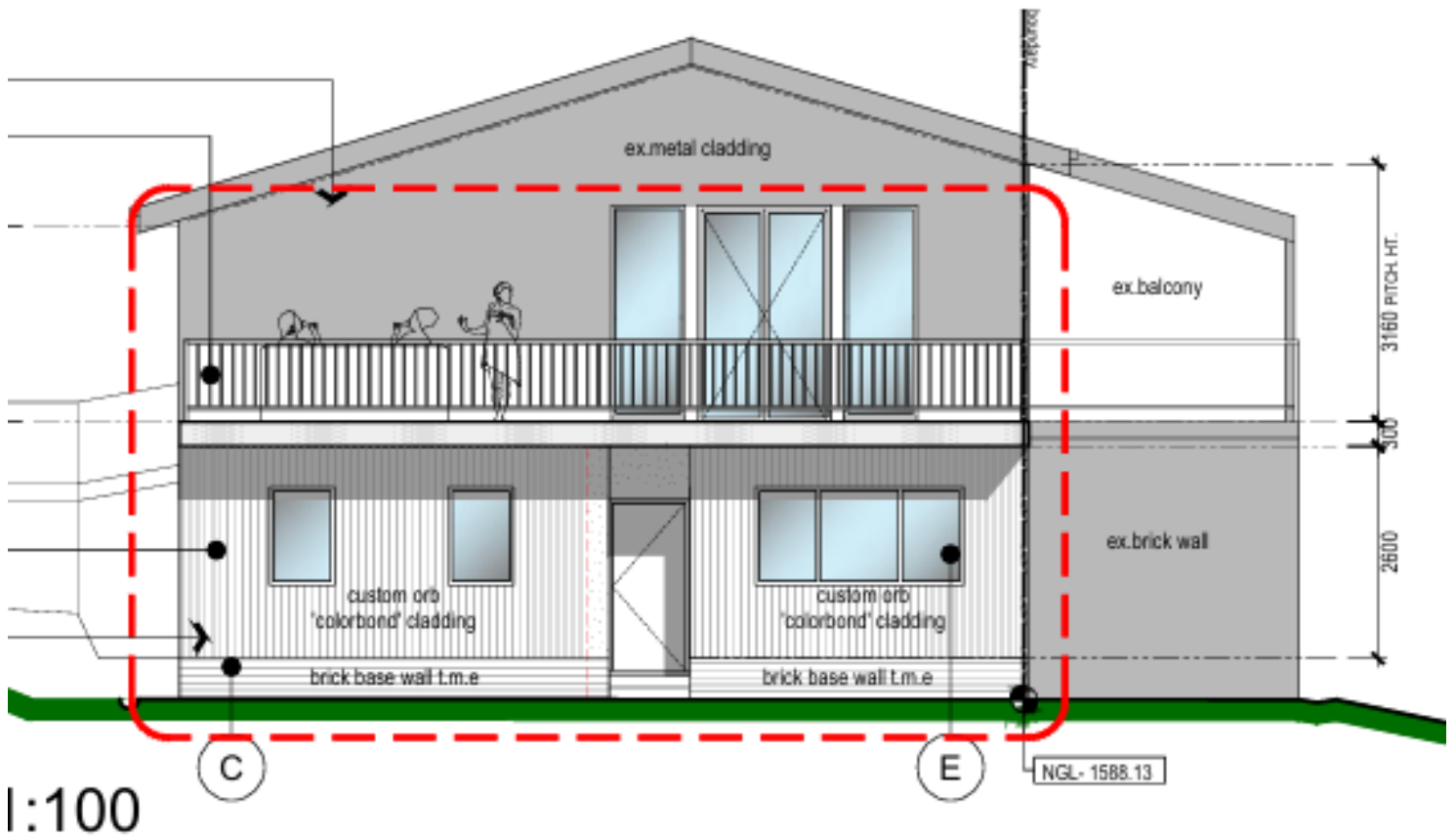


PA2504011 – Officer report  
12A Goal Post Road, Mount Buller



Officer Assessment Report  
Development Assessment

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Department of Transport and Planning

OFFICIAL

# Executive Summary

Key information	Details		
<b>Application No.:</b>	PA2504011		
<b>Received:</b>	21 October 2025		
<b>Statutory Days:</b>	65		
<b>Applicant:</b>	Hamish Balzan, c/- Urban Edge Consultants		
<b>Planning Scheme:</b>	Alpine Resorts		
<b>Land Address:</b>	12A Goal Post Road, Mount Buller		
<b>Proposal:</b>	Buildings and works to an existing building		
<b>Development value:</b>	\$500,000.00		
<b>Why is the Minister responsible?</b>	In accordance with the schedule to Clause 72.01 of the Alpine Resorts Planning Scheme (the Scheme), the Minister for Planning is the Responsible Authority for administering and enforcing the Alpine Resorts Planning Scheme		
<b>Why is a permit required?</b>	<b>Control</b>	<b>Clause</b>	<b>Trigger</b>
<b>Zone:</b>	Comprehensive Development Schedule 1 (CDZ) Zone	Clause 37.02-4	<i>Construct a building or construct or carry out works</i>
<b>Overlays:</b>	Design and Development Overlay Schedule 1 (DDO1)	Clause 43.02-2	<i>Construct a building or construct or carry out works</i>
	Erosion Management Overlay Schedule 1 (EMO1)	Clause 44.01-2	<i>No permit triggered (Exempt for 'Extend a building or carry out works if the gross floor area is not increased by more than 20 square metres and stormwater from the building is discharged to a legal point of discharge or in the absence of formal stormwater infrastructure, as approved in writing by Alpine Resorts Victoria'.</i>
	Bushfire Management Overlay Schedule 1 (BMO1)	Clause 44.06	<i>No permit triggered (Exemption for 'An alteration or extension to an existing building (excluding a dwelling and a small second dwelling) that is less than 10 percent of the gross floor area of the existing building'.)</i>
<b>Particular Provisions:</b>	Native vegetation	Clause 52.17	<i>No permit triggered (No native vegetation proposed for removal).</i>
<b>Cultural Heritage</b>	Included in an area of Aboriginal heritage cultural sensitivity however a Cultural Heritage Management Plan (CHMP) is not required because the land has been subject to significant ground disturbance. Furthermore, the site is exempt pursuant to Regulation 9 of the Aboriginal Heritage Regulation 2018 as the site contains no more than 2 dwellings.		
<b>Referral authorities</b>	Alpine Resorts Victoria (ARV) – s.55 – determining, Clause 7.0 of Schedule 1 to CDZ (37.02) AusNet Services – s. 55 – determining, Clause 7.0 of Schedule 1 to CDZ (37.02) Buller Gas – s. 55 – determining, Clause 7.0 of Schedule 1 to CDZ (37.02) Goulburn-Murray Water (GMW) – s. 55 – determining, Clause 66.02-5.		
<b>Notice</b>	ARV (s.52 notice, pursuant to Clause 8.0 of Schedule 1 to CDZ) Mansfield Shire Council (s.52 notice, pursuant to Clause 8.0 of Schedule 1 to CDZ).		
<b>Public Notice</b>	Notice of the application was undertaken by giving notice to 4 adjoining and nearby properties and notice displayed at the Mount Buller Alpine Resort office. (Refer to 'Advertising Memo' signed off by Manager on 31 March 2026.)		



**Key information**

**Details**

**Delegates List**

Not required.



1. The key milestones in the process of the application were as follows:

Milestone	Date
Pre-application meeting	N/A
Application lodgement	21 October 2025
Further information requested	27 October 2025
Further information received	27 March 2026
Further plans submitted (formally under section 50 of the Act)	N/A
Further informally substituted sketch plans submitted (date)	N/A
<b>Decision Plans</b>	<ul style="list-style-type: none"><li>• Architectural Plan, prepared by Karl Degering &amp; Associates and dated 23 February 2026 (12 sheets).</li><li>• Site Environmental Management Plan (SEMP), signed by Karl Degering on 16 March 2026 (11 sheets).</li><li>• Construction Waste Management Plan received 27 March 2026 (5 pages).</li><li>• Site Construction &amp; Waste Management Plan received 27 March 2026 (2 sheets).</li><li>• RFI Planning report, prepared by Urban Edge Consultants and received 11 November 2025 (5 sheets).</li><li>• 'RFI Cover letter response', prepared by Urban Edge Consultants and received 11 November 2025 (4 pages).</li><li>• Title plan.</li><li>• Application Form.</li></ul>

2. The subject of this report is the decision plans (as described above).

3. The proposal can be summarised as follows:
  - Alterations and additions to an existing building used for accommodation (Refer to Figures 1 to 3).
4. Specific details of the application (referred to as 'the Project') include:
  - Alterations and additions to the rear of the existing building used for accommodation.
  - New ground floor level (Bedroom 6)
  - New ground floor level kitchen
  - New first floor balcony
  - Variations to the side setback are sought (proposed setback of 1.82 m to the northern lease boundary requires a 1.18 m variation).
  - Gross Floor Area (GFA) increases from 299 sqm to 314 sqm, representing a total increase of 15 sqm or 5%.

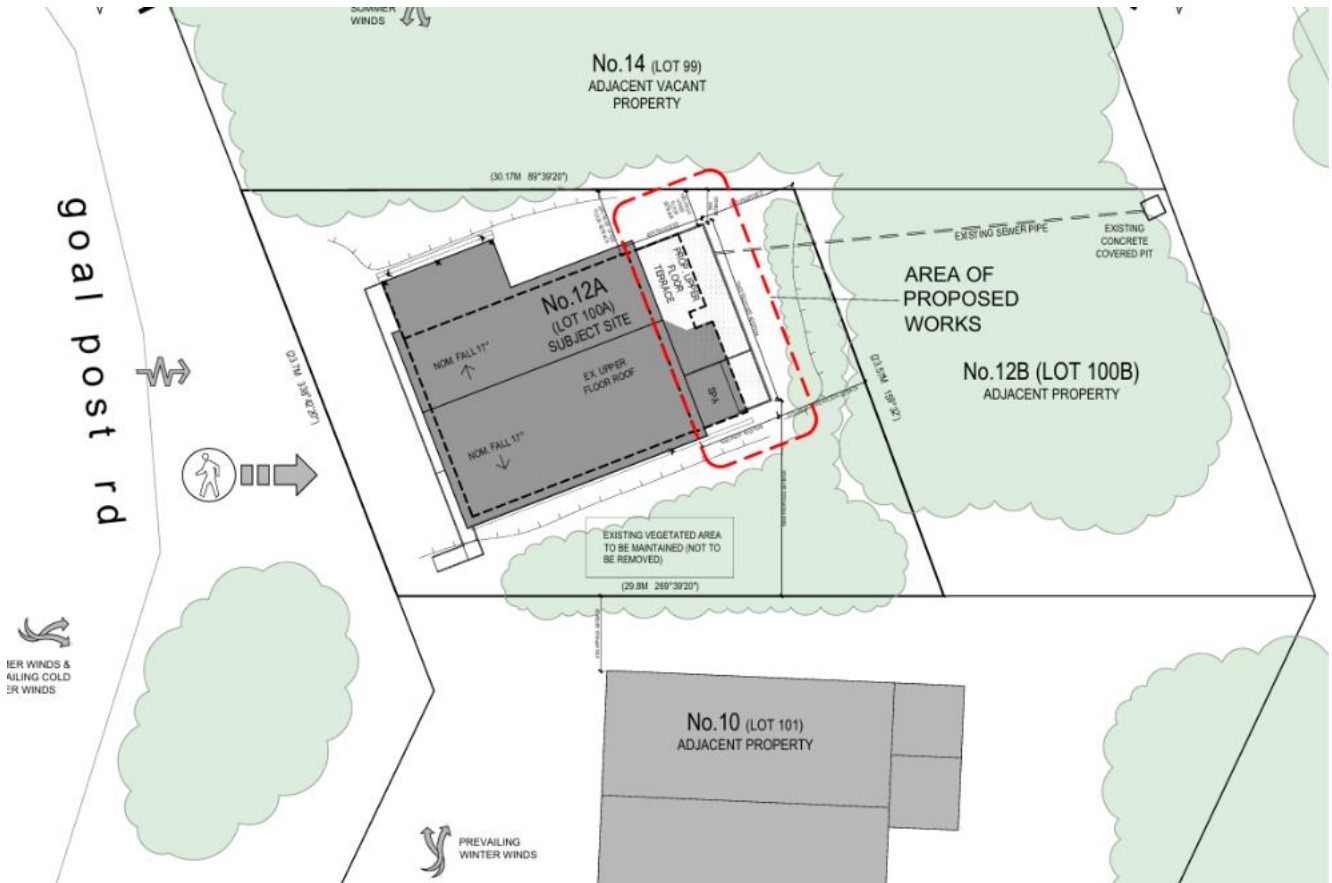


Figure 1: Site plan (Source: Application)



# Subject Site and Surrounds

## Site Description

5. The site is located within the Mount Buller village, approximately 300 m east of the Mount Buller Village Square. (Refer to Figures 4 and 5).



Figure 7: Aerial location of site (highlighted in green) and Village Square (highlighted in yellow) – Source: Vicplan (modified by DTP)

6. The site comprises an existing building, comprising two separate existing dwellings used for accommodation. The ground level comprises 5 bedrooms while the upper level comprises 3 bedrooms.

## Site Surrounds

7. The surrounding area is surrounded by other ski lodge buildings to the north, south and west, ranging in size of 2 to 3 levels in height. Ski fields are located further east.



## Planning Policy Framework

- The Planning Policy Framework (PPF) provides the broad policy direction within the Victoria Planning Provisions. The planning principles set out under the PPF are to be used to guide decision making on planning proposals across the state.
- The following policies are considered relevant to this application:

Clause no.	Description
02-03-5	Built environment
02-03-6	Economic development
12.04-1S	Sustainable development in alpine areas
13.02-1S	Bushfire planning
13.04-2S	Erosion and landslip
15.01-2S	Building design

## Local Planning Policy Framework

- The Municipal Strategic Statement (MSS) and Local Planning Policy Framework (LPPF) within Planning Schemes across Victoria outline principal characteristics of a given municipality (municipal profile) and provide specific visions, goals, objectives, strategies and implementation plans.
- The MSS within the Alpine Resorts Planning Scheme identifies the objectives and strategies for the Mount Buller alpine resort.
- The following clauses are relevant:


Clause no.	Description
11.01-1L	Alpine villages
12.04-1L	Sustainable development – alpine resorts
12.04-1L	Sustainable development – Mt Buller Alpine Resort
13.02-1L	Bushfire planning – alpine resorts
13.04-2L	Erosion and landslip in alpine resorts
15.01-2L	Built form in alpine resorts
17.04-1L	Alpine tourism

- The assessment section of this report provides an assessment of the relevant planning policies.

## Statutory Planning Controls

### Clause 37.02 – Comprehensive Development Zone, Schedule 1 (CDZ1)

- The land is affected by the CDZ1.
- A planning permit is triggered to construct a building or construct or carry out works pursuant to the CDZ1. The purpose of the CDZ1 is:
  - To encourage development and the year round use of land for a commercially orientated, alpine resort.
  - To provide for residential development in a variety of forms in an alpine environment.
  - To encourage development and the use of the land which is in accordance with sound environmental management and land capability practices, and which takes into account the significance of the environmental resources.
  - To provide for the integrated development of land in accordance with a comprehensive development plan incorporated in this scheme.

- 
16. CDZ1 includes application requirements and decision guidelines for consideration of the site's context, including a Site Environmental Management Plan (SEMP). The following sections include discussion of how the proposal responds to these requirements.

**Clause 43.02 – Design and Development Overlay, Schedule 1 (DDO1)**

17. A planning permit is triggered to construct a building or construct or carry out works pursuant to the DDO1. The site is located in a DDO1-A1 precinct which contains specific development requirements in relation to maximum height, minimum setbacks, maximum site coverage, colours and materials.
18. The design objectives of the DDO1 include:
- *To ensure that development within the Mt Buller Village creates and enhances an identifiable individual resort character.*
  - *To ensure building design provides a visually attractive and functionally effective interface with the public domain, particularly within the Village Square and adjacent to the Bourke Street ski run.*
  - *To ensure view corridors are protected between buildings and provide opportunities for view sharing.*
  - *To provide safe pedestrian and skier access and linkages within the Village and to the skifields.*
19. The following sections include discussion of how the proposal responds to these requirements.

**Clause 44.01 – Erosion Management Overlay, Schedule 1 (EMO1)**

20. A planning permit is **not** triggered pursuant to the EMO1.
21. The application meets the following exemption:
- *Extend a building or carry out works if the gross floor area is not increased by more than 20 square metres and stormwater from the building is discharged to a legal point of discharge or in the absence of formal stormwater infrastructure, as approved in writing by Alpine Resorts Victoria.*
22. The application meets the above exemption because the gross floor area is increasing by 15sqm (5%) and the ARV provided an email of support dated 5 March 2026.

**Clause 44.06 – Bushfire Management Overlay, Schedule 1 (BMO1)**

23. A planning permit is **not** triggered pursuant to the BMO1.
24. The application meets the following exemption thus not triggering a planning permit:
- *An alteration or extension to an existing building (excluding a dwelling and a small second dwelling) that is less than 10 percent of the gross floor area of the existing building.*
25. The application meets the above exemption because the gross floor area is increasing by 5%.

**Operational Provisions**

**Clause 65.01 – Approval of an application or plan**

26. Clause 65 sets out the decision guidelines that the responsible authority must consider before deciding on an application, including the proposal's effect on the amenity of the area.

**Clause 71.02-3 – Integrated decision making**

27. Clause 71.02-3 outlines that planning and responsible authorities should endeavour to integrate the range of planning policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations.



## Referrals

28. The application was referred to the following groups:

Provision/ Clause	Organisation	Response Received (date)
Section 55 Referral - Determining (Clause 7.0 of Schedule 1 to CDZ (37.02) for: <i>'any use or development which requires connection to reticulated services.'</i>	Alpine Resorts Victoria (ARV)	<u>21 April 2026.</u> No objection subject to conditions.
Section 55 Referral - Determining (Clause 7.0 of Schedule 1 to CDZ (37.02) for: <i>'any use or development which requires connection to reticulated services.'</i>	AusNet Services	<u>3 November 2025</u> No objection subject to notes.
Section 55 Referral - Determining (Clause 7.0 of Schedule 1 to CDZ (37.02) for: <i>'any use or development which requires connection to reticulated services.'</i>	Buller Gas	<u>24 November 2025</u> No objection subject to conditions.
Section 55 Referral - Determining (Clause 66.02-5 for: <i>'To use, subdivide or consolidate land, to construct a building or construct or carry out works, or to demolish a building or works that are within a declared Special Area classified as a Special Water Supply Catchment Area under the Catchment and Land Protection Act 1994 and which provides water to a domestic supply.'</i>	Goulburn-Murray Water	<u>27 November 2025</u> No objection subject to conditions.

## Notice

29. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Planning and Environment Act 1987 pursuant to the following provisions:
- Schedule 1 to Clause 37.02 (CDZ)
  - Schedule 1 to Clause 43.02 (DDO).
30. Clause 8.0 of Schedule 1 to CDZ (Clause 37.02) requires notice be given to the 'relevant Resort Management Board and relevant adjoining Municipal Council' for any use or development.
31. Notice was given to the ARV and Mansfield Shire Council on 31 March 2026. ARV responded on 21 April 2026 advising no objection subject to conditions. No response was received from Mansfield Shire Council to date.
32. The applicant was directed to give notice by way of notice given to adjoining and nearby leaseholders and display of a notice at the ARV office. No objections have been received to date.



## Planning Policy

### Consistency with State and Local Planning Policies

33. Broadly, the planning policies relevant to this Project encourage the sustainable use and development of the Alpine areas for year-round use and activity, encourage tourism development, seek to protect areas prone to erosion and landslip and environmentally sensitive areas, and ensure that development respects the Alpine character.
34. The specific policies relevant to Mount Buller that apply, and a response to them, is provided as follows:
- To ensure that the design, scale, height and materials of development are sympathetic to the existing natural and built form character of the resorts (Clause 02.03-5).
  - To maintain the unique 'village' atmosphere by siting buildings within the alpine landscape, retain trees (where possible) and maintain the compactness of the developed area (Clause 02.03-5).
  - To facilitate the right mix of commercial, retail, accommodation, entertainment, community and service facilities for the ongoing viability of resorts as year round destinations (Clause 02.03-6).
  - Encourage a range of residential accommodation types and densities to cater for the needs of the permanent and visitor population (Clause 11.01-1L).
  - To facilitate sustainable use and development of Alpine areas for year-round use and activity (Clause 12.04-1S) and to maintain the character of the resort and its relationship to the broader natural and cultural landscape of Mt Buller and Mt Stirling (Clause 12.04-1L).
  - To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life (Clauses 13.02-1S and 13.02-1L).
  - To protect areas prone to erosion, landslip or other land degradation processes (Clause 13.04-2S) and to ensure that geotechnical hazards are managed throughout the resorts so as to minimise risk to property and persons (Clause 13.04-2L).
  - To achieve building design outcomes that contribute positively to the local context and enhance the public realm (Clause 15.01-2S) and to utilise materials such as the natural stone and timber to provide strong design elements, resulting in a cohesive design language for Mt Buller (Clause 15.01-2L).
  - Encourage the development of a range of well-designed and sited tourist facilities, including integrated resorts, accommodation, host farm, bed and breakfast and retail opportunities (Clause 17.04-1S) and to provide for year round recreation, having regard to environmental, social, ecological, economic, aesthetic and safety considerations (Clause 17.04-1L).
35. The Project is consistent with the relevant policies. The proposal is minor in nature and does not need to consider the geotechnical requirements or the bushfire requirements given it is exempt under the respective provisions. The proposal will also be developed in accordance with the submitted Site Environmental Management Plan (SEMP), subject to some changes recommended by ARV. The proposal does not require the removal of any vegetation. Furthermore, the development supports the Alpine Resorts as a major tourist destination by improving an existing tourist (accommodation) facility.
36. The following section of this report will detail the key issues in this matter in light of relevant planning policy and controls.

### Zoning and land use

37. The proposal meets the relevant purpose of the CDZ1 which include:
- *To encourage development and the year round use of land for a commercially orientated, alpine resort.*
  - *To provide for residential development in a variety of forms in an alpine environment.*
  - *To encourage development and the use of the land which is in accordance with sound environmental management and land capability practices, and which takes into account the significance of the environmental resources.*

38. The proposed development includes alterations and additions to the rear of the existing building. The ground level will be extended by an additional 15 sqm, and provide for a new kitchen area, while the upper level will be extended out to include a new terrace area, that will be in line with the level below it.
39. The CDZ1 requires that a proposed development give appropriate consideration to snow management and public safety. The roof pitch will be extended in line with the existing roof and snow shed from the roof will fall to each side (north and south sides), as per existing conditions and will remain within the lease boundaries. Furthermore, snowshed will not fall on any accessways or pedestrian paths. (Refer to Figure 8).

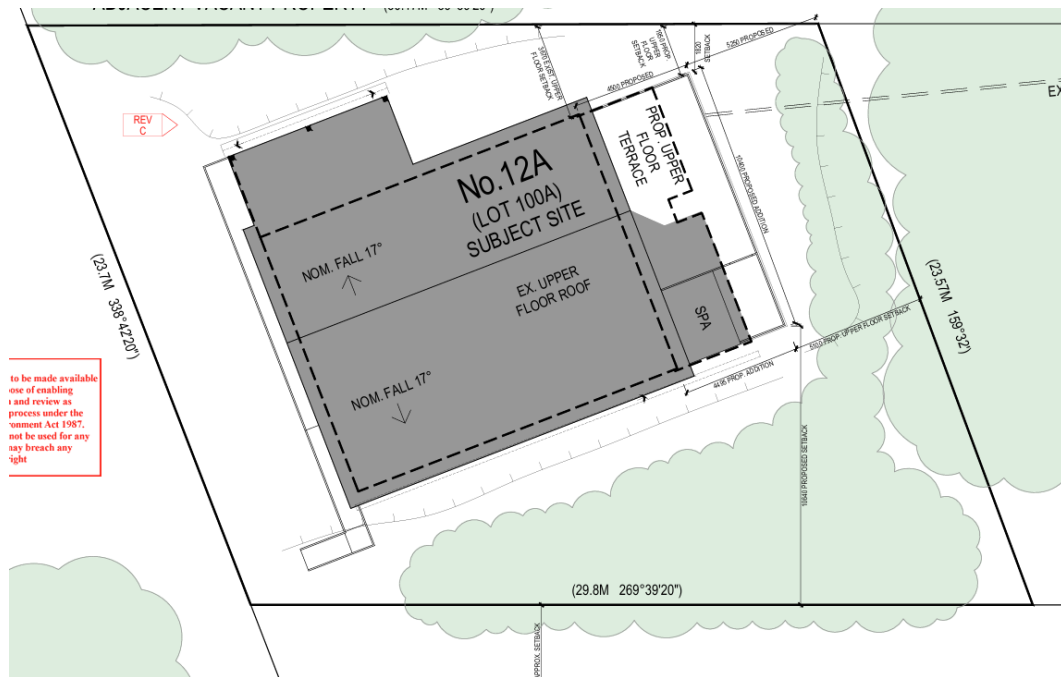


Figure 8: Proposed roof plan – Source: Application

40. Construction will be undertaken in accordance with an approved Site Environmental Management Plan (SEMP) to protect offsite impacts from sediment discharge. It should be noted that the ARV, in their capacity under section 52, suggested the SEMP be revised to include more details in the environmental risk section, such as continuous monitoring of slopes before, during and after construction for any signs of instability. Additional changes to the SEMP will include a plan to control sediment by installing silt fencing to prevent sediment from leaving the immediate works site. Finally, a rehabilitation and re-vegetation plan will be required.
41. Further changes were requested by the ARV regarding changes to the submitted Construction Waste Management Plan (CWMP). These will include identification of expected types of waste, methods to reduce, reuse and recycle where possible, any proposed contingency plans if unexpected types of waste are discovered and acknowledgement that all waste must be removed from the Alpine Resort.
42. The above changes to the SEMP and the CWMP will be included as permit conditions to ensure the site is appropriately managed during and after construction.

## Built form

43. The site is subject to the Design and Development Overlay, Schedule 1 (Mt Buller Alpine Resort Village). Relevant design objectives include ensuring that the Mt Buller Village creates and enhances an identifiable individual resort character and to ensure building design provides a visually attractive and functionally effective interface with the public domain, particularly within the Village Square and adjacent to the Bourke Street ski run.
44. The proposed development will be constructed to the rear of the existing building and involves a minor extension to the existing footprint. Furthermore, the height and roof pitch will remain unchanged from the existing conditions. As such the proposed changes are discreet and will not impact the Village Square or Bourke Street ski run given its location being well distanced from these. Furthermore, the development will not be visible from the streetscape and



the materials and colours used are typical and consistent with the existing building, which are suitable for the alpine environment.

45. There are several requirements stated in the table to schedule 1 of the DDO and the subject site is located within A1 area, referred to as DDO1-A1. In assessing the appropriateness of the built form of the proposal, consideration of the DDO1-A1 requirements is required. A summary table and a brief assessment will now follow.

Requirement	Existing	Proposed
<u>Height:</u> The maximum height of any part of a building is 3 storeys or 11 m above natural ground level, whichever is the lesser height.	Complies: 2 storey building	Complies: Remains a 2 storey building. Roof height is approx. 7.3 m
<u>Minimum setbacks:</u> 6 m from the closest kerbside or constructed edge of a road abutting the frontage of the site and 3m from the frontage of the site.	Complies: N/A	Complies: N/A (alterations are to the rear).
3 m from any other site boundary.	Complies: <u>Ground Floor:</u> North – 3.67 m  South – 10 m East – 6.59 m <u>Upper Floor:</u> North – 3.67 m  South – 10 m East – 6.59 m	Partial compliance: <u>Ground Floor:</u> North – 1.95 m (Variation of 1.05 m sought) South – 10 m East – 6.7 m <u>Upper Floor:</u> North – 1.82 m (Variation of 1.18 m sought)  South – 10 m East – 5.1 m
An average of 4 m from any other building on the same site.	N/A	N/A
6 m from any building on an adjoining site.	Complies: 14 m (easily complies)	Complies: 14 m (easily complies)
<u>Maximum site coverage:</u>	Complies: ~ 26%	Complies: 28%



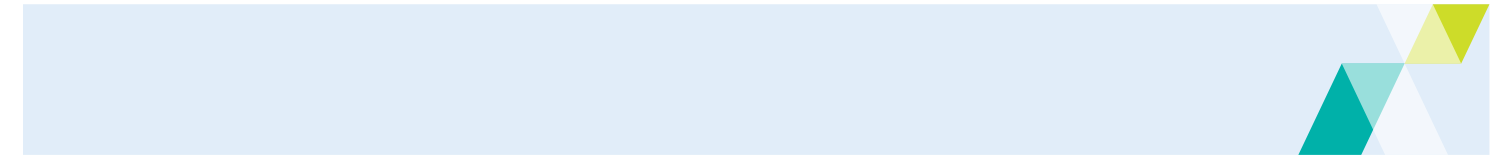
60 per cent of the total site area.		
<u>Wall materials:</u> Corrugated iron, profiled metal, timber, natural stone (preferably weathered granite), plastered masonry. Natural stone should be used in new buildings and major extensions that add more than 20 per cent to existing floor area. A minimum of 15 per cent of all external facades visible from the road, public pedestrian route or ski fields should be constructed of natural stone.	Complies: Weatherboard, natural stone and painted brick	Complies: Replacing weatherboard to 3 elevations with Colorbond. The extension represents 19.7% increase to the floor area therefore no new stone required.
<u>Roof material:</u> Profiled metal, corrugated iron (non-reflective and muted tones).	Complies: Colorbond	Complies: Colorbond
<u>Colours:</u> The use of colour in the form of paintwork should be minimised, and used only as a feature or element of contrast. The use of natural alpine colour tones should be used in materials and finishes.	Complies: Existing building uses suitable alpine tones of grey	Complies: Suitable alpine tones of grey to match existing materials.

46. The table above shows that the proposed development complies with all requirements other than the for two small setback variations sought to the northern side lease boundary for both the ground and upper levels. The variations sought are just over one metre for each and both are to a very small section, being the north/east corner of the extension. This is considered reasonable given the 3 m min setback to the rest of the extension is mostly achieved. Furthermore, the adjoining leasehold to the north is vacant and the minor variation will not cause unreasonable detriment to the leaseholder of the adjoining property.

## Environmental Considerations

### Geotechnical

47. The minor nature of the proposed development meets an exemption listed in the EMO1.



### **Site Environmental Management Plan (SEMP) & Construction Waste Management Plan (CWMP)**

48. As detailed earlier, the SEMP is not considered satisfactory in its submitted form, however some conditional changes to revise these documents will be included to ensure they are satisfactory, before being endorsed to form part of any permit to issue.

### **Cultural heritage**

49. The site where the proposed development is to occur indicates the area has been significantly disturbed and no Cultural Heritage Management Plan is considered to be required prior to the planning permit decision. Furthermore, the site is exempt pursuant to Regulation 9 of the Aboriginal Heritage Regulation 2018 as the site contains no more than 2 dwellings.

### **Referral responses**

50. The application required referral to the ARV, Buller Gas and AusNet Services, for the provision of services. The ARV has requested standard conditions be included regarding services and damage to resort infrastructure and some standard notes. AusNet Services required a note be included relating to services in the area. Buller Gas required conditions regarding entering into Agreements with Buller Gas for re-arrangement of any services and connection to gas.
51. GMW were referred to pursuant to the special water supply catchment area and required 2 standard conditions be included regarding activities being in accordance with EPA Publication 1834.1 and waste to be disposed of to the existing Mount Buller Wastewater Treatment Facility.
52. All the conditions and notes are considered acceptable and should be included on any permit that issues.



## Recommendation

53. **It is recommended** Planning Permit No. PA2504011 for *Buildings and works to an existing building* at 12A Goal Post Road, Mount Buller, be issued subject to conditions.

## Conclusion

54. The development is generally consistent with the relevant planning policies of the Alpine Resorts Planning Scheme and will improve the existing lodge.
55. The proposal is generally supported by referral authorities, subject to conditions.
56. **It is recommended that a Permit be** issued for Application No. PA2504011 being for *Buildings and works to an existing building* at 12A Goal Post Road, Mount Buller, subject to conditions.



**Prepared and approved by:**

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I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
  - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
  - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
  - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name:

[Redacted Name]

Title:

Signed:

[Redacted Signature]

Phone:

[Redacted Phone]

Dated: 1 June 2026

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**Reviewed by:**

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I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
  - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
  - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
  - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name:

[Redacted Name]

Signed:

[Redacted Signature]

Title:

Phone:

Dated: 2 June 2026

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