

# Stormwater Management Strategy

775 & 779 High Street,  
Melton West

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June 2025

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**Document Control**

Version	Date	Description of Revision	Prepared By	Reviewed By
Rev 01	25 June 2025	For Approval	SA	LP

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<b>Loetis Reference</b>	J10234
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# 1 Background

## 1.1 Introduction & Site Description

Loetis has been engaged by Solve Town Planning to complete a stormwater assessment and prepare a Stormwater Management Strategy (SMS) to accompany the planning permit application for the proposed civil works at OneSchool Global, Melton Campus located at 775 & 799 High Street, Melton. This property will be herein referred to as the 'subject site'. The proposed development of the subject site involves extending the existing school building, constructing a new car park, expanding the current parking facilities, and converting part of the existing car park into open space.

The subject site, a triangular parcel of approximately 30,697m<sup>2</sup>, is currently occupied by OneSchool Global comprising associated buildings, sports fields, playgrounds, and car park areas. It is bounded by High Street to the north, the Western Freeway to the south, and existing buildings to the east, and is situated within the Melton City Council municipality, approximately 40km north-west of Melbourne CBD. The subject site slopes in south-easterly and south-westerly directions from the northern extent - adjacent High Street, to an existing waterway that traverses the site centrally from north to south.

The subject site and its proximity to the adjacent features and site locality described above are indicated in Figure 1 below, and Appendix A of this report.

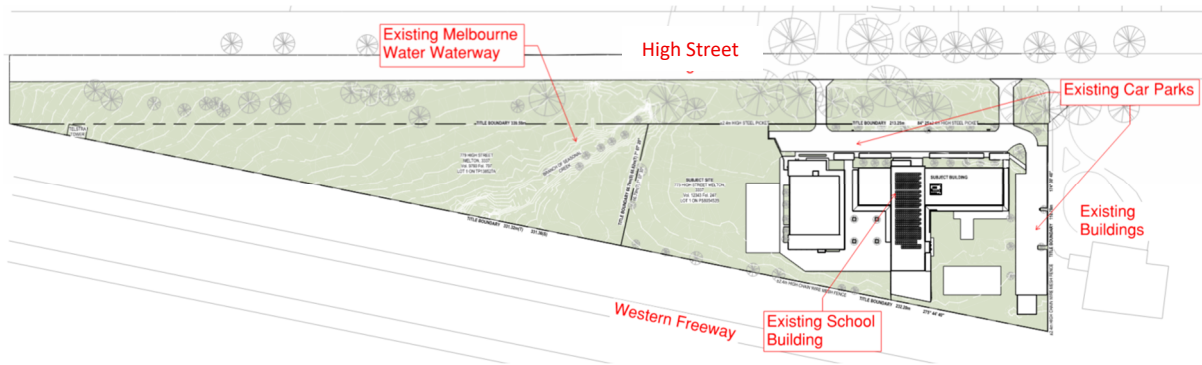


Figure 1 – Subject Site Location and Features (Image courtesy of DETAIL X Studio).

Figure 2 below illustrates the planning zones applicable to the subject site and its surrounding area.

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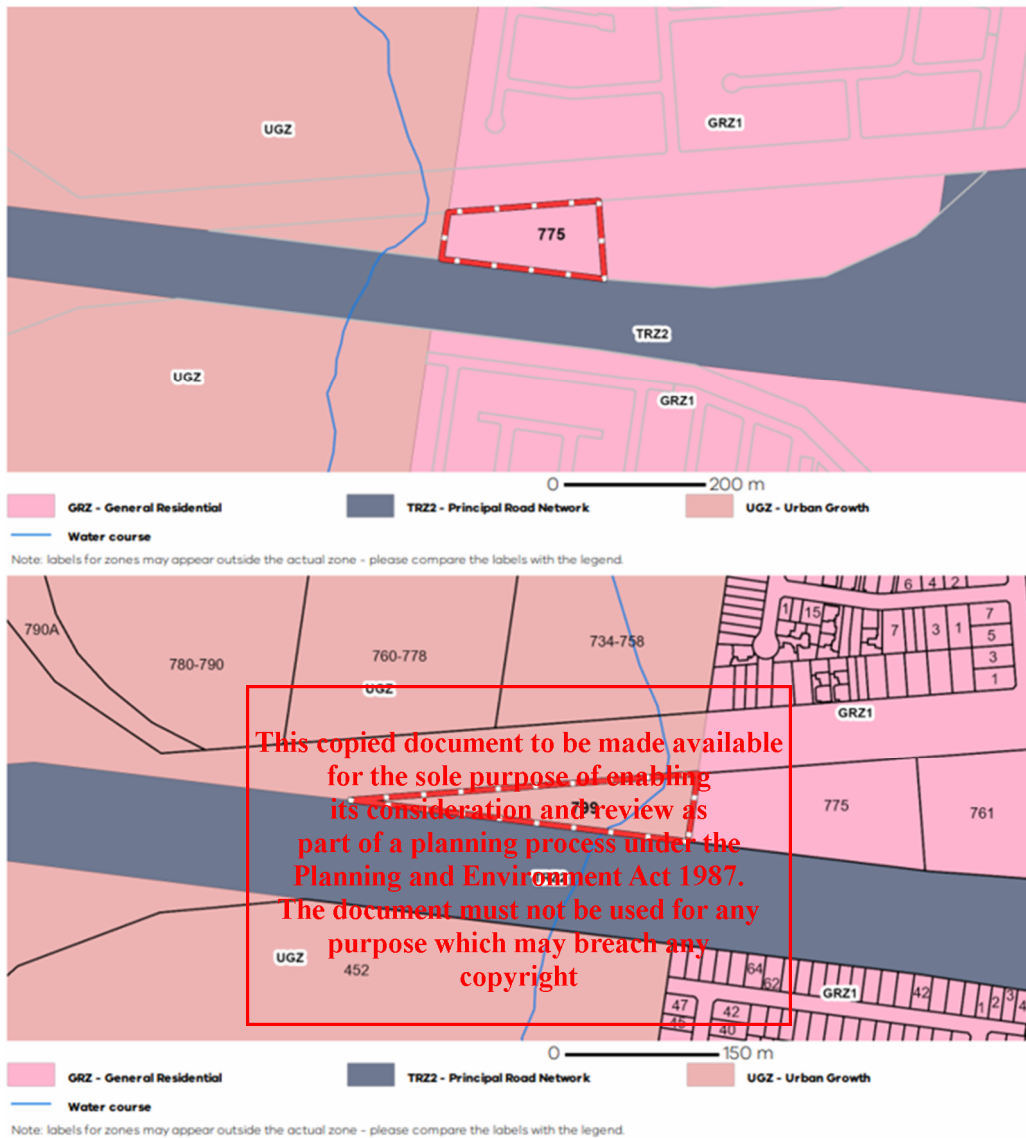
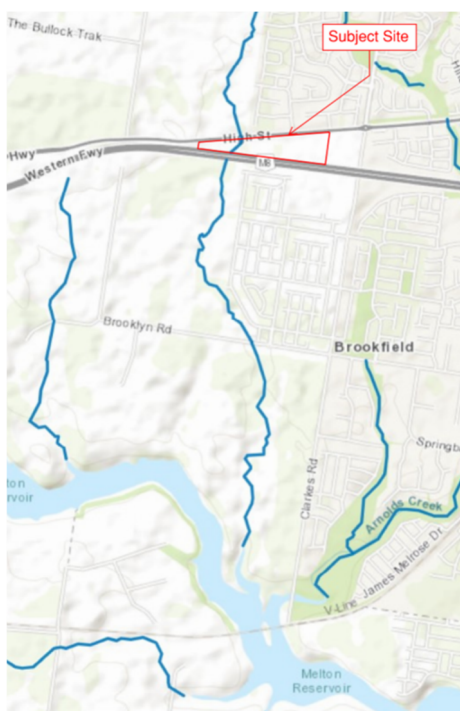


Figure 2 - Planning Property Report of the Subject Site.

Additionally, we acknowledge that the existing earthen drain traversing through the subject site is a designated Melbourne Water waterway, identified as a tributary of the Werribee River, and any works proposed within the waterway corridor are to be approved by Melbourne Water. This waterway is approximately 20m wide and 1m deep, conveying substantial flows from an upstream catchment towards the Melton Reservoir to the south, as depicted in Figure 3 below.

No changes to this waterway or works within its waterway area are proposed as part of this application.

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**Figure 3 - Waterway Traversing through the Subject Site (Image from Melbourne Water Open Data Hub).**

The proposed development works will result in an increase in impervious surface area compared to the existing conditions, which will increase in stormwater runoff flowrates and contaminant loading. This report demonstrates a stormwater assessment based on proposed development expectations and discusses the water quality and quantity measures proposed to be implemented to ensure the development delivers best practice stormwater treatment objectives and in accordance with the local authority requirements and relevant Australian standards (e.g. AS3500).

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## 2 Study Objectives

The objective of this SMS is to demonstrate that a compliant solution is available for the development in a manner that accords with local authority and best practice guidelines for stormwater quality and quantity treatment. This will enable the development to meet anticipated conditions and requirements to be set in the planning permit for stormwater management and ensure that stormwater quality and quantity targets are achieved and maintained.

The subject site is located within the Melton City municipality and adjacent to the DTP's road network, as such stormwater objectives are based on local regulatory requirements as outlined in the Engineering Design and Construction Manual (EDCM), and our professional understanding of DTP's guidance on stormwater management, primarily through the Victoria Planning Provisions (VPPs) and associated policies.

Stormwater runoff generated within the subject site will be captured and conveyed via a combination of the underground drainage network and overland flow paths to the integrated stormwater treatment nodes prior to connection to the site Legal Point Of Discharge (LPOD).  
Specific site stormwater requirements are detailed below.

### 2.1 Site Stormwater Objectives

The site stormwater objectives are detailed below.

1. Best Practice reductions for Water Quality:
  - 80% reduction in Suspended solids (SS)
  - 45% reduction in total nitrogen (TN)
  - 45% reduction in total phosphorus (TP)
  - 70% reduction in gross pollutants (GP)

2. Stormwater conveyance

Conveyance of the flows up to and including the 1% annual exceedance probability (AEP) to the LPOD.

**Note:** Refer discussion point outlined in point 3 below.

3. Stormwater Quantity

Ensuring no increase in stormwater rates discharging from the LPOD for events up to and including the 1% AEP flows.

**Note:** As discussed in section 2 of this report, a significant external catchment runs via the subject site to the Melton Reservoir. As such, it is noted that the proposed new works areas are located outside of the waterway area and the works that are in the general vicinity of the waterway area do not result in alterations to the site levels.

As such we note that stormwater quantity mitigation and conveyance is not covered under this report. The following SMS will provide details on the stormwater treatment infrastructure to ensure stormwater discharge targets are achieved before the designated LPOD.

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### 3 Site Assessment

#### 3.1 Existing Site Conditions

The subject site encompasses an area of approximately 30,697m<sup>2</sup> and exhibits a varied topography. Elevation ranges from 133.06m AHD at the north-eastern corner, sloping towards a low point of 129.53m AHD near the edge of the existing waterway in the south-west. Similarly, the western corner of the site falls in a south-easterly direction, descending from 134.75m AHD to a low point of 129.60m AHD at the waterway's edge.

As such, there is a gradual and sufficient slope across the subject site, with a fall of approximately 1.2% on the right side of the waterway and 2.2% on the left side, descending from the highest to the lowest points of the site.

The eastern portion of the subject site currently accommodates the main school building, a sports hall, several sports fields, landscaped areas, and a car park extending from the south-eastern section to the north-western corner, as illustrated in Figure 4 below and Appendix A of this report.

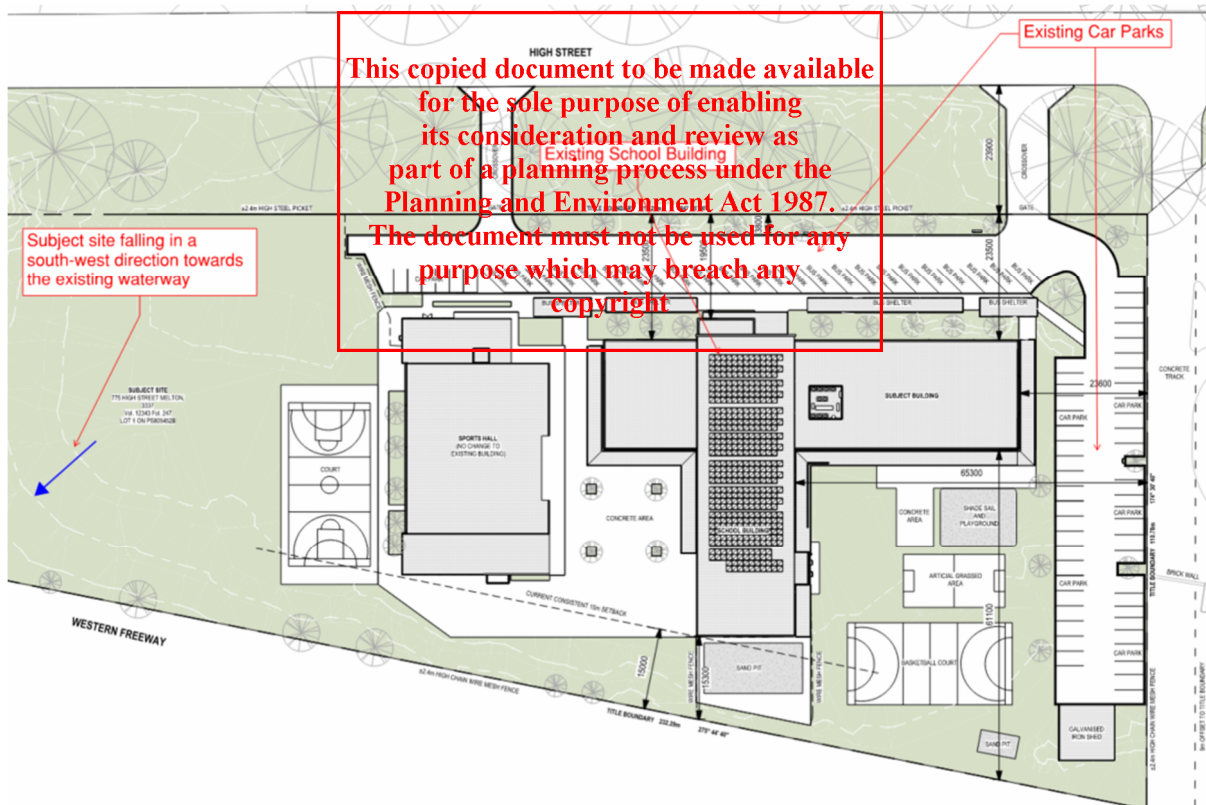


Figure 4 – Subject Site Existing Conditions – East Portion (Image courtesy of DETAIL X Studio).

Similarly, the west portion of the subject site encompasses existing landscape and features as presented in Figure 5 below and Appendix A of this report.

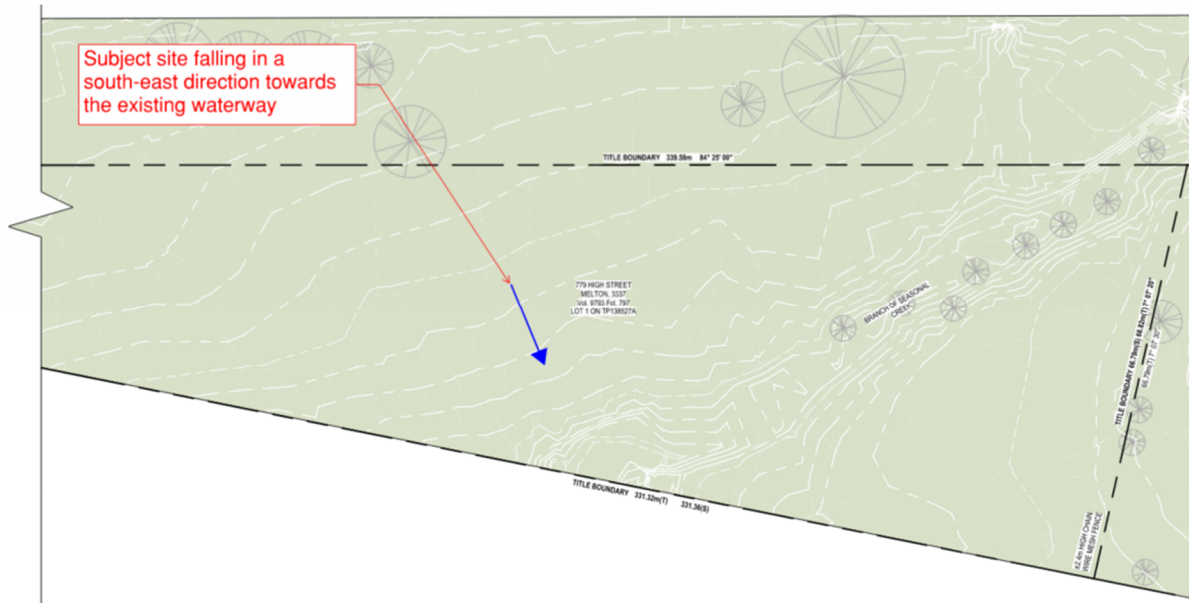


Figure 5 - Subject Site Existing Conditions – West Portion (Image courtesy of DETAIL X Studio).

A review of available records, supported by a site inspection, has confirmed the presence of council-owned and maintained drainage infrastructure along the northern section of High Street. Additionally, existing twin pipe headwalls were identified on both sides of High Street. Ownership of these assets, by the local council and Melbourne Water, was verified through investigations conducted via Before You Dig Australia. These structures facilitate the conveyance of substantial stormwater flows from the upstream catchment through the subject site and into the existing waterway. The downstream discharge from the site occurs via Melbourne Water-owned infrastructure, including headwalls and culverts that pass beneath the Western Freeway.

Additionally, the site visit confirmed the presence of an existing stormwater drainage pipe along the southern boundary of the subject site, which conveys flows from the eastern side into the existing waterway.

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### 3.2 Developed Site Conditions

The subject site's development plan encompasses the existing school building that are proposed to be retained and extended southward and eastward. Additionally, the eastern portion of the existing car park will be removed and replaced with landscaped open space and a portion of the extended building. To offset the loss of parking spaces, the northern section of the car park is proposed to be extended to the west, with the vehicle crossover to be relocated accordingly.

Similarly, the west portion of the subject site is proposed to accommodate a new carpark with 83 spaces and an entry/exit cross over to High Street as part of the development.

Figure 6 below shows the proposed development layout, and a more detailed version is included in this report as Appendix B.

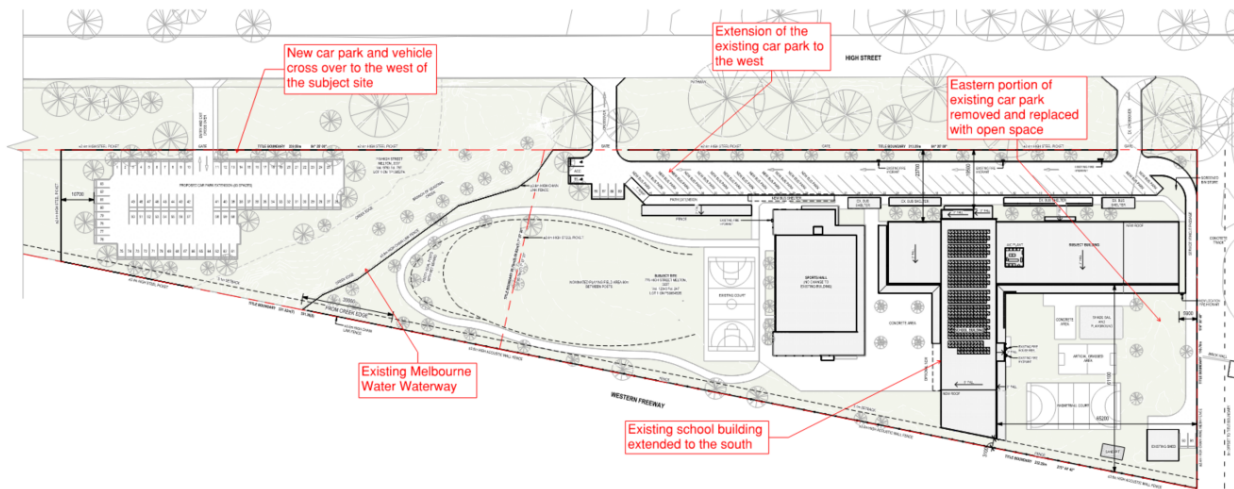


Figure 6 - Proposed Development Layout (Image courtesy of DETAIL X Studio).  
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As part of the proposed school extension, the building footprint will increase from approximately 2,760m<sup>2</sup> to 3,427m<sup>2</sup>. In parallel, the reconfiguration of the existing car park – comprising both removal and extension as discussed above – will result in a net increase of 29m<sup>2</sup> of the hardstand area.

The construction of a new car park on the western side of the site will introduce an additional 2,171m<sup>2</sup> of hardstand surface.

Overall, the proposed development will result in a net increase of approximately 667m<sup>2</sup> of roof area and 2,202m<sup>2</sup> of hardstand area.

In conducting this stormwater assessment, the focus will be on the portion of the subject site designated for the proposed impervious development. The proposed site has been segmented into distinct surface area categories, in alignment with the proposed development plan. These areas are outlined below in Table 1 for reference.

Table 1 – Catchment Breakdown

Lot No	Description	Area (m <sup>2</sup> )	Fraction Impervious %
Subject Site	Existing – Roof	2,760	100
Subject Site	Existing - Hardstand	3,260	90
Subject Site	Proposed – Roof	3,427	100
Subject Site	Proposed – Hardstand East	3,289	90
Subject Site	Proposed – Hardstand West	2,171	90



Additionally, Table 2 presents the net increase in impervious surface area resulting from the proposed development.

**Table 2 – Post-Developed Net Increased Impervious Areas.**

Lot No	Description	Area (m <sup>2</sup> )	Fraction Impervious %
Subject Site	Net - Roof	667	100
Subject Site	Net – Hardstand East	29	90
Subject Site	Net – Hardstand West	2,171	90

### **3.3 Legal Point of Discharge (LPOD)**

As previously noted, the subject site slopes in both south-easterly and south-westerly directions toward the existing waterway located to the west of the site. Additionally, an existing drainage pipe conveys flows from the east side to the waterway, which is identified as the current LPOD. It is assumed that this existing waterway will continue to serve as the LPOD under the proposed development conditions, receiving runoff from surface flows as well as the treatment nodes.

Loetis' proposal for infrastructure to satisfy WSUD treatment objectives is for assets as outlined in the section 4 of this report.

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## 4 Stormwater Mitigation Strategy

### 4.1 Stormwater Quality

The proposed development will increase both roof and hardstand areas due to the school building extension and the construction of a new car park. It is intended that runoff from the net increase in roof area will be directed to a rainwater tank for reuse and treatment, while stormwater from the car park hardstand areas will be managed through raingardens.

We include the following clarifications as a part of the strategy:

- Rainwater tank and raingarden to have a plumbed outlet pipe to the site LPOD.
- Conceptual location for WSUD assets provided only. Final design to be incorporated with final building landscape and architectural plans.
- Catchment delineation based on expected design levels. Should detailed design vary the surface or roof profile such that runoff direction varies, it is possible that the size and location of treatment assets may need to be reassessed. It is assumed that the increased roof area can be directed to the rainwater tank, which is considered likely to require a ‘charged’ system to be installed. If this assumption is not achievable, then the proposed treatment system will need to be reassessed.

A STORM model per Melbourne Water guidelines was developed to demonstrate site adherence to the required stormwater treatment measures, the output parameters are detailed in figure 7 below.



### STORM Rating Report

TransactionID: 0  
 Municipality: MELTON  
 Rainfall Station: MELTON  
 Address: 775-799 High Street  
 Melton West  
 VIC 3337  
 Assessor:  
 Development Type: Commercial/Retail  
 Allotment Site (m2): 30,697.00  
 STORM Rating %: 104

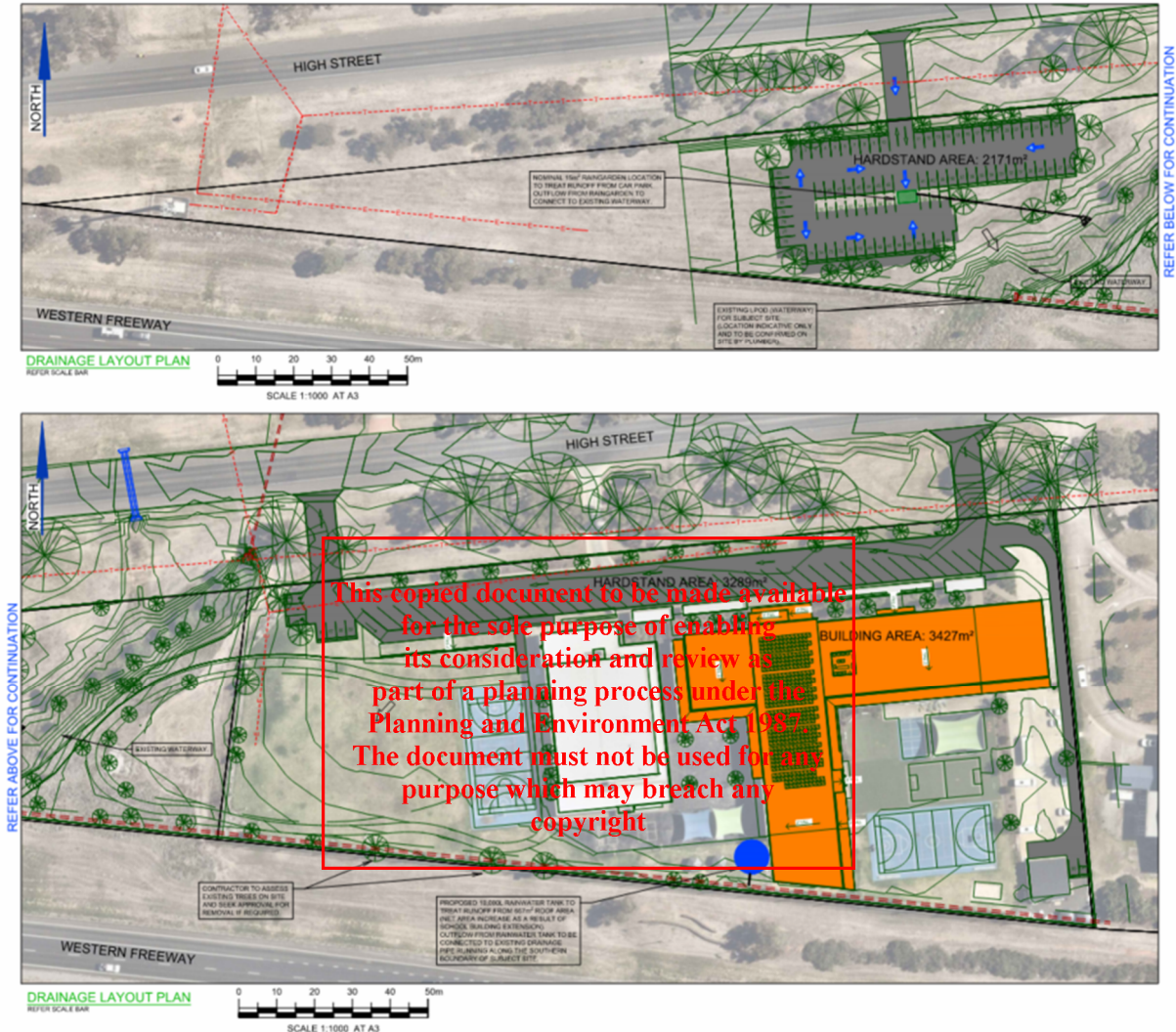
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Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
East Portion - Roof	667.00	Rainwater Tank	10,000.00	20	122.70	85.00
East Portion - Hardstand	29.00	Raingarden 100mm	0.00	0	0.00	0.00
West Portion - Hardstand	2,171.00	Raingarden 100mm	15.00	0	99.50	0.00

Figure 7 - STORM Model Outputs.

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Figure 8 below presents a screenshot of the proposed drainage plan, illustrating the assessed catchments input into the stormwater model along with the schematic treatment nodes. A detailed version of this plan is provided in Appendix D of this report.



**Figure 8 - STORM Model Input Catchments & Schematic Treatment Nodes.**

Given that detailed design of the internal stormwater network has not been undertaken at this stage of the development process, the building designer should give consideration to all requirements of AS3500, including provision of overflow and conveyance of overflow from the proposed systems.

## 4.2 Stormwater Conveyance

To facilitate the conveyance of stormwater outflows from the treatment nodes to the subject site's LPOD, it is proposed that an internal underground pipe network be designed and implemented. This network will need to work in conjunction with and where possible utilise the existing site stormwater network.

It is proposed that the development will continue to discharge to the site's existing LPOD, which is the Melbourne Water-managed waterway that traverses the site.

## 5 Conclusion & Recommendations

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The subject site stormwater objectives for the development of the site can achieve stormwater objectives by adopting a treatment train and new stormwater infrastructure.

The proposed development utilises the below proposed systems to manage the treatment requirements, which are inclusive of:

- A 10,000L rainwater tank near the extended school building, plumbed so that 20% (677m<sup>2</sup>) of the entire roof is drained to the tank, and utilised for water reuse and plumbed into toilets and outdoor use.
- Proposed hardstand area of car park to the west of the development to be directed to a 15m<sup>2</sup> raingarden.
- The increased hardstand area of 29m<sup>2</sup> following the east car park re-configuration will be accounted for through the above-mentioned treatment systems through minor over treatment.
- Subject site to remain to connected to the existing LPOD, the Melbourne Water-managed waterway traversing through the site and no works within the waterway area.

If required, refinement of modelling calculations should be completed for stormwater quality model during the detailed design phase. This will allow for optimised delivery requirements which can be tailored to meet specific development constraints that are raised as the development progresses.

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**Appendices A & B — Subject Site Location and Features & Proposed Development Layout**

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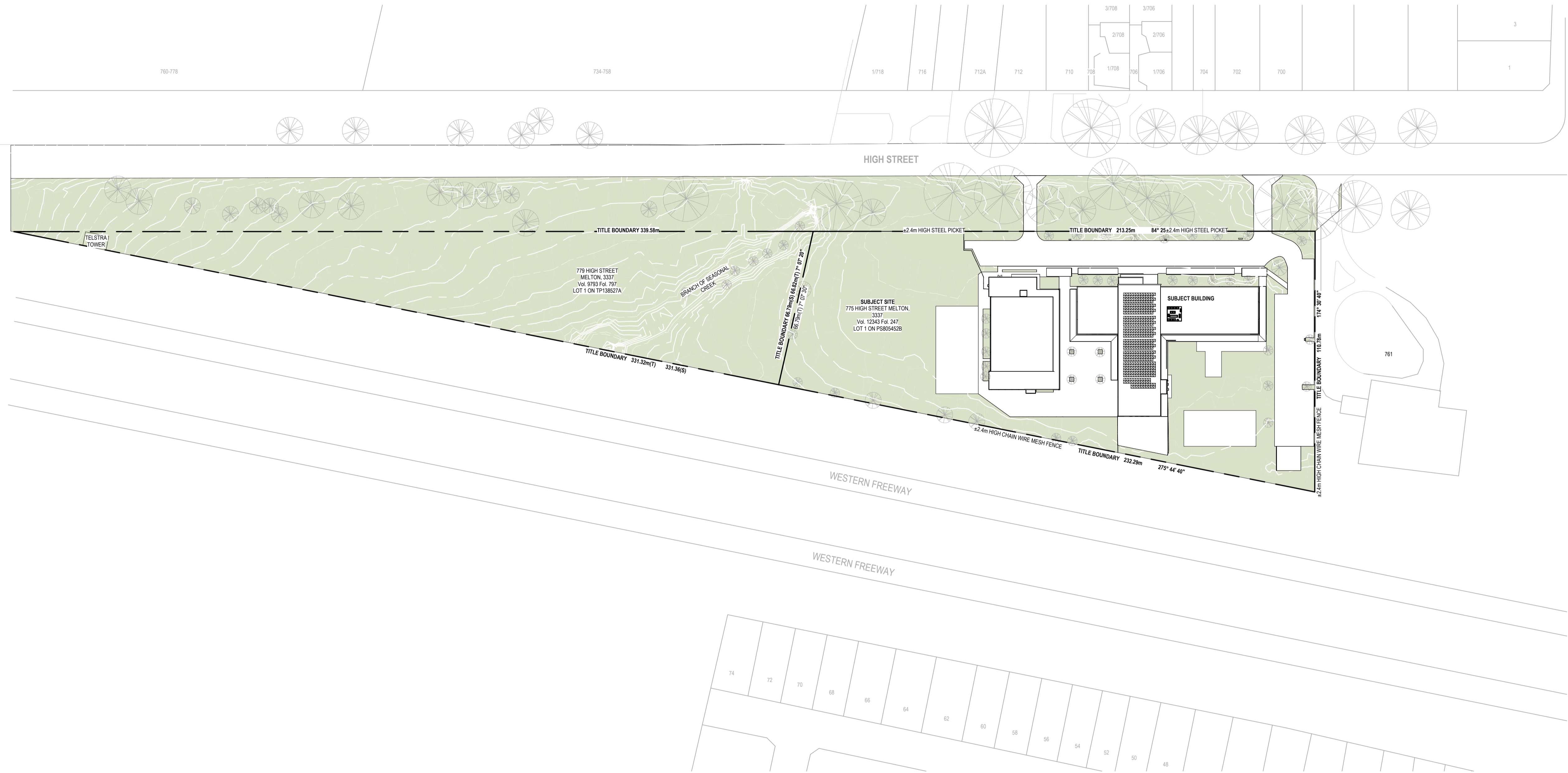
SHEET NO.	SHEET NAME
TP001	LOCALITY PLAN
TP002	EXISTING SITE PLAN
TP003	EXISTING GROUND FLOOR PLAN
TP004	EXISTING FIRST FLOOR PLAN
TP005	EXISTING ROOF PLAN
TP006	EXISTING ELEVATIONS
TP007	DEMOLITION SITE PLAN
TP008	DEMOLITION GROUND FLOOR PLAN
TP009	DEMOLITION FIRST FLOOR PLAN
TP010	DEMOLITION ELEVATIONS
TP011	PROPOSED SITE PLAN
TP012	PROPOSED SITE PLAN - CAR PARK AREA
TP013	PROPOSED GROUND FLOOR PLAN
TP014	PROPOSED FIRST FLOOR PLAN
TP015	PROPOSED ROOF PLAN
TP016	PROPOSED ELEVATIONS
TP017	PROPOSED 3D VIEW

PROJECT:  
OSG MELTON CAMPUS -  
ALTERATIONS AND ADDITIONS

ADDRESS:  
769-797 HIGH STREET, MELTON

FOR:  
ONESCHOOL MELTON CAMPUS

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LOCALITY PLAN  
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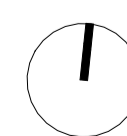
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Project Address: 769-797 HIGH STREET, MELTON

Client: ONESCHOOL MELTON CAMPUS

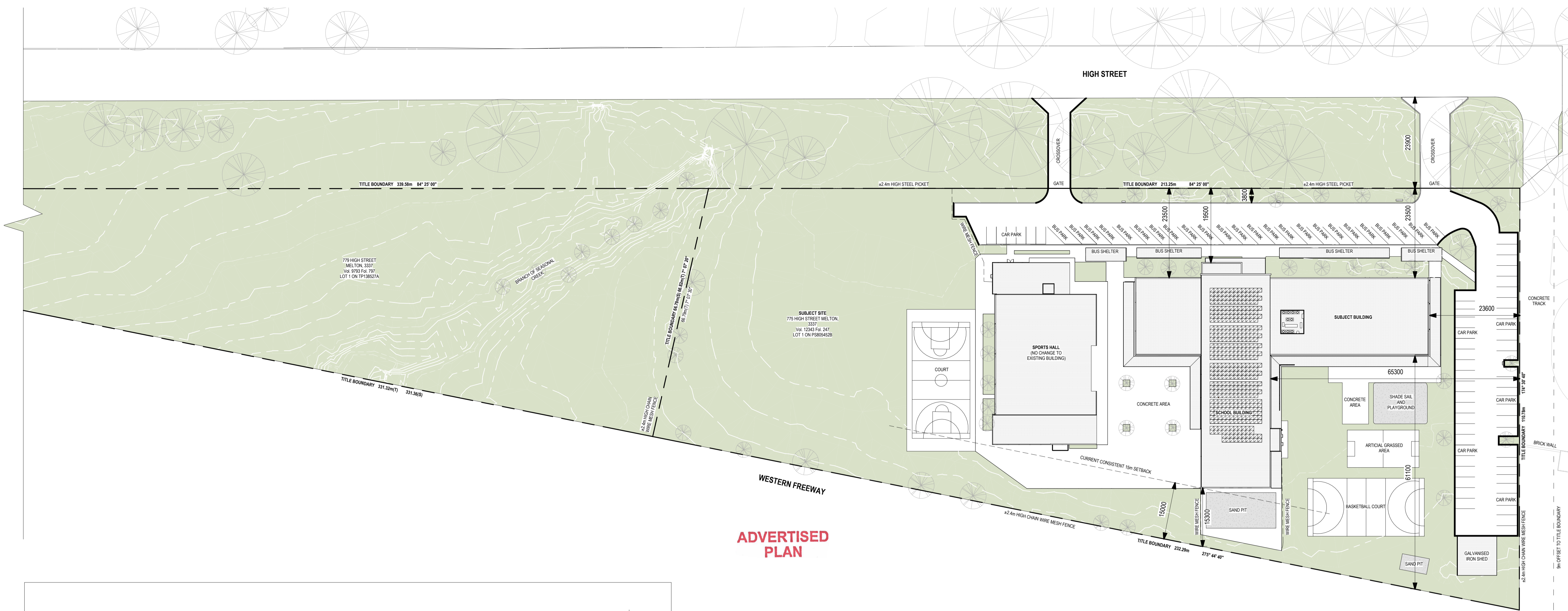
Project No: 42402 Sheet Title: LOCALITY PLAN

Project Stage: TOWN PLANNING Scale: 1:1000 @A1 Date: 17/07/2024 Drawn: IA Checked: DK

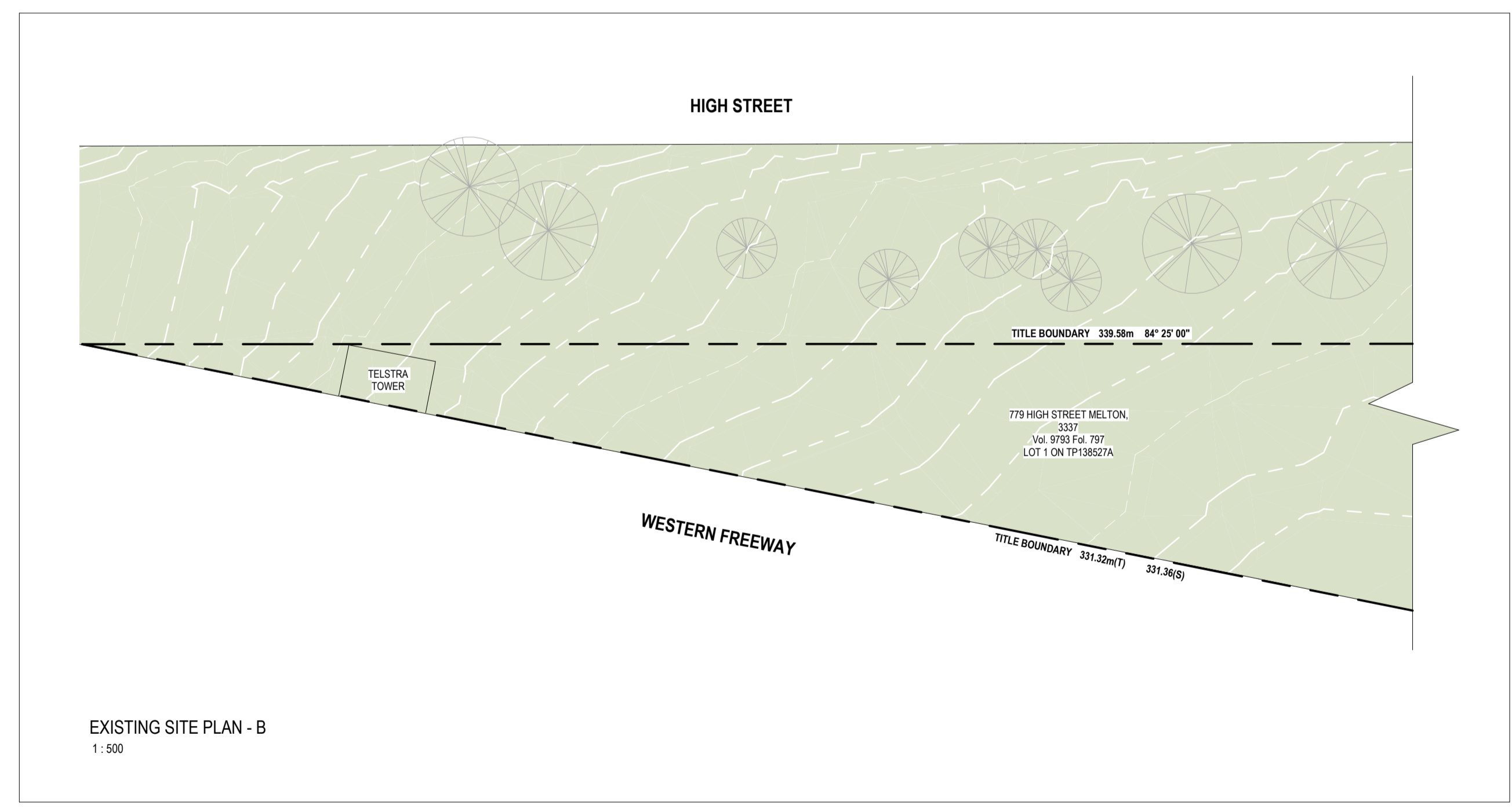


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EXISTING SITE PLAN - A  
1: 500

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EXISTING AREA SCHEDULE		
Name	Area	%
BUILDING FOOT PRINT	3331 m <sup>2</sup>	11%
NON - PERMEABLE AREA	7078 m <sup>2</sup>	24%
PERMEABLE AREA	19179 m <sup>2</sup>	65%
Grand total	29588 m <sup>2</sup>	100%

EXISTING BUILDING AREA		
Name	Area	%
FIRST FLOOR AREA	1855 m <sup>2</sup>	36%
GROUND FLOOR AREA	3339 m <sup>2</sup>	64%
Grand total	5195 m <sup>2</sup>	100%

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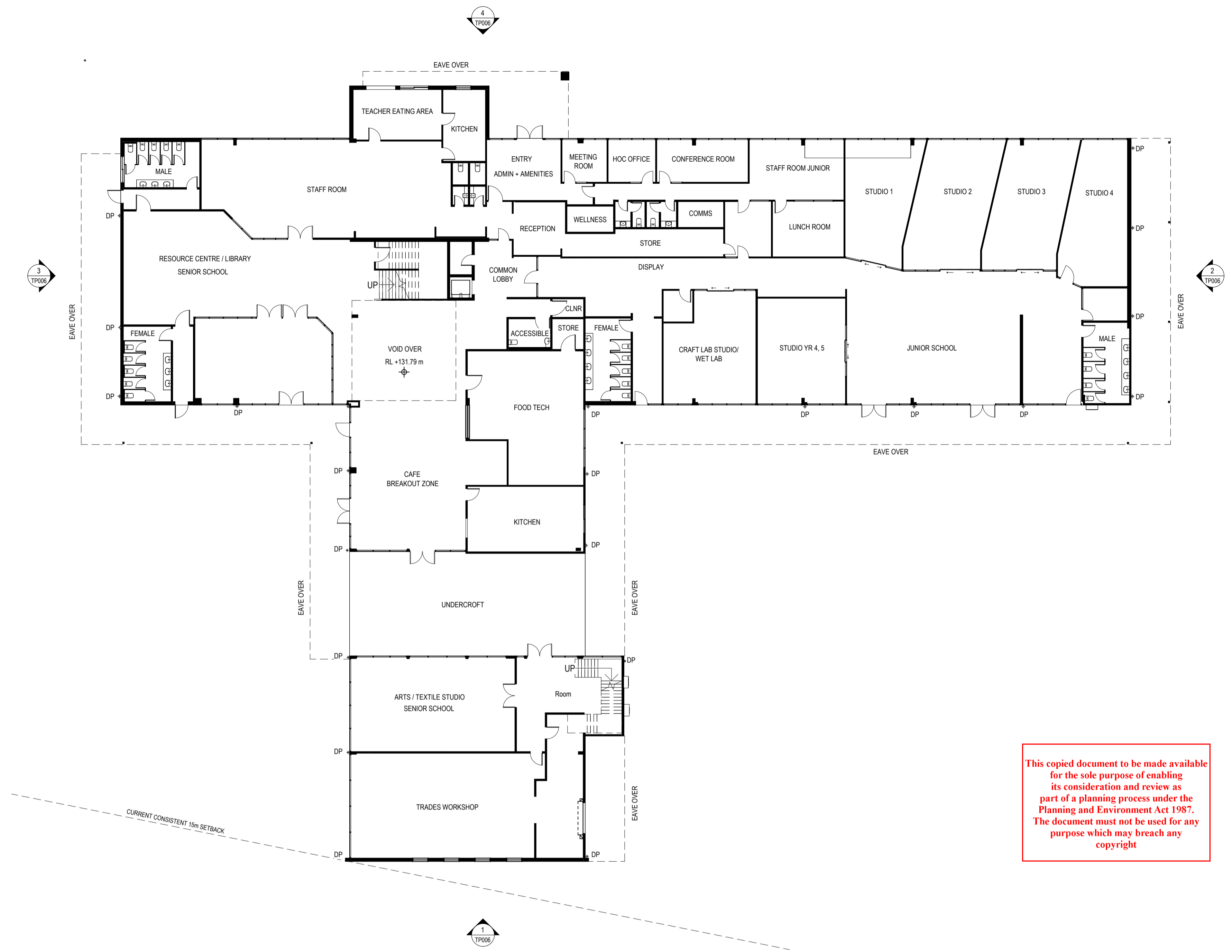
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 Project Address: 769-797 HIGH STREET, MELTON  
 Client: ONESCHOOL MELTON CAMPUS  
 Project No: 42402  
 Sheet Title: EXISTING SITE PLAN  
 Project Stage: TOWN PLANNING  
 Scale: 1: 500 @A1  
 Date: 17/07/2024  
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Project Description	OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS		
Project Address	769-797 HIGH STREET, MELTON		
Client	ONESCHOOL MELTON CAMPUS		
Project No.	42402	Sheet Title	EXISTING GROUND FLOOR PLAN
Project Stage	TOWN PLANNING	Scale	1 : 200 @A1
		Date	17/07/2024
		Drawn	IA
		Checked	DK

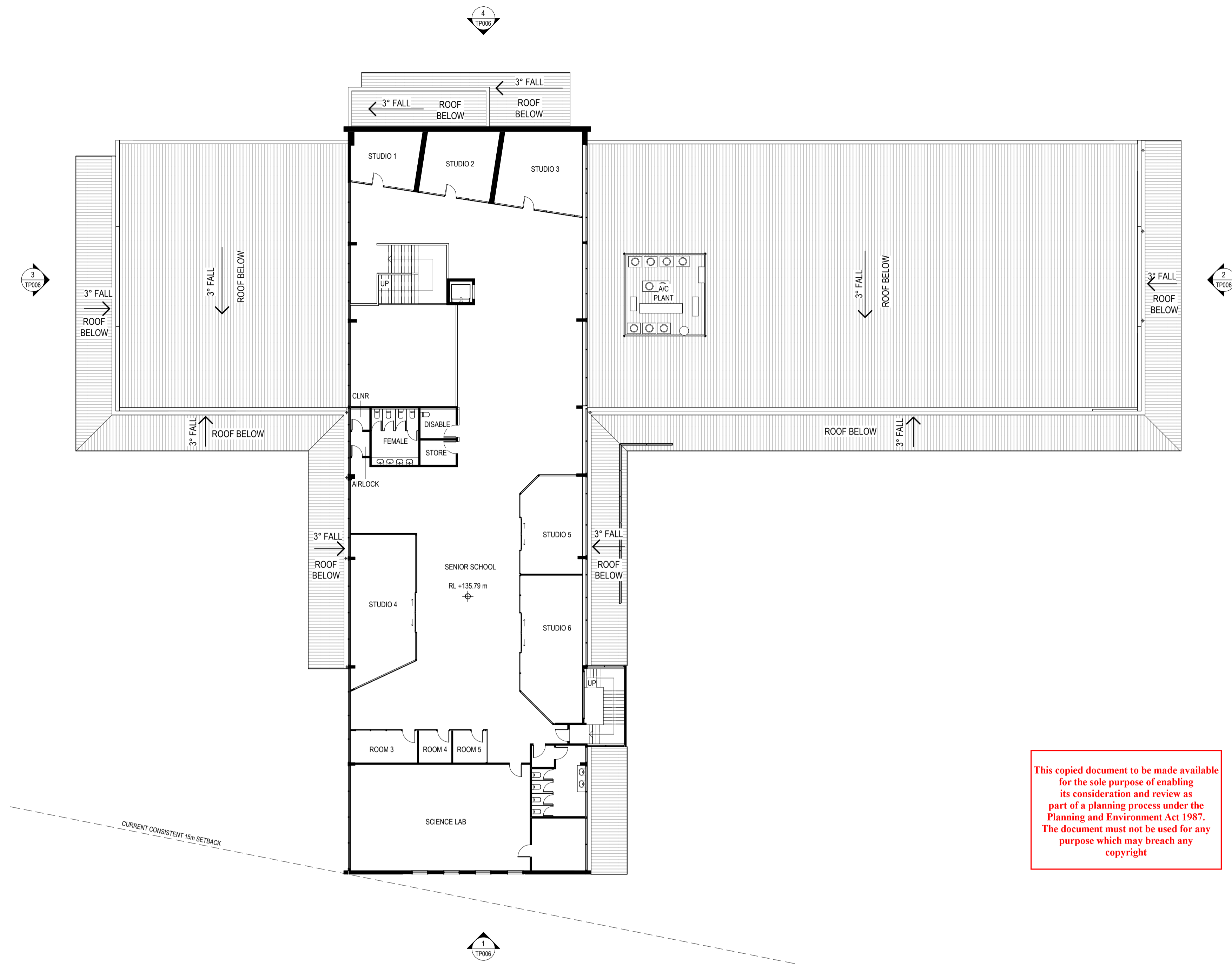
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Drawing No **TP003** Revision

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TITLE BOUNDARY 110.78m 174° 30' 40"

TITLE BOUNDARY 232.29m 275° 44' 40"

**TOWN PLANNING**

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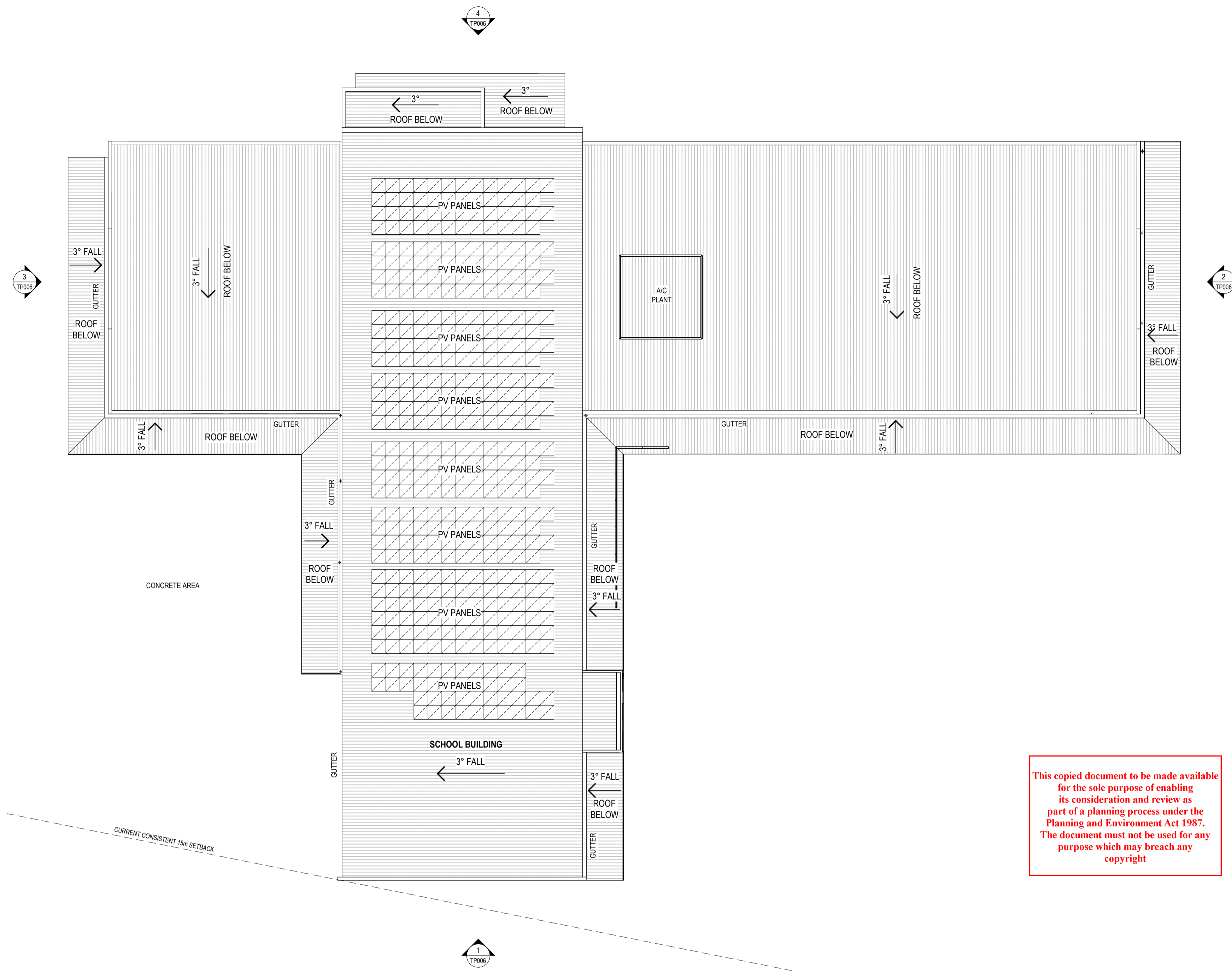
Project Description	OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS		
Project Address	769-797 HIGH STREET, MELTON		
Client	ONESCHOOL MELTON CAMPUS		
Project No.	42402	Sheet Title	EXISTING FIRST FLOOR PLAN
Project Stage	TOWN PLANNING	Scale	1 : 200 @A1
		Date	17/07/2024
		Drawn	IA
		Checked	DK

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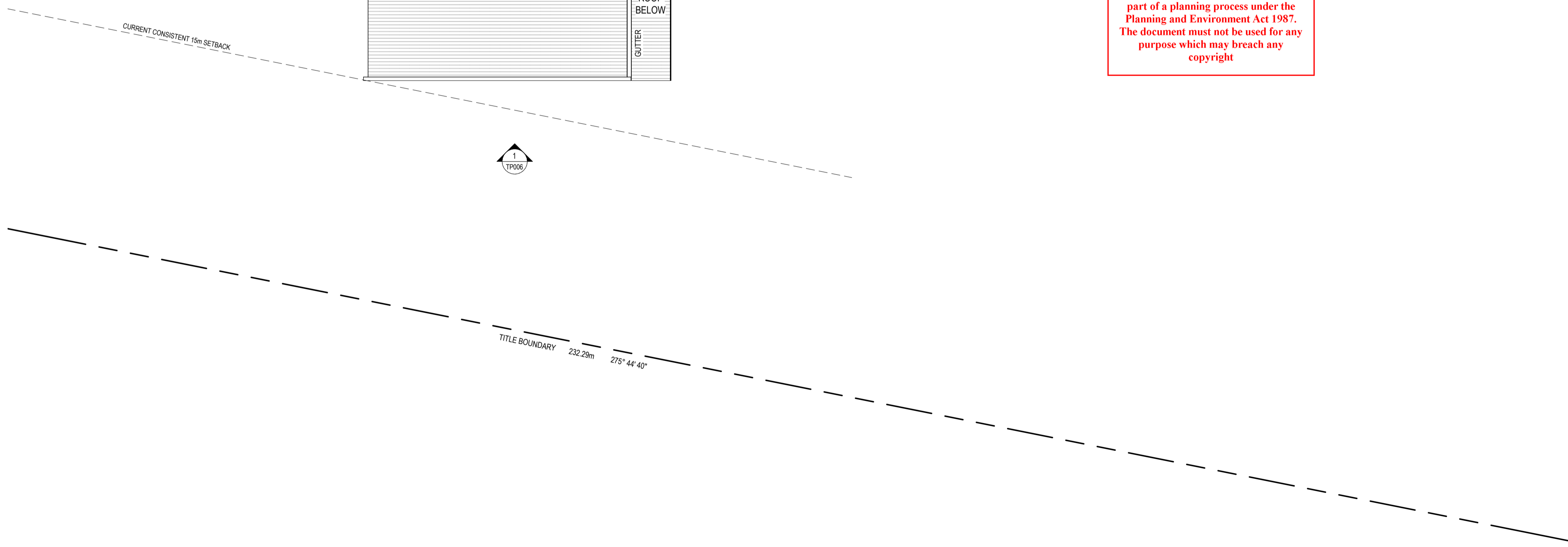
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**TOWN PLANNING**

Revision	Date	Description	Drawn	Checked

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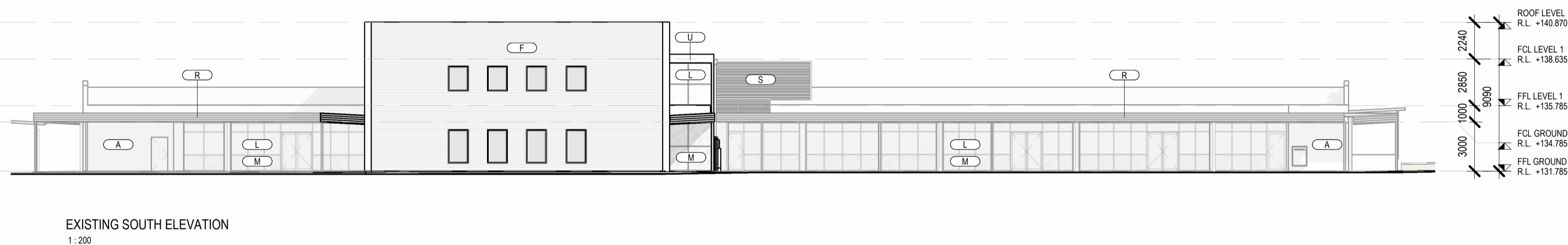
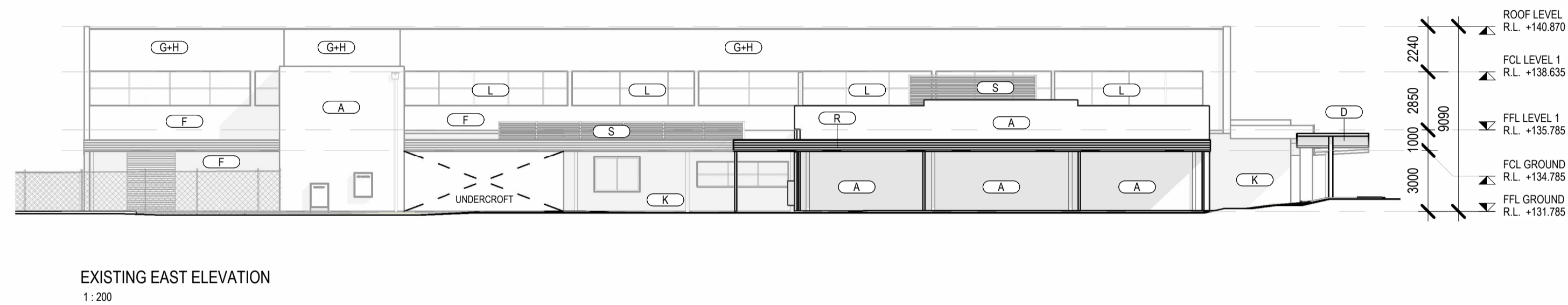
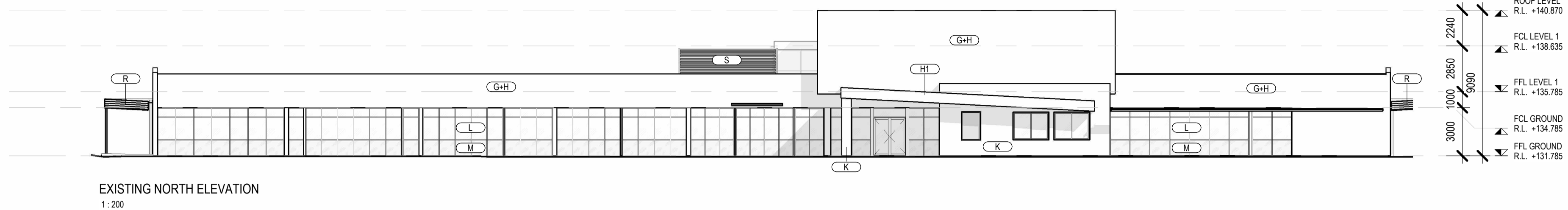
Project Description	OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS		
Project Address	769-797 HIGH STREET, MELTON		
Client	ONESCHOOL MELTON CAMPUS		
Project No.	42402	Sheet Title	EXISTING ROOF PLAN
Project Stage	TOWN PLANNING	Scale	1 : 200 @A1
		Date	17/07/2024
		Drawn	IA
		Checked	DK

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Drawing No **TP005** Revision



MATERIAL SCHEDULE		
Material Image	Mark	Material - Color
	A	Concrete Panels - Shale Grey
	B	Concrete Blocks - Shale Grey
	C	Concrete Blocks - Cement Grey
	D	Feature Frames - Monument
	F	Framed Walls - Monument
	G	Composite Panel - Silver Metallic
	H	Composite Panel - Dark Metallic
	J	Canopy / Bus Shelters - Monument
	K	Stone Mocha - Pearl Limestone
	L	Glazing - Grey
	M	Blockout Glazing - Grey
	N	Glazing Frames - Monument
	P	RDS'S & Trims - Monument
	Q	DP, Gutters, Capping - Monument
	R	Metal Fascia - Monument
	S	Louvre - Shale Grey
	T	Roof Sheetting - Shale Grey

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TOWN PLANNING

Revision	Date	Description	Drawn	Checked

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Project Description OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS

Project Address 769-797 HIGH STREET, MELTON

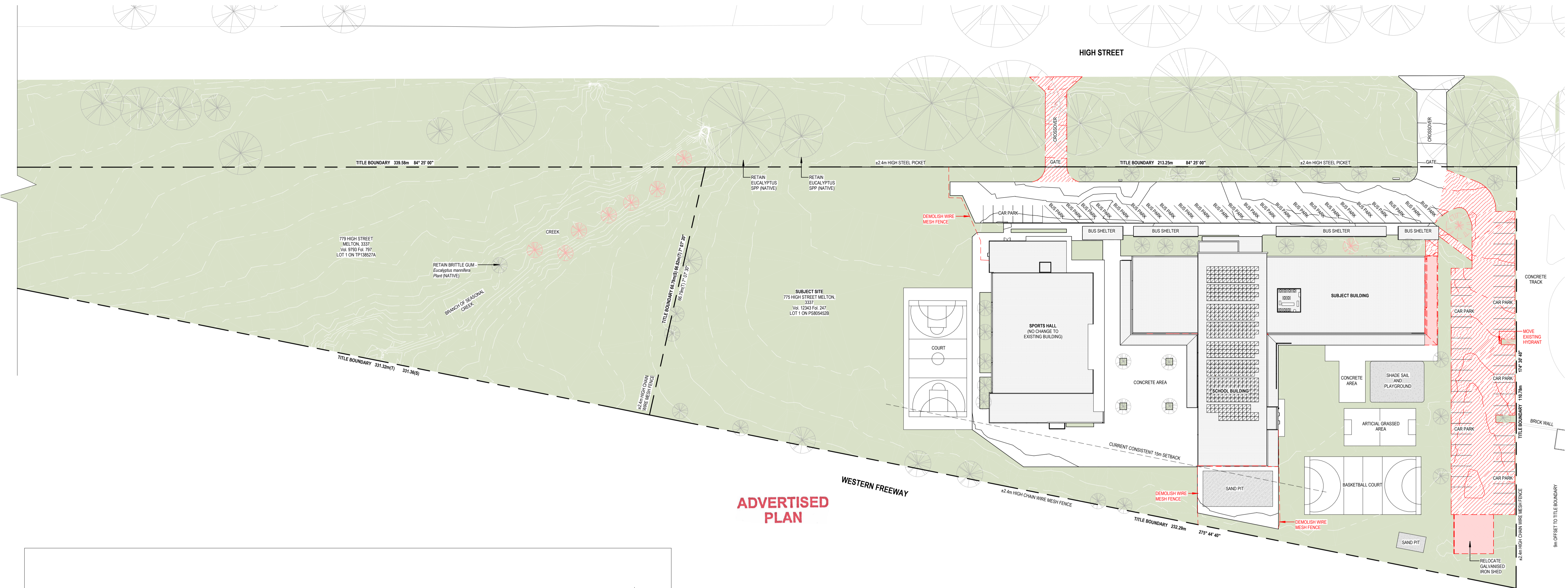
Client ONESCHOOL MELTON CAMPUS

Project No. 42402 Sheet Title EXISTING ELEVATIONS

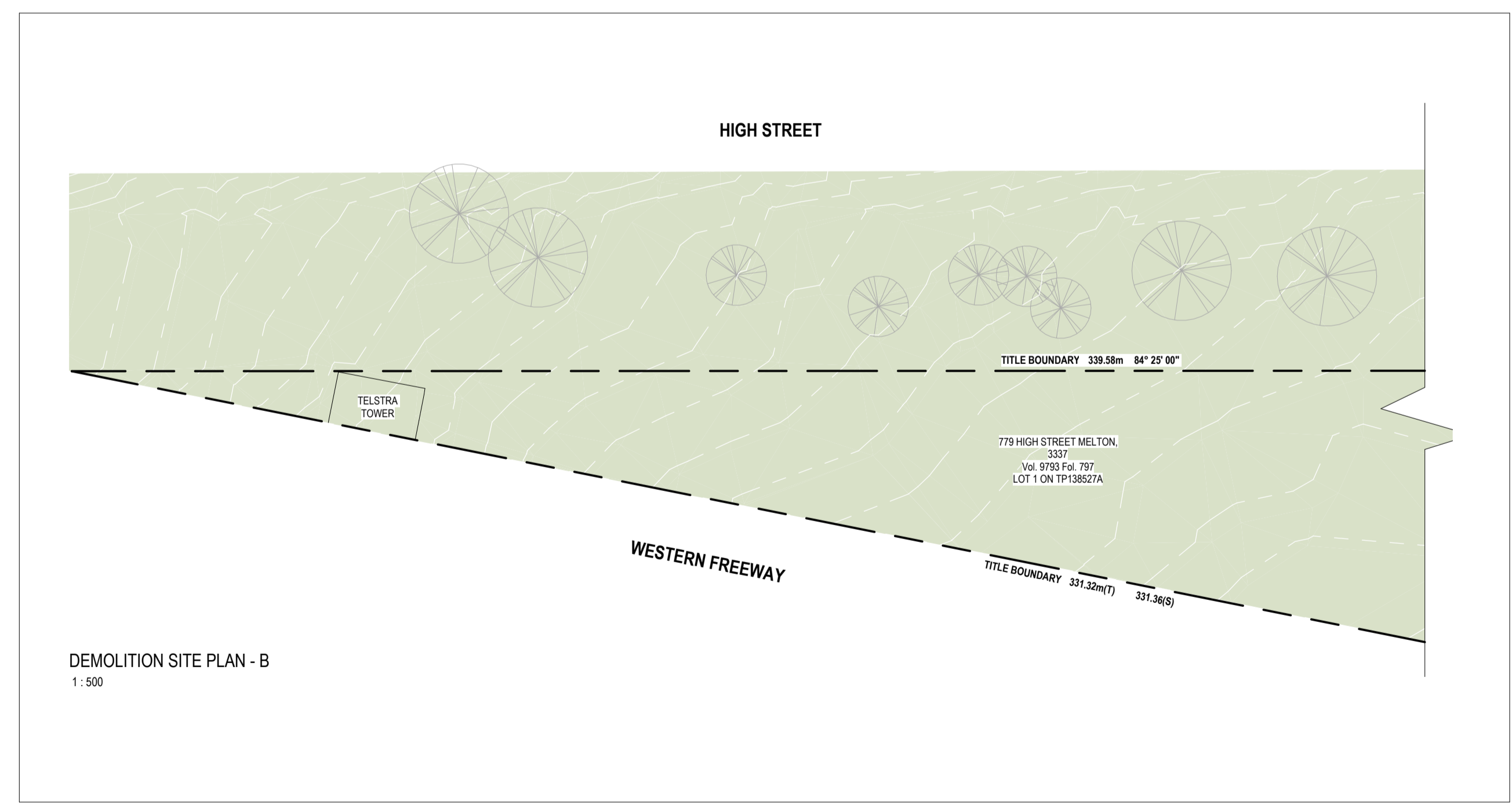
Project Stage TOWN PLANNING Scale 1:200 @A1 Date 17/07/2024 Drawn IA Checked DK

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Drawing No **TP006** Revision



**ADVERTISED PLAN**



DEMOLITION SITE PLAN - A  
1:500

DEMOLITION SITE PLAN - B  
1:500

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**LEGEND**

	EXISTING WALL / EXISTING COLUMN
	DEMOLISH

**TOWN PLANNING**

Revision	Date	Description	Drawn	Checked

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Project Description	OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS				
Project Address	769-797 HIGH STREET, MELTON				
Client	ONESCHOOL MELTON CAMPUS				
Project No.	42402	Sheet Title	DEMOLITION SITE PLAN		
Project Stage	TOWN PLANNING	Scale	As indicated @A1	Date	17/07/2024
		Drawn	IA	Checked	DK

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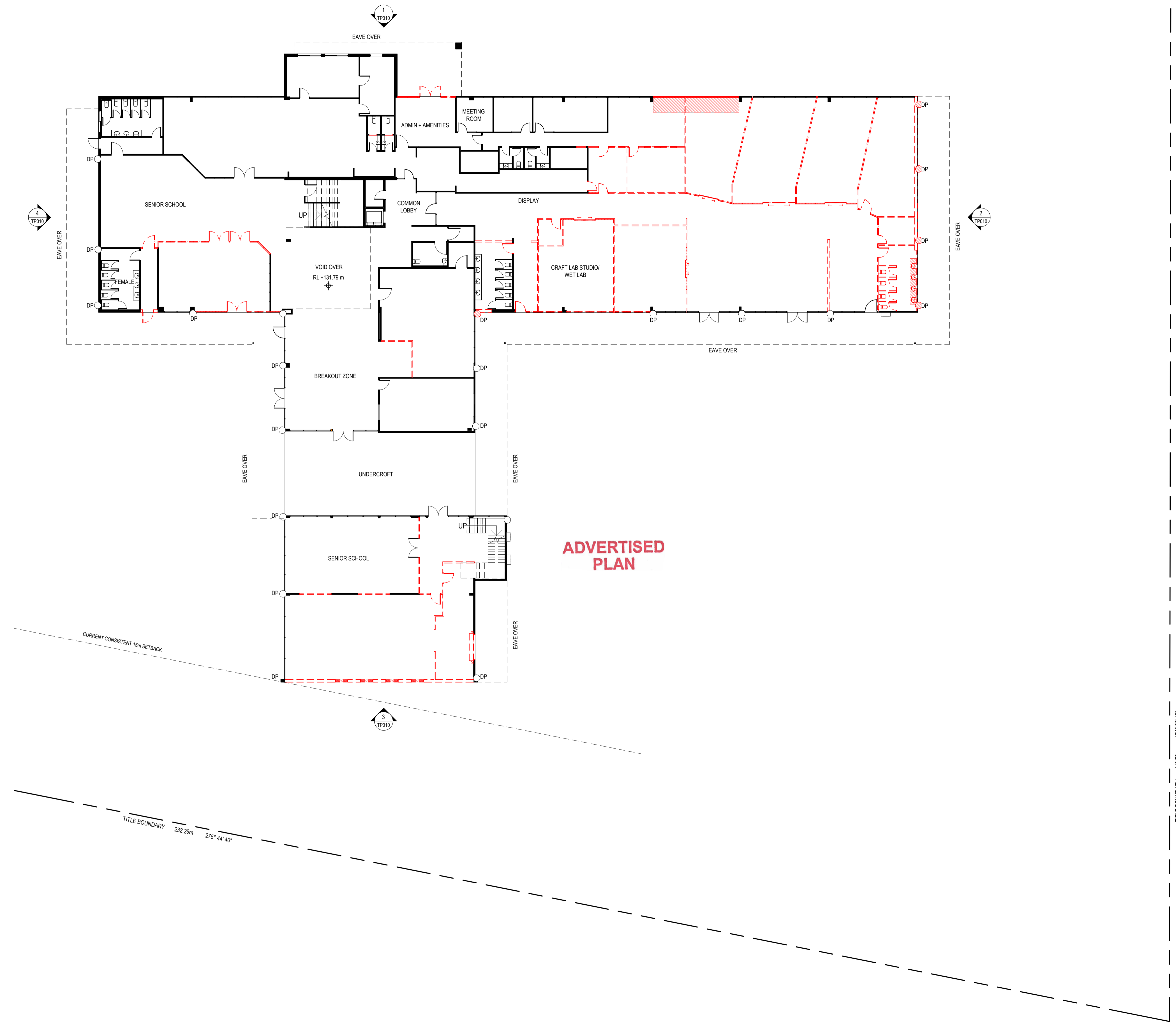
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Drawing No **TP007** Revision

**LEGEND**

- EXISTING WALL / EXISTING COLUMN
- DEMOLISH



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Revision	Date	Description	Drawn	Checked

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Project Description: OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS  
 Project Address: 769-797 HIGH STREET, MELTON  
 Client: ONESCHOOL MELTON CAMPUS  
 Project No.: 42402  
 Project Stage: TOWN PLANNING

Sheet Title: DEMOLITION GROUND FLOOR PLAN  
 Scale: As indicated @A1  
 Date: 17/07/2024  
 Drawn: IA  
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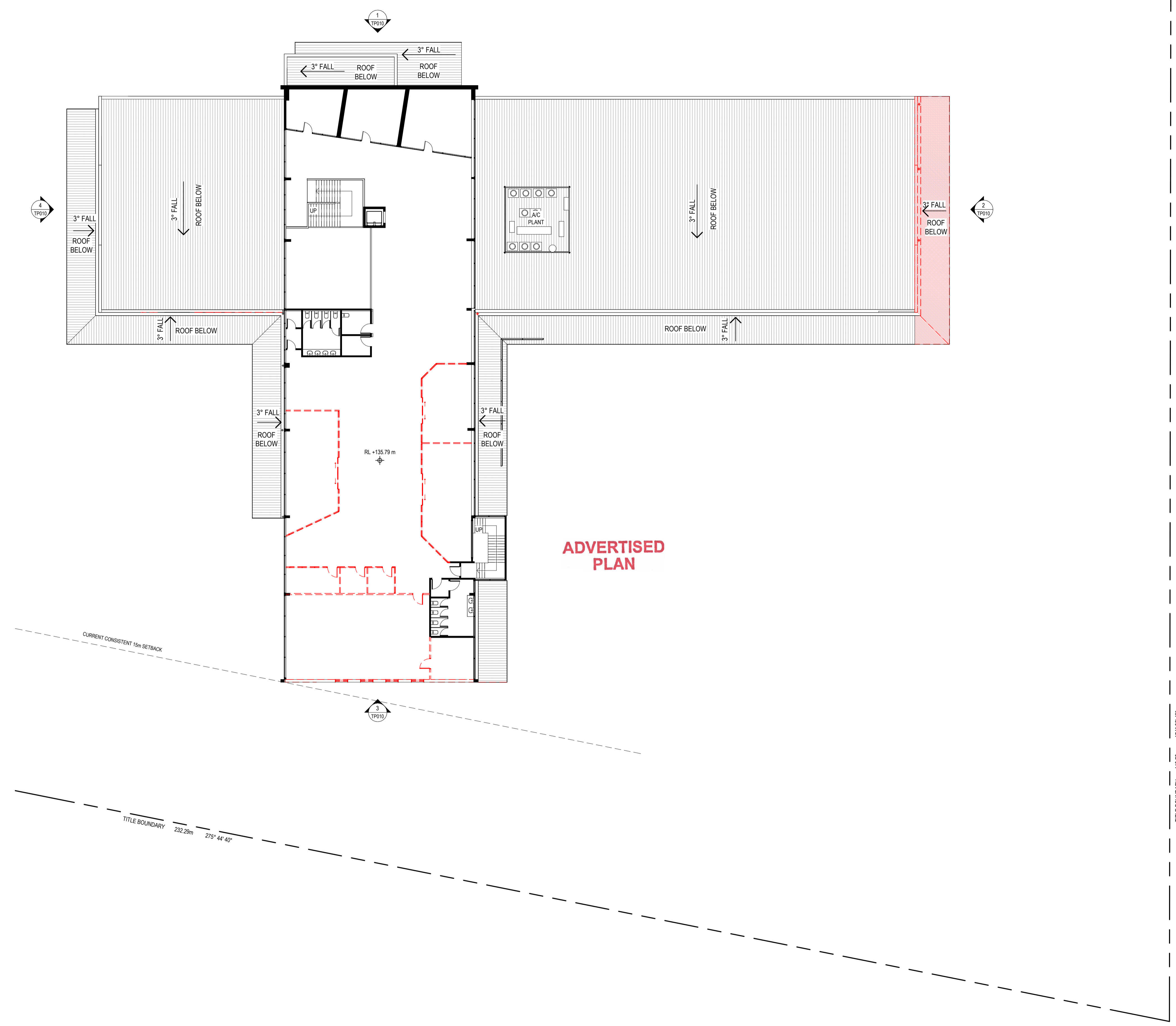
Drawing No: **TP008**  
 Revision

TITLE BOUNDARY 110.78m 174° 30' 40"

TITLE BOUNDARY 232.29m 275° 44' 40"

**LEGEND**

- EXISTING WALL / EXISTING COLUMN
- ▨ DEMOLISH



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**TOWN PLANNING**

Revision	Date	Description	Drawn	Checked

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Project Description: OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS  
 Project Address: 769-797 HIGH STREET, MELTON  
 Client: ONESCHOOL MELTON CAMPUS  
 Project No.: 42402  
 Project Stage: TOWN PLANNING

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Drawing No: **TP009** Revision: 1

Sheet Title: DEMOLITION FIRST FLOOR PLAN  
 Scale: As indicated @A1 Date: 17/07/2024 Drawn: IA Checked: DK

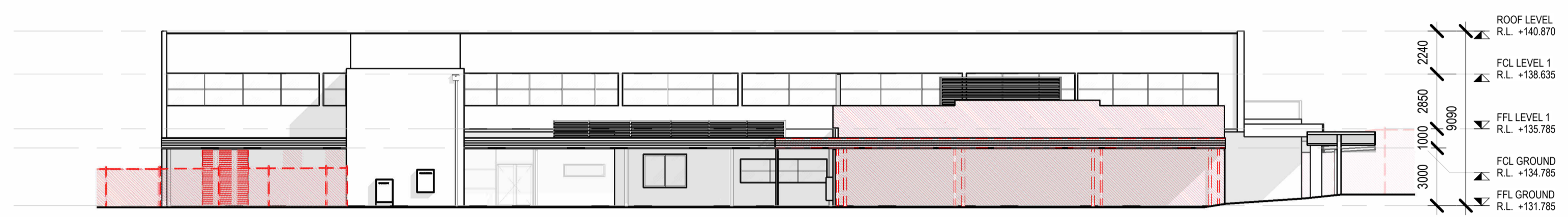
**LEGEND**

■ - EXISTING WALL / EXISTING COLUMN

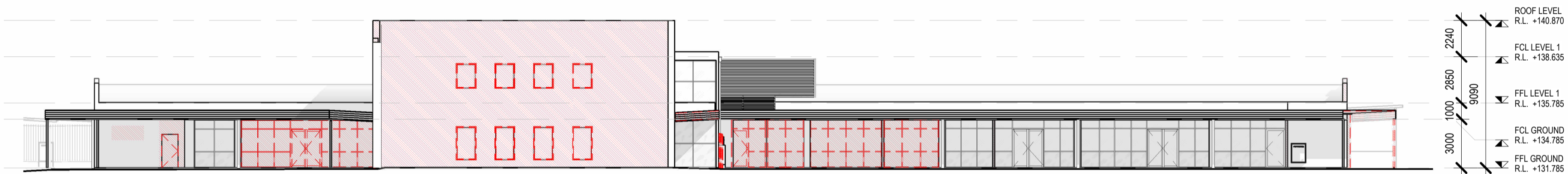
▨ - DEMOLISH



DEMOLITION NORTH ELEVATION  
1:200



DEMOLITION EAST ELEVATION  
1:200



DEMOLITION SOUTH ELEVATION  
1:200



DEMOLITION WEST ELEVATION  
1:200

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**TOWN PLANNING**

Revision	Date	Description	Drawn	Checked

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Project Description: OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS

Project Address: 769-797 HIGH STREET, MELTON

Client: ONESCHOOL MELTON CAMPUS

Project No: 42402

Project Stage: TOWN PLANNING

Sheet Title: DEMOLITION ELEVATIONS

Scale: As indicated @A1

Date: 17/07/2024

Drawn: IA

Checked: DK

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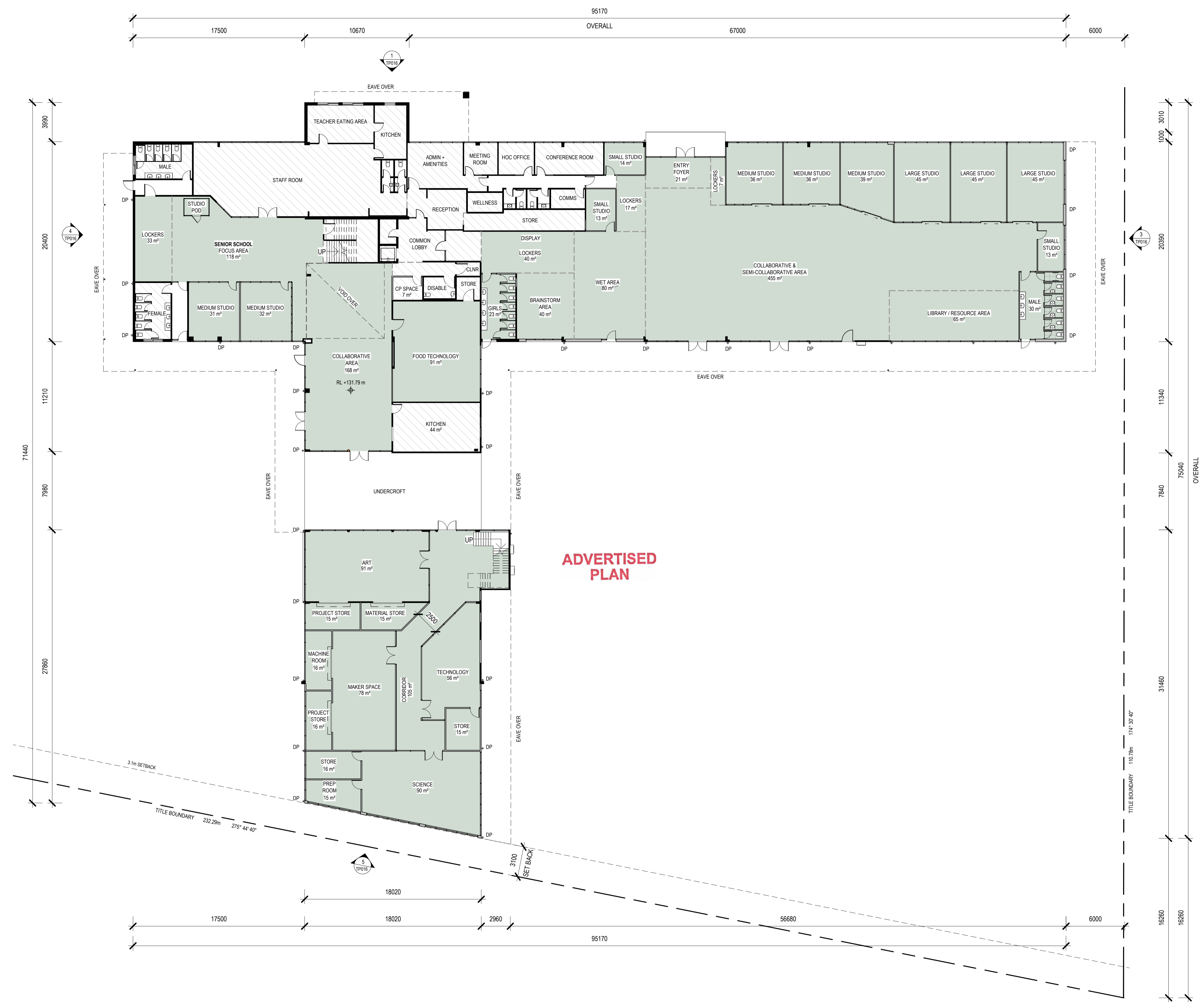
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Drawing No: **TP010**

Revision: \_\_\_\_\_

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**LEGEND**

FHGP - FULL HEIGHT GLAZED PARTITION  
 HHGP - HALF HEIGHT GLAZED PARTITION  
 FHGD - FULL HEIGHT GLAZED DOOR  
 FHSD - FULL HEIGHT SLIDING DOOR

■ - EXISTING WALL / EXISTING COLUMN  
 □ - NEW WALL

**AREA LEGEND**

■ - EDUCATIONAL FACILITIES / SCOPE OF WORK  
 ▨ - EXISTING SPACES, NO CHANGES

**TOWN PLANNING**

Revision	Date	Description	Drawn	Checked

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Project Description	OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS		
Project Address	769-797 HIGH STREET, MELTON		
Client	ONESCHOOL MELTON CAMPUS		
Project No.	42402	Sheet Title	PROPOSED GROUND FLOOR PLAN
Project Stage	TOWN PLANNING	Scale	As indicated @A1
		Date	17/07/2024
		Drawn	IA
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Drawing No **TP013** Revision

**LEGEND**

FHGP - FULL HEIGHT GLAZED PARTITION  
 HHGP - HALF HEIGHT GLAZED PARTITION  
 FHGD - FULL HEIGHT GLAZED DOOR  
 FHSD - FULL HEIGHT SLIDING DOOR

█ - EXISTING WALL / EXISTING COLUMN  
 □ - NEW WALL

**AREA LEGEND**

■ - EDUCATIONAL FACILITIES / SCOPE OF WORK  
 ▨ - EXISTING SPACES, NO CHANGES



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**ADVERTISED PLAN**

**TOWN PLANNING**

Revision	Date	Description	Drawn	Checked

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Project Description: OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS  
 Project Address: 769-797 HIGH STREET, MELTON  
 Client: ONESCHOOL MELTON CAMPUS  
 Project No: 42402  
 Project Stage: TOWN PLANNING

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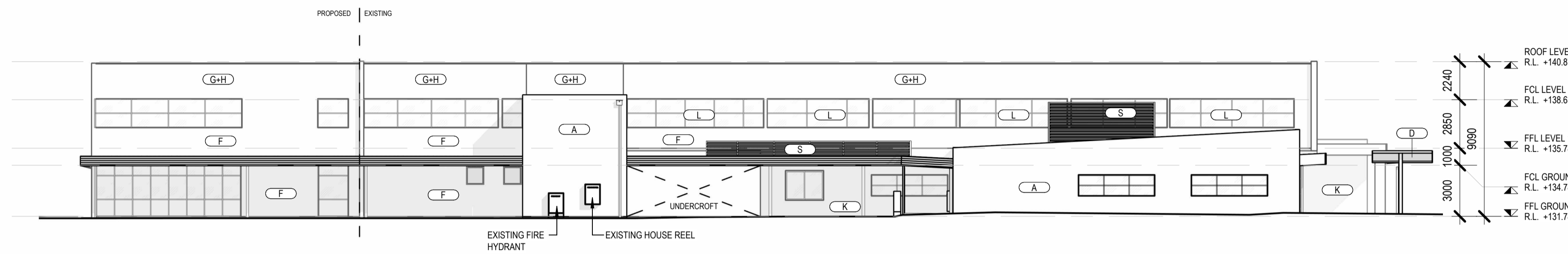
Drawing No: **TP014** Revision: **1**

Scale: As indicated @A1 Date: 17/07/2024 Drawn: IA Checked: DK





NORTH ELEVATION  
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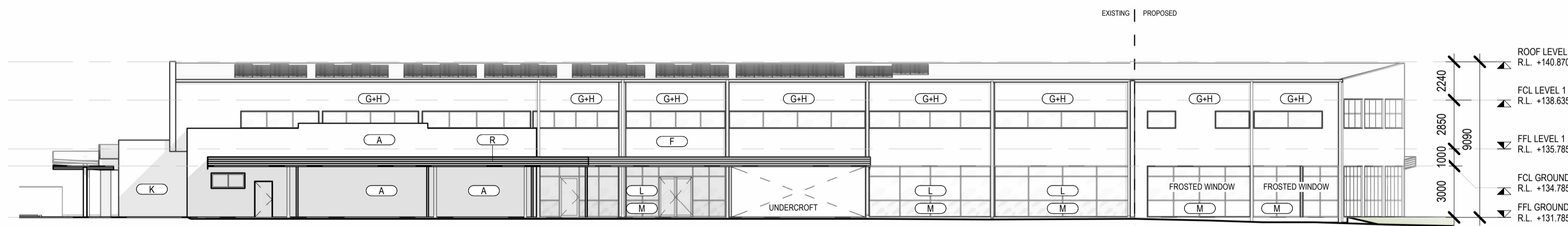


EAST ELEVATION  
1:200

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SOUTH WEST ELEVATION  
1:200



WEST ELEVATION  
1:200

MATERIAL SCHEDULE		
Material: Image	Mark	Material - Color
	A	Concrete Panels - Shale Grey
	B	Concrete Blocks - Shale Grey
	C	Concrete Blocks - Cement Grey
	D	Feature Frames - Monument
	F	Framed Walls - Monument
	G	Composite Panel - Silver Metallic
	H	Composite Panel - Dark Metallic
	J	Canopy / Bus Shelters - Monument
	K	Stone Mocha - Pearl Limestone
	L	Glazing - Grey
	M	Blockout Glazing - Grey
	N	Glazing Frames - Monument
	P	RDS'S & Trims - Monument
	Q	DP, Gutters, Capping - Monument
	R	Metal Fascia - Monument
	S	Louvre - Shale Grey
	T	Roof Sheetting - Shale Grey

## ADVERTISED PLAN

### TOWN PLANNING

Revision	Date	Description	Drawn	Checked

- GENERAL NOTES:**
- CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
  - DO NOT SCALE DRAWINGS. REFER TO FIGURED DIMENSIONS ONLY.
  - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION AND ANY PROVISIONS OR NOTES ON ANY ONE DRAWING SHALL BE TAKEN AS REFERRING TO ALL OTHER DRAWINGS, IF THEY ARE IN ANY WAY APPLICABLE.
  - REFER ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT FOR CLARIFICATION.
  - THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ANY RELEVANT ENGINEER'S AND CONSULTANTS DRAWINGS AND COMPUTATIONS.
  - DRAWINGS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT.
  - ALL WORKS MUST COMPLY WITH THE CURRENT EDITION OF THE NATIONAL CONSTRUCTION CODE AND ALL OTHER RELEVANT BY LAWS OF LOCAL AUTHORITIES.
  - WHERE AN ITEM IS USUAL OR NECESSARY OR REASONABLE OR PROPERLY INFERRED IN THE TYPE OF WORK GENERALISED IN THESE DOCUMENTS BUT NOT SPECIFICALLY MENTIONED, IT SHALL BE DEEMED TO BE INCLUDED.

Project Description: OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS

Project Address: 769-797 HIGH STREET, MELTON

Client: ONESCHOOL MELTON CAMPUS

Project No.: 42402 Sheet Title: PROPOSED ELEVATIONS

Project Stage: TOWN PLANNING Scale: 1:200 @A1 Date: 17/07/2024 Drawn: SH Checked: DK

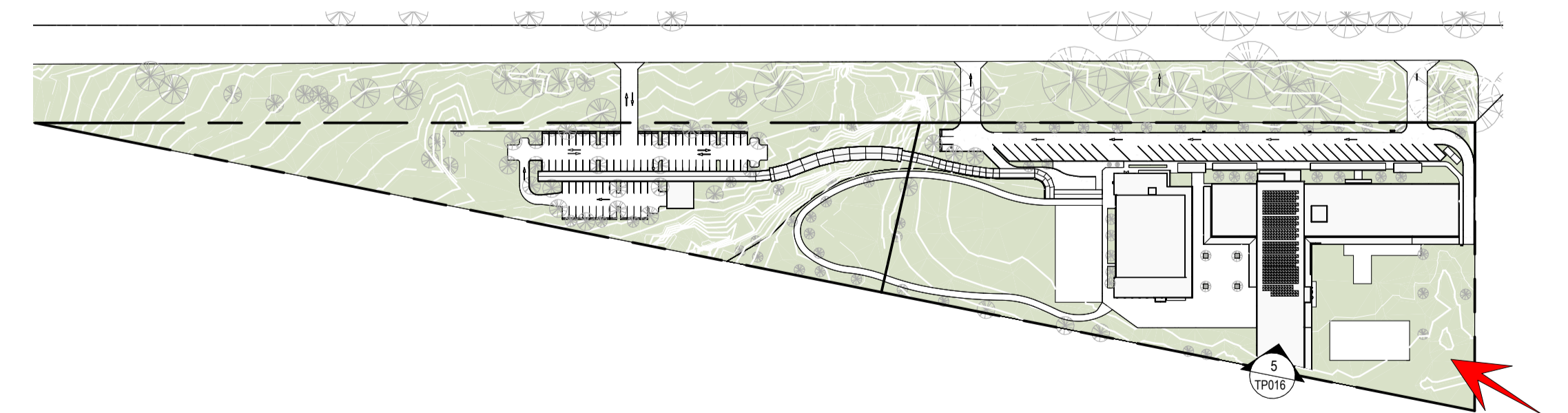
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**DETAILX**  
 9/120 CAMBRIDGE ST. COLLINGWOOD, VICTORIA 3066  
 E: PROJECTS@DETAILX.STUDIO T: (03)7067 6958

Drawing No: **TP016** Revision:



**ADVERTISED  
PLAN**

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**TOWN PLANNING**

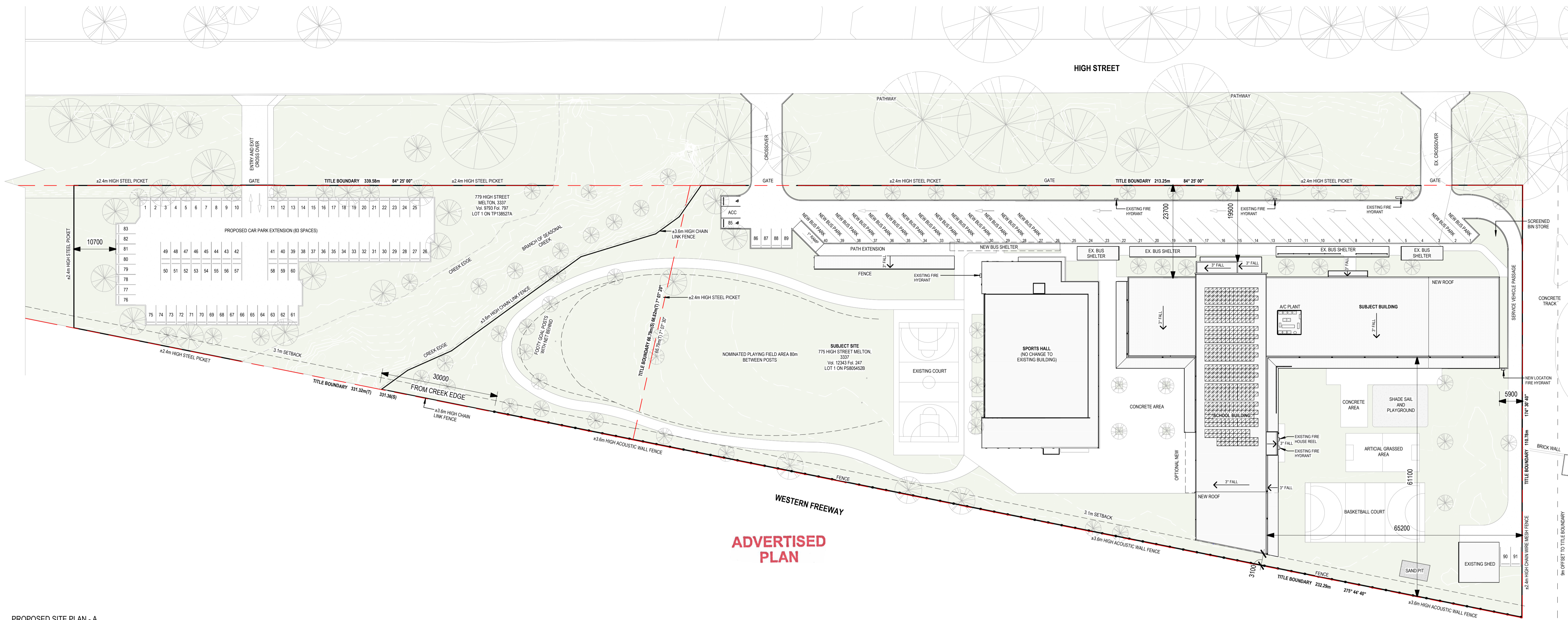
Revision	Date	Description	Drawn	Checked

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Project Description: OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS  
 Project Address: 769-797 HIGH STREET, MELTON  
 Client: ONESCHOOL MELTON CAMPUS  
 Project No.: 42402  
 Sheet Title: PROPOSED 3D VIEW  
 Project Stage: TOWN PLANNING  
 Scale: 1:2000 @A1  
 Date: 17/07/2024  
 Drawn: SH  
 Checked: DK

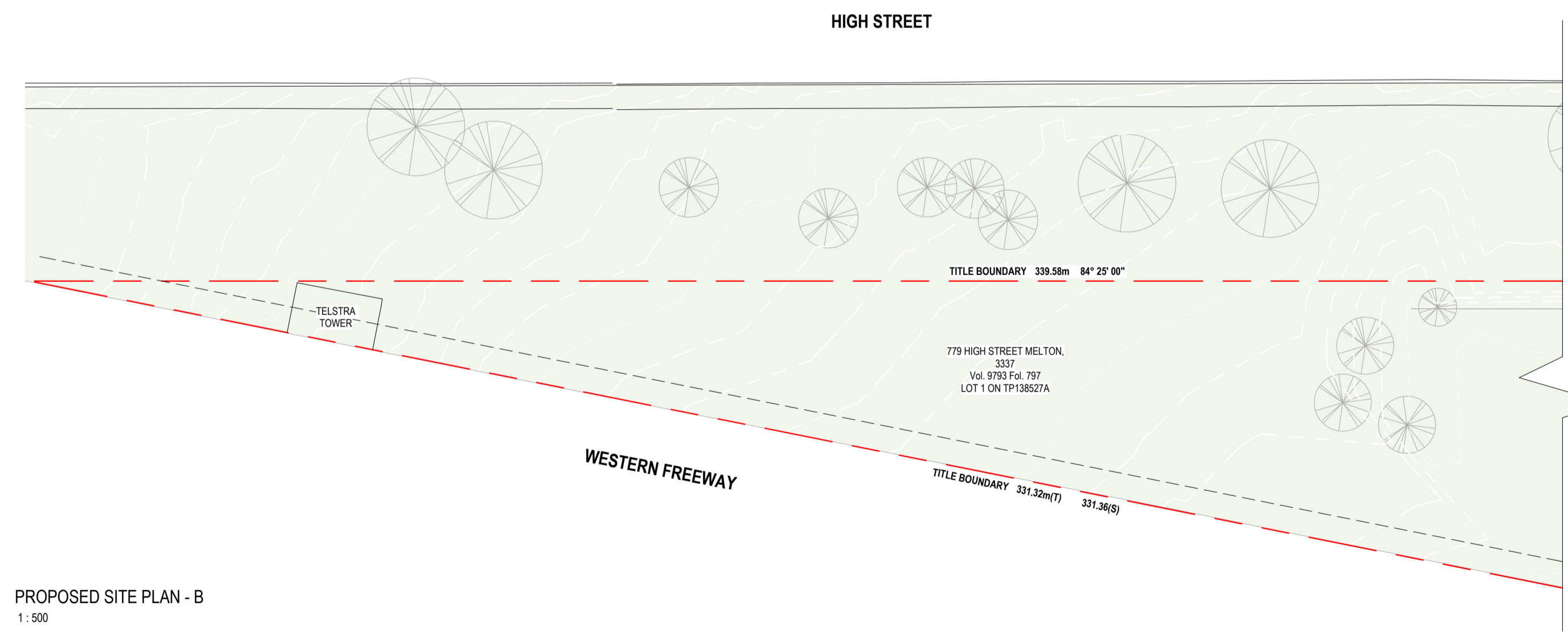
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Drawing No: **TP017** Revision:



**ADVERTISED PLAN**

PROPOSED SITE PLAN - A  
1:500



PROPOSED SITE PLAN - B  
1:500

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Project Description	OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS			
Project Address	769-797 HIGH STREET, MELTON			
Client	ONESCHOOL MELTON CAMPUS			
Project No.	42402	Sheet Title	SITE PLAN	
Project Stage	PRELIMINARY	Scale	1:500 @A1	
	Date	22/05/2025	Drawn	IA
	Checked	DK		

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Drawing No **A100** Revision

**PRELIMINARY**

Revision	Date	Description	Drawn	Checked

**ADVERTISED  
PLAN**

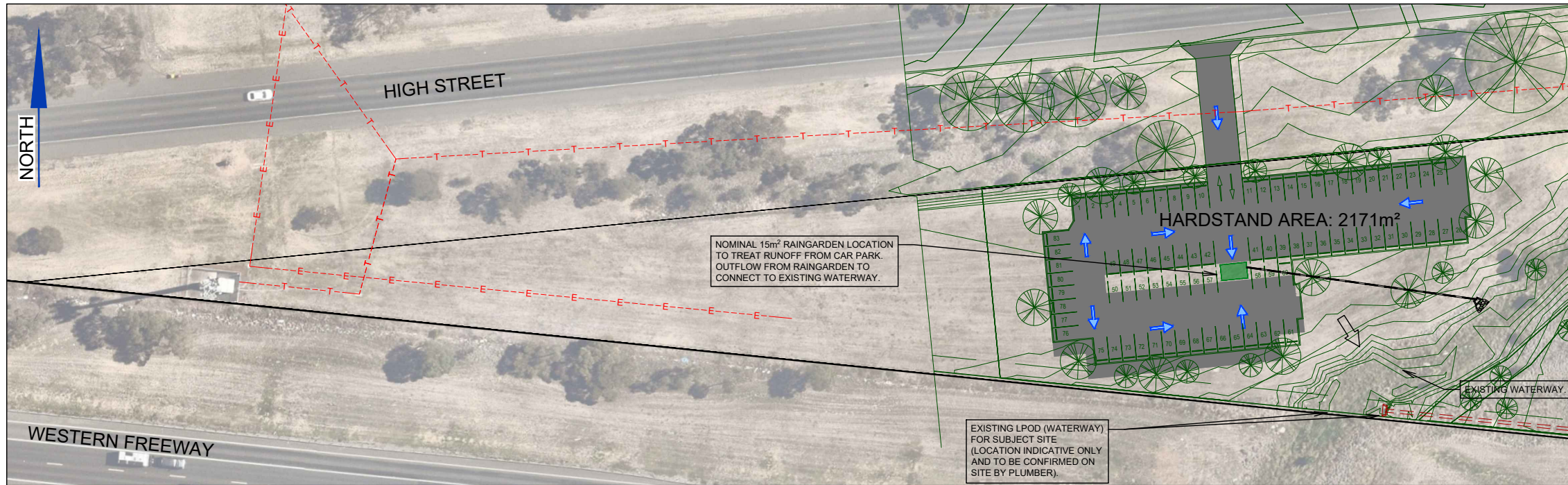
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## Appendix C – STORM Model Input Catchments & Schematic Treatment Nodes

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REFER BELOW FOR CONTINUATION

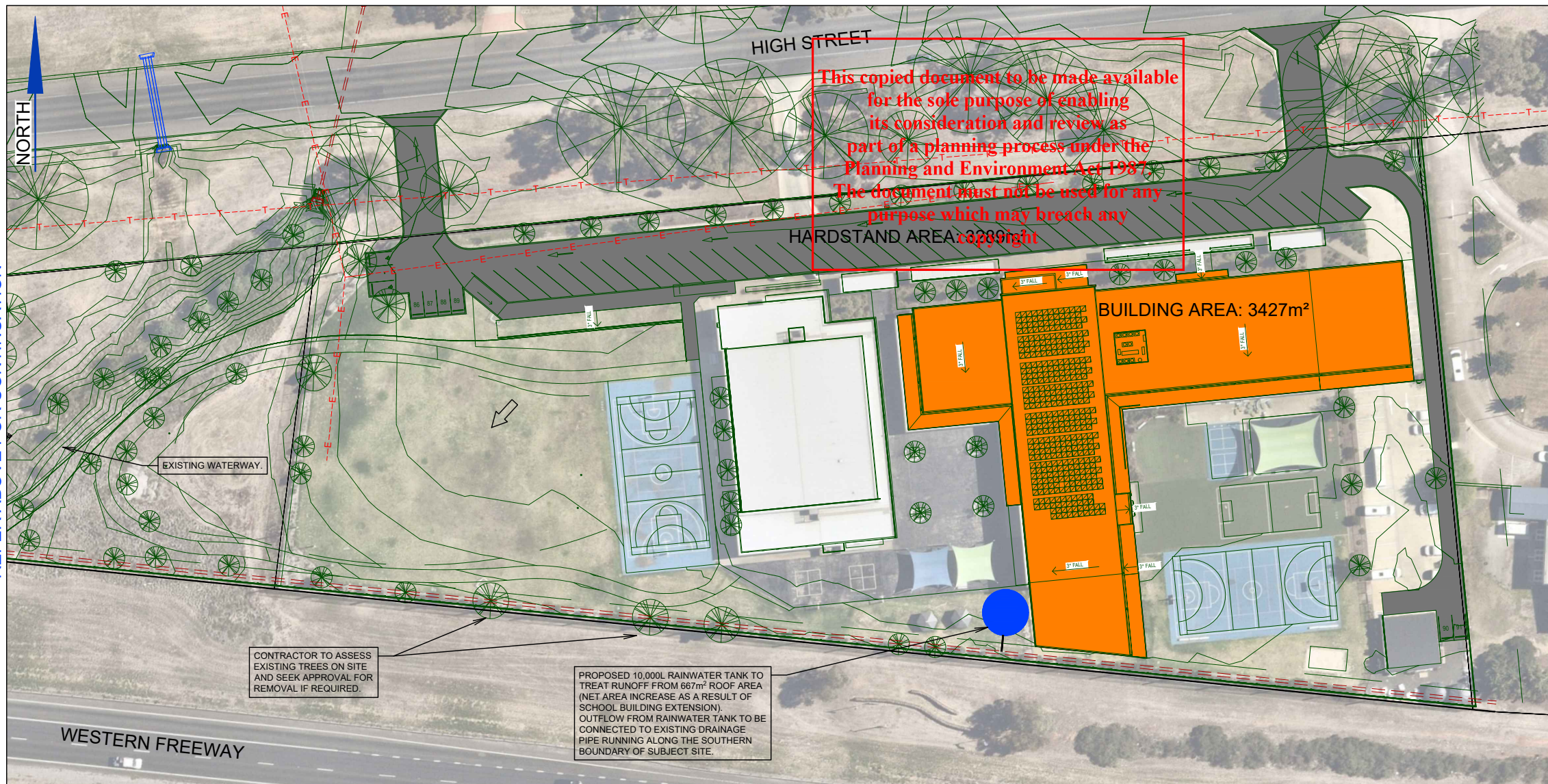
DRAINAGE LAYOUT PLAN		
775 - 779 HIGH ST		
MELTON, VIC, 3337		
DRAWN BY: S.ABDI	SCALE: 1:1000 @A3	CLIENT: SOLVE TOWN PLANNING
REV	ISSUED FOR	DATE
01	FOR INFORMATION	27/06/2025

**LEGEND**

EXISTING	
—	TITLE
—	ARCHITECTURAL/SURVEY FEATURES
—	STORMWATER DRAINAGE PIPE/PIT
—	MELBOURNE WATER ASSETS
—S—S—	SEWER
—E—E—	ELECTRICAL (U/G)
—O/H—E—	ELECTRICAL (O/H)
—T—T—	COMMS
—G—G—	GAS
—W—W—	WATER
PROPOSED	
—	STORMWATER DRAINAGE
←	LOT FALL ARROW
■	RAINGARDEN
●	RAINWATER TANK
■	ROOF
■	HARDSTAND
→	OVERLAND FLOW ARROW
■	ROCK BEACHING

NOTE  
REFER "OSG MELTON CAMPUS - ALTERATIONS AND ADDITIONS" BY DETAILX FOR SITE FEATURES AND DEVELOPMENT DETAILS.

NOTE  
ALL DRAINAGE WORKS WITHIN PRIVATE PROPERTY TO BE IN ACCORDANCE WITH AS3500.



REFER ABOVE FOR CONTINUATION

**PRELIMINARY DRAWING**  
NOT TO BE USED FOR CONSTRUCTION



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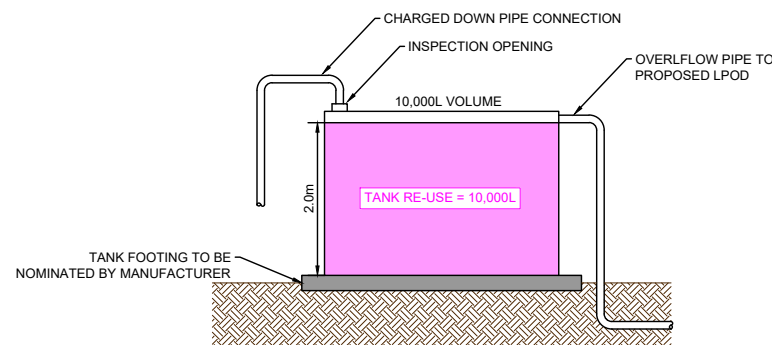
**DRAINAGE DETAILS**  
**775 - 779 HIGH ST**  
**MELTON, VIC, 3337**

DRAWN BY: S.ABDI    SCALE: N.T.S.    CLIENT: SOLVE TOWN PLANNING

REV	ISSUED FOR	DATE
01	FOR INFORMATION	27/06/2025

**ADVERTISED PLAN**

SITE IMPERVIOUS AREAS (m <sup>2</sup> )	
EXISTING - ROOF	2,760
EXISTING - HARDSTAND	3,260
PROPOSED - ROOF	3,427
PROPOSED - HARDSTAND EAST	3,289
PROPOSED - HARDSTAND WEST	2,171
NET - ROOF	667
NET - HARDSTAND EAST	29

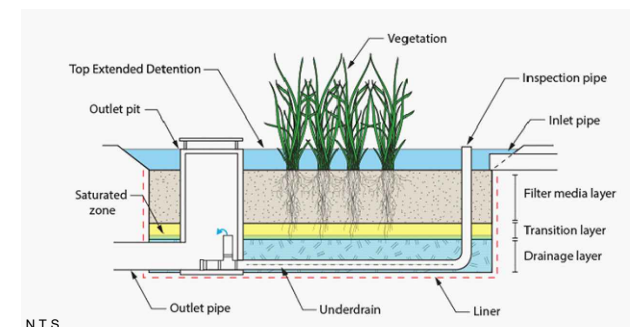


- RAINWATER TANK NOTES**
- RAINWATER TANK FOR LOT TO BE 10,000L, SOLELY RE-USE ZONE AS NOMINATED ABOVE.
  - TANK DIMENSIONS (EXCLUDING VOLUMES) SHOWN ABOVE ARE INDICATIVE ONLY AND NEED TO BE CONFIRMED BY A SUITABILITY QUALIFIED PERSON AFTER SELECTION OF RAINWATER TANK.
  - IF SELECTION OF RAINWATER TANK RESULTS IN DIMENSIONS THAT DIFFER TO WHAT IS SHOWN ABOVE, THE SIZE OF THE ORIFICE IS TO BE CONFIRMED BY A SUITABLY QUALIFIED PERSON.
  - VOLUMES NOMINATED NEED TO BE ACHIEVED PRIOR TO THE INVERT OF THE OVERFLOW PIPE.
  - THE ABOVE DETAIL IS USED TO DENOTE REQUIRED VOLUMES AND ARRANGEMENTS ONLY. ALL OTHER CONSTRUCTION ASPECTS OF THE RAINWATER TANK ARE TO BE AS DENOTED BY THE MANUFACTURER.
  - ALL HOUSEHOLD RAINWATER TANK CONNECTIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT STANDARDS, INCLUDING MCC 2022, AS/NZ 3500.3:2001 AND VBA TECHNICAL NOTES.

**RAINWATER TANK DETAIL**

N.T.S

**NOTE**  
 RAINWATER TANK LOCATION IS INDICATIVE ONLY. FINAL LOCATION SUBJECT TO BUILDING DESIGN, PLUMBING TO ENSURE 667m<sup>2</sup> (~20%) OF THE ROOF CATCHMENT IS DIRECTED TO THE TANK. TANK DESIGN ASSUMPTIONS TO BE RATIFIED DURING BUILDING DESIGN. SHOULD ANY DIMENSION VARY TO THOSE INDICATED ON THIS PLAN, THE BUILDING DESIGNER SHOULD CHECK FOR ANY CHANGE TO TANK HYDRAULIC CALCULATIONS.



N.T.S.

**RAINGARDEN DETAIL**

**BIO-MEDIA COMPOSITION**

- UNSATURATED ZONE = FILTER MEDIA (450mm)
- TRANSITION LAYER = COURSE SAND (100mm)
- DRAINAGE LAYER = FINE AGGREGATE (150mm)
- EXTENDED DETENTION DEPTH = 100mm

\*REFER ADOPTION GUIDELINES FOR BIOFILTRATION SYSTEMS (CRC FOR WATER SENSITIVE CITIES 2022)

\*RAINGARDEN VEGETATION SHALL BE SELECTED AND PLANTED IN ACCORDANCE WITH MELBOURNE WATER SPECIFICATION AND BIORETENTION SYSTEMS IN DEVELOPMENT SERVICES SCHEME GUIDELINE.

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