residential properties located further east, south, and west of the site given where the primary and admin building has been sited.

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- Extensive landscaping opportunities have been provided for in the form of the 6-metre-wide landscaping strip along the southern boundary (frontage) of the site which creates a green outlook for students/stuff from the building, and further softens the built form when viewed from the residential properties to the south as well as those travelling along Fuchsia Drive.
- In addition, the proposal provides for advertising signage that is considered appropriate having regard to the surrounding residential area and an assessment against the Decision Guidelines of Clause 52.05 has been provided further within this report.

### 5.3. Overlays

#### Development Contributions Overlay – Schedule 7:

The purpose of this Overlay is *to identify areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.*

The Rockbank Development Contributions Plan is the applicable Contributions Plan.

The use and development of the land as a non-government school is **exempt** from the provisions of this overlay (Section 5.0).

#### Heritage Overlay – Schedule (HO204):

A small portion of the south western corner of the site is within the heritage overlay which refers to dry stone walls as depicted in the Figure below.

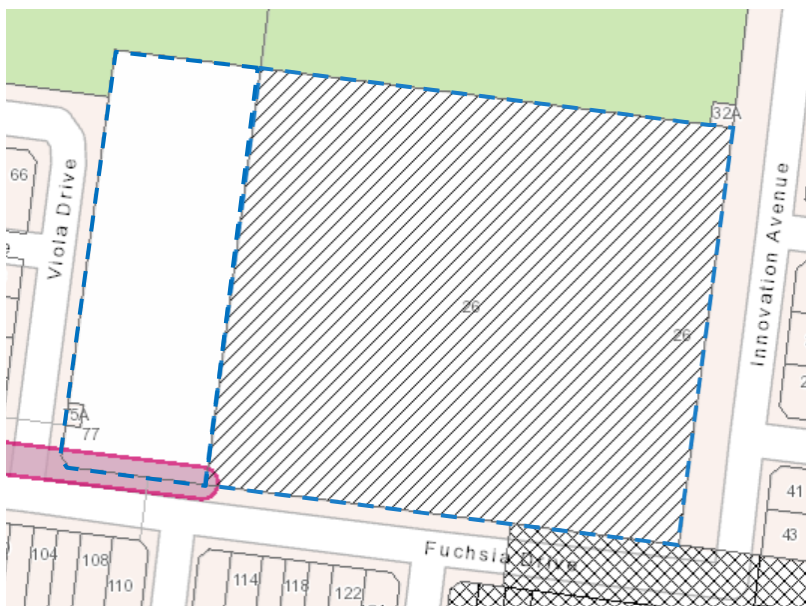


Figure 6: Heritage Overlay Map and the Subject Site, accessed from VicPlan on 10 September, 2023.

There are however no works proposed within this area hence a planning permit is not required in this instance. Furthermore, the dry stone wall has been removed under the planning permit for the broader subdivision of the land.

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## 6.0 Strategic Planning Policy Assessment

### 6.1. Strategic Directions

The City of Melton is a key part of Melbourne's western growth corridor and is one of Australia's fastest growing local government areas with the population growing from 52,029 in 2001 to 146,979 in 2017, and in 2051 it is forecasted to be more than 485,000 people (Clause 02.01 Context). This represents an increase of 194% within the City of Melton.

In order to accommodate this population growth, the City of Melton has a vision to create a vibrant, safe, and liveable city that is accessible to all (Clause 02.02 Vision), with the following strategic directions being applicable to the proposal in order to achieve this vision:

**Clause 02.03-5 (Built Environment and Heritage)** – The planning for building and urban design within this Clause seeks to:

- *Improve urban design outcomes to enhance the safety and liveability of neighbourhoods, activity centres and public spaces so that they are engaging for all.*
- *Improve landscaping in both the public and private realm to enhance the quality and functionality of green spaces.*

It is also policy to incorporate Environmentally Sustainable Design principles to development.

#### Response

The proposed development is of a high-quality design and built form outcome, and has been appropriately sited on the subject site with large front setbacks and vegetation incorporated into the design to reflect the existing residential amenity to the west, south, and east of the site.

In addition, the proposed development incorporates large windows which enables passive surveillance for the students and staff members, which further enhances the safety and amenity of the proposed school and the residential area overall.

Whilst the subject site is located within an applied General Residential Zone, noting the land is an 'island' site with road abutments on 3 boundaries and a sport reserve on the 4<sup>th</sup> boundary, the siting of the proposed development will not result in any adverse amenity impacts regarding overshadowing/overlooking.

The development has incorporated various sustainability principles as outlined in the submitted Sustainability Management Plan, see Attachment 10.

In addition, the proposed signage is considered to positively respond to the existing residential character of the area as the proposed signage is to be of simple material and colour schedule that will have no negative impact to the surrounding residential properties. The proposed signage has also been appropriately located along the frontage of the site, with a sufficient distance provided from another, which further ensures that the proposed signage will not dominate the proposed development when viewed from the surrounding properties and road network. It is also highlighted that the height of sign 1 (2.9 metres), and height of sign 2 (4.0 metres) will not exceed the maximum building height of the school which ensures that the school building remains as the main design focal point when traveling along Fuchsia Drive.

It is therefore considered that the proposed development contributes to the existing safe and liveable residential community as envisaged at Clause 02.03-5 (Built Environment and Heritage).

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**Clause 02.03-7 (Economic Development)** – The main purposes of this Clause are to:

- *Facilitate development that provides opportunities for local employment and education that are close to homes and are accessible by a variety of transport options.*
- *Facilitate the provision of infrastructure and services that support economic growth, particularly in growth areas and in existing, planned, and proposed activity centres.*

**Response**

The primary purpose of the proposal is to provide for a non-government school which will ultimately provide for education opportunities for students in prep to Year 12. The proposed education centre will also provide for local employment opportunities by way of employing staff members within a range of fields including but not limited to teachers, cleaners, maintenance workers, and the like.

The required infrastructure, including the immediate road network, has also been delivered in accordance with the Rockbank PSP which ensures that both the education and employment opportunities proposed to be provided for by the proposal can be carried out accordingly, therefore being in accordance with Clause 02.03-7 (Economic Development).

**Clause 02.03-9 (Infrastructure)** – The City of Melton acknowledges that the City residents do not have access to the same level of services and infrastructure as residents living in inner or middle ring suburbs. Planning for infrastructure therefore seeks to:

- *Enhance educational and recreational opportunities through the provision of community infrastructure, including new schools and youth services.*
- *Discourage out of sequence development within growth areas.*

**Response**

The required infrastructure such as the surrounding road network, footpaths, and the like, has been mainly developed for in accordance with the PSP which allows for the education centre to be developed and easily utilised/accessed once complete.

In addition, the Rockbank PSP has nominated the subject site to be developed as a school in which the proposal is not considered to be an out of sequence development within the existing growth area. The proposal is therefore reflective of the main objectives of Clause 02.03-9 (Infrastructure).

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## 6.2. Planning Policy Framework (“PPF”)

The Planning Policy Framework (PPF) is in place to ensure that the objectives of Section 4 of the Planning and Environment Act 1987 are implemented through appropriate land use and development planning policies. These policies incorporate environmental, social, and economic factors that contribute towards the achievement of net community benefit and sustainable development.

The following policies are of relevance to the current proposal:

**Clause 15.01-1S (Urban Design)** – This Clause seeks to create urban environments that are safe, healthy, functional, and enjoyable and that contributed to a sense of place and cultural identity.

**Clause 15.01-2S (Building Design)** – This Clause aims to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

**Clause 15.01-5S (Neighbourhood Character)** – This Clause aims to recognise, support, and protect neighbourhood character, cultural identity, and sense of place.

**Response**

The proposal, will create an enjoyable and safe environment for both students and staff members. This has been achieved by providing for large classrooms as well as ensuring there is ample open space for students and staff members to enjoy their leisure time.

The proposed built form is also respectful of the surrounding residential dwellings to the west, south, and east of the site having regard to the large front setback provided, similar building materials incorporated, and ample vegetation provided along the frontage of the site.

In addition, a Sustainability Management Plan has been prepared by Intrax which determines that the proposed development will comply with the BESS Assessment tool. We refer to this Plan for further details of elements included.

We also wish to highlight, from a stormwater perspective, the development will include water tanks for rain harvesting and water-reuse. In addition, the overall footprint of the works allows for ample permeable area to accommodate any stormwater runoff in the event of a rainfall.

The proposed development is therefore considered to achieve the main objectives of both Clause 15.01-1S (Urban Design) and Clause 15.01-2S (Building Design).

The proposal is considered to contribute to a sense of place, noting that the school will act as a landmark between the residential area located to the west, south, and east of the site, and the future local sports reserve directly north of the site. It is also important to note that the non-government school will teach Islamic studies and will accommodate a private area for students to pray which ultimately respects and encourages cultural identity to be practiced, therefore creating a sense of place for students and staff members.

In terms of signage, the proposed business identification signs are not considered to distract from the surrounding residential area and will not pose any detrimental impacts on the nearby residential properties having regard to the appropriate design, height, and location of the signage proposed.

The proposal is therefore considered to meet the overall objective of Clause 15.01-5S (Neighbourhood Character).

**Clause 19.02-2S (Education Facilities)** – This Clause seeks to integrate these facilities in local and regional communities. It is policy to recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale, and mass).

**Clause 19.02-2L (Education Facilities)** – seeks to support the delivery of local primary and secondary schools where there is a shortfall in these facilities.

**Response**

The proposed development has been designed to act as a standalone use and development and will not be perceived as a residential design. This will be achieved by way of proposing a new building height within the area (being 8.5 metres) and incorporating a larger building footprint which is more suitable design as an education centre.

The proposed education centre will therefore be easily identified as a school when travelling along Innovation Avenue and Fuchsia Drive. It is therefore considered that the proposed development is in accordance with Clause 19.02-2S (Education Facilities).

### 6.3. Provisions That Require, Enable or Exempt a Permit

#### Clause 52.05 – Signs

Pursuant to the General Residential Zone – Schedule 1, the applicable signage zone is Category 3 (High Amenity Areas).

Pursuant to Clause 52.05-13, Category 3, a planning permit is required to display a business identification signage.

We provide the following assessment against the Decision Guidelines of Clause 52.05 which demonstrates that the proposed signage is appropriate for the subject site and surrounding residential area:

- ***The compatibility of the proposed sign with the existing or desired future character of the area in which it is proposed to be located.*** –

As discussed previously within this report, the proposed signage is considered appropriate, and the proposed design, placement of the proposed signage does not cause any detrimental impacts to the proposed development or on the surrounding residential properties by way of incorporating a simple material and appropriate scale with respect to the overall school building proposed.

- ***The cumulative impact of signs on the character of an area or route, including the need to avoid visual disorder or clutter of signs.***

The proposed business identification signs will present an attractive montage to Fuchsia Drive in a co-ordinated matter which will not result in a cluttered appearance. This is achieved by proposing sign 1 within the south western corner of Stage 1, and sign 2 within the south eastern corner of Stage 1. There is no other signage proposed along this frontage in which visual clutter is avoided.

- ***Impact on views and vistas.***

The proposed business identification signs will not impact views from the proposed school to the surrounding residential properties having regard to the location and height proposed (proposed height will not exceed the height of the overall school development being 8.5 metres, as the maximum height of the signage proposed is 4.0 metres).

- ***The relationship to the site and building.***

The proposed signage is designed to enhance the overall development of the school whilst ensuring that there is no impact by way of visual bulk.

- ***The impact of any illumination.***

The proposed signage will not be illuminated and will therefore not cause any nuisance to the residential properties further south of the site during the hours of darkness.

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- ***The need for identification and the opportunities for adequate identification on the site of locality.***

The proposed signage will enable the school to be identified by students/visitors travelling along Fuchsia Drive which is considered necessary for the future operations of the school. The location therefore is considered most appropriate as it will direct students/visitors into the subject site.

- ***The impact on the road safety, including the potential to obstruct the line of sight or cause a distraction to passing drivers.***

It is submitting that the proposed signage will not adversely impact upon the safety of road users, given the following:

- The proposed signage is not within close proximity to any signalised intersections which ensures that the proposed signage cannot be confused with any road signals or signs.
- There is no illumination proposed in which the proposed signage will not cause a distraction to drivers along Fuchsia Drive.
- Both signs are of an appropriate height with regard to the overall scale of the school building proposed which ensures that the signs will not obstruct the line of sight from the school by passengers travelling along Fuchsia Drive.

**Clause 52.06 – Car Parking**

The car parking requirements as per Table 5 of Clause 52.06 are different for each use component. Although this application is made for Stage 1, noting the overall intent of the school and its overall masterplan, a holistic review of carparking demand and need is provided.

The following is a summary of the carparking requirements, as per the One Mile Gride assessment (Section 9.1.1 of their attached report);

**Table 5 Clause 52.06 – Car Parking Requirements**

Stage	Use	No.	Rate	Car Parking Measure	Total
Stage 1	Primary school	14	1	to each employee that is part of the maximum number of employees on the site at any time	14
Stage 2	Primary school	22	1	to each employee that is part of the maximum number of employees on the site at any time	22
Stage 3	Child care centre	50	0.22	to each child	11
	Secondary school	14	1.2	to each employee that is part of the maximum number of employees on the site at any time	16
Stage 4	Secondary school	14	1.2	to each employee that is part of the maximum number of employees on the site at any time	16
<b>Total</b>					<b>79</b>

Based on the above;

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- Stage 1 – requires 14 carparking spaces; 14 spaces are proposed (noting 3 spaces are to be set aside for bus parking).
- Overall masterplan – requires 79 carparking spaces; 84 spaces are proposed.

**Response**

A Transport Impact Assessment has been prepared by One Mile Gride which demonstrates that the car parking provided can comfortably accommodate the anticipated car parking demand generated by both staff members (long stay demand) and visitors (short stay demand).

A car parking reduction is therefore not being sought as part of this proposal.

**Clause 52.34 – Bicycle Facilities**

Pursuant to Clause 52.34-5, the following bicycle parking spaces are to be provided for a primary school:

- 1 to each 20 employees, and
- 1 to each 5 pupils over grade 4.

A total of 14 employees and 57 students will be part of Stage 1. Accordingly, a statutory requirement of 12 bicycle spaces is required.

**Response**

Provision for bicycle racks has been made for Stage 1 to the west of the proposed building, adjacent to the carpark. Future stages of the development are likely to include formalised cages for students who cycle to school.

As per section 8 of the Transport Impact Assessment, the proposal satisfies the statutory requirement for bicycle provisions on the land.

**6.4. General Requirements and Performance Standards**

**Clause 53.18 – Stormwater Management in Urban Development**

The following are the requirements to construct a building or carry out works:

An application to construct a building or construct or carry out works:

- *Must meet all of the objectives of Clauses 53.18-5 and 53.18-6*
- *Should meet all of the standards of Clauses 53.18-5 and 53.18-6*

**Response**

**Clause 53.18-5 - Buildings and Works**

Objective	Response
To encourage stormwater management that maximises the retention and reuse of stormwater.	Stormwater will be reused where possible within the site. This is evidenced through the provision of onsite water tanks associated with the development proposed. This water will be used for irrigation purposes. Rain gardens are also proposed.
To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.	The run off from the site will be treated prior to entering the stormwater system.

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To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.	Where possible, the proposal has incorporated canopy trees and landscape areas to reduce the heat island effect and improve the amenity of staff, students, and visitors alike.  Paved areas are proposed to have a natural finish to complement the surrounds as well as promote cooling.
To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.	The use is not an offensive use and there will be no storage of chemical pollutants.

Standard W2	Response
Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).	Where possible, the best practice guidelines will be met. We acknowledge that this will be included on any permit issued.
Minimise the impact of chemical pollutants and other toxicants including by, but not limited to, bunding and covering or roofing of storage, loading and work areas.	This is not applicable given the nature of the use.
Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.	We have provided additional landscaping where possible to promote cooling.

**Clause 53.18-6 – Site Management**

Objective	Response
To protect drainage infrastructure and receiving waters from sedimentation and contamination.	The drainage infrastructure within or abutting the site will be protected during the construction of the development. This is expected to be included as a permit condition on any permit issued.
To protect the site and surrounding area from environmental degradation prior to and during construction of subdivision works.	The site and surrounds will be considered during the construction of the development. This is expected to be included as a permit condition on any permit issued.

Standard W3	Response
An application should describe how the site will be managed prior to and during the construction period and may set out requirements for managing: - Erosion and sediment - Stormwater - Litter, concrete, and other construction wastes - Chemical contamination	Appropriate measures will be implemented on site during construction. This is expected to be a requirement of an environmental management plan for any permit issued.

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**Clause 53.19 – Non-government schools**

The purpose of this clause is:

- To facilitate new non-government schools.
- To facilitate upgrades and extensions to existing non-government schools.

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Pursuant to clause 53.19-2, an application to use and develop land for a primary school, secondary school or education centre is exempt from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act.

### 6.5. Rockbank Precinct Structure Plan

The subject site is to be developed in accordance with the Rockbank PSP (August 2016) which has identified the subject site as a potential ‘non-government school’.

The following are the community facilities and education requirements of the Rockbank PSP and an assessment against these requirements and guidelines has been provided for below:

	2.2 Objectives – community facilities, education, and open space	Assessment
O11	Develop a walkable network of community hubs that provide access to social, education, recreation, and health services within each neighbourhood.	The land is part of the Rockbank East Community Hub (as per Plan 5) and seeks to develop a high quality school to integrate with the broader context such as its proximity to future sports fields to the north.
O12	Maximise the use and enjoyment of open space by diversifying park design and scale to deliver a range of user experiences.	Not applicable – this will be part of the future open space design to the north of the site.
O13	Provide for government and non-government school sites to meet a strategically justified need for State and Catholic education in the area.	The proposal directly responds by providing an independent school at the identified site in the PSP.
O14	Deliver community facilities throughout the precinct that support residents of all ages, encourage social interaction and engagement, support positive health outcomes and create a sense of place and civic pride.	The school is proposed from kinder to Year 12 which will cater for all age groups.
O15	Ensure that the health and well being of residents is protected by delivering a built environment of facilities and amenities that promote healthy lifestyle practices, social interaction, civic engagement and access to services.	The school will promote walking and cycling given its location and connections to existing and emerging walking and cycling paths.

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	Community Facilities and Education Requirements	Assessment
R23	<p>Where the responsible authority is satisfied that land shown as a non-government school site is unlikely to be used for a non-government school, that land may be used for an alternative purpose which is generally consistent with the surrounding land uses and the provisions of the applied zone.</p> <p>In order to satisfy the responsible authority that a site is unlikely to be used for a non-government school, it is necessary to demonstrate that:</p> <ul style="list-style-type: none"> <li>- The application for an alternative use is not premature having regard to the extent of development in the surrounding residential area.</li> <li>- The school site is no longer strategically justified having regard to the provision of schools in the locality, including land not within the PSP, as appropriate.</li> </ul>	<p><b>Complies</b></p> <p>The subject site has been identified as a ‘non-government school’ pursuant to the Rockbank PSP and this proposal is for the use and development of an education centre (non-government school). The subject site will therefore not be utilised for any other purpose.</p>

	<ul style="list-style-type: none"> <li>- The landowner provides the responsible authority with evidence that:                             <ul style="list-style-type: none"> <li>○ Genuine negotiations have been had with a range of education providers, including the lead agency nominated in the PSP, regarding the use of the site as a school and the sale of the site to the education provider(s), and</li> <li>○ The education provider(s), including the lead agency nominated in the PSP, do not intend to purchase and use the site as a school.</li> </ul> </li> </ul>	<p style="color: red; text-align: center;"><b>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</b></p>	
R24	<p>Connector or local access streets abutting a school must be designed to achieve slow vehicle speeds and provide designated pedestrian crossing points as required by the responsible authority.</p>	<p><b>Complies</b></p> <p>The abutting streets, being Viola Drive, Fuchsia Drive, and Innovation Avenue, have been designed and developed in accordance with the Rockbank PSP and the relevant authority requirements.</p> <p>The above-mentioned streets have therefore key local access streets which do not accommodate for fast vehicle speeds.</p>	
<b>Community Facilities and Education Guidelines</b>		<b>Assessment</b>	
G15	<p>Community facilities should be planned and designed to have the flexibility and capacity to meet the changing needs of the community and provide for a range of uses.</p>	<p><b>Complies</b></p> <p>The proposal is strictly for an education centre, with there being no community facilities proposed.</p> <p>The site does benefit from direct abuts to future sports fields which are currently in the master planning phase.</p>	
G16	<p>Community facilities, schools and sporting fields that are co-located should be designed to maximise efficiencies through the sharing of car parking and other complementary infrastructure.</p>	<p><b>Complies</b></p> <p>The proposed school benefits from an abuttal to future sports fields which are to be delivered in 2029/30. It is intended that a joint use agreement be entered into for the right to use this space. This is an ongoing discussion with Melton City Council.</p>	
G17	<p>The location of key entries to community facilities should allow for safe and convenient pedestrian and cyclist access for all ages and abilities.</p>	<p><b>Complies</b></p> <p>The site is well located and takes advantage of existing road and pedestrian networks as well as informing the location of future internal networks such as through the sports reserve to the north which is yet to have had a masterplan prepared.</p>	
G18	<p>Community facilities located in Rockbank Major Town Centre should be designed to maximise efficiency of land use through the sharing and overall reduction of car parking spaces.</p>	<p><b>Not Applicable</b></p> <p>The subject site is not located within the Rockbank Major Town Centre.</p>	
G19	<p>Schools and community facilities should be designed to front and be directly accessed from a public street with car parking located away from the main entry.</p>	<p><b>Variation</b></p> <p>The proposed school will be directly accessed from the public street network, with existing crossovers located along Viola Drive and Innovation Avenue, with one (1) relocated crossover proposed along the southern boundary of the site (Fuchsia Drive).</p>	

	<p style="text-align: center;"><b>ADVERTISED PLAN</b></p> <div style="border: 2px solid red; padding: 10px; text-align: center; color: red;"> <p><b>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</b></p> </div>	<p>Car Parking within Stage 1 will be provided for directly abutting the primary and administration building which is the main entry building. The car parking fronting this building is considered to be an appropriate location for visitors/parents as the car parking is easily accessible and identifiable from the main entry of the school. This siting ensures visitors do not need to walk through the site to get to the main buildings from carparking areas.</p> <p>The number of carparks within this front setback is minimal and will not detract from the main entrance of the building noting that there are minimal car parking spaces provided along the frontage, hence not acting as the dominant feature when viewed from Fuchsia Drive.</p> <p>It is however noted that the remaining car parking areas will be located to the northern area of the site.</p>
G20	Schools should be provided with three street frontages, where practicable.	<p><b>Achieved</b></p> <p>The proposed education centre will have three (3) street frontages being Viola Drive, Fuchsia Drive, and Innovation Avenue.</p>

### Clause 65 - Decision Guidelines

In determining whether a permit should be granted, the Responsible Authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines set out in Clause 65.

The following outlines how the proposal appropriately responds to each of the decision guidelines:

- The proposal is consistent with the purpose and intent of the Strategic Directions and Policy Framework as outlined in this Statement.
- More specifically, the proposal directly responds to **Clause 19.02-2L (Education Facilities)** – to support the delivery of local primary and secondary schools where there is a shortfall in these facilities.
- The proposal is consistent with the objectives of the Urban Growth Zone – Schedule 7 and applied General Residential Zone – Schedule 1 by way of providing for an education use and development as identified and encouraged within the Zone and Applied Zone and Rockbank Precinct Structure Plan.
- The proposed use and development will have minimal impact to the surrounding residential amenity by way of providing an appropriate and well-designed built form outcome and by ensuring all school operations are undertaken within standard business hours.
- The proposal will provide for sufficient on-site car parking that is able to comfortably accommodate for the anticipated car parking demand to be generated by the proposal.

- The proposed advertising signage has been appropriately designed and located in accordance with Clause 52.05 (Category 3).

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## 7.0 Conclusion

This Planning Statement has demonstrated the proposal which involves the use and development of an education centre (primary and secondary school), and display of advertising signage, is consistent with the requirements of the Melton Planning Scheme.

It is therefore considered that based on the above assessment the proposal should be supported by Council for the following reasons:

- The proposal is consistent with the purpose and intent of the Strategic Directions and Planning Policy Framework.
- Meets the requirements of the Urban Growth Zone – Schedule 7 and applied General Residential Zone – Schedule 1 by way of proposing a non-government school that has been designed to have regard to the surrounding residential neighbourhood.
- Meets the requirements of the Rockbank Precinct Structure Plan as demonstrated within this town planning report.
- Satisfies the requirements of Clause 52.06, the proposed car parking spaces to be provided on site are sufficient in accommodating the anticipated visitor and staff car parking demand.
- Complies with the overall purpose of Clause 52.05, Category 3, by way of ensuring the proposed signage is of a good design and location having regard to the sensitive nearby uses.

Overall, the proposal is considered to present an appropriate planning outcome and is consistent with the purpose and intent of the relevant planning controls and policies and assessed within this report.

### END OF ASSESSMENT

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