

Assessment Officer Report

PA2604192 – 37 Maddingley
Road, Maddingley.



Officer Assessment Report
Development Approvals & Design



Department
of Transport
and Planning

OFFICIAL



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Executive Summary



Key Information	Details		
Application No:	PA2604192		
Received:	21/01/2026		
Statutory Days:	92		
Applicant:	Bacchus Marsh Grammar c/- Taylors Development strategists Pty Ltd		
Planning Scheme:	Moorabool		
Land Address:	37 South Maddingley Road, Maddingley		
Proposal:	Use of land for Education, buildings and works for the construction of a new school building (recreational and sporting facilities) and associated external landscaping works.		
Development Value:	\$ 8,5 m		
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the Responsible Authority for this application because it is for the development of a school building that is ancillary to, carried out in conjunction with and on the same land or contiguous land in the same ownership as a primary school or secondary school as the estimated cost is greater than \$3 million.		
Why is a permit required?	Clause	Control	Trigger
Zone:	Clause 37.01	Special Use Zone Schedule 1 and 4 (SUZ)	<i>Use of land for education Construct a building or construct or carry out works</i>
Overlays:	N/A		
Particular Provisions:	Clause 52.06	Car Parking	N/A
	Clause 53.18	Stormwater Management in Urban Development	<i>Construct a building or carry out works.</i>
	Clause 53.19	Non-government Schools	<i>Use or develop land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land as a primary or secondary school.</i>
Cultural Heritage:	The land is not affected by Cultural Heritage and therefore a CHMP is not required.		
Total Site Area:	62,290	m ²	
Gross Floor Area:	626	m ²	
Height:	1	Storeys excluding plant	
	5.7	Metres excluding plant	
Referral Authorities:	Moorabool Shire Council – Section 52 notice DEECA – Mineral Resources		
Advice sought:	N/A		
Public Notice:	Notice of the application under section 52 of the Act was not required because it was deemed that there would be no material detriment to any other party.		
Delegates List:	Not required.		



Application Process

1. The school has had an extensive planning permit history over many years. Planning permits issued by Moorabool Shire Council and the department include:

- PA2021133 – issued 24 March 2022

Use and development of a car park (comprising 280 car parking spaces) in association with an existing Educational Facility.

PA2403307 – issued 21 July 2025

Construction of a new school building (auditorium) and the carrying out of associated works (Landscaping and access works).

2. The key milestones in the application process were as follows:

Milestone	Date
Pre-application meeting (DTP)	N/A
Application lodgement	28/01/2026
Further information requested	N/A
Further information received	N/A
Decision Plans	Plans prepared by Go Design , titled ' BMG Maddingley Fields Auditorium ' and dated 24/01/2025
Other Assessment Documents	

3. The subject of this report is the decision plans (as described above).

Proposal Summary

4. Planning Permit Application PA2604192 proposes to develop the land for the construction of a new field auditorium (sporting pavilion) with associated external landscaping and access works.

5. The proposed works are to be undertaken on a clear section of land located in the southern portion of the site.

6. Specific details of the application include:

- Single level building.
- Two change rooms with access to showers and toilets.
- Two umpire change / bathroom rooms – accessed externally.
- Two accessible change / bathroom rooms – accessed externally.
- Six unisex bathrooms accessed externally.
- Three store rooms accessed externally via roller doors.
- Medical room – accessed externally.
- Cleaners storeroom – accessed externally.



7. The applicant has provided the following concept image/s of the proposal:

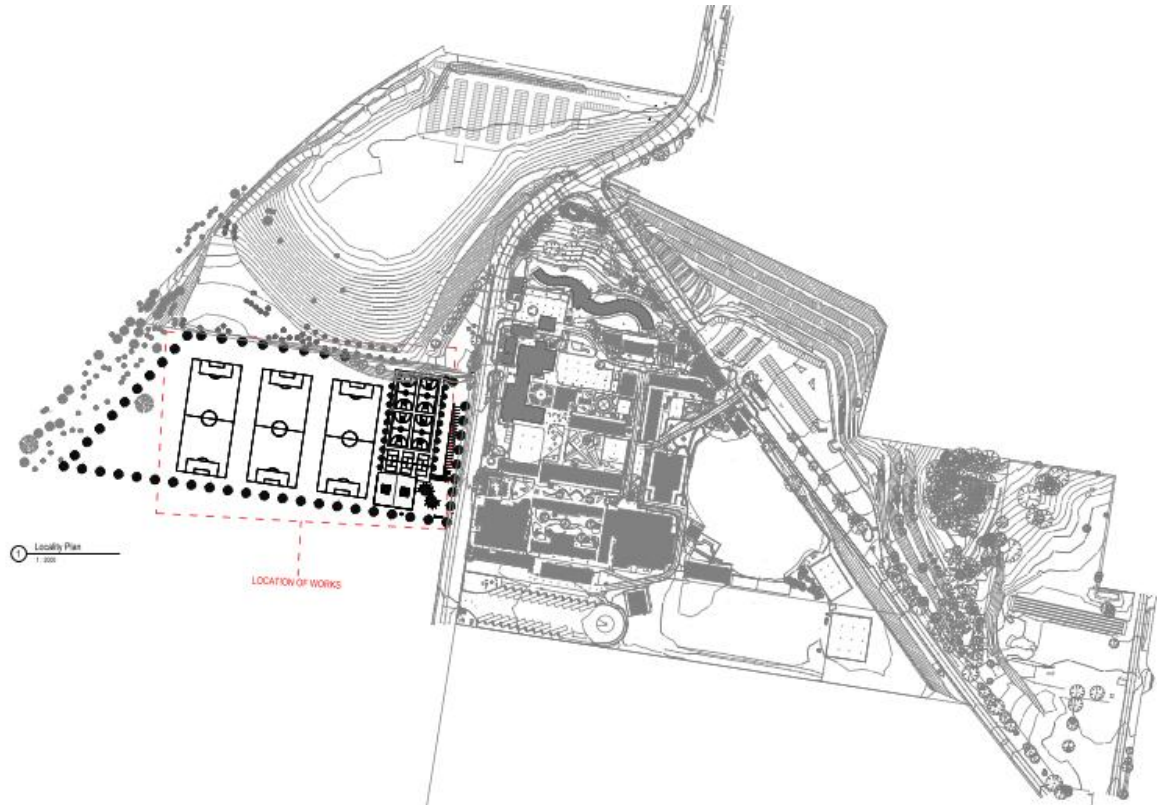


Figure 1: Overall school site plan.

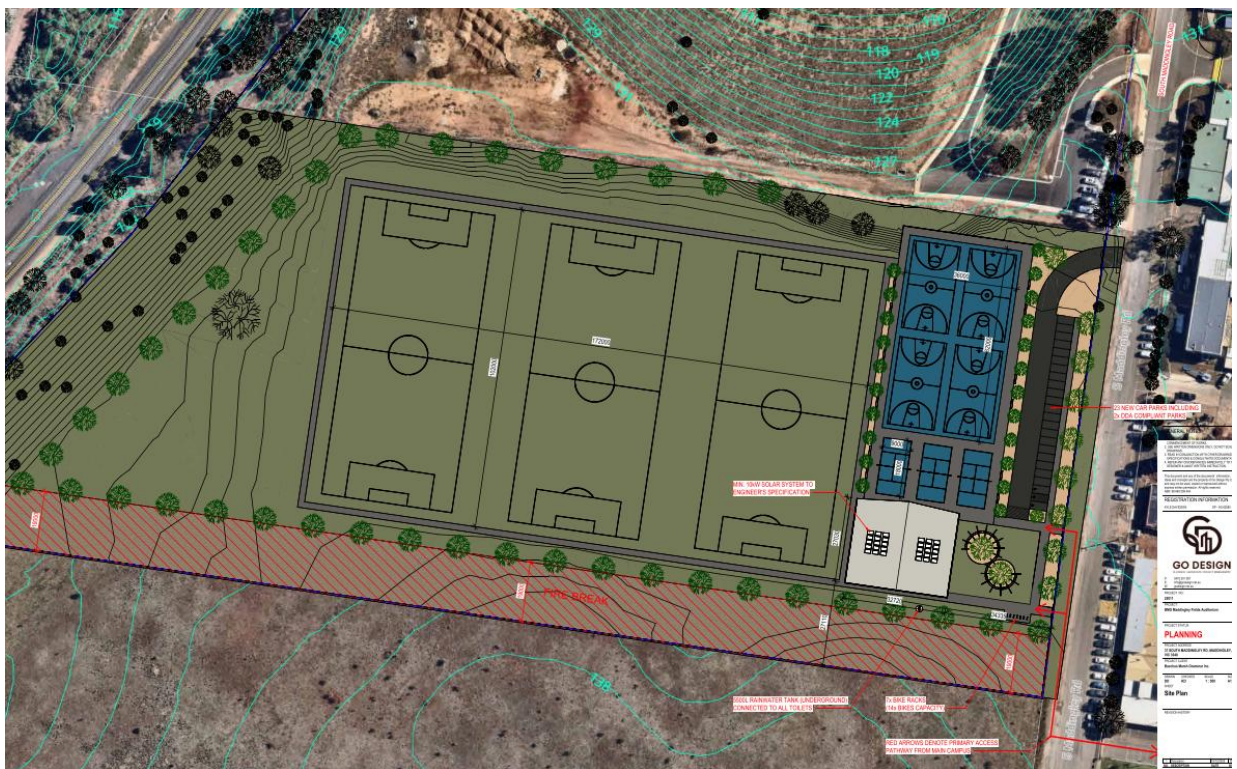


Figure 2: Site Plan (works)

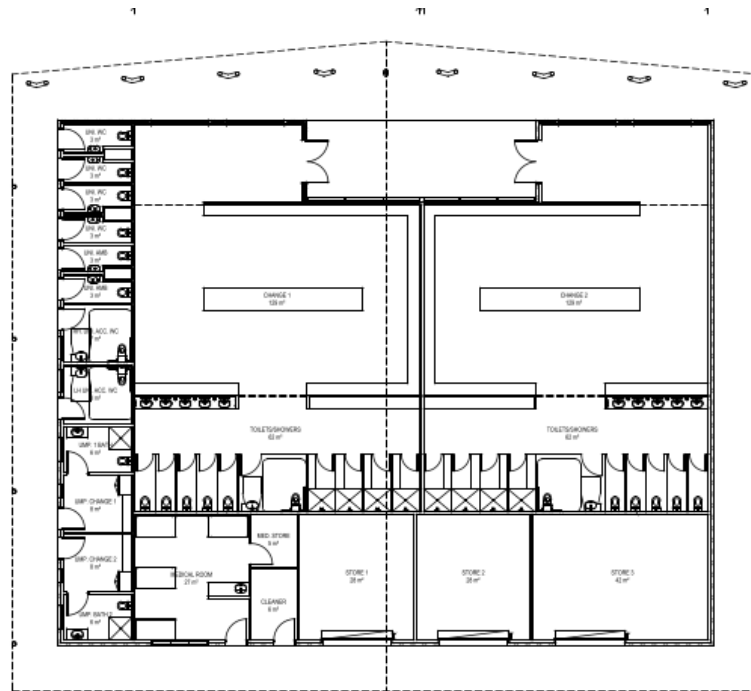


Figure 3: Ground floor plan.

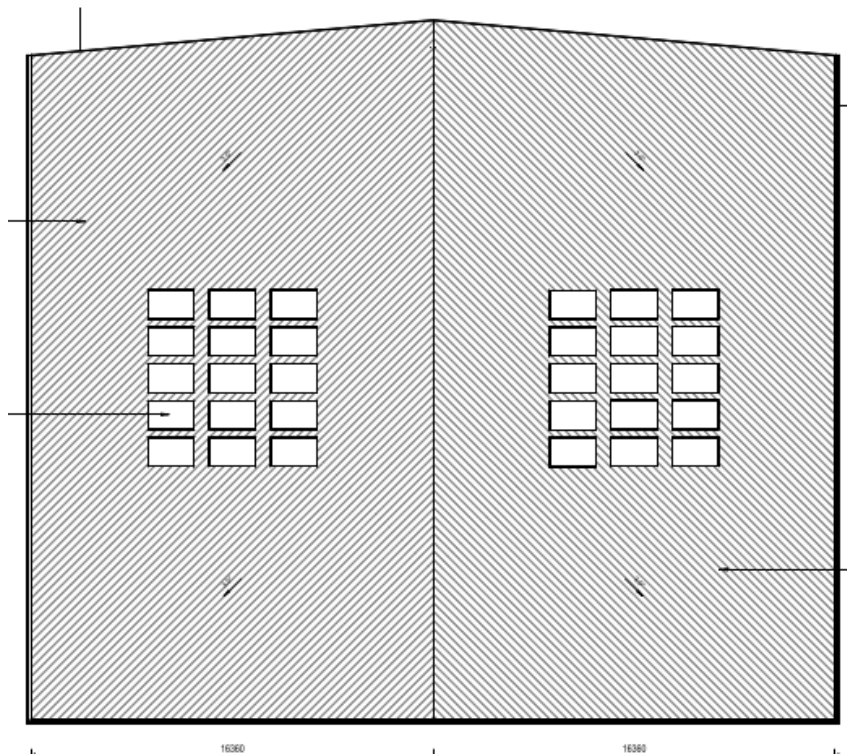


Figure 4: Roof Plan

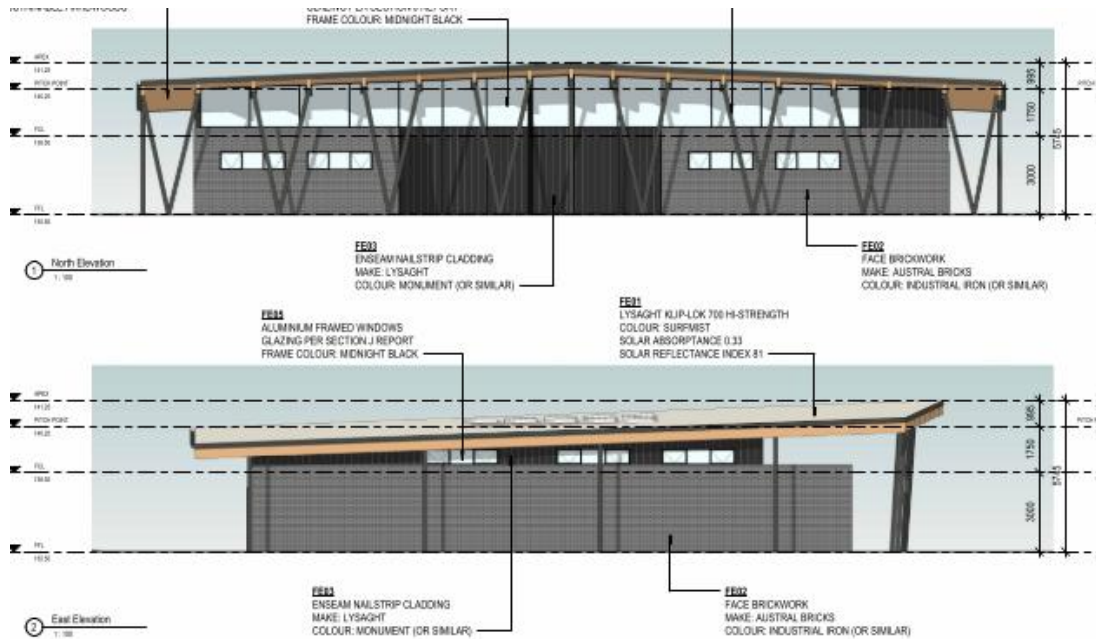


Figure 5: North and east elevation.

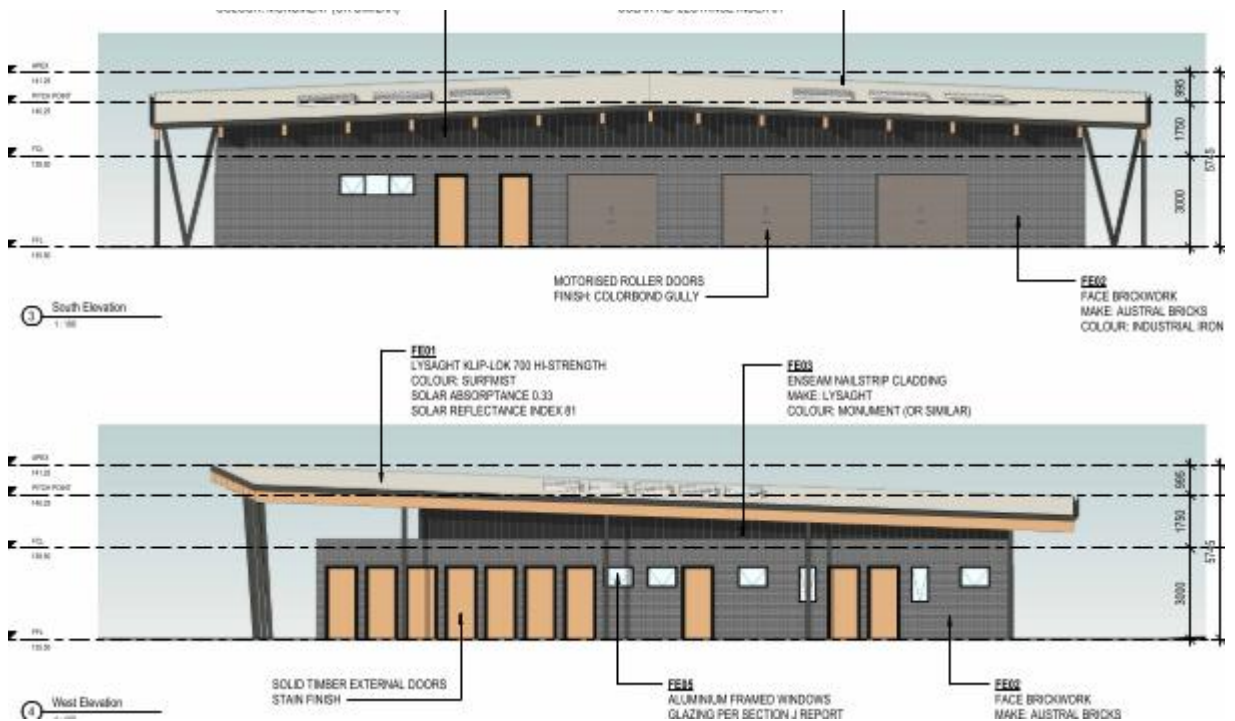


Figure 6: South and west elevation.



Figure 7 to 10: Perspectives (sports pavilion)



Figure 9 and 108: Perspective sports fields.



Figure 119: Perspective sport fields.



Site Description

8. The site is located at 37 Maddingley Road, Maddingley and is located on the western side of South Maddingley Road approximately 1.5km south of the Maddingley town centre.
9. The site is known as Bacchus Marsh Grammar School and has been in operation on the current site since 1988. The site provides education facilities for prep to year 12 students.
10. The school comprises of extensive buildings and grounds spread over several parcels of land, with the new sports auditorium (sports pavilion) to be located on a parcel of land to the south of the new auditorium and to the west of the main school campus.

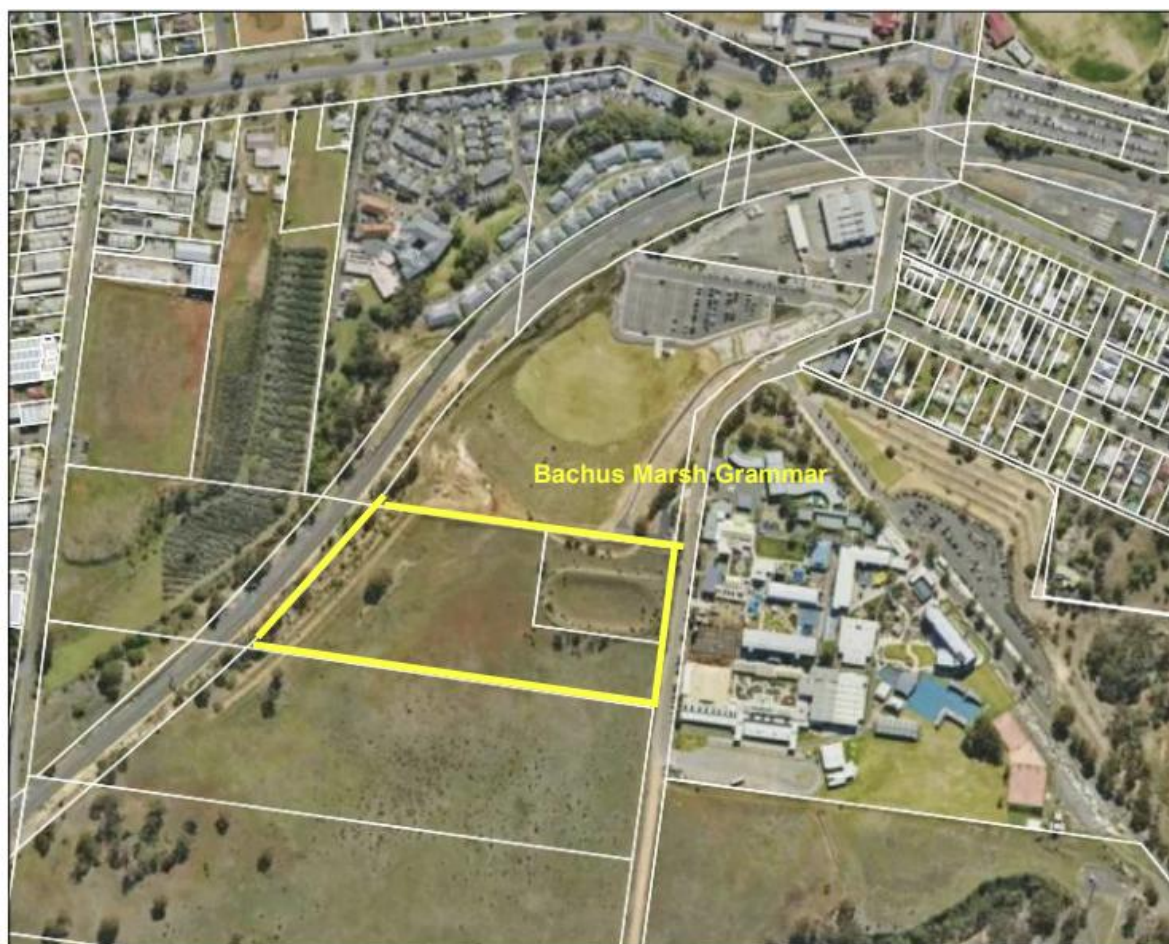


Figure 2: Overall school site.



Figure 10: Site location.

11. The site is an irregular in shape with a street frontage of 150m to South Maddingley Road and the overall site comprises an area of 47,550 m² (4.75 hectares).
12. The proposed building is to be located adjacent to the most eastern boundary of the parcel of land and adjacent to South Maddingley Road which separates the site from the broader school campus.
13. The school has recently constructed a substantial car park located at the northern end of the site adjacent to South Maddingley Road.

Site Surrounds

14. The surrounding development consists mainly of adjacent school owned buildings and new residential subdivisions.
15. Development surrounding the site can be described as follows:
 - To the **north** of the site:

The property to the north consists of school grounds and infrastructure. The school infrastructure includes newly constructed school oval, and the location of the proposed and approved auditorium.
 - To the **south** of the site:

To the south agricultural land is currently used for grazing and stockfeed. Further south the Maddingley Brown Coal Landfill and the Bacchus Marsh Open Cut Coal Mine are located.
 - To the **east** of the site:

The Bacchus Marsh Grammar School – Maddingley Campus is located immediately east of the subject site, on the eastern side of South Maddingley Road.
 - To the **west** of the site:

The V-line railway line providing services from Melbourne to Ballarat borders the site along the western boundary, further afield low density residential dwellings.

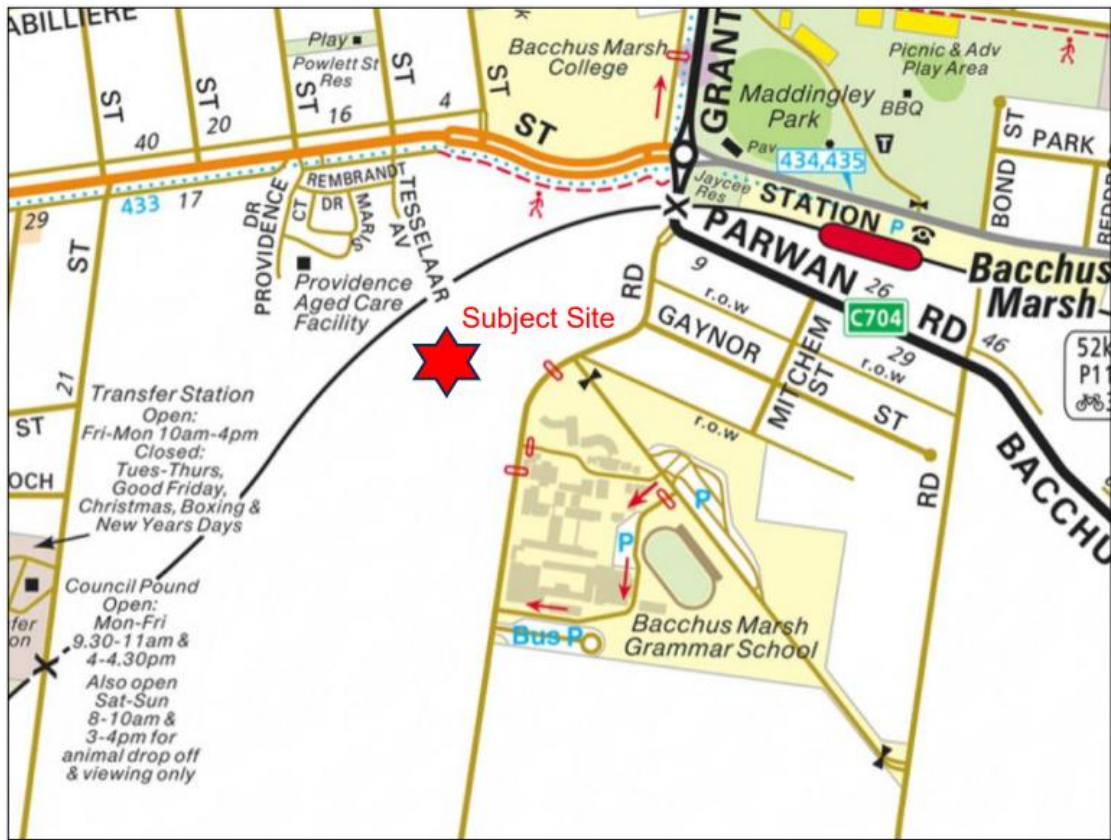


Figure 11: Site location (Melways online)



Municipal Planning Strategy

16. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03-1	Settlement – Bacchus Marsh <i>Bacchus Marsh has wide range of services and facilities and provides the largest retail centre within the Shire. However, these will need to be expanded in the context of future growth as a regional service centre.</i>
02.03-5	Built environment and heritage <i>Planning for development in the Shire needs to be environmentally sustainable to maintain and enhance the quality of the environment and natural resource base and should assist in creating compact, liveable and sustainable neighbourhoods.</i>
02.03-9	Infrastructure - community <i>Council seeks to: Ensure that provision of education and health services matches projected demand.</i>

Planning Policy Framework

17. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	Settlement
11.01-1L-02	Settlement – Bacchus Marsh
Clause 15	Built Environment and Heritage
15.01-1S	Urban Design <i>To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.</i>
15.01-2S	Building Design <i>To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.</i>
15.01-2L-01	Building Design <i>Design, site and construct buildings and works to:</i> <ul style="list-style-type: none"> - Minimise the removal and disturbance of native vegetation. - Avoid protruding above ridgelines, hill tops and tree canopies. - Avoid construction on steep slopes. - Minimise soil disturbance and levels of excavation and fill. - Avoid the use of reflective building materials such as zincalume. - Use external colours, materials and finishes of subdued tones that blend with the surrounding landscape and vegetation.
Clause 19	Infrastructure
19.02-2S	Education Facilities <i>To assist the integration of education and early childhood facilities with local and regional communities. Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities. Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass)</i>



18. The assessment section of this report provides a detailed assessment of the relevant planning policies.

Zoning and Overlays

Applicable Zone/s

Special Use Zone – Schedule 1 (Coal Mining)

19. A planning permit is required for the use and to construct a building or construct or carry out works in accordance with **Clause 37.01-1**. The purpose of the **Special Use Zone (SUZ1)** is:

- To implement the *State Planning Policy Framework* and the *Local Planning Policy Framework*, including the *Municipal Strategic Statement* and local planning policies.
- To recognise and provide for the use and development of land for coal mining.
- To provide for use of the land compatible with the primary purpose of the zone.
- To ensure that mining operations are carried out in an orderly manner and with due regard to the surrounding environment and adjacent land uses.
- To encourage land management practice and rehabilitation that minimises adverse impact on the uses and development of nearby land.
- To ensure that use and development occurs in accordance with any endorsed Management Plan and Development Plan.

20. The following sections include a discussion of how the proposal responds to these requirements.

Other Overlays

21. No overlays affect the subject site..



Figure 12: Extent of overlays



Particular and General Provisions

Provisions that Require, Enable or Exempt a Permit

Clause 52.06 – Car Parking

22. Clause 52.06-1 is applied to an increase in floor area or site area of an existing use. The proposal is not a new use of land as the land is part of the existing school, however, will result in an increase in the floor area. The application documents have confirmed that there is no change to the operation of the school and no increase to the number of staff or students at the school.
23. In addition, the proposal includes 22 additional car parking spaces to be provided along the eastern boundary, including 1 DDA space.

Clause 52.34 – Bicycle Facilities

24. The application proposes no increase to student numbers or teaching staff. As there are no changes to the staff or student numbers, no additional bicycle parking is required to be provided.
25. The proposal includes an additional 14 bike racks which equates to 14 bike parking spaces.

Clause 53.19 – Non-government schools

26. Clause 53.19 applies to the use and development of land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.
27. An application to which Clause 53.19 applies exempts it from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act.

Clause 53.18 – Stormwater in Urban Development

28. Clause 53.18 applies to this application for buildings and works. The clause includes standards and objectives relating to stormwater management and aim to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Relevant Strategic Plan

Bacchus Marsh Urban Growth Framework

29. Moorabool Shire Council adopted the Bacchus Marsh Urban Growth Framework 2018 (BMUGF) to identify potential growth opportunities based on growth areas and land capability.
30. The UGF has four key elements, including:
 - Environment
 - Employment
 - Housing and Community Infrastructure
 - Transport
31. The UGF recognises that demand for key community facilities is expected to increase with the predicted population growth and housing within the surrounding area.

32. Existing schools (Bacchus Marsh College and Bacchus Marsh Grammar) are acknowledged as schools where future planning of these precincts is necessary to ensure provision of future facilities.
33. Bacchus Marsh Grammar is located within the area specified in the UGF as College Precinct as shown in Figure.

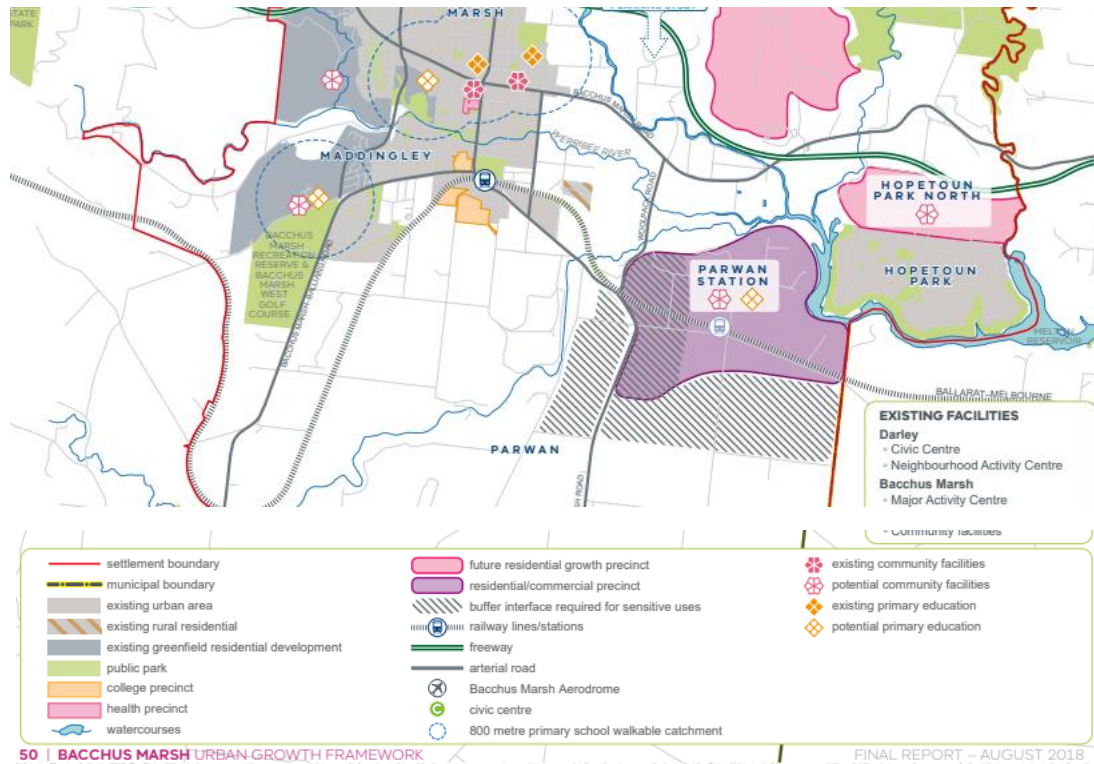


Figure 13: UGF - Plan 6 - housing and community.

34. The BMUGF nominates the site as part of the Integrated College Precinct and the proposed development aligns with this strategy. The relevant elements of the UGF vision include:
 - *Planning for new residential areas with the capacity for a range of housing needs, supported by local services and schools.*
 - *Identifying high-level infrastructure needs to support growth, from roads to train stations to new schools and parks.*
35. The BMUGF also highlights that the Bacchus Marsh Grammar will be necessary to ensure that the area has ongoing educational opportunities to support provision of education facilities for future growth of residential precincts.



Referrals

36. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 52 Notice	Moorabool Shire Council	No response
Section 55 Referral	DEECA – Earth Resources	No response

Municipal Council Comments

37. The Moorabool Shire Council (the council) did not respond to the notice given.

DEECA – Earth resources

38. The application was referred to DEECA in accordance with Schedule 1 of Clause 37.01, no response was received after multiple follow up requests.

Notice

39. While an application received under Clause 53.19 is exempt from the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987*, it is not exempt from the notice requirements of section 52(1)(a), (b) and (d).
40. The application was not advertised other than to the municipal authority under section 52(1)(b) as it was considered not to cause material detriment to any person because:
- The proposed development is removed from sensitive residential interfaces and located centrally within the school grounds, away from any sensitive interfaces.



Strategic Direction and Land Use

42. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
43. The relevant MPS and PPF policies have been considered in assessing the application.
44. The proposed land use is consistent with the strategic direction of the following policies:
45. Clause 02.03-9 Infrastructure seeks to:
 - *Ensure that provision of education and health services matches projected land demand.*
46. Clause 15, 15.01-1S, 15.01-2S, 15.01-5S and 15.01-2L-01 collectively have the following objectives and strategies relating to design:
 - *Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.*
 - *Ensure the form, scale and appearance of development enhances the function and amenity of the public realm.*
 - *Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.*
47. Clause 19.02-2S provides the following guidance:

Education Facilities

To assist in the integration of education and early childhood facilities with local and regional communities.

 - *Consider the demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.*
 - *Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities.*
 - *Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).*
48. The proposed new Sports Auditorium (Sports Pavillion) has taken local polices into consideration. The siting of the building on the eastern side of the site adjacent to the South Maddingley Roadway which separates the sporting fields from the main school campus.
49. The new building is also located in an area which has been subjected to limited landfill activities which were undertaken to rectify the former coal mine.
50. The new sports pavilion and associated sporting fields will contribute to the ongoing educational needs of the school community, and the upgrade of facilities will allow for greater flexibility for students.

Buildings and Works

51. Detailed plans have been submitted for the new Sporting Fields Auditorium (Sports pavilion) building.
52. The works include the following:
 - Construction of the single level sports pavilion.

- Construction of new pedestrian walkways, car parking, and sporting fields.

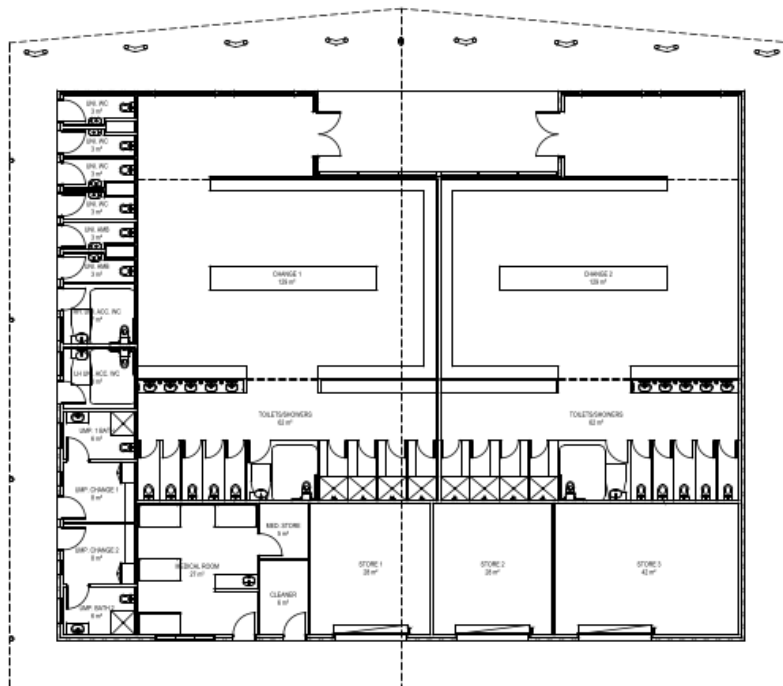


Figure 14: Ground floor layout.

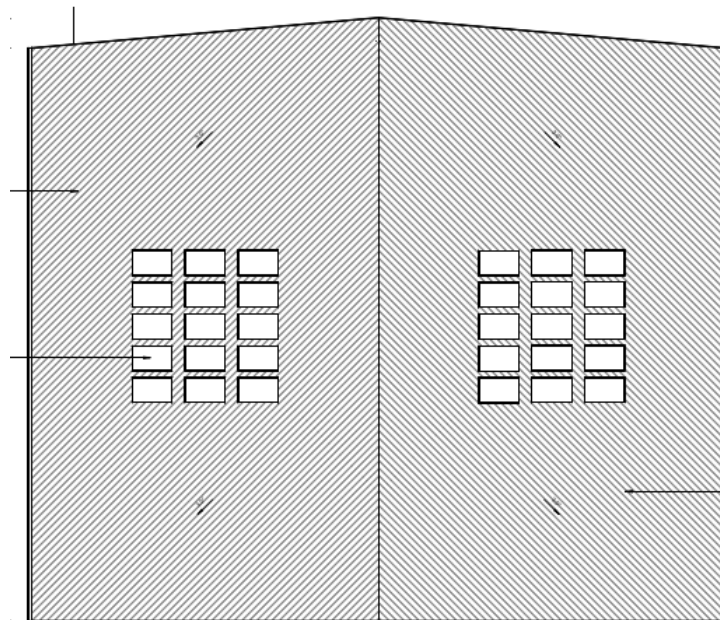


Figure 15: Roof plan layout.

53. The plans show the new sports pavilion, which is located on the eastern side of the subject site, within close proximity to the broader school campus. The sports pavilion provides the following internal amenity for students:

- Two separate change rooms, with each change room providing bathrooms with toilets and showers.



- 6 bathrooms externally accessible.
- 2 DDA compliant bathrooms externally accessible.
- 2 umpire change rooms/bathroom externally accessible.
- Medical room externally accessible.
- 3 storerooms externally accessible via roller doors.
- 1 cleaner store room externally accessible.

54. The external works include new sporting fields, consisting of the following:

- 4 netball/basketball courts
- 3 tennis courts.
- 3 hockey/soccer fields.

55. The design also provides for bathroom facilities which can be accessed externally separate from the change rooms. In addition to the external bathrooms, two change rooms have been provided specifically for umpires.

56. Medical facilities are also provided within the building for use during sporting events.

57. Three storerooms provide for the storage of various sporting equipment allowing for easy access for students and staff.

58. The overall siting and size of the proposed sports pavilion when compared to the extent of the school campus is minimal and will occupy a small component of the land. The building provides internal amenity and flexibility for ongoing use of the facility. The separate change rooms allows for the rooms to be used for single sex change rooms or for interschool events where a visiting school needs change facilities.

Height and Setbacks

59. The proposal has a maximum height of 5.7m from NGL and is provided with a pitched skillion roof design.

60. The new building is setback from the eastern boundary 26.4m and 27.1m from the southern boundary. The low scale built form and the extensive setbacks from these boundaries allows space for extensive landscaping to be planted.

61. The new building is consistent with the design intent of the broader school campus and new buildings being constructed within the school grounds.

Design Detail

62. The application has been submitted with a comprehensive materials schedule as part of the application documents, including materials and finishes for the building and the subsequent surrounding landscaping details to be provided.

63. The proposed variation of materials through the use of brickwork, glazing and cladding allows for building which is visually interesting, in addition solar panels are proposed to be installed on the roof providing a minimum 10kW solar system to facilitate a sustainable designed building.

64. The architectural response is to provide a modern building within the school grounds which responds to the proposed use for students. The use of materials and landscaping will provide visual interest when viewed both internally from the school grounds and from the broader context of the surrounding area.

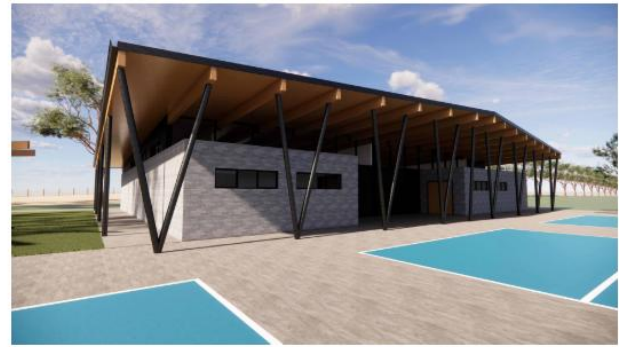


Figure 16: Perspectives of the pavilion

Landscaping

65. The application has been submitted with a high-level landscape plan detailing the new landscaping direction around the development of the sports pavilion.
66. The plan provides a context plan showing the location of the new building, new footpath system and plantings around the building.
67. The plan details the proposed landscaping, including the direction for materials and finishes of paving, seating and spaces around the building and sports fields.
68. New landscaping, including new trees will be provided around the new car park and immediately adjacent to the sporting fields. A 19m wide fire break along the southern boundary has been included in the design to help protect the new facilities from any fire risk.
69. The proposed landscaping outcome is consistent with the broader school landscaping outcomes and will achieve a more vegetated outcome from the current conditions. Permit conditions will be included for a planting schedule to be included on the plans providing details of the species, size at maturity the number of plants to be planted.



Figure 17: Landscape Plan

REFERENCE IMAGES



EUCALYPTUS (EUCALYPTUS COMATA), YELLOW OAK



CONCRETE AND DRY PLANTING EXAMPLE



NATIVE GARDEN BED EXAMPLE



CONCRETE AND DRY PLANTING EXAMPLE



NATIVE GARDEN BED EXAMPLE

Figure 18: Landscape concept

Car and Bicycle Parking

Car Parking

70. As part of the proposed works a new driveway will be constructed from South Maddingley Road providing access to the new car parking spaces to be provided adjacent to the new sporting fields. Pedestrian movements from the car park can be safely undertaken via a designated footpath and separate paths allow access to the broader school campus.
71. The proposal does not include any additional staff or students and does not trigger the requirement for any additional onsite car parking, the proposed car park located at the eastern end of the site ensures the school provides an additional 22 car parking spaces, in excess to the parking requirements.

Bicycle Facilities

72. The application does not include any additional staff or students; therefore, no additional bicycle parking provisions are required, however 14 bike spaces have been provided as part of the overall design.

Waste

73. A waste management plan has not been provided as part of the application documents. Waste from the new building will be managed in accordance with the current waste management arrangements for the extended school.

Environmental Risks

Bushfire Risk

74. The site is located within an area designated as being bushfire prone and will require to be designed and built to the relevant BAL rating as deemed appropriate by the relevant building surveyor.

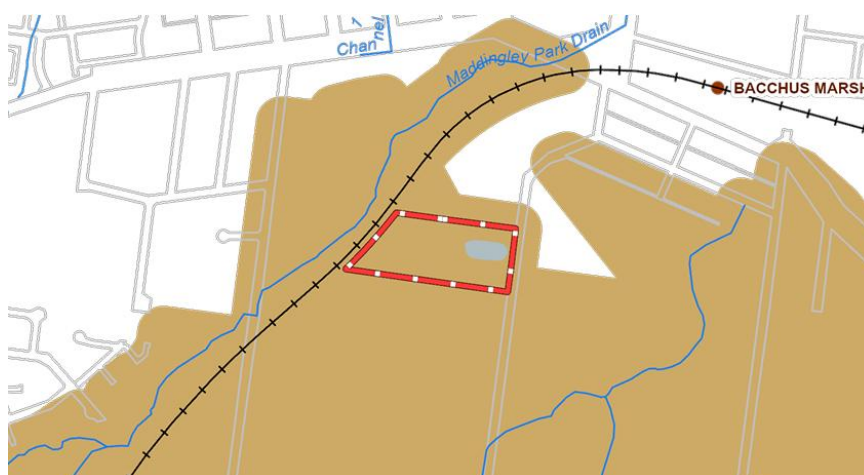


Figure 19: Extent of site deemed bushfire prone

Sustainability

Environmentally Sustainable Design (ESD)

75. The application has not been submitted with an Environmentally Sustainable Design Assessment. The building does not require a sustainable design assessment due to the nature of its use. However the plans show that a 5500L underwater rainwater tank will be provided and connected to all toilets.

Stormwater Management

76. The proposal has not been submitted with a stormwater management report detailing the control measures to be put in place to address stormwater management.
77. The permit will require a stormwater management report to be submitted as a permit condition to ensure that the Clause 53.18 is met.

PLANNING PERMIT

Permit No.:	PA2604192
Planning scheme:	Moorabool Planning Scheme
Responsible authority:	Minister for Planning
ADDRESS OF THE LAND:	37 South Maddingley Road, Maddingley

THE PERMIT ALLOWS:

Planning scheme clause	Matter for which the permit has been granted
37.01-1	Use as an education centre
37.01-4	Construct a building or construct or carry out works for a Section 2 use.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Compliance with documents approved under this permit

1. At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.

Approved and Endorsed Plans

2. Before the use and development starts, plans must be approved and endorsed by the responsible authority. The plans must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimensions, be generally in accordance with the plans prepared by Go Design, and titled BMG Maddingley Fields Auditorium, but amended to show the following details:
 - a) Any changes required by the Stormwater Management Plan.
 - b) Any changes required by the updated landscape plan.

Commencement

2. This permit will operate from the issued date of this permit.

Layout not altered

3. The use and development as shown on the endorsed plans must not be altered (unless the Moorabool Planning Scheme specified that a permit is not required) without the prior written consent of the responsible authority.

Landscaping – Amended Plans

4. Concurrent with the endorsement of plans, an amended landscape plan must be submitted to and approved by the Responsible Authority. The landscape plan must be prepared to the satisfaction of the Responsible Authority, be drawn to scale with dimensions, be generally in accordance with the landscape plan prepared by Go Design, Sht A005, and must include the following:
- a) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.
5. At all times the landscaping shown on the approved landscape plan must be maintained (including the replacement of any dead, diseased or damaged plants) to the satisfaction of the Responsible Authority.

Construction of parking areas and aisles

6. Before the development is occupied, the vehicular crossings, access lanes and car parking spaces shown on the endorsed landscape plan must be:
- a) Constructed and available for use in accordance with the endorsed plans.
 - b) Properly formed to such levels and drained so that they can be used in accordance with the endorsed plans.
 - c) Treated with an all-weather seal or equivalent durable surface.
 - d) Line marked to indicate each car space.
- To the satisfaction of Moorabool Shire Council.

Stormwater management Plan

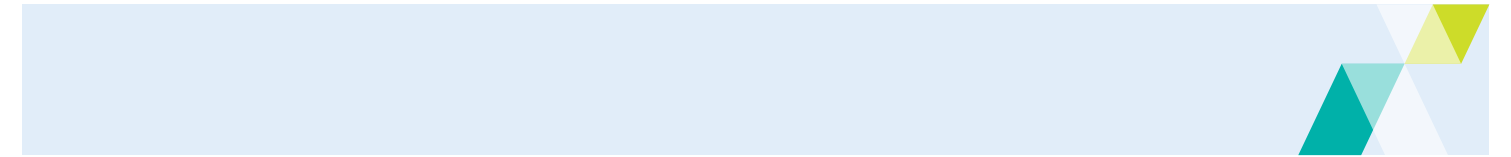
7. Before the use and development starts, a stormwater management plan must be approved and endorsed by the responsible authority. The stormwater management plan must be prepared to the satisfaction of the responsible authority, and must include:
- a) Include details of the proposed stormwater management system, including drainage works and retention, detention and discharges of stormwater to the drainage system.
 - b) Set out how the stormwater management system will be managed on an ongoing basis.
 - c) Demonstrate how all relevant standards set out in the planning scheme relating to stormwater management will meet the objectives in the planning scheme, including modelling and calculations.

General Amenity

8. The amenity of the area must not be detrimentally affected by the use(s), including through:
- The transport of materials, goods or commodities to and from the land.
 - The unsightly appearance of any buildings, works or materials.
 - The emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil; or
 - The presence of vermin.

To the satisfaction of the Responsible Authority.

Control of light spill

- 
9. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the Responsible Authority.

Permit Expiry

10. This permit will expire if one of the following circumstances apply:

- a) The development is not started within 3 years of the issued date of this provision.
- b) The development is not completed within 5 years of the issued date of this permit.
- c) The use is not started within 2 years of the completion of the development.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

- a) The commencement date referred to if a request is made in writing before the permit expires or within six months afterwards.
- b) The completion date referred to if a request is made in writing within six months after the permit expires and the development started lawfully before the permit expired.

Notes

(The following information does not form part of this permit)

- The permitted use or development may need to comply with, or obtain the following further approvals.
- This permit does not authorise the commencement of any demolition or construction on the land. Before any demolition or construction may commence, the applicant must apply for and obtain appropriate building approval from a Registered Building Surveyor.

Recommendation



78. The proposal is generally consistent with the relevant planning policies of the Moorabool Planning Scheme and will contribute to the provision of Education facilities within the Bacchus Marsh area.
79. It is recommended that Planning Permit No. PA2604192 for the construction of the new sports pavilion at Bacchus Marsh Grammar, Maddingley be issued subject to conditions.
80. It is recommended that the applicant and the council be notified of the above in writing.

