

Planning Assessment Officer Report

PA2503910 - 90 OUTER
CRESCENT BRIGHTON



Planning Assessment Officer Report
Development Assessment

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Executive Summary



| Key Information | Details | | | | | | | | | | | | |
|----------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|---------|---------|-------|---------------------------------------------------------------------|--------------------------------------------------------------------------|-----------|-------------------------------------------------------------|------------------------------------------------------------------------|------------------------|-------------------------|----------------------------------------------------------------------------------------------------------------|
| Application No: | PA2503910 | | | | | | | | | | | | |
| Received: | 2 September 2025 | | | | | | | | | | | | |
| Statutory Days: | 79 | | | | | | | | | | | | |
| Applicant: | Brighton Grammar School c/- Urbis | | | | | | | | | | | | |
| Planning Scheme: | Bayside | | | | | | | | | | | | |
| Land Address: | 90 Outer Crescent Brighton 3186 | | | | | | | | | | | | |
| Proposal: | Construction of a new performing arts centre, including the display of signs. | | | | | | | | | | | | |
| Development Value: | \$ 45.76 m | | | | | | | | | | | | |
| Why is the Minister responsible? | <p>In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the responsible authority in relation to the use and development of land for a:</p> <p><i>Primary school or secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school, if any of the following apply:</i></p> <ul style="list-style-type: none"><i>The estimated cost of development is \$3 million or greater.</i> | | | | | | | | | | | | |
| Why is a permit required? | <table border="1"><thead><tr><th>Clause</th><th>Control</th><th>Trigger</th></tr></thead><tbody><tr><td>Zone:</td><td>Clause 32.09-10 Neighbourhood Residential Zone Schedule 3 (NRZ3)</td><td>Construct a building or construct or carry out works for a section 2 use</td></tr><tr><td>Overlays:</td><td>Clause 43.02-1 Design and Development Overlay Schedule 3</td><td>Construct a building or construct or carry out works over 8m in height</td></tr><tr><td>Particular Provisions:</td><td>Clause 52.05-2 Signs</td><td>Construction and display of signs in section 2 [Internally illuminated sign; business identification signs]</td></tr></tbody></table> | Clause | Control | Trigger | Zone: | Clause 32.09-10 Neighbourhood Residential Zone Schedule 3 (NRZ3) | Construct a building or construct or carry out works for a section 2 use | Overlays: | Clause 43.02-1 Design and Development Overlay Schedule 3 | Construct a building or construct or carry out works over 8m in height | Particular Provisions: | Clause 52.05-2 Signs | Construction and display of signs in section 2 [Internally illuminated sign; business identification signs] |
| Clause | Control | Trigger | | | | | | | | | | | |
| Zone: | Clause 32.09-10 Neighbourhood Residential Zone Schedule 3 (NRZ3) | Construct a building or construct or carry out works for a section 2 use | | | | | | | | | | | |
| Overlays: | Clause 43.02-1 Design and Development Overlay Schedule 3 | Construct a building or construct or carry out works over 8m in height | | | | | | | | | | | |
| Particular Provisions: | Clause 52.05-2 Signs | Construction and display of signs in section 2 [Internally illuminated sign; business identification signs] | | | | | | | | | | | |
| Cultural Heritage: | The site is not in an area of cultural heritage significance. | | | | | | | | | | | | |
| Height: | 2 Storeys excluding plant 13.1 Metres (street façade parapet) 20.9 Metres (top of shroud) 31.0 Metres (total to Australian Height Datum – highest point for PANS OPS) | | | | | | | | | | | | |
| Referral Authorities: | Bayside City Council (Notice under s52(1)(b)) | | | | | | | | | | | | |
| Advice sought: | N/A | | | | | | | | | | | | |
| Public Notice: | <p>Notice of the application was undertaken by the applicant at the direction of the Minister for Planning in the following manner:</p> <ul style="list-style-type: none">Notice to adjoining properties.Signs (3) on the street interfaces of the site. <p>No objections have been received as of 16 February 2025.</p> | | | | | | | | | | | | |
| Delegates List: | N/A | | | | | | | | | | | | |
| Recommendation: | The application is recommended for approval subject to the conditions as discussed in this report. | | | | | | | | | | | | |



Application Process

- The key milestones in the application process were as follows:

| Milestone | Date |
|--------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Pre-application meeting (DTP and applicant team) | 31 July 2025 |
| Application lodgement | 2 September 2025 |
| Further information requested | N/A |
| Further information received | N/A |
| Further plans submitted on 21 October 2025 formally under s50 of the Act | In summary, the formally substituted plans illustrated: The inclusion of an external signage strategy, An updated town planning report to include signage assessment. |
| Decision Plans | Architectural Plans prepared by Lyons Architects and dated 28 August 2025. |
| Other Assessment Documents | External Signage Strategy prepared by Semaphore and Lyons Architects and dated 9 July 2025 and 28 August 2025 Landscape Plan and Report prepared by Rush Wright Associates dated 3 October 2024 S50 Town Planning Report prepared by Urbis dated 29 August 2025 Arboriculture Report prepared by Civica dated 15 January 2024 Noise Impact Assessment prepared by Acoustic Studio dated 13 August 2025 Stormwater Report prepared by Meinhardt dated August 2025 Waste Management Plan prepared by Salt3 dated 14 August 2025 |

- The subject of this report is the decision plans (as described above).

Proposal Summary

- The proposal can be summarised as follows:

| Key Information | Details |
|-----------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Proposal: | The construction of a new Performing Arts Centre and landscaping of the surrounding area. |
| Height: | 13.1m (Street façade) 20.09m (Services shroud) |
| Setbacks: | New Street (east): <ul style="list-style-type: none"> Ground Level: 4.4–10 metres, First Floor: 1.5 - 4.7metres Allee Street (north): <ul style="list-style-type: none"> Ground Level: 2.6–2.9 metres, First Floor: 1.3–2.5 metres Outer Crescent (east): 15-20 metres |



| | |
|----------------------------------------|------------------------------------------------------------------------------------------------------------|
| Land Uses: | No new uses proposed in this application |
| Car Parking: | No increase in the staff or student numbers and therefore no increase in the parking requirements |
| Bicycle Parking: | No increase in the staff or student numbers and therefore no increase in the bicycle facility requirements |
| Loading and Waste arrangements: | Loading and waste via the proposed New Street porte cochere and loading area. |

4. The applicant has provided the following concept images of the proposal:



Figure 1 Proposed PAC from New Street showing entrance to porte-cochere



Figure 2 Proposed PAC from New Street looking ESE



Figure 3 Proposal looking ESE (intersection of New and Allee Streets, Girrawheen Chapel to the left)



Figure 4 Aerial view of the proposal looking south (New Street to the right)



Figure 5 Proposed PAC from Outer Crescent



Figure 6 Proposed PAC from the south (within Brighton Grammar Campus)

Subject Site and Surrounds

Site Description

5. The site is located at **90 Outer Crescent Brighton**, and forms part of the Brighton Grammar School campus. The broader has a range of school buildings, playing fields and open spaces, as well as landscaping and circulation networks. These are spread across multiple parcels, in three main units. The proposed works are to the northern end of the centre parcels – bounded by New Street, Allee Street, Outer Crescent, and abutting the church complex to the south. The subject parcels measure 256m north-south and 146m east west, and has frontages to New Street, Allee Street, and Outer Crescent, with a total size of 25,600 m² (for the relevant lots)
6. The area of works is approximately 6,000m² including all of lot B and part of lot F as shown in Figure 7 and Figure 9 below. The area currently comprises of:
 - Rosstrevor Hall (music and drama building)
 - Administration Building
 - Storage facility
 - Temporary Classrooms.
7. The above buildings will be demolished to enable the proposed development.
8. The site is formally described as comprising the following land parcels:
 - Lot 1 on TP174250 (F in Figure 7 and Figure 9)
 - Plan PC354094B (B in Figure 7 and Figure 9)

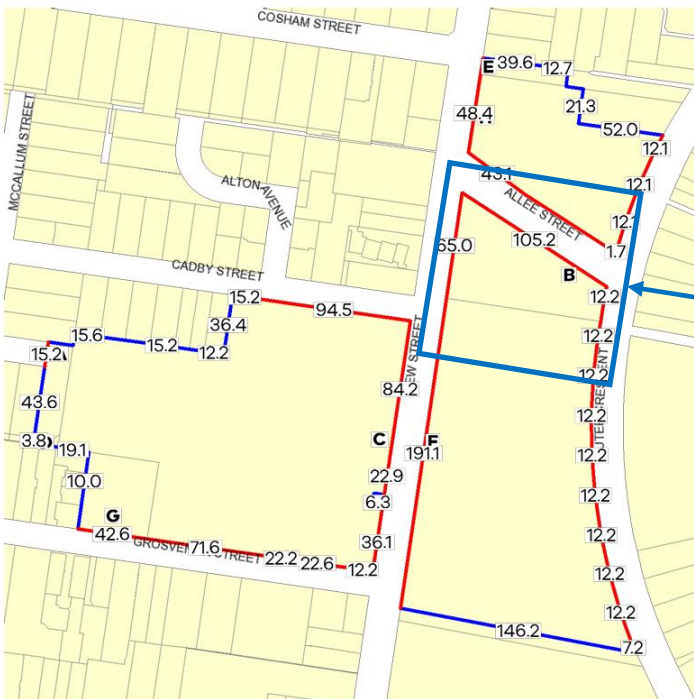


Figure 7 Map of lots comprising 90 Outer Crescent Brighton

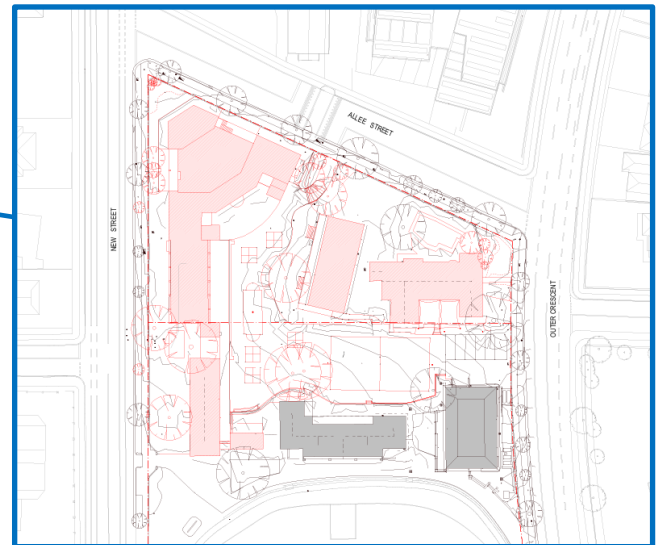


Figure 8 Demotion plan showing area of works

| | Lot/Plan or Crown Description | SPI | | Lot/Plan or Crown Description | SPI | |
|---|-------------------------------|-----------|--|-------------------------------|---------------|------------|
| A | Lot 40 LP4740 | 40\LP4740 | | E | Lot1 TP115938 | 1\TP115938 |
| B | Plan PC354094 | PC354094 | | F | Lot1 TP174250 | 1\TP174250 |
| C | Plan PC363249 | PC363249 | | G | Lot1 TP242539 | 1\TP242539 |
| D | Lot14 TP198 | 14\TP198 | | H | Lot1 TP941884 | 1\TP941884 |

Figure 9 Details of lots comprising 90 Outer Crescent Brighton

9. There are two easements on Lot 1 on TP174250P:

- E-1 – Drainage easement in favour of Town of Brighton.
- E-2 – Carriageway in favour of Bayside City Council.



Figure 10 Subject parcels showing easements to the south of the works area

10. These easements are not affected by the proposed works, and do not form part of the assessment.

Site Surrounds

11. The surrounding area is characterised by a mix of residential development of varying scale and age, the significant areas already occupied and developed by Brighton Grammar, and the presence of other community uses such as the Brighton Recreation Centre and St Andrew’s Church. To the southern end of the campus is the Church Street Brighton Activity Centre.

12. Development surrounding the site can be described as follows:

- To the **north** of the site is Allee Street. Over Allee Street is the Brighton Grammar campus continues. This includes the Wellbeing Centre, Urwin Centre, and Girraween Chapel. The chapel is subject to Heritage Overlay (HO553).
- To the **south** of the subject site is Crowther Oval and other Brighton Grammar buildings such as the Quadrangle, and the St Andrews Exchange Building. Beyond this, the balance of the block contains the St



Andrews Anglican Church and related buildings. These transition to the Church Street Activity Centre south of the block.

- To the **east** of the site is Outer Crescent. Over Outer Crescent is Wilson Reserve which is a large rectangular public park and sports field. To the north of Wilson Reserve are a number of detached single and double storey dwellings, and to the south are the Brighton Recreational Centre and the Rylands Retirement home. The latter buildings are 2-4 storeys.
- To the **west** of the site is New Street. Over New Street are residential dwellings that vary from Victorian villas to modern duplexes, all of 1-2 storeys. The dwellings on New Street generally have high fences or walls to the street. Cadby Street and the Brighton Grammar Junior School are to the south-west of the site.

13. A site inspection of the subject site and surrounds was undertaken on 11 February 2026. Images of the site and surrounds are reflected in Figure 11 to Figure 23.



Figure 11 Area of works looking ESE from intersection of North Road and Allee Street (existing Rosstrevor Hall in centre)



Figure 12 Area of works looking ESE from North Road (existing elevation)



Figure 13 Area of works looking west from Outer Crescent



Figure 14 Girrawheen Chapel from New Street



Figure 15 Allee Street between New Street and Outer Crescent



Figure 16 Residential properties on the western side of New Street



Figure 17 Public interface with North Road and Allee Street



Figure 18 Area of works looking WSW from Allee Street



Figure 19 Existing northern elevation to Allee Street



Figure 20 Looking north along North Street towards the area of works



Figure 21 Footpath on the proposal side of North Road



Figure 22 Outer Crescent looking south from the area of works



Figure 23 Allee Street, east of Outer Crescent



Municipal Planning Strategy

14. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

| Clause | Description |
|---------|---------------------------------|
| 02.01 | Context |
| 02.02 | Vision |
| 02.03-3 | Environmental risks and amenity |
| 02.03-4 | Built environment and heritage |
| 02.03-8 | Infrastructure |

Planning Policy Framework

15. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

| | |
|------------------|-------------------------------------------|
| Clause 11 | Settlement |
| 11.02-1S | Development capacity |
| Clause 12 | Environmental and Landscape Values |
| 12.06-1S | Urban Forests |
| Clause 13 | Environmental Risks and Amenity |
| 13.01-3S | Urban Heat |
| 13.07-1L-01 | Amenity |
| 13.07-1L-02 | Discretionary uses in residential areas |
| Clause 15 | Built Environment and Heritage |
| 15.01-1L | Urban Design |
| 15.01-2S | Building Design |
| 15.01-2L-02 | Environmentally sustainable development |
| 15.01-5S | Neighbourhood Character |
| 15.01-5L | Bayside preferred neighbourhood character |
| Clause 19 | Infrastructure |
| 19.02-2S | Education Facilities |

16. The assessment section of this report provides a detailed assessment of the relevant planning policies

Zoning and Overlays

Applicable Zone

17. The subject site is located within the Neighbourhood Residential Zone Schedule 3 (NRZ3). An education centre (primary and secondary school) is a Section 2 use under Clause 32.09-2. As the use of the land for educational purposes is well established and the proposal does not alter the use, no planning permit is required for the use itself.
18. However, pursuant to Clause 32.09-10, a planning permit is required to construct a building or carry out works associated with a Section 2 use. The application seeks permission for buildings and works only.



19. The purpose of the **Neighbourhood Residential Zone** is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To recognise areas of predominantly single and double storey residential development.*
- *To manage and ensure that development is responsive to the identified neighbourhood character, heritage, environmental or landscape characteristics.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

20. The assessment sections include a discussion of how the proposal responds to these requirements.

Applicable Overlay

21. A planning permit is required to construct a building or construct or carry out works in accordance with Clause 43.02 Design and Development Overlay Schedule 3. The header clause triggers a permit for all buildings and works, and the schedule limits this to buildings and works over two-storeys or 8m high. As the proposal has a total height of approximate 21m, a planning permit is required under this clause.

22. The objectives of the DDO3 are:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*
- *To preserve the existing character and amenity of the areas as low rise (up to two storeys) suburban areas with a strong garden character.*
- *To maintain the prevailing streetscape rhythm, building scale and height of neighbourhoods.*
- *To maintain a strong landscape character with buildings set within vegetated surrounds.*

23. The decision guidelines relevant to this proposal are:

- *Whether the design objectives of this Schedule have been met.*
- *Whether the development respects and is compatible with the surrounding residential character.*
- *Whether the proposed building height exceeds the preferred building height of up to 2 storeys.*
- *Whether the proposed siting, height, design, building setbacks and landscaping will be in keeping with the character of the area.*
- *The effect of the building height on the scale and character of the area.*

Other Overlays

24. The **Special Building Overlay** applies to southern sections of the site, but not the location of the proposed works subject to this application.

Particular and General Provisions

Relevant Provisions that Require, Enable or Exempt a Permit

Clause 52.05 - Signs

25. The land is located within a Neighbourhood Residential Zone, which is classified as a Category 3 – High Amenity Area at Clause 32.09-15.



26. Pursuant to Clause 52.05-13 (Category 3 – High amenity areas), the proposed business identification signs (5) and internally illuminated sign (1) are section 2 signage.
27. Pursuant to Clause 52.05-2, a planning permit is required to construct or put up for display a sign in Section 2.
28. The purpose of Category 3 – High Amenity Areas is *to ensure that signs in high-amenity areas are orderly, of good design and do not detract from the appearance of the building on which a sign is displayed or the surrounding area.*
29. The relevant overarching purposes of Clause 52.05 are:
 - *To ensure signs are compatible with the amenity and visual appearance of an area, including the existing or desired future character.*
 - *To ensure signs do not contribute to excessive visual clutter or visual disorder.*
 - *To ensure that signs do not cause loss of amenity or adversely affect the natural or built environment or the safety, appearance or efficiency of a road.*
30. The [Signage](#) section includes a discussion of how the proposal responds to these requirements.

Non-Applicable Provisions that Require, Enable or Exempt a Permit

Clause 52.06 - Parking

31. Clause 52.06 sets out the requirements of car parking provision. This clause is triggered by any increase in the floor or site area of a use. The carparking requirement in Table 1 of Clause 52.06 for an education centre relates to the increase in staff and student numbers. This application does not seek to increase student or staff numbers. Therefore, a permit is not triggered for this application under Clause 52.06 Car Parking.

Clause 52.34 – Bicycle Facilities

32. Clause 52.34 sets out the requirements for the provision of bicycle facilities. This clause is triggered by any increase in the floor or site area of a use. The bicycle facilities requirements in Table 1 of Clause 52.34 for a secondary school relates to the increase in staff and student numbers. This application does not seek to increase student or staff numbers. Therefore, a permit is not triggered for this application under Clause 52.34 Bicycle Parking.

Clause 52.37 – Canopy Trees

33. Clause 52.37 triggers a permit for the removal of canopy trees. Cl. 52.37 was introduced with the gazettal of VC289 on 15 September 2025. As the application for this proposal was received on 2 September 2025, the following exemption applies (cl. 52.37-9):

The requirements of clause 52.37 do not apply to:

The removal, destruction or lopping of a canopy tree associated with the construction of a building or the construction or carrying out works in accordance with a permit if the application for that permit was made before the approval date of Amendment VC289.

General Requirements and Performance Standards

Clause 53.18 – Stormwater Management in Urban Development

34. Clause 53.18 applies to the buildings and works of this application. The clause includes standards and objectives relating to stormwater.
35. The purpose of Clause 53.18 is: *‘To ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.’*



36. The [Stormwater Management](#) section include a discussion of how the proposal responds to these requirements

Clause 53.19 Non-Government Schools

37. Clause 53.19 applies to applications to use or develop land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.

38. The purpose of the clause is to:

- *To facilitate new non-government schools.*
- *To facilitate upgrades and extensions to existing non-government schools.*



Referrals

39. The application was referred to the following groups:

| Provision / Clause | Organisation | Response and date received |
|--------------------------|----------------------|-------------------------------------------------------------------------------|
| Section 52 Notice | Bayside City Council | Informal response indicating conditional support received on 7 November 2025. |

Municipal Council Comments

40. Bayside City Council (the council) provided a response to the informal referral on 7 November 2025. On 12 January 2026 the council was given formal notice under Section 52(1)(b). No further comments were received. The council was generally supportive of the proposal, recommending a number of minor conditions as follows:

| Proposed Condition | Response |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Inclusion of Tree Protection Specifications on development and landscape plans. | Will be included as conditions. |
| Requesting a detailed landscape plan which notates the use mature plantings. | Discussed in the landscaping section. The standard DTP landscaping condition will be applied. |
| Ensuring that the footpath between new street and the bus bay is constructed in accordance with Bayside's standard drawings and maintained to their satisfaction. | The plans do show the footpath continuing along New Street, however no details of kerbs etc have been included. A condition will be included that works be completed to the satisfaction of the council. |
| Limit after school use to the same levels as currently permitted. | As this application is only for buildings and works, it would be inappropriate to include use conditions. Any relevant council issued use permits will continue to apply to the site. |

Notice

41. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions:

- Cl. 32.09-10 – Buildings and works for a section 2 use (Neighbourhood Residential Zone Schedule 3),
- Cl. 43.02-1 – (Design and Development Overlay Schedule 3),
- Cl. 52.05-2 – Construction and display of a sign in section 2 (Signs).

42. The applicant was directed to give notice by way of erecting signs on the site and notifying adjoining owners and occupiers.

43. No objections have been received.



Key Considerations

44. The following are deemed the key considerations in assessing the acceptability of the proposal:

- **Built form appropriateness in the NRZ3**
- **Landscaping**

Strategic Direction and Land Use

45. The *Planning Policy Framework* (PPF) encourages appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.

46. In relation to the PPF, the proposal:

- Aligns with the objectives of Clause 11 (Settlement) by making efficient use of well-serviced urban land and consolidating institutional development within an existing campus, thereby reducing pressure for expansion into new areas.
- Supports Clause 12.06-1S (Urban forests) by retaining canopy trees and replanting more than the number to be removed.
- Is designed and sited to minimise amenity impacts to nearby residential properties consistent with the requirements of Clause 13.07-1L-02 (Discretionary Uses in Residential Areas).
- Is supported by State and local planning policy that seeks to facilitate the provision and expansion of education facilities within established urban areas. Clause 19.02 (Education Facilities) provides clear strategic direction to support the ongoing operation and growth of schools in order to meet existing and future community needs. The policy recognises that education facilities differ from residential development in their purpose, function and built form, and that these differences should be accommodated through appropriate planning outcomes.

Building Design and Neighbourhood Character

47. In accordance with Clause 15.01-1S and Clause 15.01-2S, the proposal demonstrates a high-quality architectural response that:

- Breaks down overall building mass through articulation and variation in form,
- Provides visual interest and permeability through façade treatment,
- Responds to the existing site conditions,
- Maintains a clear hierarchy between built form and landscaped space,
- Enhances the public realm, and
- Minimises detrimental impacts on amenity.

48. The proposal responds to the preferred neighbourhood character identified at Clause 15.01-5L (Residential Character Precinct B2) by:

- Strong articulation to the facades of the proposal,
- Maintaining street setbacks to allow landscaping,
- Retention of canopy trees where possible, and the planting of more trees than will be removed, and

- Retaining significant site area for the planting of vegetation.

49. As a result of the above, and the considerations discussed in the zone and overlay sections below, the proposal is considered to be an appropriate response to the building design and neighbourhood character policy.

Buildings and Works

Neighbourhood Residential Zone

50. The proposal has been assessed against the relevant design objectives and guidelines of the NRZ3. In reference to the NRZ3 decision guidelines the proposal:

- Continues the educational facility use of the site and serves local community needs.
- Increases the scale of the development in a sensitive manner.
- Incorporates a built form (design, height, setback and appearance of the proposed building) that will have a net positive impact on the area.
- Incorporates landscaping in the setbacks and the east of the site to ensure appropriate integration into the surrounding area.
- Does not affect the onsite car parking. There is unlikely to be a significant shift in on street demand as a result of the proposal.

51. The proposal will replace the existing Rosstrevor Hall which is used by the school as its music and drama building. The proposal builds on the existing building's form but increases coverage into the site. This consolidation of existing built form patterns maintains generous setbacks.

52. While the scale of the development exceeds that of dwellings to the west and east, the proposal is sited towards the northwest corner of the site which has the least sensitivity as it abuts the highly trafficked New Street. The form of the proposal is appropriate for its use, and has policy support in that education facilities can be expected to have different built form characteristics to surrounding development.

53. The siting, setback and landscaping, as well as the intersection and setbacks of the Girrawheen Chapel form a relatively open space around the proposal (Figure 3 and Figure 15). As such, the proposal is appropriately scaled for the immediate area and will not be visually dominant. The transition to landscaping across the site towards Outer Crescent will minimise impact in this direction (east). The area to the east is a stronger representation of the garden suburban neighbourhood character, and therefore more sensitive to development impacts. This siting is appropriate with regard to the relevant purposes of the zone, namely that the development is responsive to the neighbourhood character, and that the zone allows educational and other uses in appropriate locations.

54. The above considerations show the proposal to be an appropriate response to the purpose and decision guidelines of the NRZ3.

Design and Development Overlay Schedule 3 (DDO3)

55. The proposal has been assessed against the relevant design objectives and guidelines of the Design and Development Overlay Schedule 3 (DDO3).

56. In reference to the DDO3 decision guidelines the proposal:

- The architectural and urban design outcomes will contribute positively to the local character and public realm, without adversely impacting the streetscape or landscape character.
- Maintains compatibility with the surrounding residential buildings by being primarily read as two-storey in form and sited to ensure an acceptable transition in height.

- Exceeds the preferred two-storey height but is sensitively designed to mitigate the impact of visual bulk.
- Is appropriately sited and integrates landscape setbacks at all interfaces to support the garden character of the area.

57. The street facades maintain a height similar to the general mass of the existing building. While the proposal represents an increase in scale compared to the surrounding residential properties, this transition is considered appropriate given the design response and the island nature of the site.

58. The integration of the Performing Arts Centre (PAC) within its residential context is achieved through a combination of setbacks, landscaping, and façade articulation and variation. As discussed above, the PAC is sited on the less sensitive New Street side of the site to minimise impact to residential interfaces. The curved design features and varied use of materials, provide visual breaks to the main facades which ensures street walls are not read as a solid mass. The peak height of the shroud is set back approximately 14.5m from the property boundary on New Street, and 20m from the property boundary on Allee Street to minimise visibility and offsite impact. As a result of the steeply raked form and setback, there will be little to no visibility from the east.

59. The proposal is considered to satisfy the intent of the DDO3 and to achieve an acceptable built form outcome in the context of the established school campus.

Design Detail and Materiality

60. The façade design uses a mix of masonry tones and textures which reference campus elements such as The Quadrangle columns, the red brick perimeter fence, and the red and purple blended brickwork of existing Rosstrevor Hall. The “curtain” façade, glazing, and balconies give relief and additional variation while providing a visual link to the contemporary architectural forms on campus (The Duigan Centre, St Andrews Street; The Urwin Centre, Outer Crescent).

61. The architectural response is considered to be of high quality and be suitable for the location.

Amenity

General amenity effects

62. The proposal will not have an undue effect on the amenity of the surrounding area as it:

- Provides a modestly scaled and highly articulated street wall to New Street and Allee Street,
- Provides significant landscape setbacks on all sides,
- Does not increase the intensity of use as it is an upgrade of an existing facility and does not propose an increase in staff or student numbers,
- The included signage is appropriately sited, scaled, and designed, and
- The proposed removal of 11 non-native trees is appropriately mitigated with the relocation of some existing trees and extensive landscaping.

63. The proposal will also have positive effects on the amenity of the area by increasing the activation on all interfaces, and moving the on-street busy bay to an on-site location.

64. In relation to on-site amenity, the proposal has been developed to enhance campus movement networks. As such it will enhance staff and student access to the proposal and across the broader school.



Acoustic effects

65. The submitted acoustic report shows that the PAC has been appropriately designed to ensure that noise emissions and intrusions will be below the applicable guidelines. As a function of the building's musical use, the requirements for soundproofing go beyond those needed to ensure that the surrounding properties will not be adversely affected.
66. The outdoor performance area is landscaped and separated to ensure that it will not have an unreasonable acoustic impact on the surrounding area. Use of this area will need to abide by any relevant existing use permits, council local laws, and EPA regulations regarding noise. The council recommended including use conditions for this area, however these are outside the scope of the permit.

Overshadowing

67. As a result of the proposal's location on an island site, the PAC will not overshadow any sensitive interfaces. This is shown in Figure 24 below:

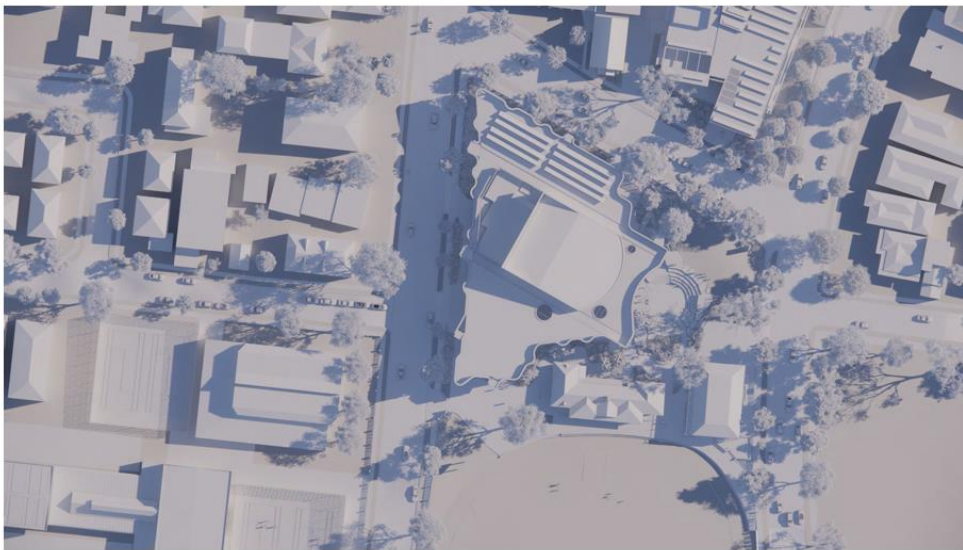


Figure 24 Shadows cast by the proposal at 9am on 21 September.

Public Realm

Ground Level Activation

68. The development engages the public realm with three direct street frontages; New Street, Allee Street, and Outer Crescent. The street interfaces:
- Have a large amount of glazing and architectural detail to enhance street-level interaction and visual interest.
 - Create new pedestrian routes for site users.
 - Maintain landscape setbacks which echo the character of nearby residential properties and support the overall landscape strategy.
69. The street-level activation is a significant increase on the existing conditions, and is supported by the council.

Landscaping

70. The submitted Landscape Plan demonstrates a considered approach which reinforces campus character, providing visual buffering and enhancing the environmental quality of the site. The inclusion of outdoor learning spaces and an



extension of the performing arts centre provide a coherent plan for the area. The submitted landscape notes the usage of predominantly native species which are appropriate for the location.

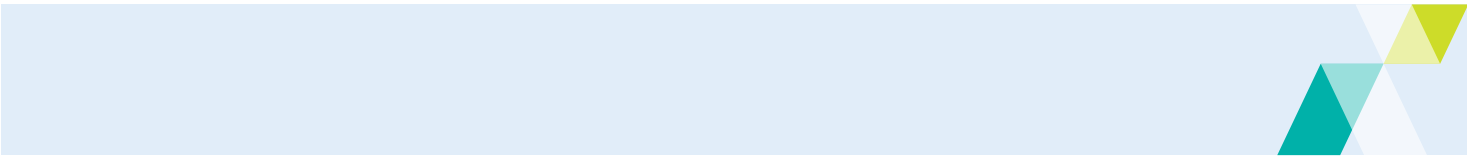
71. While the removal of 13 planted trees is proposed, all but one of the trees are of low to medium retention value, and all are exempt from Clause 52.17 requirements. The Arboricultural Assessment confirms that tree removal is limited to what is necessary to facilitate the development and that significant trees are retained and protected where feasible. Tree protection measures during construction and replacement planting are proposed to ensure no net loss of landscape quality over time. This approach is consistent with Clause 15 objectives relating to landscape integration, environmental quality and the protection of valued vegetation.
72. The tree replacement strategy will plant 16 new canopy trees (*banksia serrata*) along the New Street frontage, resulting in a net increase in canopy cover and reinforcing the garden character of the surrounding residential area.
73. Planting, landscaping, and earthworks around the amphitheatre will ensure that area is visually and acoustically screened from the surrounding properties.
74. The above is consistent with the PPF and the NRZ decision guidelines, and is therefore acceptable subject to the standard DTP landscape conditions with revisions to show:
 - A full planting schedule
 - Any changes required as a result of the amended architectural plans condition.

Signage

75. The proposal also seeks permission for three business identification signs and three internally illuminated signs at the school. The signage will include the school logo, the campus name, and the building name. These will be incorporated into the building design and will allow the appropriate site identification and wayfinding. Signs are proposed at strategic and low-sensitivity locations. No signage is proposed to be visible to the residential interfaces on Outer Crescent.
76. Additional directional signage is shown in the signage pack, this was not explicitly included by the applicant in this application. However, as they do not meet the definition of exempt *direction signage* at Cl. 73.02, an assessment is included here under the category *business identification signage*.
77. The locations of these signs are shown in *Figure 25* below, and assessment of each signage type follows.



Figure 25 Plan showing proposed locations of building mounted signs



| | S.101 Campus Brand Identification | S.102 Campus Name Identification | S.103 Gate Identification | S.104 External Directional with Map | S.105a / S.105b External Directional | S.106 Building Identification |
|---------------|------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-----------------------------------------------------|---------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|----------------------------------|
| Name | S.101 Campus Brand Identification | S.102 Campus Name Identification | S.103 Gate Identification | S.104 External Directional with Map | S.105a / S.105b External Directional | S.106 Building Identification |
| Mounting | Wall-mounted | Wall-mounted | Wall-mounted | Freestanding | Freestanding | Wall-mounted |
| Sides | Single | Single | Single | Double | Double | Single |
| Power | Yes | Yes | No | No | No | Yes |
| Data | No | No | No | No | No | No |
| Approx. dims. | Nominal 2400 x 2400mm | TBCmmWx450mmH | 350mmWx1350mmH | 350mmWx1850mmH | 350mmWx1850mmH | TBCmmWx350mmH |
| Specification | Aluminium light box with digitally printed flex face banner. Powdercoat frame. Dimmable and timed internal LED illumination. | Powdercoat aluminium letters. | Powdercoat aluminium sign panel. UV print graphics. | Internal aluminium frame with powdercoat aluminium panels and stone clad base. UV print graphics. | Internal aluminium frame with powdercoat aluminium panels and stone clad base. UV print graphics. | Powdercoat aluminium letters. |

Figure 26 Details of sign types

Business Identification Signage (external)

78. The proposed business identification signs are:

- Campus name identification [S.102] – powder coated aluminium letters, 450mm high lettering, length TBC.
- Building identification [S.106] – powder coated aluminium letters, 350mm high lettering, length TBC.
- Gate identification [S.103] – powder coated aluminium with printed graphics, 350mm x 1350mm

79. With reference to the decision guidelines at Clause 52.05-8, the business identification signage to the exterior of the building is:

- Appropriate to the character of the of the area and the streetscape given the existing use of the site, and that they replace similar existing signage,
- The scale is appropriate to the site and buildings,
- Has no dedicated supporting structures, illumination, or other potential amenity impact.

80. Having considered these guidelines, the business identification signage (external) is considered appropriate.

Business Identification Signage (wayfinding)

81. The proposed wayfinding business identification signs are:

- External directional signs with map [S.104] – powder coated aluminium with stone base and printed graphics, 350mm x 1850mm.
- External directional signs [S.105a/ S.105b] – powder coated aluminium with stone base and printed graphics, 350mm x 1850mm.

82. With reference to the decision guidelines at Clause 52.05-8, the wayfinding business identification is:

- Appropriate to the character of the of the area and the streetscape given the locations will be internal to the site,

- The scale is appropriate to the site and buildings,
- Will have minimal or no visibility from off site,
- Has integrated supporting structures, and
- Has no illumination or other potential amenity impact.

83. It is noted that no locations have been included for these signs, and an amended signage strategy condition will be included.

84. Having considered these guidelines, the business identification signage (wayfinding) is considered appropriate.

Internally Illuminated Signage

85. The proposed internally illuminated signs are:

- Campus brand identification [S.101] – shown in purple in *Figure 25* above.
 - Have approximate dimensions of 2.4m x 2.4m.
 - Be internally illuminated light boxes.
 - Mounted on the building facades approximately 6.5m above NGL.
 - The signs will be located on the north (Allee Street), west (North Street), and south facades (internal to the site but visible from North Street).

86. With reference to the decision guidelines at Clause 52.05-8, the internally illuminated business identification signs:

- Will not adversely impact the character of the of the area and the streetscape as the locations have been integrated into the design of the building and will complement the overall design.
- Are appropriate in scale to the site and buildings, providing reasonable visibility and branding for the site.
- Illumination in the form of a logo light box will not have significant offsite impacts, and will not impact the safety of pedestrians or vehicles.
- Have no dedicated supporting structures or other potential amenity impact.

87. Having considered these guidelines, the internally illuminated signage is considered appropriate

88. The overall signage strategy provides an appropriate framework for signage at the proposed development.

Traffic, Loading, and Waste

Access and Traffic Movement

89. The proposal has been informed by a Traffic Impact Assessment prepared by One Mile Grid and the Town Planning Report prepared by Urbis. As the development does not increase student or staff numbers, no additional on-site car parking is required pursuant to Clause 52.06. The retention of six on-site car parking spaces accessed from Outer Crescent, together with the provision of a new bus bay and porte-cochere on New Street, will improve student safety and operational efficiency.

90. While approximately eight on-street parking spaces will be removed to accommodate the bus bay, the removal of the existing bus zone and reinstatement of standard parking results in no net loss of on-street parking. This arrangement is supported by council. The Council is satisfied that the proposed access and traffic arrangements will not result in unacceptable traffic or parking impacts. Maintain a balance between school infrastructure needs and residential amenity



91. The Council's Traffic Engineer reviewed the plans and found the proposed changes acceptable, provided that the new access points do not create higher or redistributed parking demands. The submitted traffic report notes that the new access points on New Street are only for the bus bay, and will not cause a redistribution of general pick-up/drop-off traffic around the site. DTP is satisfied that there will be no significant redistribution of parking demand as a result of the proposal. Accordingly, traffic and access impacts are considered acceptable.

Loading / Unloading

92. Loading and unloading is provided in the proposed porte-cochere. The submitted swept path diagrams show appropriate access for a variety of likely vehicle classes. The council's traffic engineers confirmed that the loading arrangements are appropriate.

Waste

93. A waste management plan has been provided by SALT which demonstrates that adequate provision has been made for the storage, collection and management of waste and recyclable materials generated by the education facility. Waste collection is proposed to occur within the loading bay of the porte-cochere in a manner that does not adversely impact pedestrian safety, vehicle circulation or residential amenity.

94. Council officers have reviewed the submitted Waste Management Plan and are satisfied that waste storage and collection arrangements are appropriate for the scale and function of the development. The proposal is therefore considered to achieve acceptable waste management outcomes consistent with the objectives of the Planning Policy Framework and Council's operational requirements.

Sustainability

Environmentally Sustainable Design (ESD)

95. The application includes a Sustainability Management Plan (SMP) Report prepared by ADP to support the proposed development. The report demonstrates that the proposal satisfies Clause 15.01-2L-02 through a variety of measures. These include meeting best practice score of 63% in the Building Environment Sustainability Scorecard (BESS), and other key outcomes such as:

- A 30kL rainwater tank for toilet flushing and irrigation, contributing to a STORM Rating of 101%.
- Reduced energy use supported by:
 - High-performance fabric, glazing, and insulation.
 - A 63kW solar PV system.
 - Energy-efficient LED lighting.
- 44% of the nominated floor area achieving at least a 2% daylight factor.
- Indoor environment quality is supported through:
 - The use of low VOC and low formaldehyde materials,
 - The inclusion of cross ventilation and mechanical ventilation,
 - On-site VOC and formaldehyde testing
- Urban ecology is supported through vegetation retention and new landscaping.
- 80% of construction and demolition waste to be diverted from landfill.

96. These measures are appropriate with regard to the type and scale of the proposal and the requirements of the planning scheme.



Water Sensitive Urban Design (WSUD)

97. The stormwater treatment strategy has been developed to achieve best practice treatment targets in accordance with the *Urban Stormwater Best Practice Environmental Management Guidelines*. Treatment measures will include a combination of rainwater harvesting, gross pollutant traps, and SQIDEP-certified proprietary treatment devices, as demonstrated by MUSIC modelling prepared for the development.
98. Rainwater harvesting will be incorporated into the design to support non-potable reuse, contributing to reduced potable water demand and improved stormwater outcomes.
99. These measures meet the objective of cl. 19.03-3L-02 and are considered an appropriate WSUD outcome in combination with the stormwater management detailed below.

Stormwater Management

100. The application includes a detailed Civil Stormwater Design Report prepared by Meinhardt Group (Revision 02, 13 August 2025). The report has been prepared in accordance with relevant regulatory and technical documents (NCC 2022 Volume One and AS3500.3:2025 – plumbing and drainage standards).
101. Minor storm events (5% AEP) will be managed via an underground pit and pipe drainage network, while major storm events (1% AEP) will be accommodated through a combination of oversized pipes and controlled overland flow paths. On-site detention mechanisms will be incorporated to ensure compliance with Council runoff requirements. The site discharge and required detention volume have been determined in accordance with Council drainage advice. Indicative mechanisms for stormwater treatment have been provided, noting that these are preliminary, but the final design will ensure the nominated treatment targets will be achieved.
102. The above measures ensure that the report meets the objectives of Clause 53.18-5 (Stormwater management objectives for buildings and works) and 53.18-5 (Site management objectives).



104. The proposal is generally consistent with the relevant planning policies of the **Bayside** Planning Scheme and will contribute to the provision of **education facilities** within the **Bayside** area.
105. The proposal is generally supported by the Bayside City Council.
106. It is **recommended** that Planning Permit No. **PA2503910** for the **education building at 90 Outer Crescent, Brighton** be issued subject to conditions.
107. It is **recommended** that the applicant and the council be notified of the above in writing.

Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name: [REDACTED]

Title: Planner, Development Assessment

Signed: [REDACTED]

Phone: [REDACTED]

Dated: 20 February 2026

Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name: [REDACTED]

Title: Manager, Development Assessment

Signed: [REDACTED]

Phone: [REDACTED]

Dated: 23 February 2026