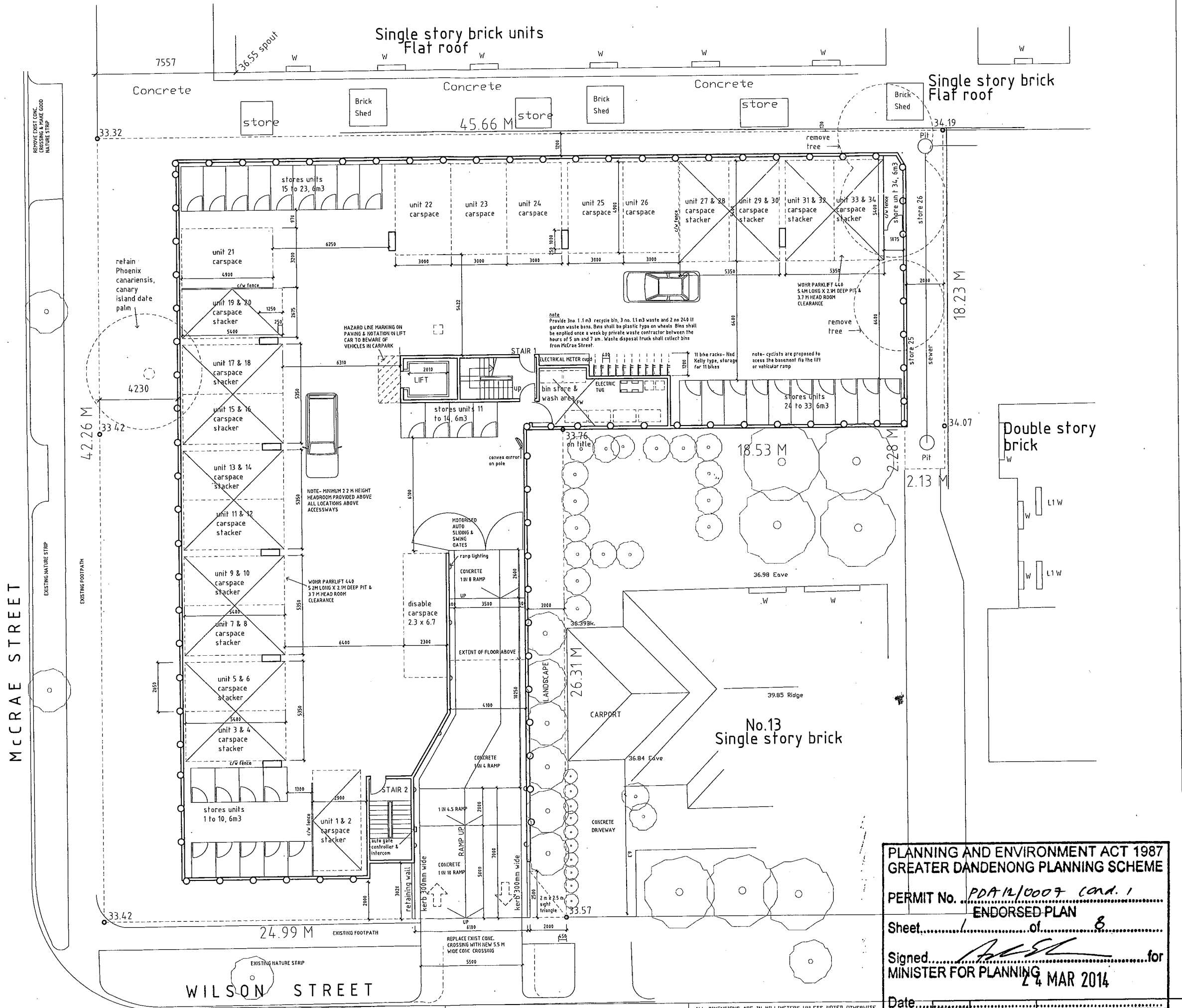


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PLANNING AND ENVIRONMENT ACT 1987
 GREATER DANDENONG PLANNING SCHEME
 PERMIT No. *PDA12/0007 (cont. 1)*
ENDORSED PLAN
 Sheet *1* of *8*
 Signed *[Signature]* for
 MINISTER FOR PLANNING
 24 MAR 2014
 Date

SUB-GROUND FLOOR PLAN 1:100

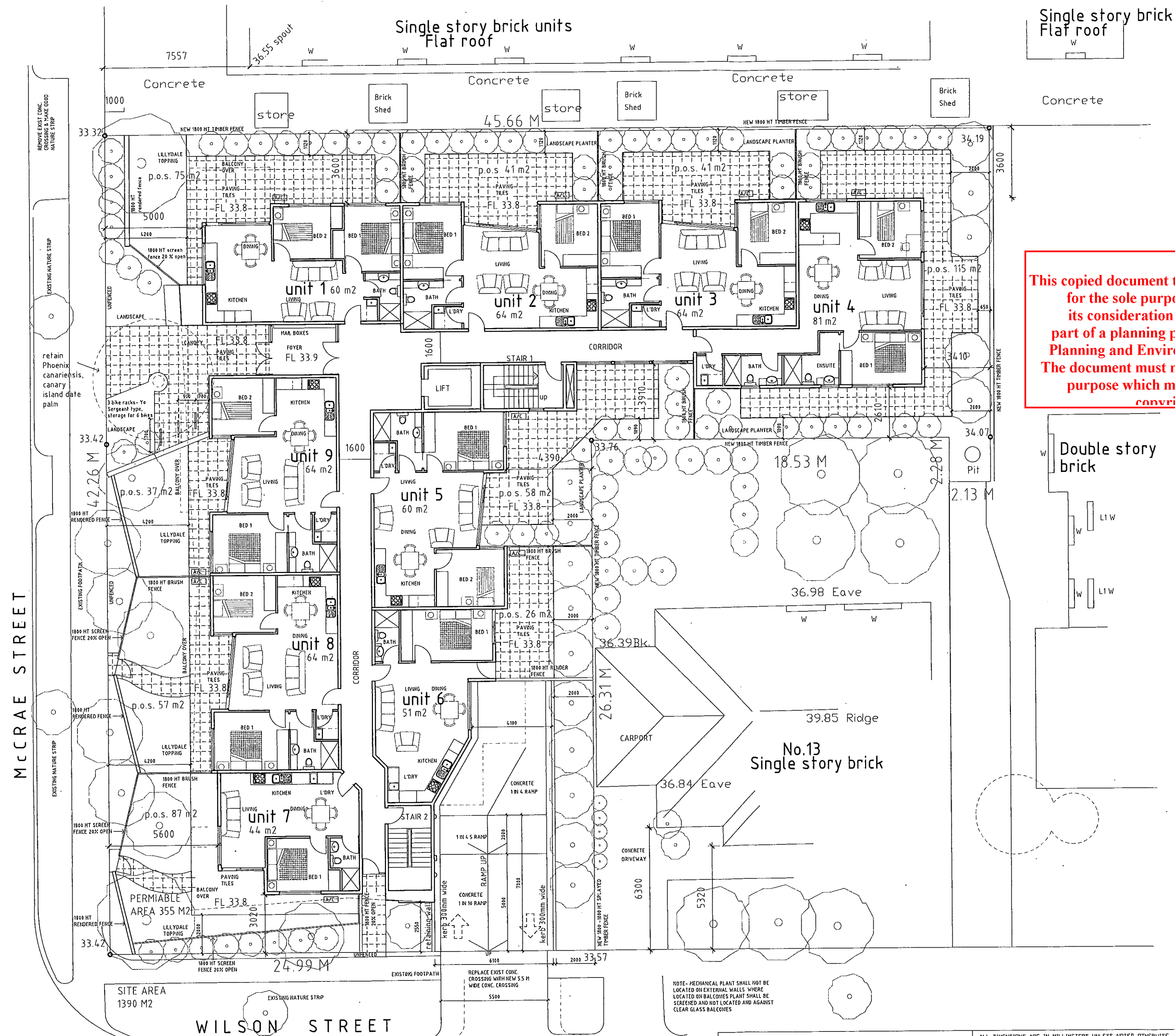
REVISION "B" - General revision to plans to comply with Planning Permit Conditions 1a, 1b, 1c, dated 17/7/13 1d, 1e, 1f, 1g, 1h, 1i, 1j, 1k, 1l, 1m and 1n

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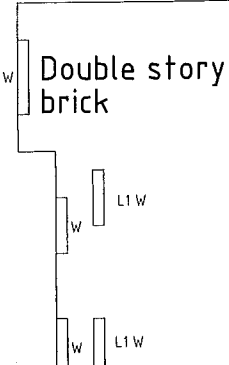
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DATE 14/7/12
 SCALE 1:100
 DWG A01
 REV. B

NEW APARTMENT BUILDING AT
 69-71 Mc CRAE ST. DANDENONG,
 VIC.
 DESIGNORAMA PTY. LTD. FRANK TARABORRELLI
 ARCHITECT reg no. 4385 ph 0422 248 304



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ADVERTISED PLAN

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24 MAR 2014

GROUND FLOOR PLAN 1:100

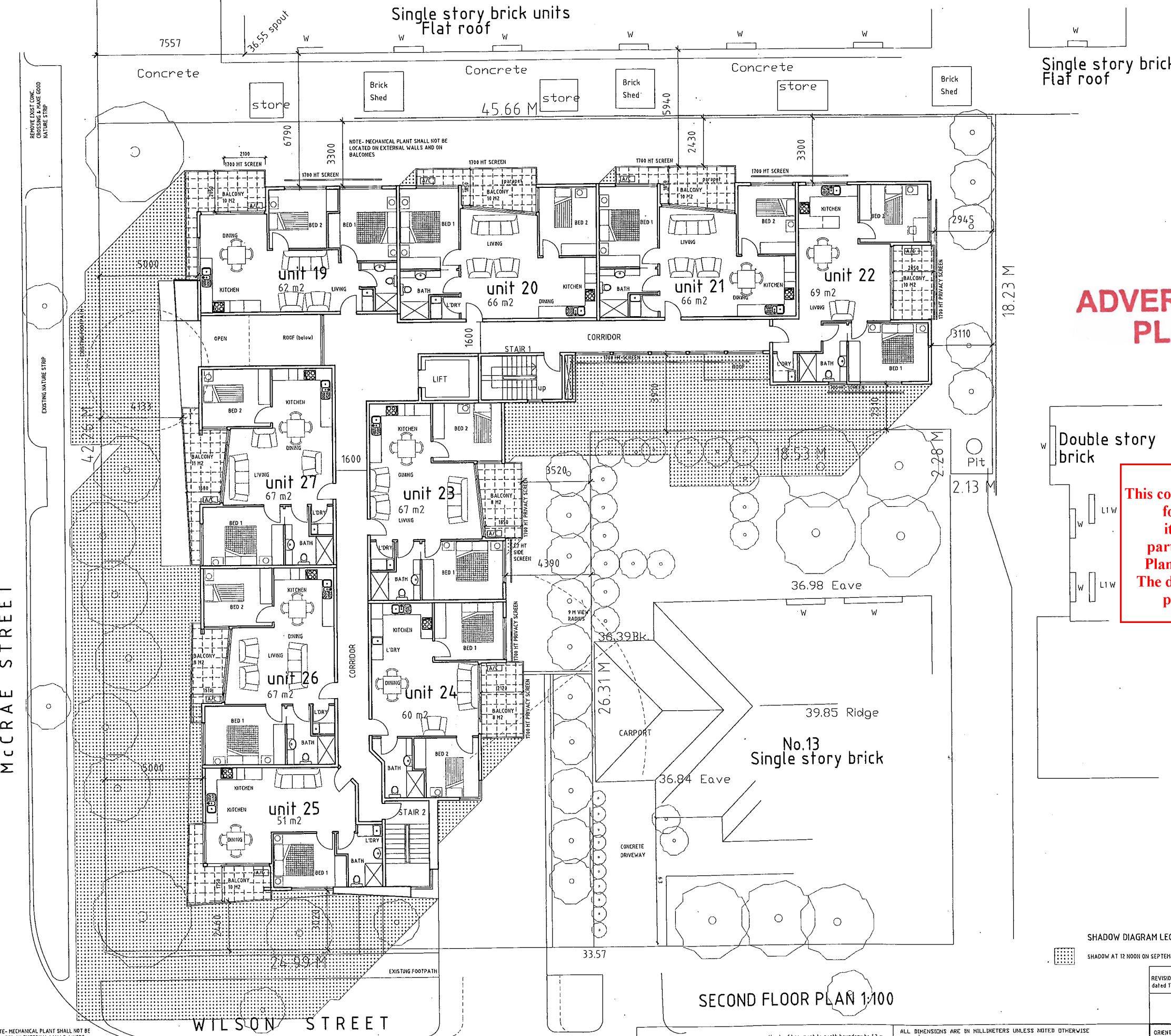
NOTE - MECHANICAL PLANT SHALL NOT BE LOCATED ON EXTERNAL WALLS WHERE LOCATED ON BALCONIES PLANT SHALL BE SCREENED AND NOT LOCATED AND AGAINST CLEAR GLASS BALCONIES

REVISION "a" Drawings revised to increase setback of basement to north boundary to 12 m, eastern boundaries to 2.8m and southern boundary to 2.0 m Carparking configuration, basement ramp design, bin room layout and stair 2 setbacks revised. Unit 6, 7, 15, 16, 25 and 26 plans modified. Fences to west and south boundaries altered. South, east, west and north external elevations altered. Shadow diagrams revised to suit new setbacks

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REVISION "B" General revision to plans to comply with Planning Permit Conditions 1 a, 1b, 1c, dated 17/4/13 1d, 1e, 1f, 1g, 1h, 1i, 1j, 1k, 1l, 1m and 1n

ORIENTATION	DATE	14/11/12	NEW APARTMENT BUILDING AT 69-71 Mc CRAE ST. DANDENONG, VIC. DESIGNORAMA PTY. LTD. FRANK TARABORELLI ARCHITECT reg no. 4385 ph 0422 248 394
	SCALE	1:100,	
	DWG	A02	
	REV.	B	



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24 MAR 2014

SHADOW DIAGRAM LEGEND
SHADOW AT 12 NOON ON SEPTEMBER 22ND.

SECOND FLOOR PLAN 1:100

NOTE - MECHANICAL PLANT SHALL NOT BE LOCATED ON EXTERNAL WALLS WHERE SCREENED AND NOT LOCATED AGAINST CLEAR GLASS BALCONIES

NOTE - MECHANICAL PLANT SHALL NOT BE LOCATED ON EXTERNAL WALLS AND ON BALCONIES

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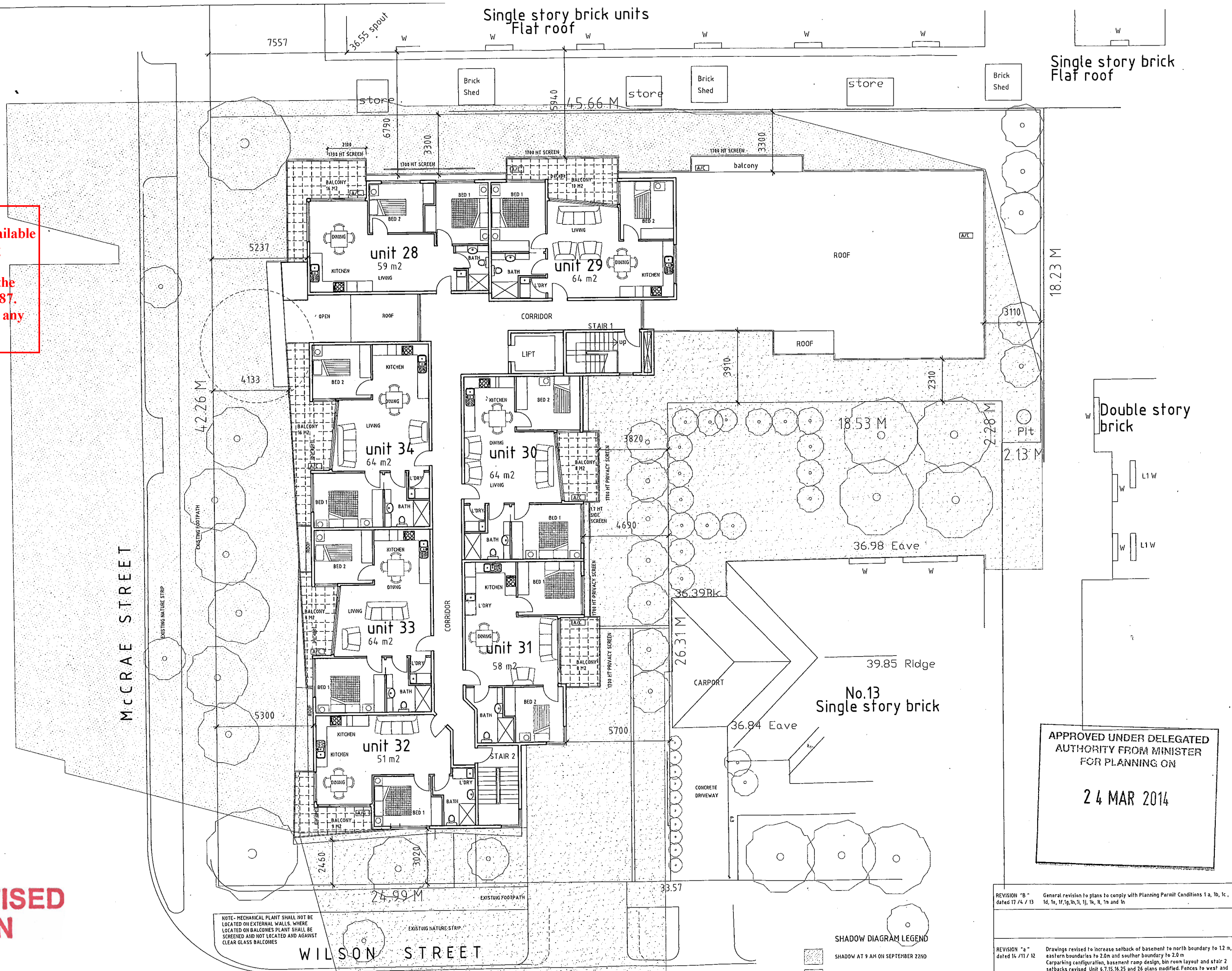
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REVISION "B"	General revision to plans to comply with Planning Permit Conditions 1 a, 1b, 1c, dated 17/4/13 1d, 1e, 1f, 1g, 1h, 1j, 1k, 1l, 1m and 1n		
ORIENTATION	DATE	14/11/12	NEW APARTMENT BUILDING AT 69-71 MCCRAE ST. DANDENONG, VIC. DESIGNORAMA PTY. LTD. FRANK TARABORRELLI ARCHITECT reg no. 4385 ph 0422 248 304
	SCALE	1:100,	
	DWG	A04	
	REV.	B	

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ADVERTISED PLAN

THIRD FLOOR PLAN 1:100



NOTE - MECHANICAL PLANT SHALL NOT BE LOCATED ON EXTERNAL WALLS, WHERE LOCATED ON BALCONIES PLANT SHALL BE SCREENED AND NOT LOCATED AND AGAINST CLEAR GLASS BALCONIES

SHADOW DIAGRAM LEGEND
 [Pattern] SHADOW AT 9 AM ON SEPTEMBER 22ND
 [Pattern] SHADOW AT 3 PM ON SEPTEMBER 22ND

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REVISION "B" General revision to plans to comply with Planning Permit Conditions 1 a, 1b, 1c, 1d, 1e, 1f, 1g, 1h, 1i, 1j, 1k, 1l, 1m and 1n dated 17/4/13

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	SCALE	1:100,	
	DWG	A05	
	REV	B	

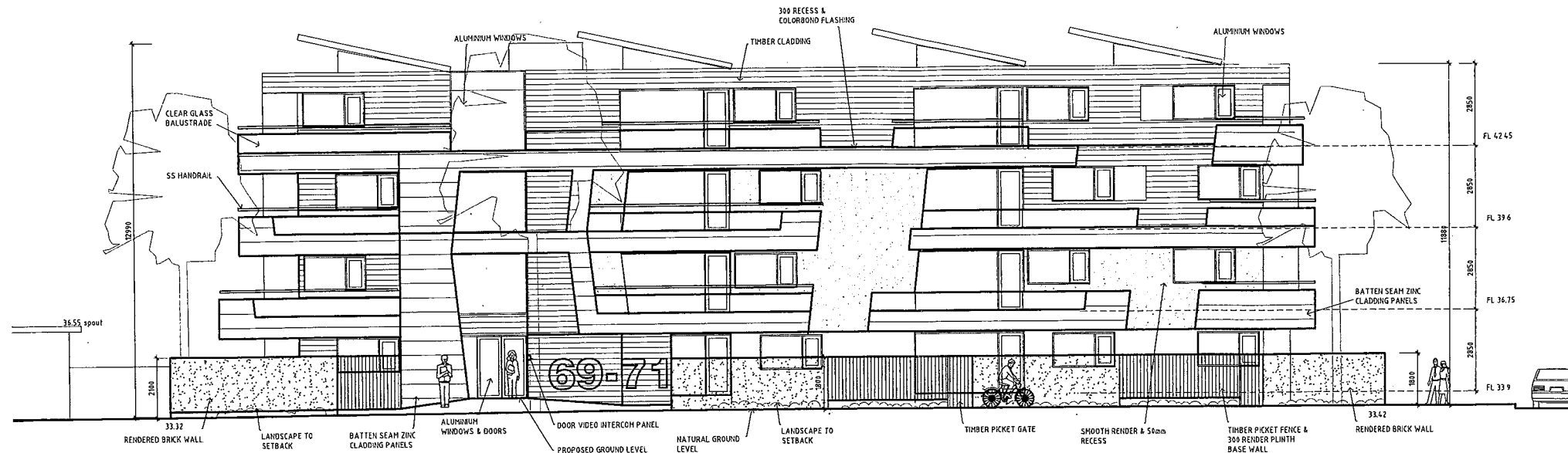
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Double story brick

No.13 Single story brick

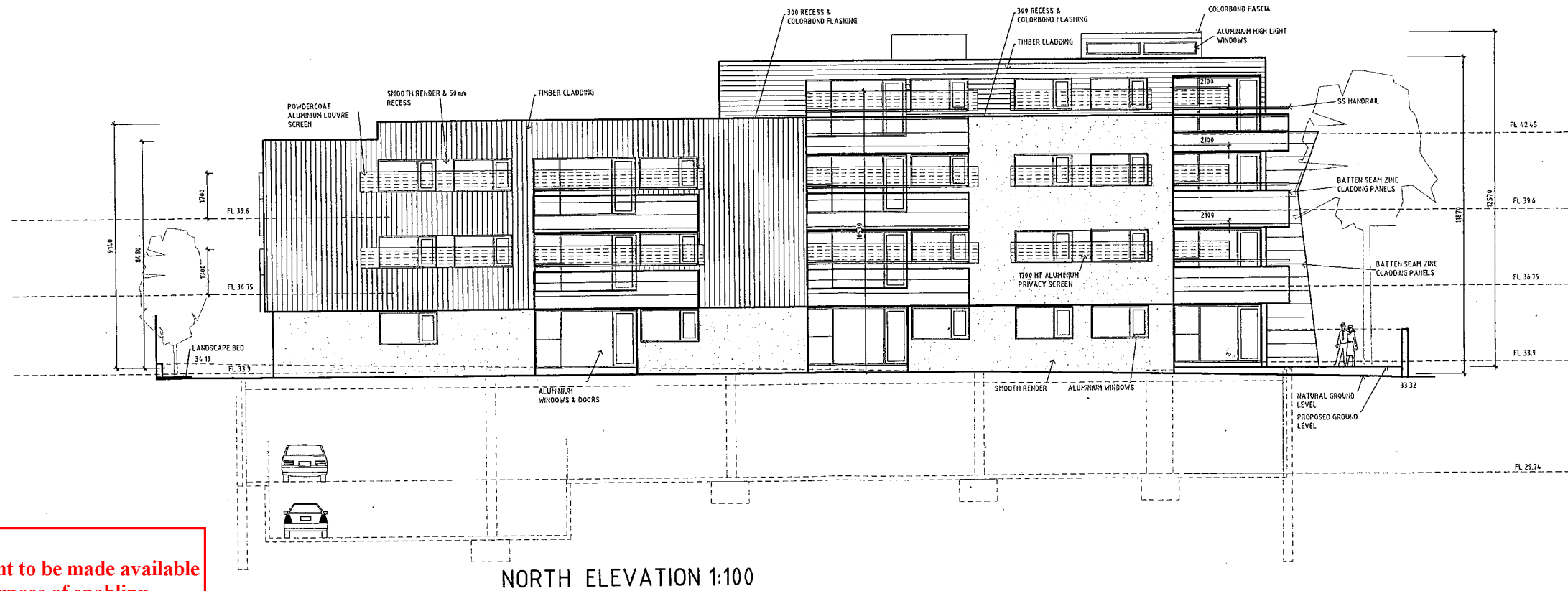
Single story brick units Flat roof

Single story brick Flat roof



MC CRAE ST. ELEVATION 1:100

**ADVERTISED
PLAN**



NORTH ELEVATION 1:100

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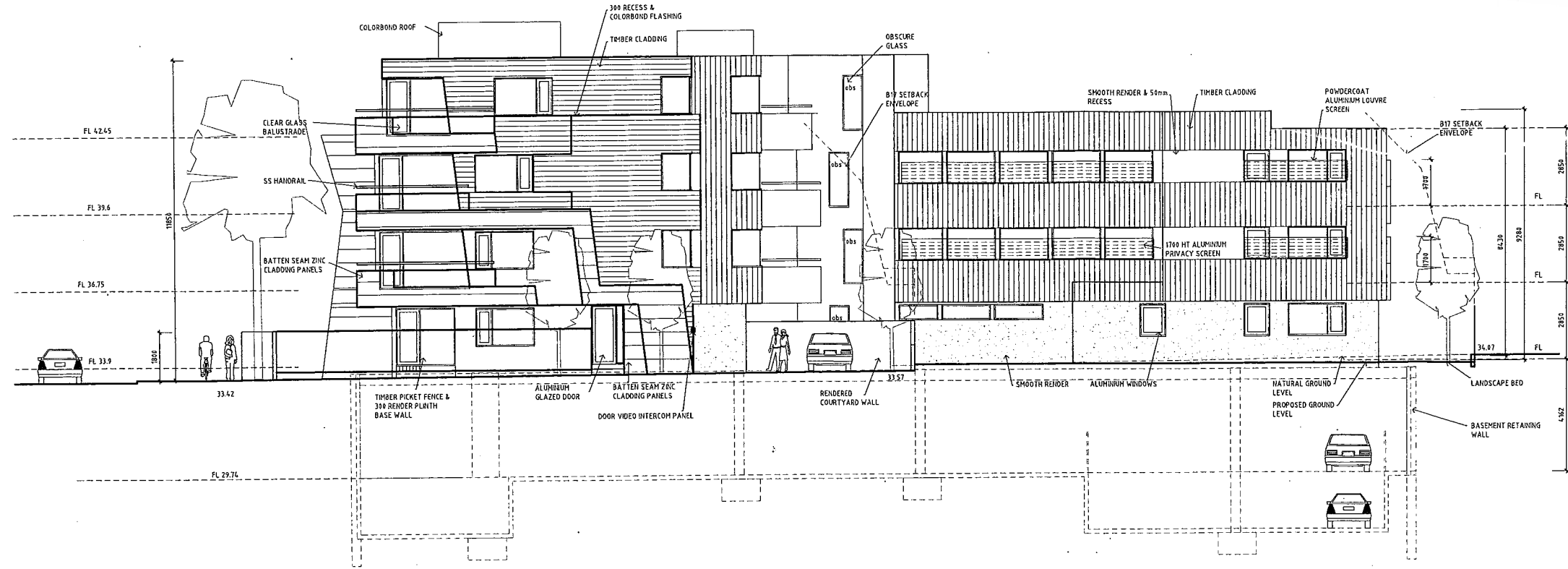
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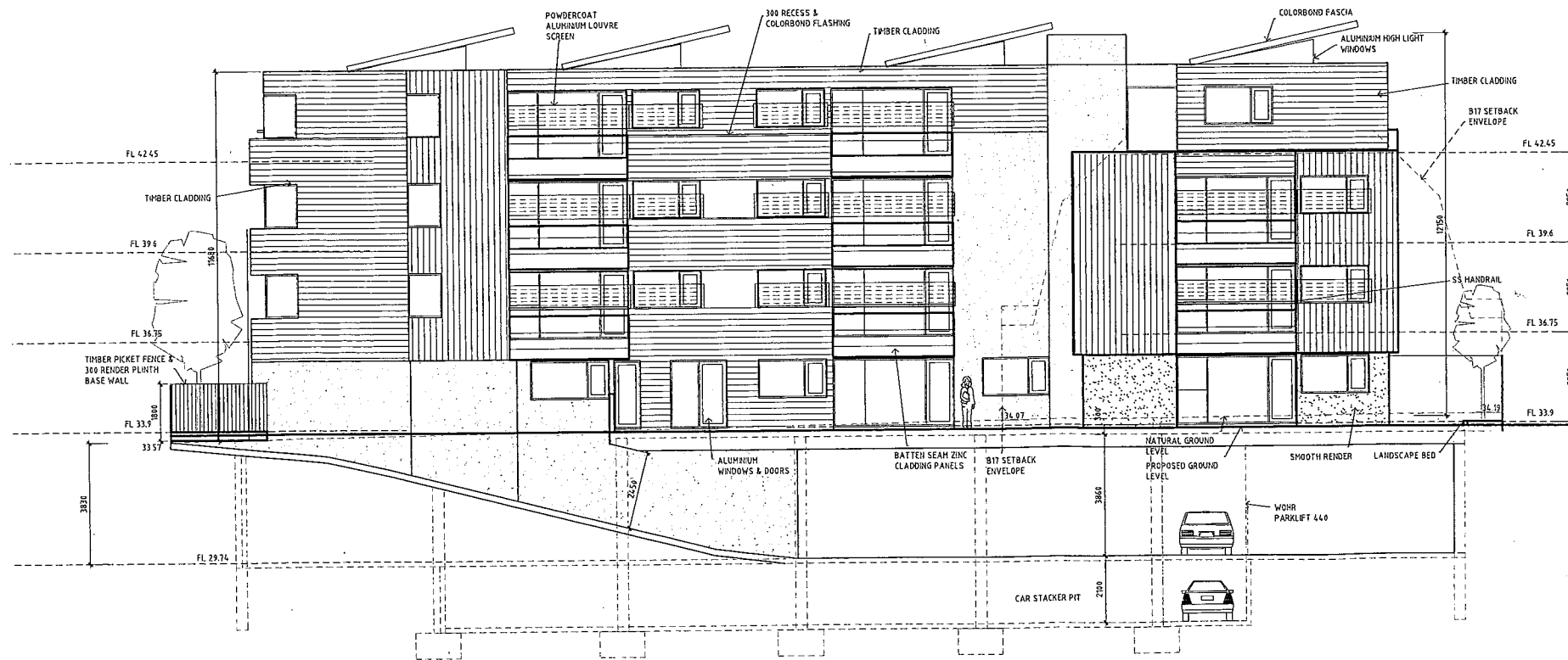
ORIENTATION
DATE 14/11/12
SCALE 1:100
DWG A06
REV B

NEW APARTMENT BUILDING AT 69-71 MC CRAE ST. DANDENONG, VIC. DESIGNORAMA PTY. LTD. FRANK TARABORRELLI ARCHITECT reg no. 4385 ph 0422 248 394

ADVERTISED PLAN

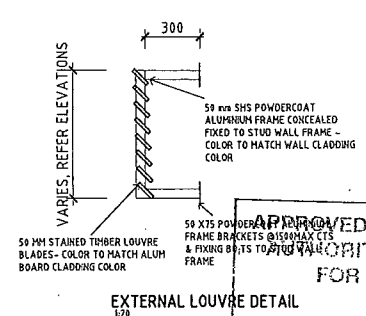


SOUTH (WILSON ST) ELEVATION 1:100



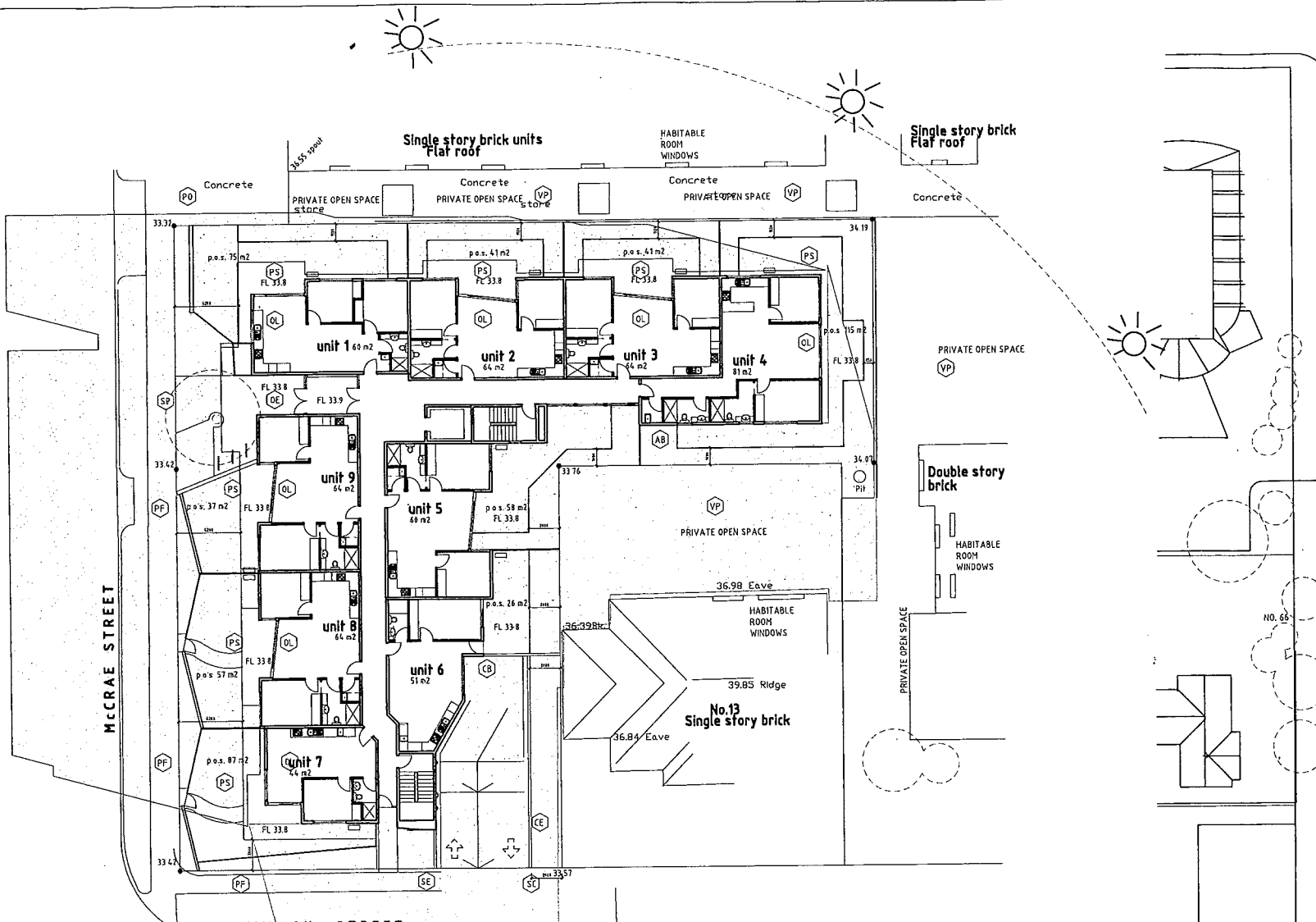
WEST ELEVATION 1:100

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<p>REVISION "B" General revision to plans to comply with Planning Permit Conditions 1 a, 1b, 1c, dated 17/11/13 1d, 1e, 1f, 1g, 1h, 1i, 1j, 1k, 1l, 1m and 1n</p>	<p>REVISION "a" Drawings revised to increase setback of basement to north boundary to 12 m, eastern boundaries to 2.0m and southern boundary to 2.0 m. Carparking configuration, basement ramp design, bin room layout and stair 2 setbacks revised. Unit 6,7,15,16,25 and 26 plans modified. Fences to west and south boundaries altered. South, east, west and north external elevations altered. Shadow diagrams revised to suit new setbacks.</p>	<p>ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE. VERIFY ALL DIMENSIONS AND LEVELS ON SITE AND REPORT ANY DISCREPANCIES TO THE CONTRACT ADMINISTRATOR PRIOR TO THE COMMENCEMENT OF WORK ON SITE OR PREPARATION OF SHOP DRAWINGS. READ ONLY FIGURED DIMENSIONS - DO NOT SCALE DRAWING. THIS DRAWING IS COPYRIGHT. UNAUTHORIZED USE OF THIS DESIGN IS PROHIBITED AND MAY ONLY ONLY BE REPRODUCED WITH THE EXPRESSED WRITTEN CONSENT OF DESIGNORAMA PTY. LTD.</p>	<p>ORIENTATION DATE 14/11/12 SCALE 1:100 DWG A07 REV B</p>	<p>NEW APARTMENT BUILDING AT 69-71 MC CRAE ST. DANDENONG, VIC. DESIGNORAMA PTY. LTD. FRANK TARABORRELLI ARCHITECT reg no. 4385 ph 0422 248 304</p>
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DESIGN RESPONSE GROUND FLOOR PLAN 1:200

- DESIGN RESPONSE NOTES**
- (PS) MAXIMISE NORTH FACING PRIVATE OPEN SPACE (COURT YARDS & BALCONIES)
 - (OL) ORIENTATE LIVING SPACES TO P.O.S (COURT YARDS & BALCONIES)
 - (OE) ORIENTATE APARTMENT BUILDING ENTRY TO PRIMARY STREET FRONTAGE
 - (CB) CAR PARKING UNDER BUILDING IN KEEPING WITH NEIGHBOURHOOD CHARACTER
 - (SC) SCREEN VIEW OF GROUND LEVEL CARPARKING FROM STREET
 - (AB) ARTICULATE BUILDING HEIGHT AND BULK BY STEPPING BACK WALLS AT UPPER LEVELS
 - (CE) PROVIDE SECURITY ENTRY TO UNDERGROUND CARPARK
 - (VP) MINIMISE OVERLOOKING TO NEIGHBOURING P.O.S BY SCREENING 17 HT ABOVE FLOOR
 - (PO) PERMIT OVERLOOKING TO NEIGHBOURING NON P.O.S
 - (SP) SECURE ENTRY TO BUILDING
 - (VE) VEHICULAR ENTRY VIA LOCAL ROAD NETWORK
 - (PF) PERMEABLE FENCING TO SCREEN COURTYARDS
 - (SE) SECONDARY APARTMENT ENTRANCE FACING WILSON ST.

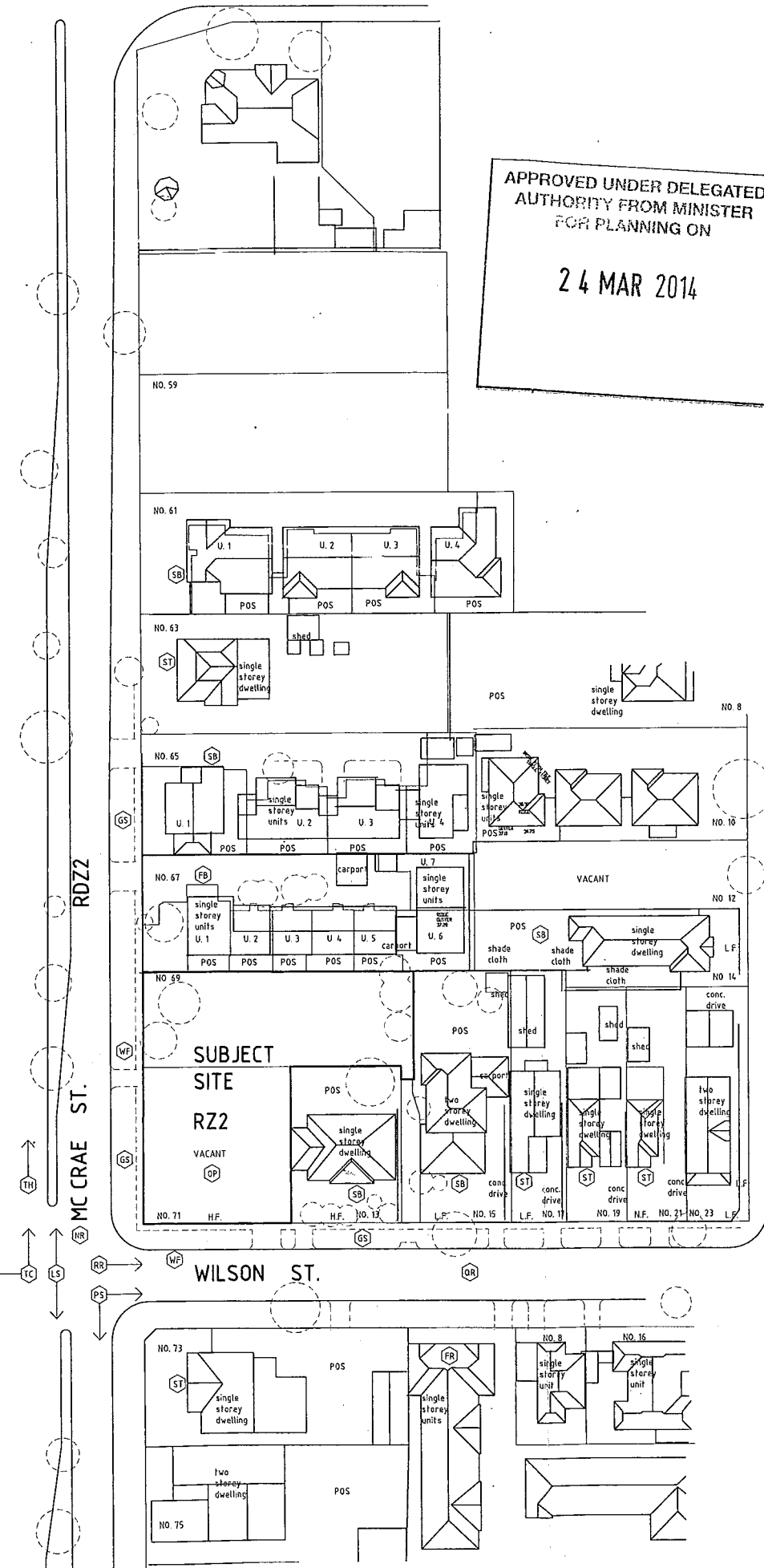
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REVISION "a" dated 11/11/12 Drawings revised to increase setback of basement to north boundary to 12 m, eastern boundaries to 2.0m and southern boundary to 2.0 m. Carparking configuration, basement ramp design, bin room layout and stair 2 setbacks revised. Unit 6, 7, 15, 16, 25 and 26 plans modified. Fences to west and south boundaries altered. South, east, west and north external elevations altered. Shadow diagrams revised to suit new setbacks.

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24 MAR 2014

SCHEDULE OF AREAS

1399 M2	SITE AREA
334 M2	LANDSCAPED (PERMEABLE) GROUND FLOOR AREA
24%	PERCENTAGE OF SITE WHICH IS PERMEABLE
697 M2	GROUND FLOOR COVERED (BUILDING) AREA
50%	SITE AREA COVERED BY BUILDINGS, INCL BALCONIES
60 M2	UNIT 1 FLOOR AREA
64 M2	UNIT 2 FLOOR AREA
64 M2	UNIT 3 FLOOR AREA
81 M2	UNIT 4 FLOOR AREA
50 M2	UNIT 5 FLOOR AREA
51 M2	UNIT 6 FLOOR AREA
44 M2	UNIT 7 FLOOR AREA
64 M2	UNIT 8 FLOOR AREA
64 M2	UNIT 9 FLOOR AREA
62 M2	UNIT 10 FLOOR AREA
62 M2	UNIT 11 FLOOR AREA
62 M2	UNIT 12 FLOOR AREA
69 M2	UNIT 13 FLOOR AREA
67 M2	UNIT 14 FLOOR AREA
60 M2	UNIT 15 FLOOR AREA
51 M2	UNIT 16 FLOOR AREA
67 M2	UNIT 17 FLOOR AREA
67 M2	UNIT 18 FLOOR AREA
62 M2	UNIT 19 FLOOR AREA
66 M2	UNIT 20 FLOOR AREA
66 M2	UNIT 21 FLOOR AREA
69 M2	UNIT 22 FLOOR AREA
67 M2	UNIT 23 FLOOR AREA
60 M2	UNIT 24 FLOOR AREA
67 M2	UNIT 25 FLOOR AREA
67 M2	UNIT 26 FLOOR AREA
67 M2	UNIT 27 FLOOR AREA
59 M2	UNIT 28 FLOOR AREA
64 M2	UNIT 29 FLOOR AREA
64 M2	UNIT 30 FLOOR AREA
58 M2	UNIT 31 FLOOR AREA
50 M2	UNIT 32 FLOOR AREA
64 M2	UNIT 33 FLOOR AREA
64 M2	UNIT 34 FLOOR AREA
1085 M2	BASEMENT FLOOR AREA
108 M2	GROUND FLOOR CIRCULATION AREA
106 M2	FIRST FLOOR CIRCULATION AREA
106 M2	SECOND FLOOR CIRCULATION AREA
87 M2	THIRD FLOOR CIRCULATION AREA
34	CAR SPACES
34	STORES
18	BICYCLE RACKS
4	1 BEDROOM APARTMENTS
30	2 BEDROOM APARTMENTS

- SITE ANALYSIS NOTES**
- (GS) GRASS NATURE STRIP WITH STREET TREES AND CONCRETE FOOTPATH
 - (OP) OPPORTUNITY - UNDERUTILIZED LAND
 - (FB) FLAT ROOF, BRICK CLAD BUILDING 1960-70 MODERN STYLE
 - (FR) 1980-2010 PITCH ROOF MODERN STYLE BUILDING, BRICK, CONCRETE OR RENDERED WALLS
 - (SB) TILE PITCHED ROOF, BRICK CLAD BUILDING 1960-90 S MODERN STYLE
 - (ST) TILE PITCHED ROOF, TIMBER (WEATHERBOARD) CLAD BUILDING, 1900S OR 1920 S CLAIFORMAN BUNGALOW STYLE
 - (QR) QUIET, LOW TRAFFIC VOLUME ROAD
 - (NR) NOISY, HIGH TRAFFIC VOLUME ROAD
 - L.P. LIGHT POLE
 - L.F. LOW FRONT FENCE
 - N.F. NO FRONT FENCE
 - H.F. HIGH FRONT FENCE
 - (S) SIGNIFICANT TREES OR SHRUBS
 - (WF) MAXIMISE STREET ASPECT
 - (TC) DANDENONG TOWN CENTRE & RAIL STATION APPROX 500M IL/W. & 1.1 KM WEST RESPECTIVELY
 - (LS) DANDENONG PLAZA SHOPPING CENTRE, DOVETON, BERWICK, RAIL STATION HAMPTON PARK & SOUTHLAND SHOPPING CENTRE VIA BUS ROUTES 84 & 828 TRAVELLING ALONG MC CRAE ST
 - (PS) DANDENONG PRIMARY AND ST MARY'S PRIMARY SCHOOL 500M EAST & SOUTH, ST. JOHNS SECONDARY COLLEGE WITHIN 700 M OF SITE (EAST)
 - (RR) CREEK & RECREATION RESERVES WITHIN 600 M OF SITE (EAST)
 - (TH) TAPE COLLEGE & HOSPITAL WITHIN 15 KM M OF SITE (NORTH)

SITE ANALYSIS/ CONTEX PLAN 1:500

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ORIENTATION	DATE	14/11/12	NEW APARTMENT BUILDING AT 69-71 MC CRAE ST. DANDENONG, VIC. DESIGNORAMA PTY. LTD. FRANK TARABORRELLI ARCHITECT reg no. 4385 ph 0422 24 8 304
SCALE	1:500, 200		
DWG	A08		
REV.	B		