

ADVERTISED PLAN

43 & 63-67 River Street, Richmond

Town Planning Report

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Project ID	20250950.1
Document Title	Town Planning Report
Attention To	Cbus Property R4 Pty Ltd

Revision	Date	Document Reference	Prepared By	Checked By	Approved By
0	10/10/2025	20250950.1/1609A/R0/BMC	BMC		JD

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1 INTRODUCTION

Acoustic Logic has been engaged by Cbus Property Pty Ltd to prepare an acoustic report for the mixed-use development located at 43 & 63-67 River Street, Richmond. The assessment addresses external noise intrusion associated with the adjoining road network and surrounding land uses, in addition to determining allowable noise emission goals of mechanical plant. The assessment is based on the following documents.

Table 1 – Referenced Documents

Company	Document	Reference	Date
SJB Architects	Town Planning Drawings	Job Number: 21715 Revision: 3	03/09/2025
Victorian Planning Provisions	Clause 58.04-3	-	2017
-	Australian Standard AS/NZS 2107:2016	-	2016
EPA Victoria	EPA Noise Protocol	1826.5	09/2025

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2 SITE DESCRIPTION

The proposed development is located at 43 & 63-67 River Street, Richmond. The subject site consists of four main buildings: apartments North and South and Townhouses North and South. Apartments North consists of 12-storeys, Apartments South consists of 9-storeys, and the two townhouses consist of 3 storeys with one basement storey connecting to underground parking. The development contains 2 floors of basement parking with Apartments North containing ground floor sauna, fitness facilities, lounge and communal amenities and terrace on level 9 and Apartments South building containing a ground floor commercial tenancy.

The subject development is bounded as follows:

1. River Street to the west with Industrial Zone 15m from the subject site.
2. Crown Street to the north.
3. Tradelink Richmond to the west with an associated loading dock leading to River Street
4. The Yarra River to the east
5. Existing residential receiver located at 31-41 River Street & 101-105 Crown Street and 69 River Street
6. Royston Hotel 100m to the northwest
7. Mountain Culture 200m to the southwest.



Figure 1: Subject site and surrounding environments (source: Google Maps™)

2.1 LOCAL NOISE SOURCES

Acoustic Logic attended the site on multiple occasions during the day period. The following observations were made with respect to the subject site and surrounding existing noise sources:

1. Traffic noise is associated with the surrounding roadways, most notably from River Street to the west.
2. A Tradelink Plumbing supply store with a loading bay directly faces the proposed development, which is located at 28 River Street, 15m to the west of the subject site – refer *Appendix 1 – Site Photos*. It is noted the operational hours of the Tradelink are such that does not operate during the night period.
3. The pub Royston Hotel is located at 12 River Street approximately 100m to the northwest of the site and the pub/bar Mountain Culture Brewery is located at 148-150 Murphy Street approximately 200m to the southwest of the site. The following comments are provided:

Royston Hotel Pub

1. The pub is over 100m to the northwest of the closest façade of the subject site
2. The pub is currently overlooked by existing residents at 31-41 River Street & 101-105 Crown Street which are closer to the pub, within 30m of the venue. Noise compliance at this existing residential dwelling will also indicate compliance at the proposed development, which is located significantly further away at approximately 100m.
3. On that basis no further investigation of this venue is provided.

Mountain Culture Brewery

1. The brewery is over 200m to the southwest of the closest façade of the subject site.
2. The brewery is currently overlooked by existing residents at 67-77 River Street which are closer to the brewery. Noise compliance at this existing residential dwelling will also indicate compliance at the proposed development.
3. On that basis no further investigation of this venue is provided.

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3 ENVIRONMENTAL NOISE DESCRIPTORS

Environmental noise constantly varies in level, due to fluctuations in local noise sources including road traffic. Accordingly, a 15-minute measurement interval is normally utilised. Over this period, noise levels are monitored on a continuous basis and statistical and integrating techniques are used to determine noise description parameters.

In the case of environmental noise, three principle measurement parameters are used, namely L_{10} , L_{90} and L_{eq} .

The L_{10} and L_{90} measurement parameters are statistical levels that represent the average maximum and average minimum noise levels respectively, over the measurement intervals.

The L_{10} parameter is commonly used to measure noise produced by a particular intrusive noise source since it represents the average of the loudest noise levels produced by the source.

Conversely, the L_{90} level (which is commonly referred to as the background noise level) represents the noise level heard in the quieter periods during a measurement interval. The L_{90} parameter is used to set the allowable noise level for new, potentially intrusive noise sources since the disturbance caused by the new source depends on how audible it is above the pre-existing noise environment, particularly during quiet periods, as represented by the L_{90} level.

The L_{eq} parameter represents the average noise energy during a measurement period. This parameter is derived by integrating the noise levels measured over the measurement period. L_{eq} is important in the assessment of traffic noise impact as it closely corresponds with human perception of a changing noise environment; such is the character of industrial noise.

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4 NOISE LEVEL MEASUREMENTS

4.1 NOISE MEASUREMENTS

Traffic noise measurements were conducted around the proposed development to determine existing traffic and surrounding industrial noise levels.

4.1.1 Measurement Locations and Time of Measurements

Noise level measurements were conducted at the following locations (refer Figure 1 for measurement locations):

- **Measurement Location 1:** Unattended noise level measurements conducted at the western boundary of the subject site with full view of River Street and Tradelink Plumbing Supply between 12 September and 19 September 2025. Measurements were conducted at 5m above grade and were affected by façade reflection.
- **Measurement Location 2:** Unattended background noise level measurements conducted at the eastern boundary of the subject site between 12 September and 19 September 2025. Measurements were conducted at 1.5m above grade and were conducted in free field.
- **Measurement Location 3:** Attended noise level measurement conducted at the western boundary of the subject site with full view of River Street and Tradelink Plumbing Supply store between 10:20am – 10:35am on 12 September 2025. Measurements were conducted at 1.5m above grade and were conducted in free field.

4.1.2 Measurement Equipment

Unattended noise monitoring was conducted using Rion NL42 Noise Monitors. The noise monitors were programmed to store 15-minute statistical noise levels through the monitoring period. Equipment was calibrated at the beginning and the end of the measurements using a Rion NC-75 calibrator; no significant drift was detected. All measurements were taken on fast response mode.

Attended noise measurements were conducted using a Norsonic Sound Level Analyser. The equipment was calibrated at the beginning and the end of the measurement using a Rion NC-74 calibrator; no significant drift was detected. All measurements were taken on fast response mode.

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4.2 MEASURED NOISE LEVELS

The tables below detail the measured noise levels obtained from the unattended and attended noise measurements.

Table 2 – Unattended Industrial Noise Level Measurements (Location 1)

Measurement Location	Period	Measured Noise Level $L_{eq, period}$ dB(A) ¹
Location 1	Day (06:00 – 22:00)	58 L_{eq} 16hr
	Night (22:00 – 06:00)	50 L_{eq} 8hr

Note 1: Measured noise level presented have been corrected -2.5dB(A) for façade reflection.

Table 3 – Unattended Traffic Noise Level Measurements (Location 1)

Measurement Location	Period	Measured Noise Level $L_{eq, 1hr}$ dB(A) ¹
Location 1	Day (07:00 – 22:00)	63
	Night (22:00 – 07:00)	61

Note 1: Measured noise level presented have been corrected -2.5dB(A) for façade reflection.

Table 4 – Attended Traffic Noise Level Measurements (Location 3)

Measurement Location	Date	Time	Measured Noise Level $L_{eq, 15min}$ dB(A)
Location 3	12/09/2025	10:20am – 10:35am	60

Table 5 – Unattended Background Noise Level Measurements (Location 2)

Period	Time	Measured Noise Level $L_{90, period}$ dB(A)
Day	7am – 6pm (Mon – Sat)	42
Evening	6pm – 10pm (Mon – Sat)	39
	7am – 10pm (Sun)	
Night	10pm – 7am	36

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5 ASSESSMENT CRITERIA

5.1 STANDARD D16 AT CLAUSE 58.04-3

Standard D16 of Clause 58.04-3 of the Planning Scheme notes the following which reflects the requirements of the Better Apartment Design Standards:

Standard D16

Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.

The layout of new dwellings and buildings should minimise noise transmission within the site.

Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.

New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.

Buildings within a noise influence area specified in Table D3 should be designed and constructed to achieve the following noise levels:

- Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.
- Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.

Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.

Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.

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Table D3 Noise influence area

Noise Source	Noise influence area
Zone interface	
Industry	300 metres from the industrial 1, 2 and 3 zone boundaries
Roads	
Freeways, tollways and other roads carrying 40,000 Annual Average Daily Traffic Volume	300 metres from the nearest trafficable lane
Railways	
Railway servicing passengers in Victoria	80 metres from the centre of the nearest track
Railway servicing freight outside Metropolitan Melbourne	80 metres from the centre of the nearest track
Railway servicing freight in Metropolitan Melbourne	135 metres from the centre of the nearest track

Note: The noise influence area should be measured from the closest part of the building to the noise source.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- Whether it can be demonstrated that the design treatment incorporated into the development meets the specified noise levels or an acoustic report by a suitably qualified consultant submitted with the application.
- Whether the impact of potential noise sources within a development have been mitigated through design, location and siting.
- Whether the layout of rooms within a dwelling mitigates noise transfer within and between dwellings.
- Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling and the site context.

Based on these conditions, the subject site has been reviewed as follows:

1. The development **is** within 300m of an industrial zone.
 - The industrial zone is located 15m to the west of the subject site.
2. The development is not within 300m of a freeway or road carrying an AADT >40,000.
3. The development is not within 80m of railway servicing passengers.

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Based on the above, refer the following comments:

1. Noise from the industrial zone west of the subject site shall be designed to comply with the Clause 58.04-3 criteria per below.

Table 6 – Internal Noise Criteria (Traffic Noise – Industrial Zone)

Location	Internal Design Noise Level ¹
Living Rooms	40 dB(A) L_{eq} (16hr) (6am – 10pm)
Bedrooms	35 dB(A) L_{eq} (8hr) (10pm – 6am)

Note 1: Noise levels within an unfurnished room with a finished floor and the windows closed.

2. Traffic noise from other surrounding zones will be designed in accordance with Australian Standards AS/NZS 2107:2016.

5.2 AS/NZS 2107:2016

Australian Standard AS/NZS2107:2016 “Recommended Design Sound Levels and Reverberation Times for Building Interiors” sets out recommended design sound levels for residential developments depending on locality to minor or major roads. Table 7 below details the criterion adopted for parts of this development impacted by noise from other surrounding roads.

Table 7 – Internal Noise Criteria - Traffic

Location	Required Internal Noise Level ¹	
	dB(A) L_{eq} 1hr (7am – 10pm)	dB(A) L_{eq} 1hr (10pm – 7am)
Bedrooms	40 ²	35
Living Areas	40	N/A

Note 1: Assessment is based on apartments suitably furnished ready for occupation.

Note 2: Bedrooms assessed as living rooms outside 10pm-7am.

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5.3 ENVIRONMENTAL NOISE EMISSIONS CRITERIA

To ensure that noise emissions from the proposed development site do not impact adversely on the amenity of the proposed development residents and surrounding noise sensitive areas, the proposed development should be designed to comply with the EPA Noise Protocol – Part 1.

5.3.1 Zoning Level

The 'Zoning' level is determined by the Influencing Factor (IF) and is calculated by the formula and the 'Zoning Level versus Influencing Factor' graph nominated in Section 1.1 of the EPA Noise Protocol and VicPlan Mapping. The IF is calculated from the proportion of industrial and commercial land around noise sensitive areas. Review of the surrounding area indicates an IF of approximately **0.31** which results in the zoning limits detailed in Table 8 below.

Table 8 - Zoning Levels

Period	Zoning Level dB(A)
Day	56
Evening	49
Night	44

5.3.2 EPA Noise Protocol – Part 1

Table 9 below details the assessment criteria based on both the zoning levels and the measured background noise levels.

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Table 9 – Noise Limits

Period	Background dB(A) L _{90,Period}	Zoning limit	Classification	Project Noise Limits dB(A) L _{eq}
Day Monday – Saturday (7am – 6pm)	42	56	Low	<u>53</u>
Evening Monday – Saturday (6pm – 10pm) Sunday (7am – 10pm)	39	49	Low	<u>47</u>
Night Monday – Friday (10pm – 7am)	36	44	Neutral	<u>44</u>

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6 EVALUATION OF EXTERNAL NOISE INTRUSION

6.1 RECOMMENDED ACOUSTIC TREATMENT

Internal noise levels will primarily be as a result of noise transfer through the windows, doors and roof as these are relatively light building elements that offer less resistance to the transmission of sound. Walls that are proposed to be heavy masonry elements will not require upgrading. The predicted noise levels through the windows, doors and roof are discussed below. The predicted noise levels have been based on the expected level and spectral characteristics of the external noise, the area of building elements exposed to external noise, the absorption characteristics of the rooms and the noise reduction performance of the building elements.

Glazing / façade treatment was determined based on the following:

- Traffic noise levels measured around the subject site.
- Transmission loss of façade element.
- Noise correction based on the distance between the noise source and the nearest façade of subject development.

The constructions set out below are necessary for the satisfactory control of external noise and to achieve compliance with the internal noise level criteria set out in Section 4.

6.1.1 Recommended Glazing

The glass thicknesses shown in the schedule do not consider thermal, structural, safety or any other requirements other than acoustic requirements and thus may require upgrading in some instances. In these instances, increasing the glass thickness beyond the acoustic requirement will be acceptable. Where the glazing thickness has not been specified, standard glazing will be acceptable.

The table below details the minimum performance requirements for the glazing assembly installed. Where open-able windows or sliding glass doors are installed, the total R_w performance of the system shall not be lower than the values listed. It is noted that the system supplied shall meet the overall minimum R_w ratings nominated. If an alternative system is proposed the system shall be reviewed and will require approval by a suitably qualified acoustic consultant to ensure that the proposed system is acceptable and will ensure compliance with the nominated internal noise design criteria.

Table 10 - Minimum External Glazing Requirements / Performance

Location	Required Glazing Construction ²	Minimum R_w of Installed System	Acoustic Seals ¹
See Appendix 2 - Glazing Markup	6/12/6mm IGU	29	Yes
	6/12/11.52mm IGU	35	Yes

Note 1 – Note that mohair seals in windows and doors are not acceptable. Seals in these instances shall be equal to Schlagel Q-Ion.

Note 2 – Glazing as nominated or alternative as approved by a suitable qualified acoustic consultant.

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6.1.2 External Walls

Apartment external walls incorporating concrete or masonry construction will not require further acoustic treatment. Lightweight external walls are recommended to be constructed as outlined in Appendix 2 and per Figure 2 below generally.

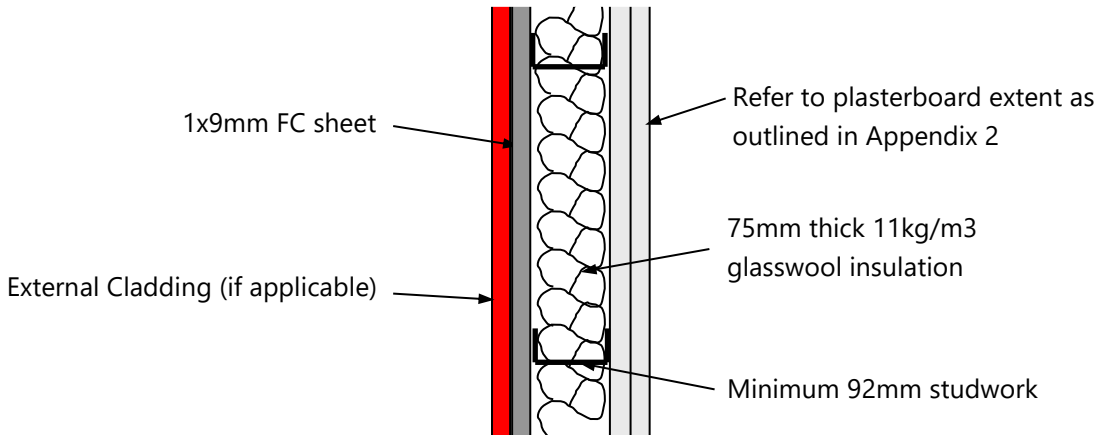


Figure 2 – Lightweight wall construction

Penetrations in walls must be sealed gap free with a flexible sealant. Any ventilation openings in should be acoustically treated to maintain the acoustic performance of the external wall construction.

6.1.3 Roof/Ceiling

Concrete roof construction does not require further upgrade acoustically. Any lightweight element shall be reviewed by a suitably qualified acoustic consultant to ensure compliance with the established internal noise level criteria is achieved.

Penetrations in ceilings (such as for light fittings etc.) must be sealed gap free with a flexible sealant. Any ventilation openings in the ceilings would need to be acoustically treated to maintain the acoustic performance of the ceiling construction.

7 MECHANICAL PLANT AND EQUIPMENT SERVING PROPOSED DEVELOPMENT

It is noted that plant and equipment selections/design have not yet been finalised. Therefore, to ensure amenity for future residents and nearby noise sensitive receivers is preserved, mechanical plant and equipment shall be designed to ensure compliance with the EPA Noise Protocol – Part 1. This can be achieved using standard acoustic treatment such as internally lined ductwork, acoustic louvres, acoustic attenuators, variable speed drives, and vibration isolation mounts.

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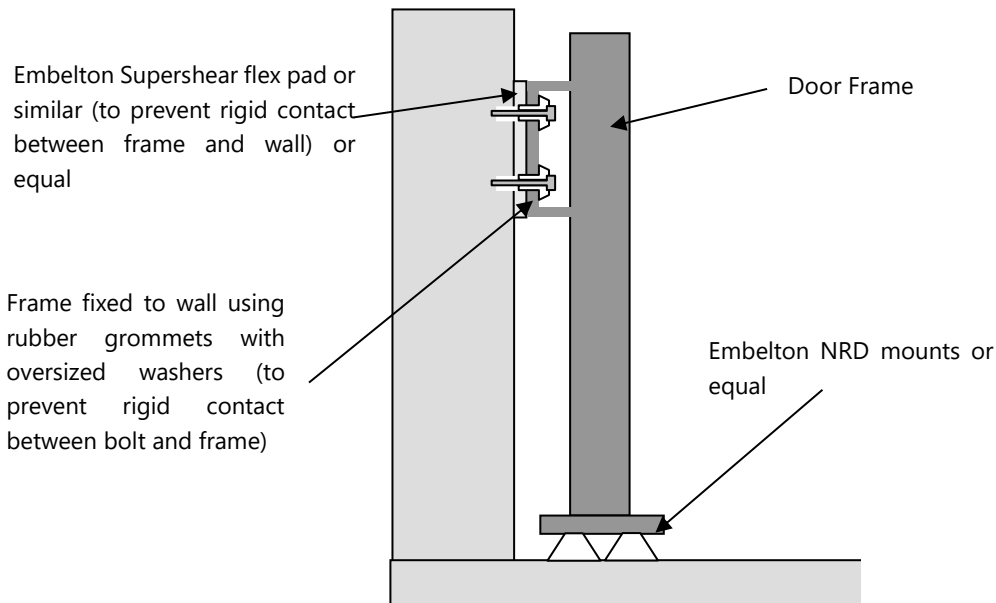
8 GARAGE DOORS

The NSW EPA in its Environmental Noise Control Manual document indicates that maximum noise levels below 50-55 dB (A) inside are unlikely to cause awakening reactions based on apartment windows being open (the NSW EPA is referenced in the absence of a Victorian policy that addresses awakenings). A level of 55 dB (A) inside the apartment (windows open) would correlate to a noise level of 65 dB (A) outside the window. It is noted that maximum noise levels of 65 dB (A) are achievable at a distance of 1 metre from operation of the unit.

To ensure compliance the following treatment is recommended for garage entry door(s):

- Garage entry doors shall be vibration isolated from the building generally in accordance with the following details.
- Doors shall be quiet in operation.
- Teflon guides shall be installed in all rails.
- Ensure that door panels do not rattle, and the operation of any door guides, rollers, etc is smooth.
- Door guides should be fitted with vibration isolated fixings where required. Refer below.
- Door motors shall be fitted with a soft start/stop controller to minimise noise.
- The door shall be stopped approximately 5 mm from the slab/ground to ensure the base of the door does not contact the concrete surface.
- Operation of the door shall comply with EPA Noise Protocol

Isolation of the door structure is shown in the schematic below -



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9 PROPOSED RETAIL & COMMERCIAL

The following requirements shall be incorporated into the proposed retail and commercial tenancies;

- Any amplified music associated with the tenancies will be limited to background music only and be limited by the operator to ensure that they comply with the EPA Noise Protocol – Part II requirements.
- Staff are to be instructed not to drop heavy garbage items/bottle into bins – they must be placed so as to minimise impact noise.
- All mechanical plant and equipment associated with future tenants must comply with the EPA Noise Protocol – Part I.
- Use of amplified music until close of business is permitted provided that it is background music only (conversation level) and is inaudible within residential dwelling living areas. Music noise shall only be played within the premises. Externally mounted speakers are not acceptable.
- Glass must not be emptied/transferred from one receptacle to another anywhere externally before 7am or after 10pm. Outside this time period all glass must be emptied / transferred within the premises and removed in containers.
- The collection of waste and recycling must only occur during the hours of garbage collection for the remainder of the development.
- Acoustic advice from an appropriately qualified person must be sought prior to the installation of any of any plant that is either located externally or ducted to an external louvre not specifically addressed in this report. This would include, but may not necessarily be limited to:
 - Exhaust Fans (as they are ducted to external areas).
 - Air-conditioning condensers.
 - Refrigeration plant (if external).

Any acoustic treatment must take into account:

- The location of noise sensitive properties
- Ambient noise levels at the nearest potentially affected property (determined by on-site measurement).
- The noise level from the plant item proposed to be installed (based on acoustic data sheets from manufacturer).
- The proposed time at which the plant will be used/operational.
- Allowable noise level based on typical Council acoustic requirements and/or conditions of consent.

Written advice regarding what acoustic treatments, if any must be provided. This advice must be sought prior to the installation of any plant.

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10 CONCLUSION

This report presents an assessment of external noise intrusion and sets noise emission limits at the proposed missed-use development of 43 & 63-67 River Street, Richmond. This report provides recommendations to ensure compliance with the criteria nominated in Sections 5 and presents criteria applicable to the development with respect to future mechanical plant and equipment serving the development.

We trust this information is satisfactory. Please contact us should you have any further queries.

Yours faithfully,



Acoustic Logic Pty Ltd
Ben McClymont

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APPENDIX 1 – SITE PHOTOS

Microphone at 5m above grade on level 1 of 43-67 River Street



Tradelink Plumbing Supply Loading Dock

River Street

Image 1: Location 1 Unattended Monitor, Level 1 of 43-67 River Street – view of River Street & Tradelink loading dock

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River Street



Microphone

Image 2: Location 1 Unattended Monitor, Level 1 of 43-67 River Street – view of River Street & Tradelink loading dock



Microphone

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Image 3: Location 2 Unattended Monitor, rear of existing building 43-67 River Street

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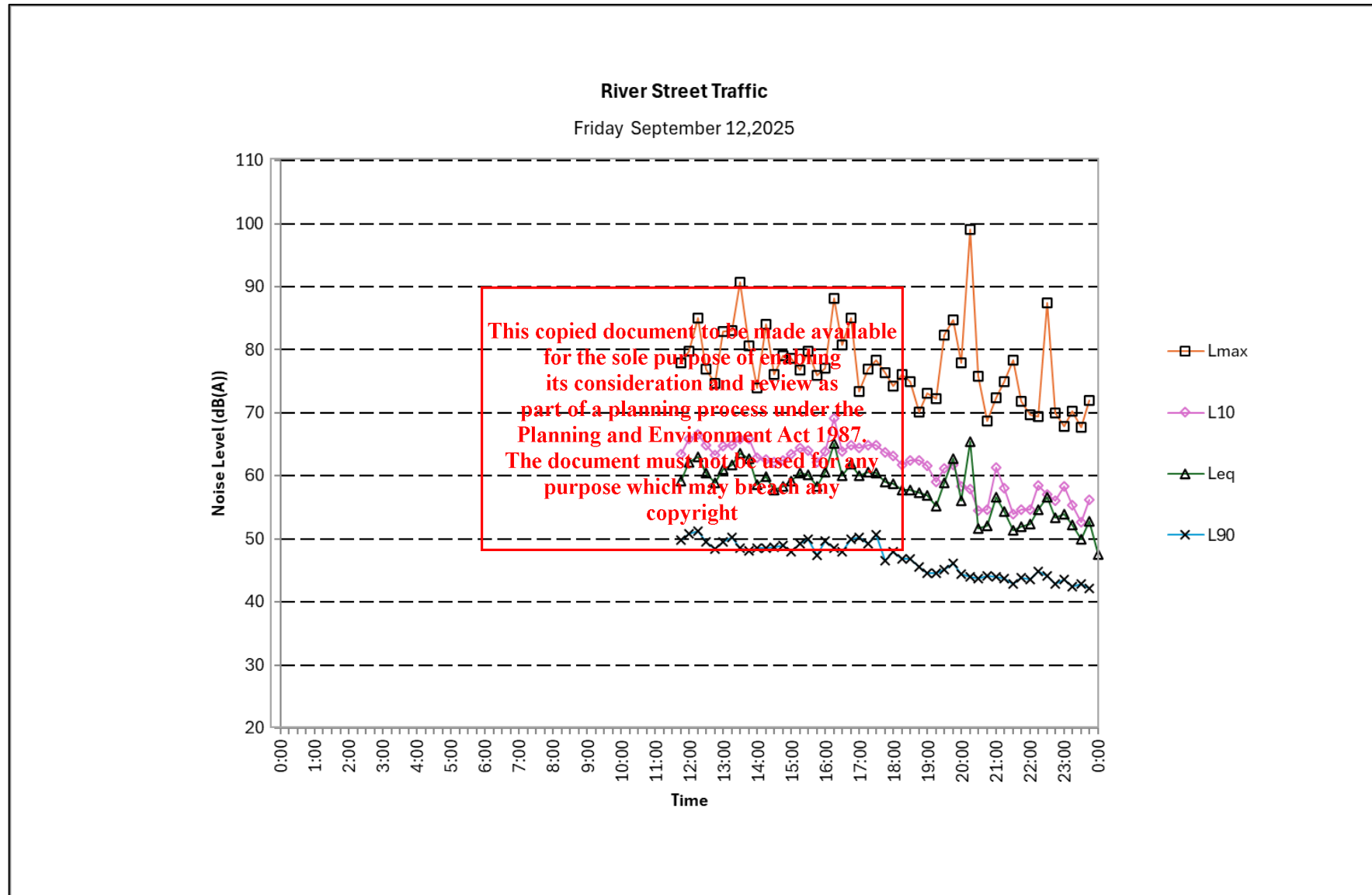
Microphone

Rear parking lot –
43-67 River Street

Image 4: Location 2 Unattended Monitor, view of existing parking lot 43-67 River Street

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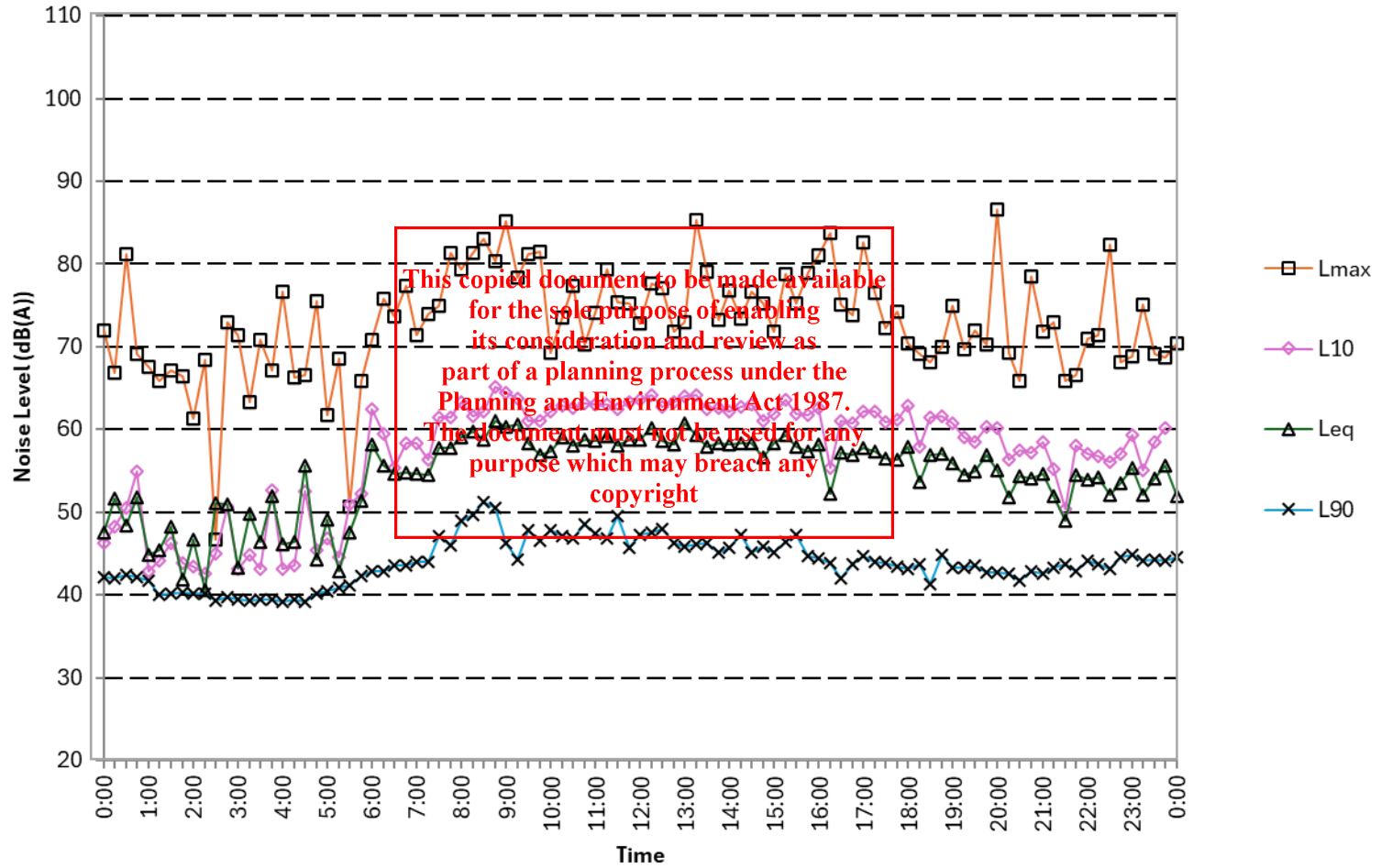
APPENDIX 2A – UNATTENDED NOISE MONITORING (LOCATION 1)



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River Street Traffic

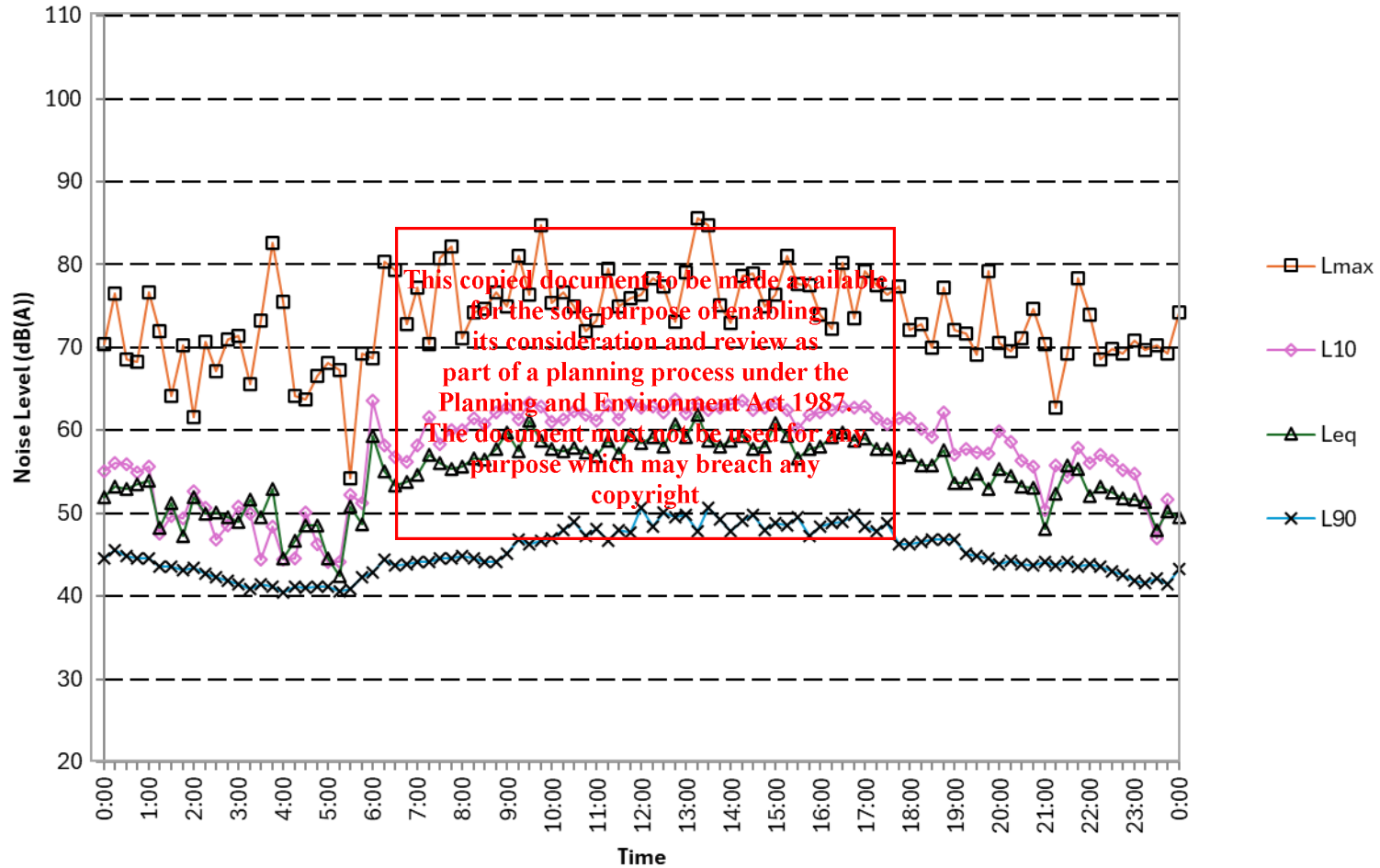
Saturday September 13, 2025



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River Street Traffic

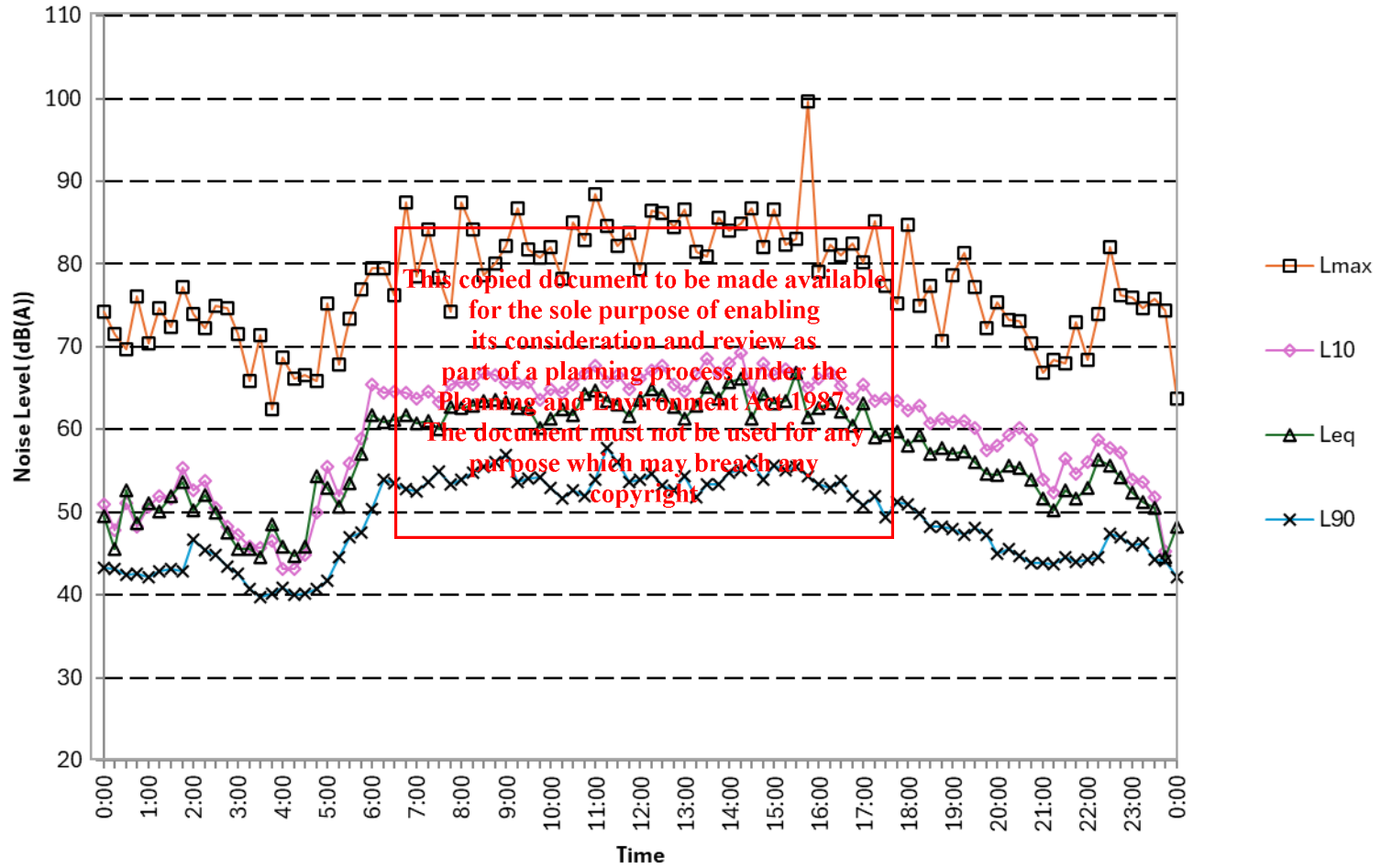
Sunday September 14, 2025



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River Street Traffic

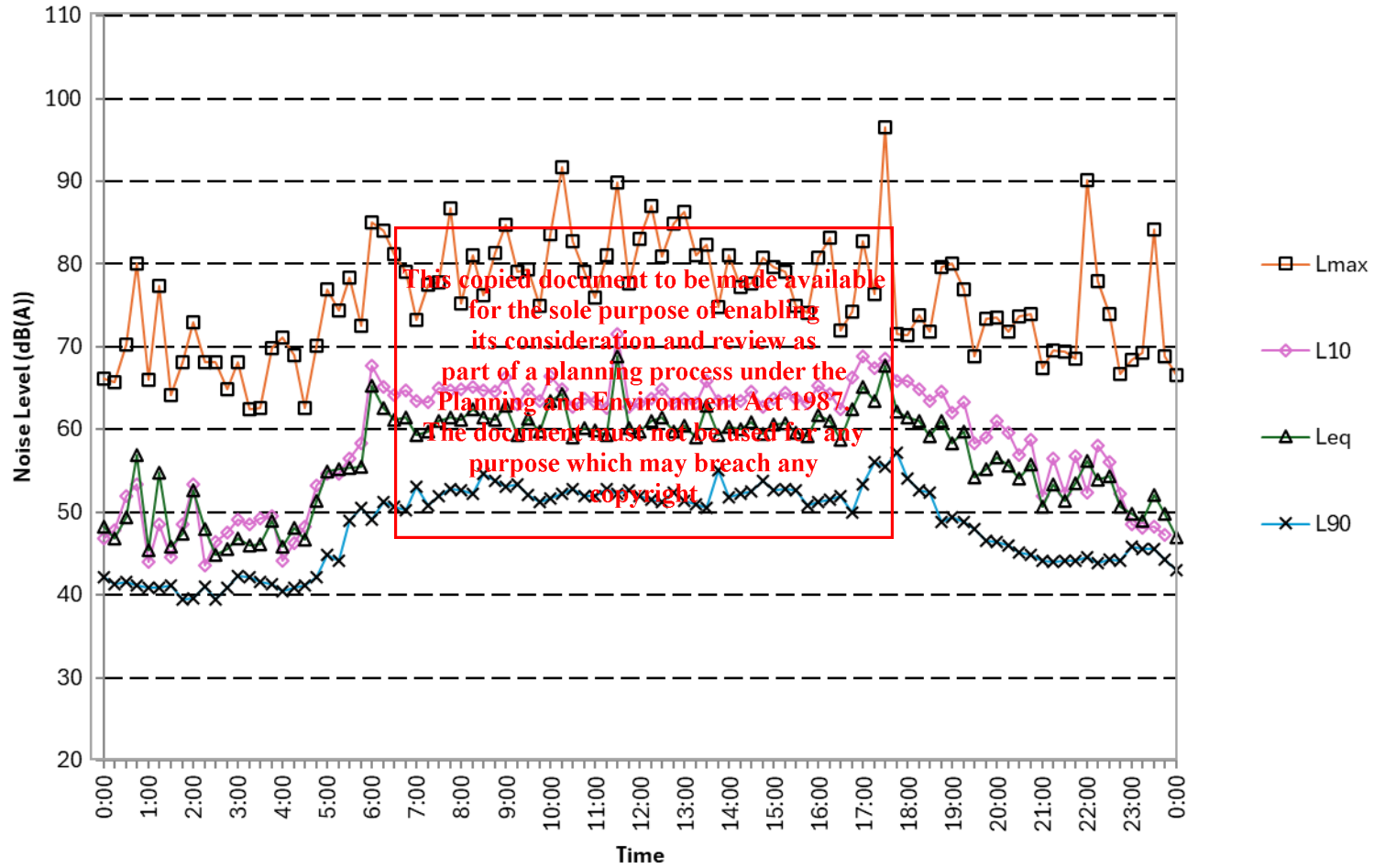
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River Street Traffic

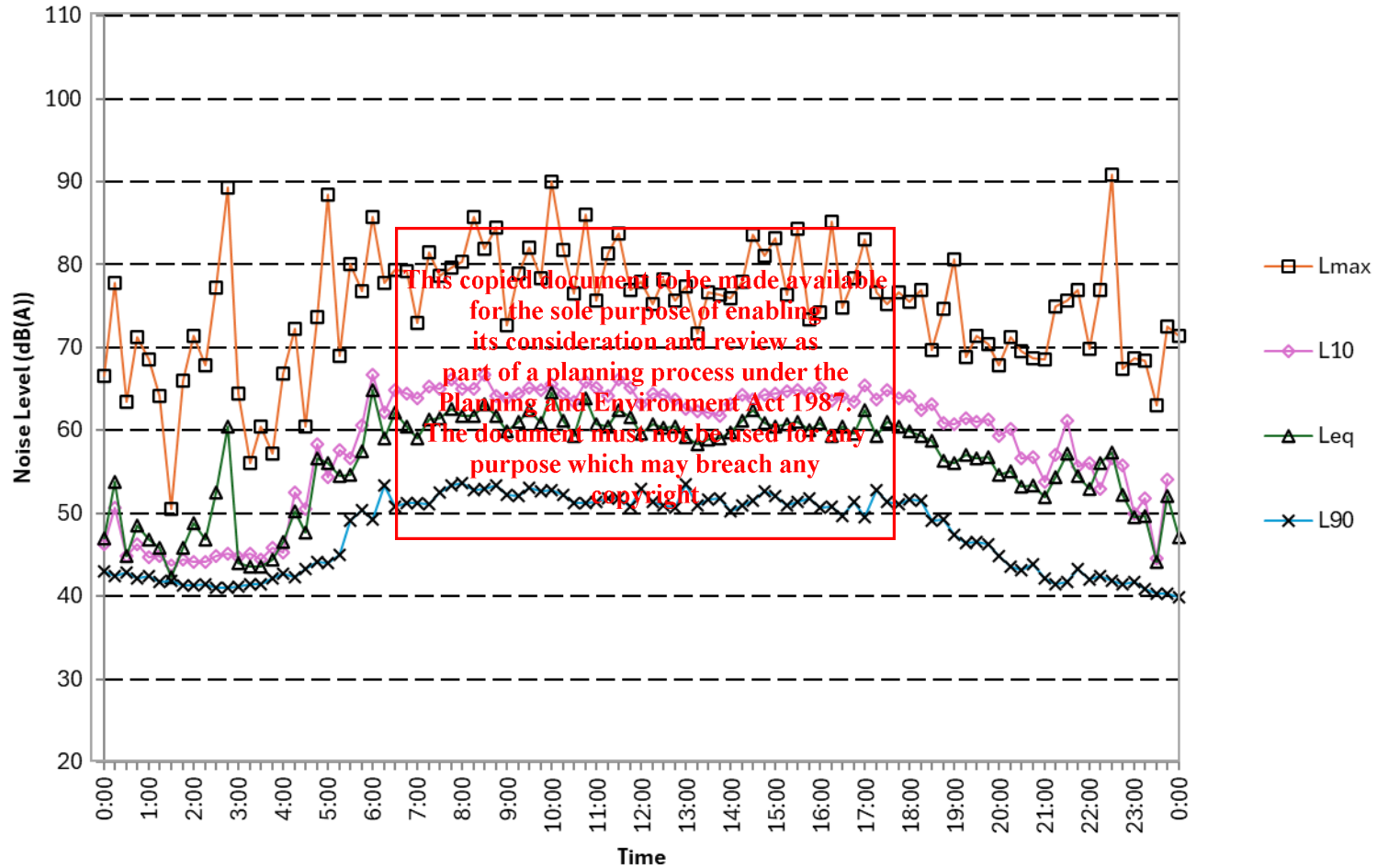
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River Street Traffic

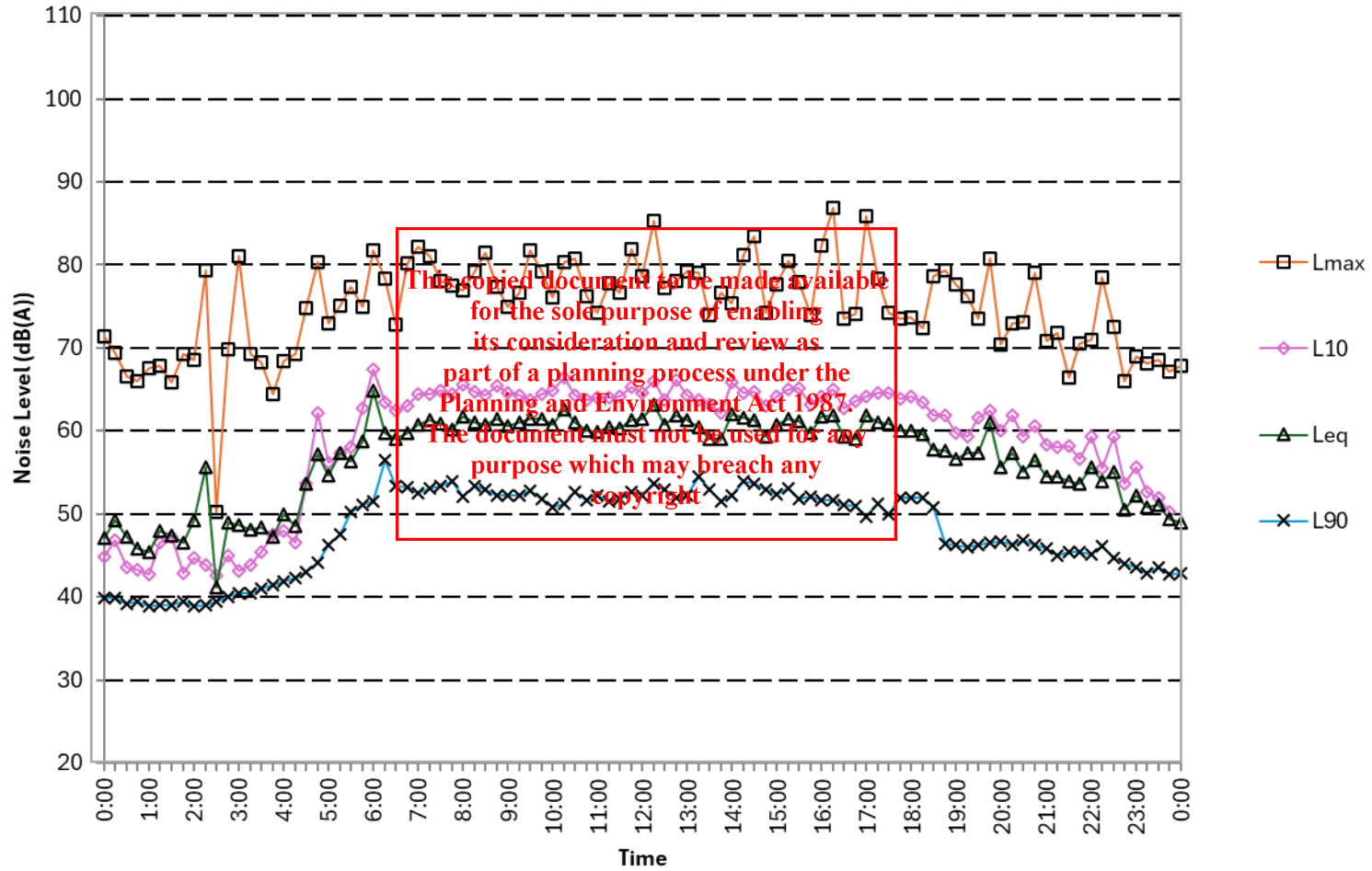
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River Street Traffic

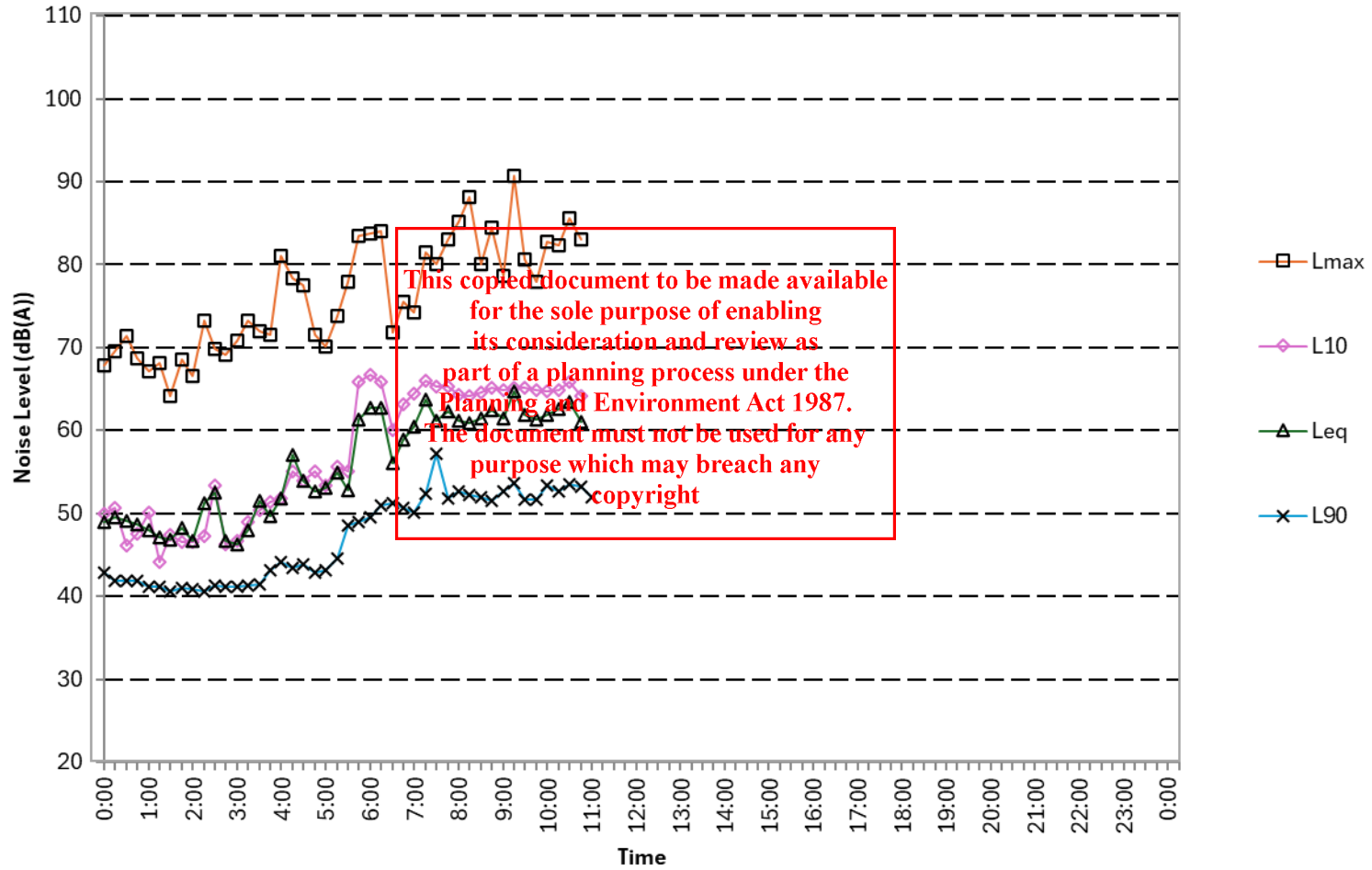
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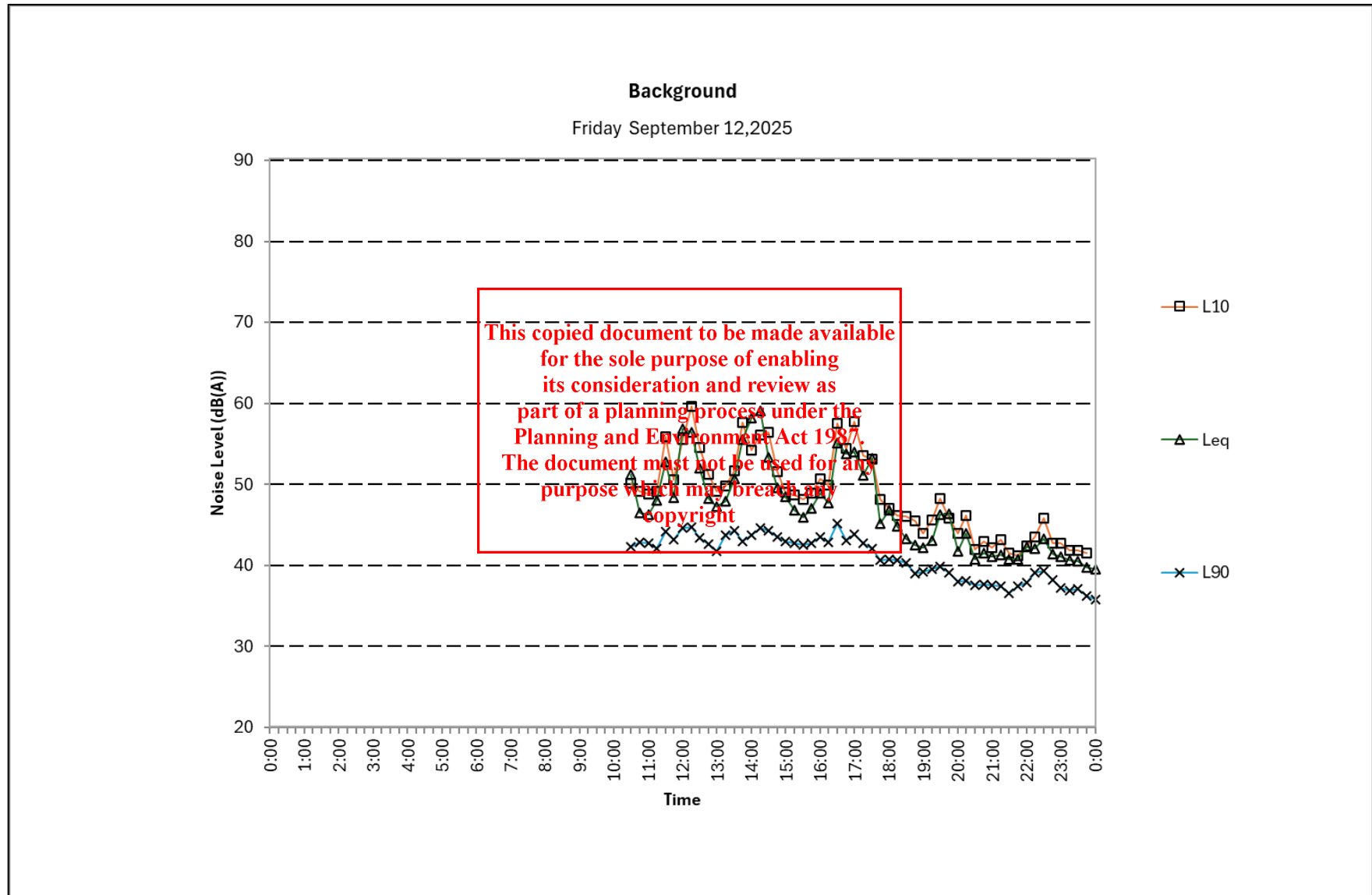
River Street Traffic

Friday September 19, 2025



ADVERTISED PLAN

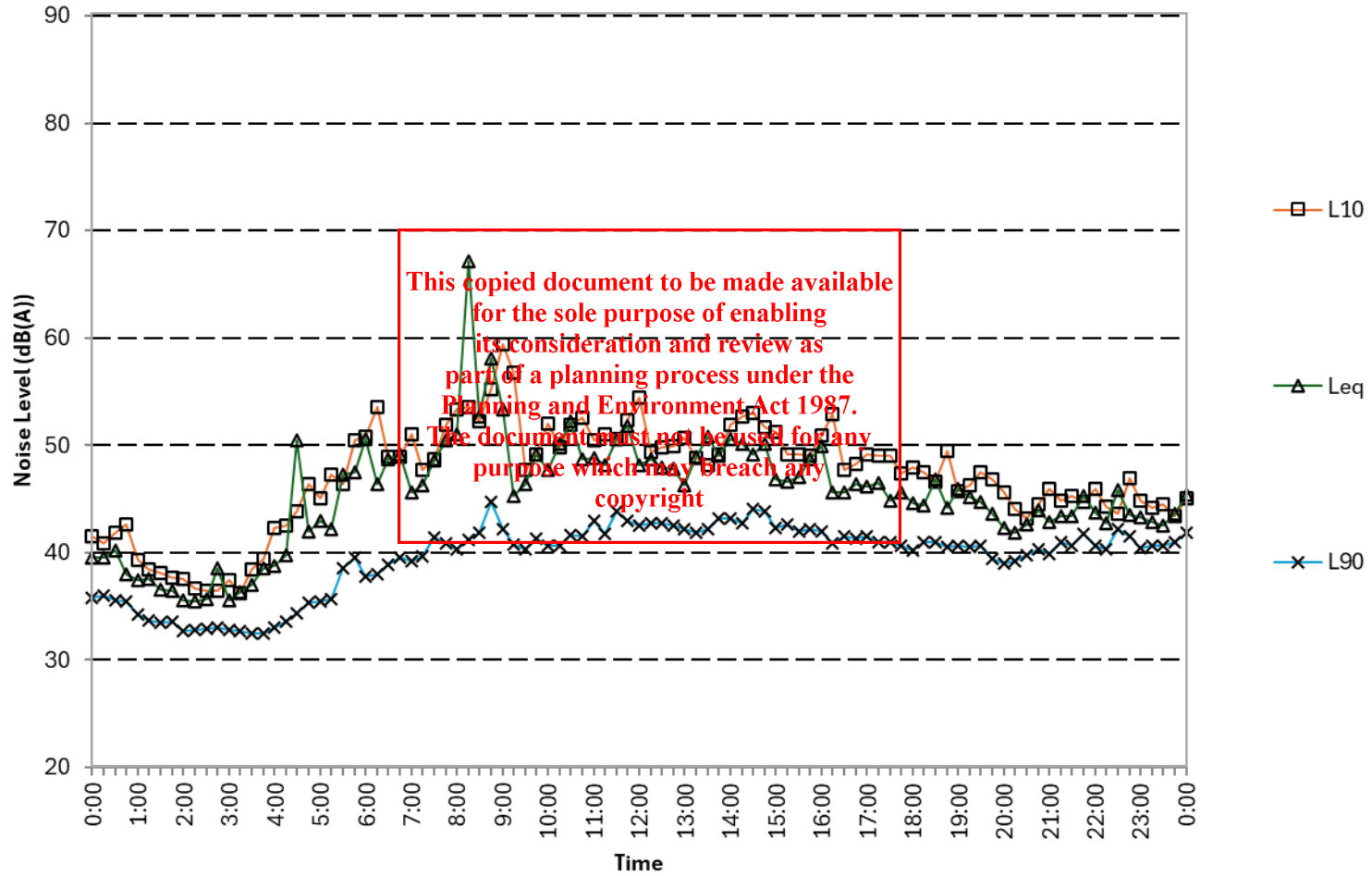
APPENDIX 2B – UNATTENDED NOISE MONITORING (LOCATION 2)



ADVERTISED PLAN

Background

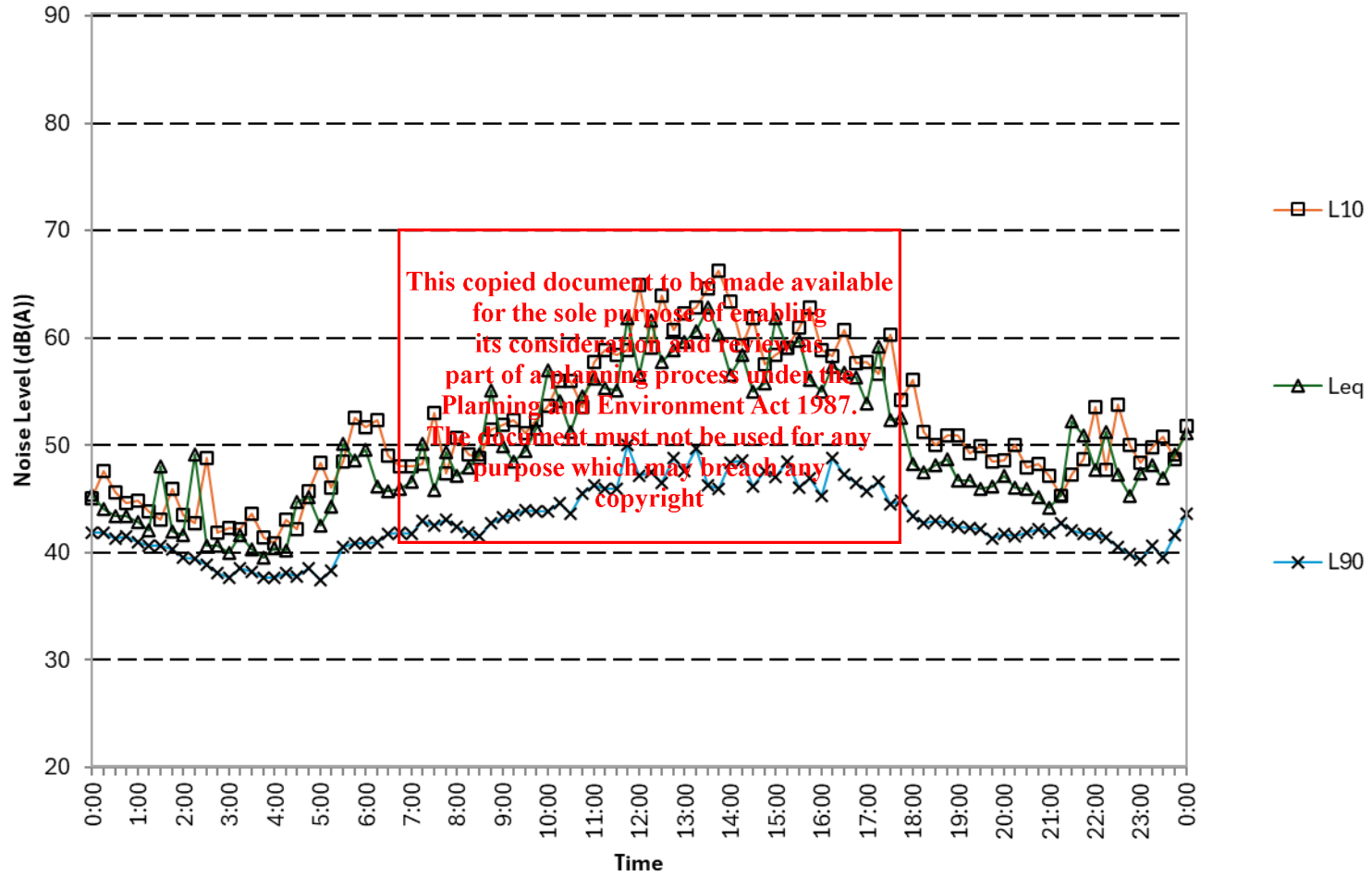
Saturday September 13, 2025



ADVERTISED PLAN

Background

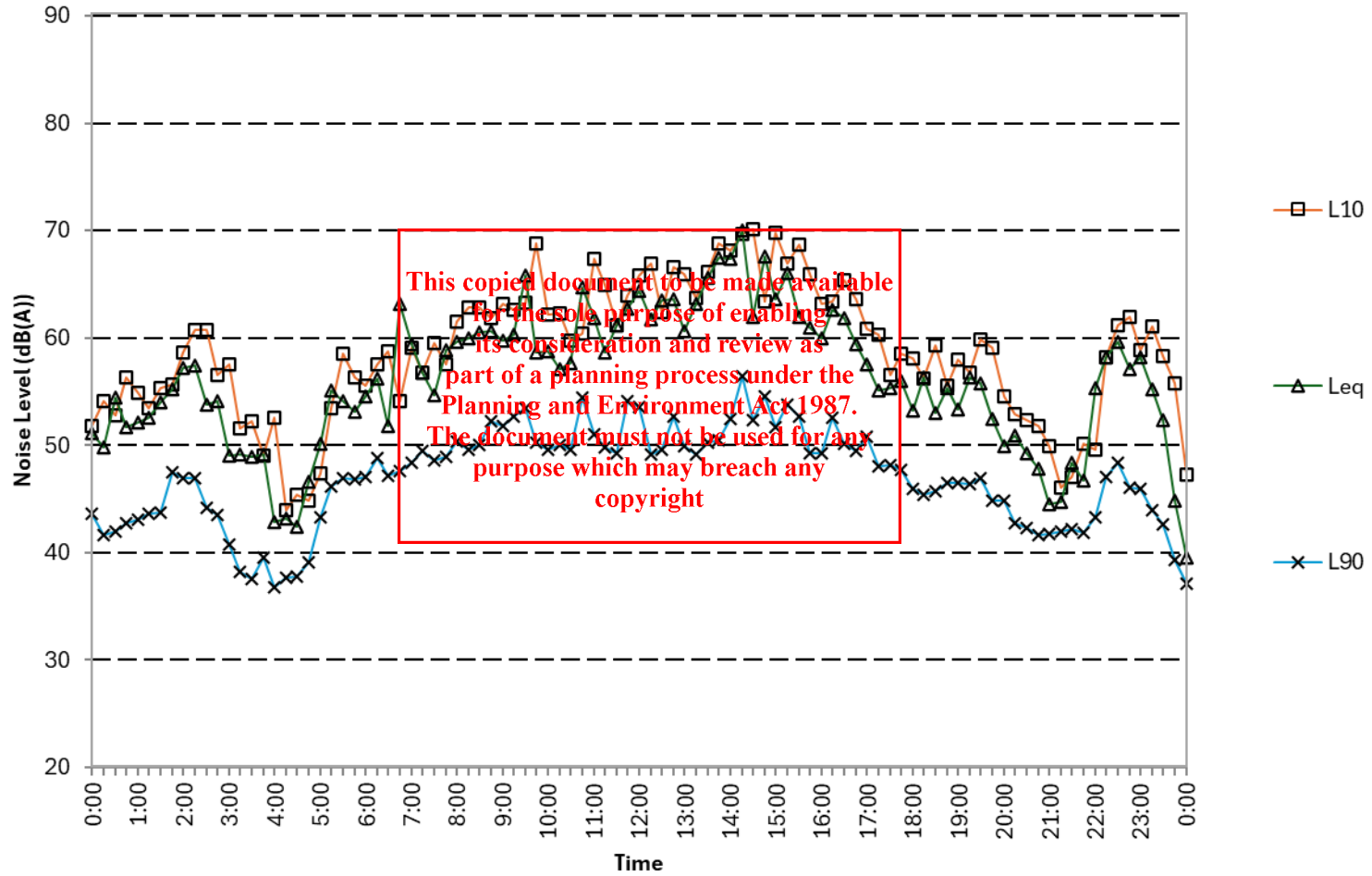
Sunday September 14, 2025



ADVERTISED PLAN

Background

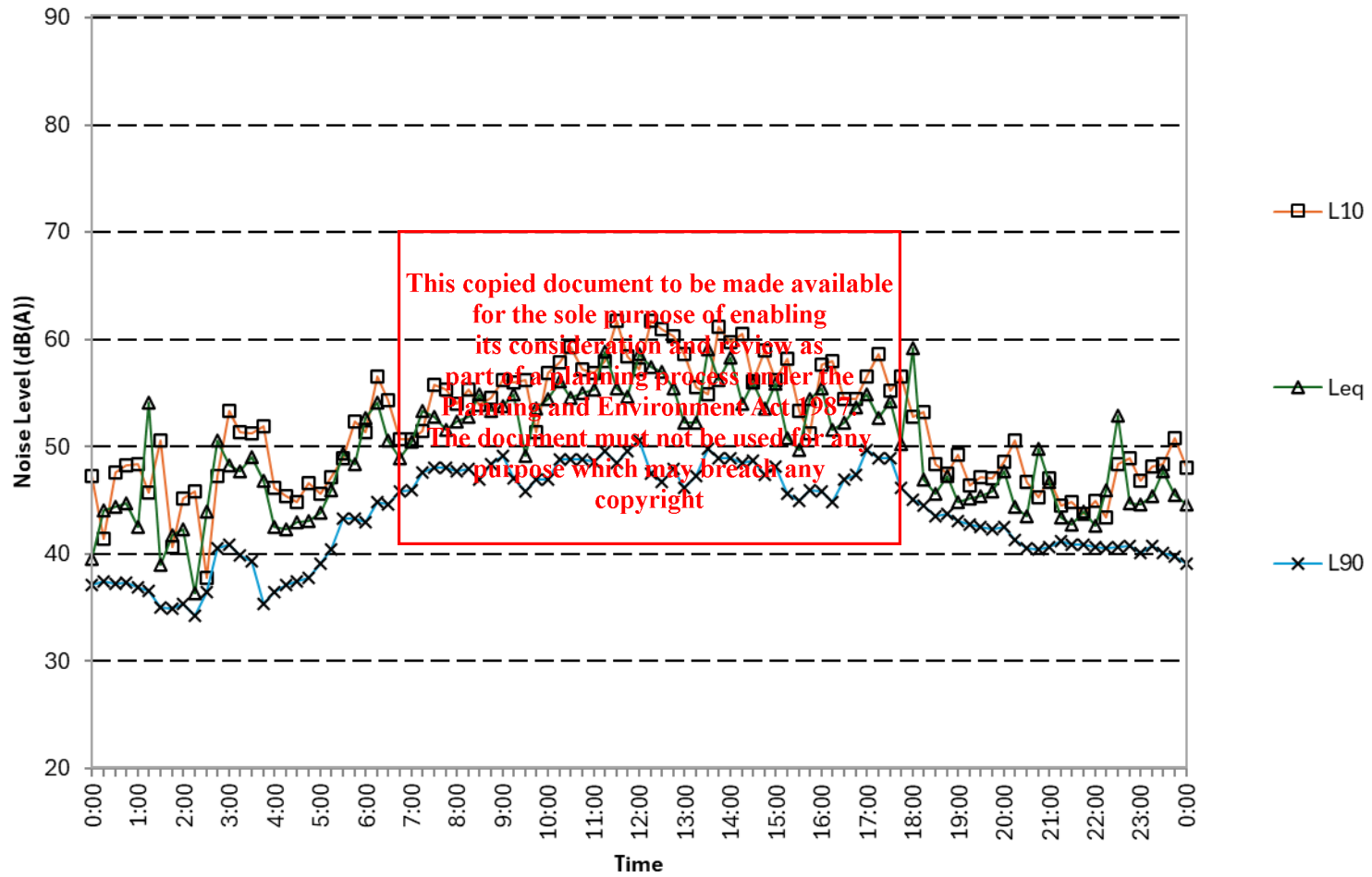
Monday September 15, 2025



ADVERTISED PLAN

Background

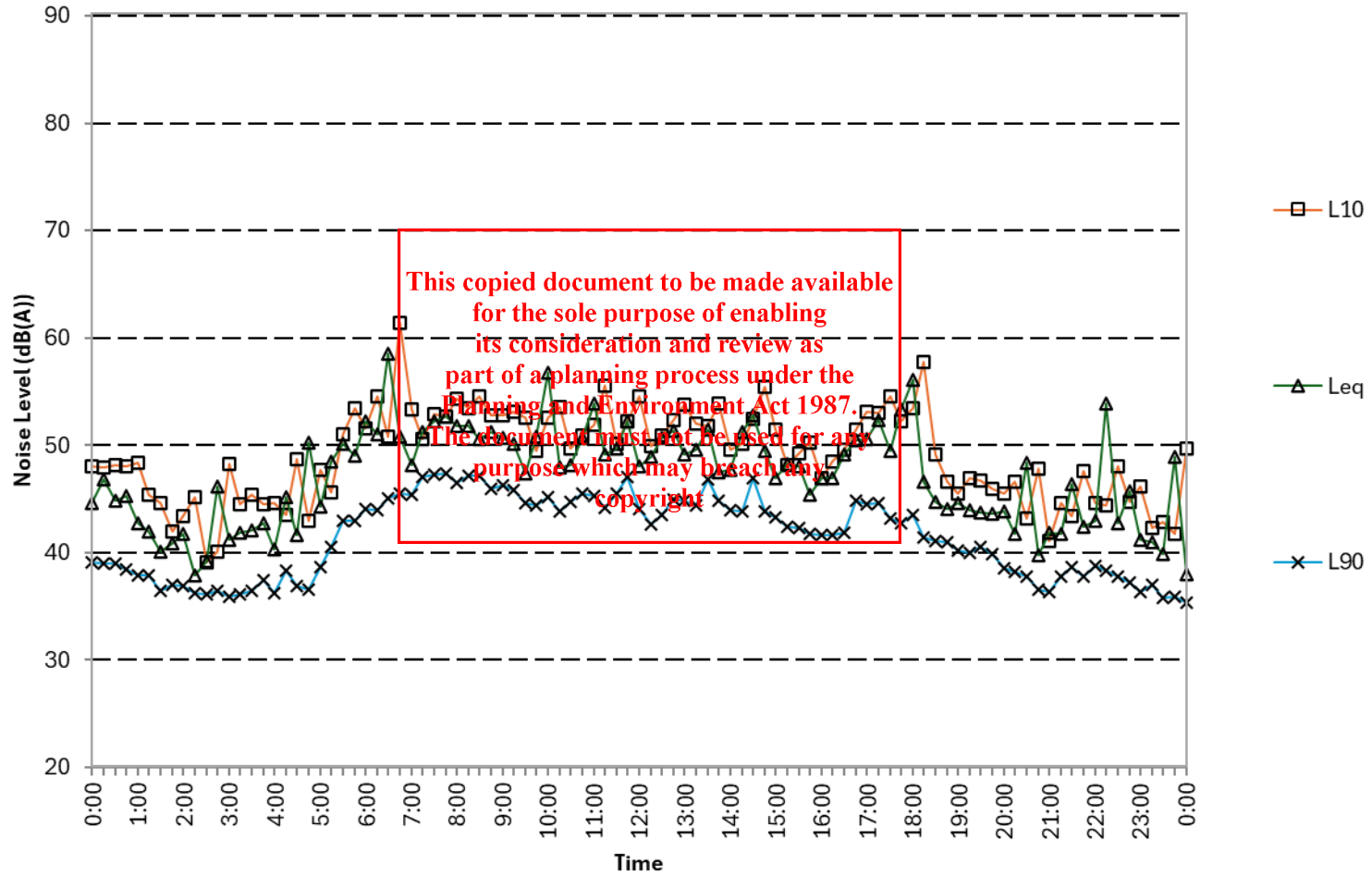
Tuesday September 16, 2025



ADVERTISED PLAN

Background

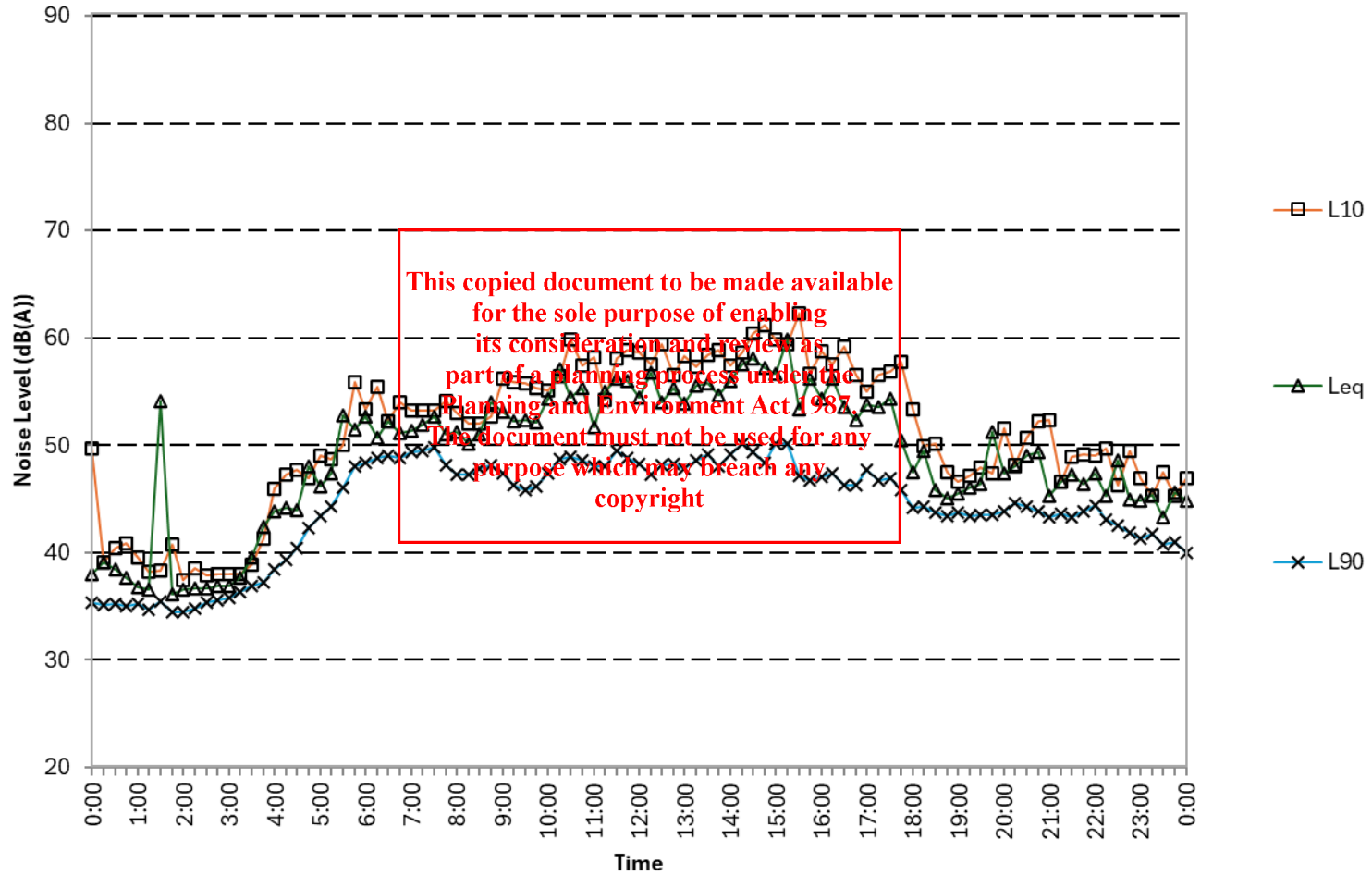
Wednesday September 17, 2025



ADVERTISED PLAN

Background

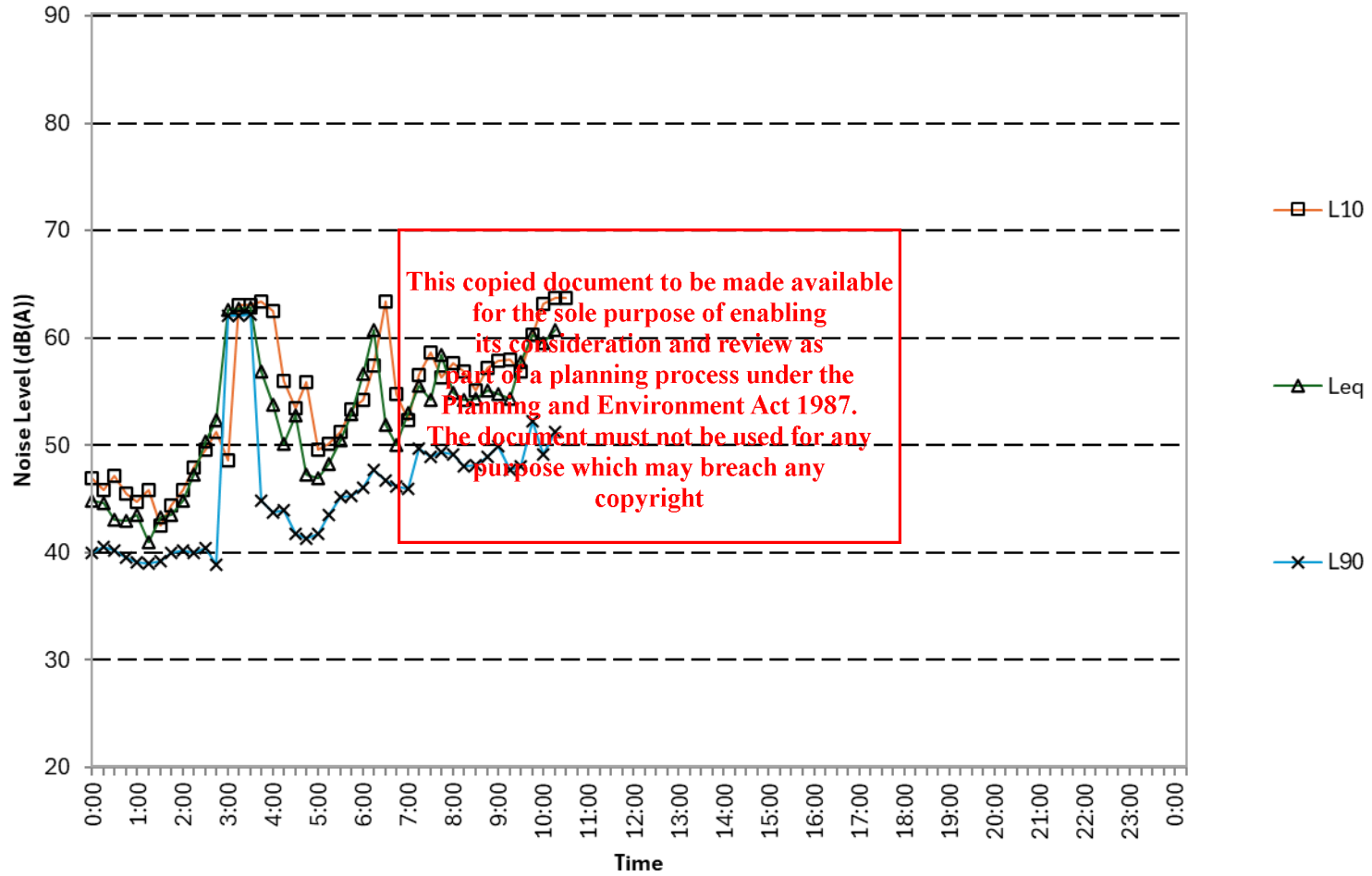
Thursday September 18, 2025



ADVERTISED PLAN

Background

Friday September 19, 2025



APPENDIX 2 – GLAZING MARKUP

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**ADVERTISED
PLAN**

CROWN STREET

CROWN STREET

Acoustic Logic Facade Markup

Date: 10/10/2025

Rev: 0



Glazing Legend

- Glass - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- Glass - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

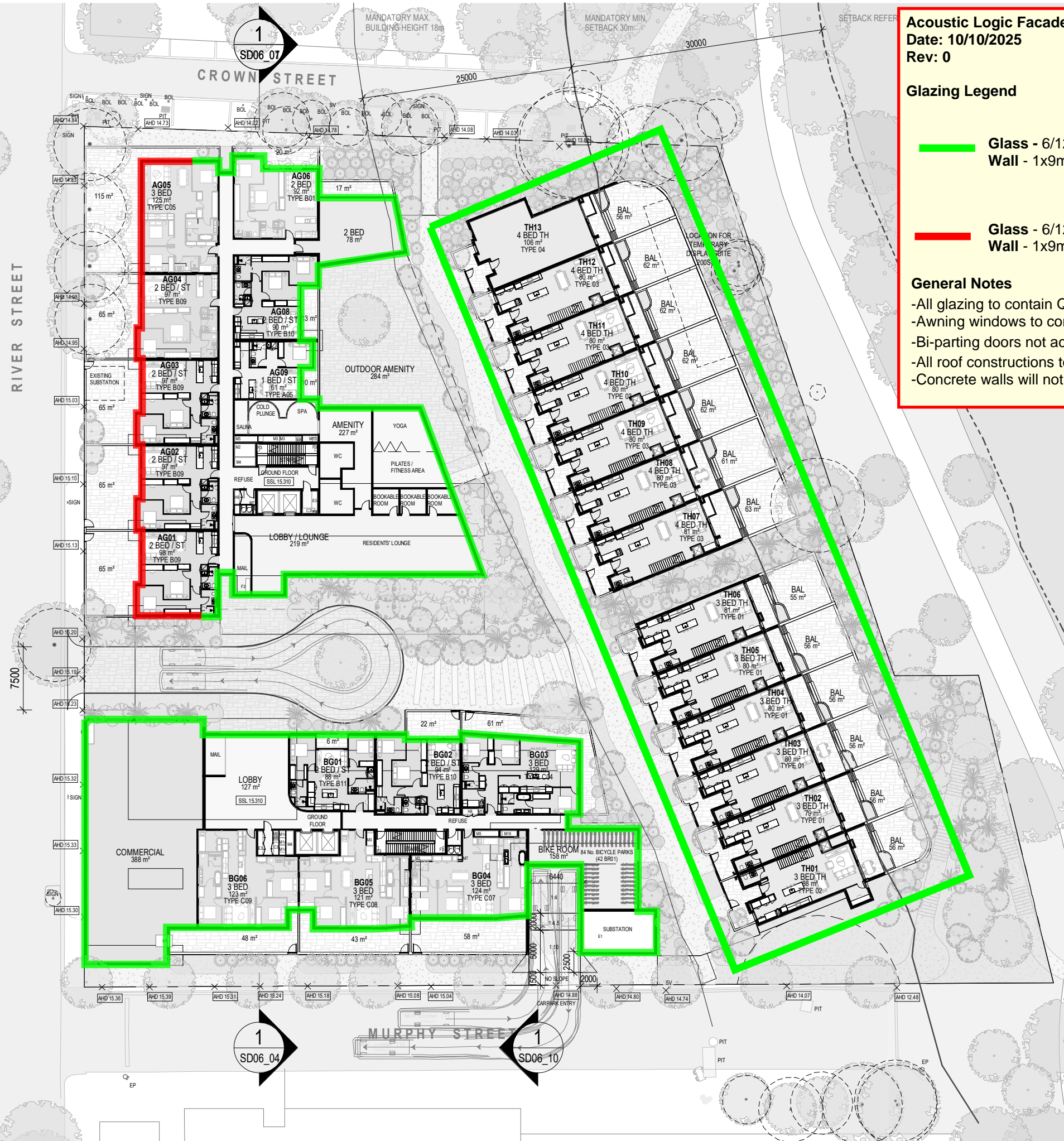
- All glazing to contain Q-Ion bulb seals
- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment

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ADVERTISED PLAN

BLAZEY STREET

MURPHY STREET



2 SD06_02

1 SD06_03

1 SD06_04

1 SD06_10



Client
CBUS Property

Project
43 & 63-67 River Street, Richmond

Drawing
PLAN - GROUND

Job No.
21715

Drawing No.
SD02_03

Date
03.09.2025

Scale
1 : 500 @ A3

Revision
3

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CROWN STREET

CROWN STREET

RIVER STREET

BLAZEY STREET

MURPHY STREET

1
SD06_07


2
SD06_02

1
SD06_03

1
SD06_04

1
SD06_10

Acoustic Logic Facade Markup
 Date: 10/10/2025
 Rev: 0



Glazing Legend

- █ Glass - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

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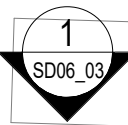
CROWN STREET

CROWN STREET


RIVER STREET

BLAZEY STREET

MURPHY STREET



Acoustic Logic Facade Markup
 Date: 10/10/2025
 Rev: 0



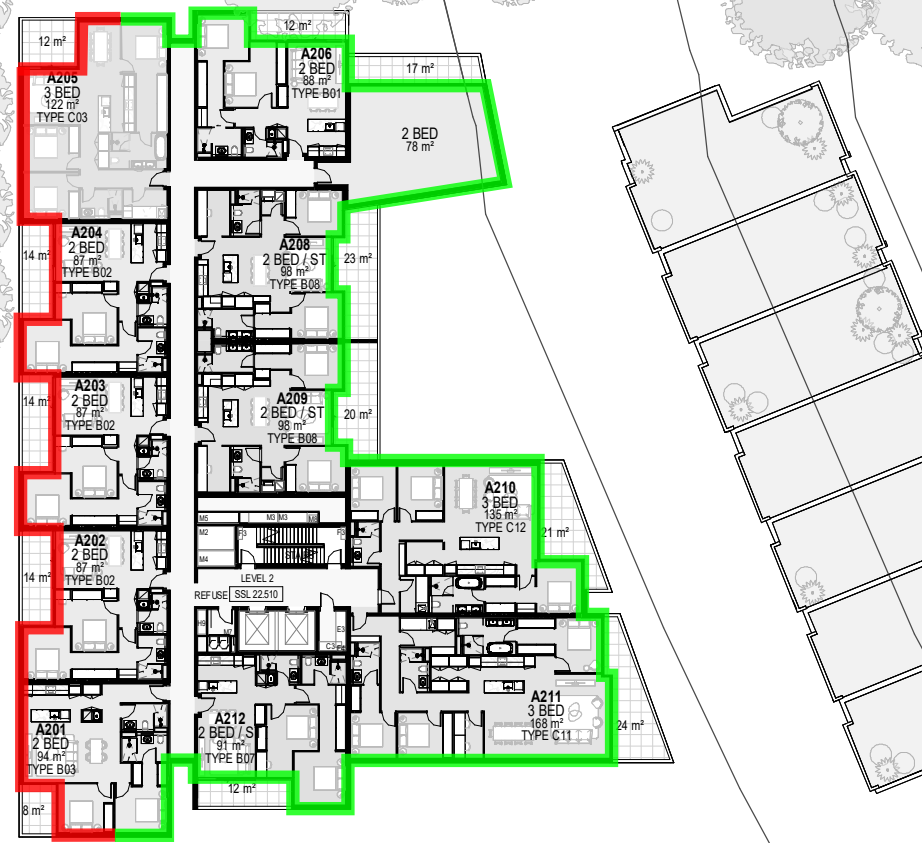
Glazing Legend

- █ Glass - 6/12/6mm IGU glass
 Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
 Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

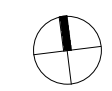
General Notes

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- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment

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Drawing
PLAN - LEVEL 2

Job No.
21715

Drawing No.
SD02_05

Date
03.09.2025

Scale
1 : 500 @ A3

Revision
3

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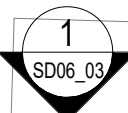
CROWN STREET

CROWN STREET


RIVER STREET

BLAZEY STREET

MURPHY STREET



Acoustic Logic Facade Markup
 Date: 10/10/2025
 Rev: 0

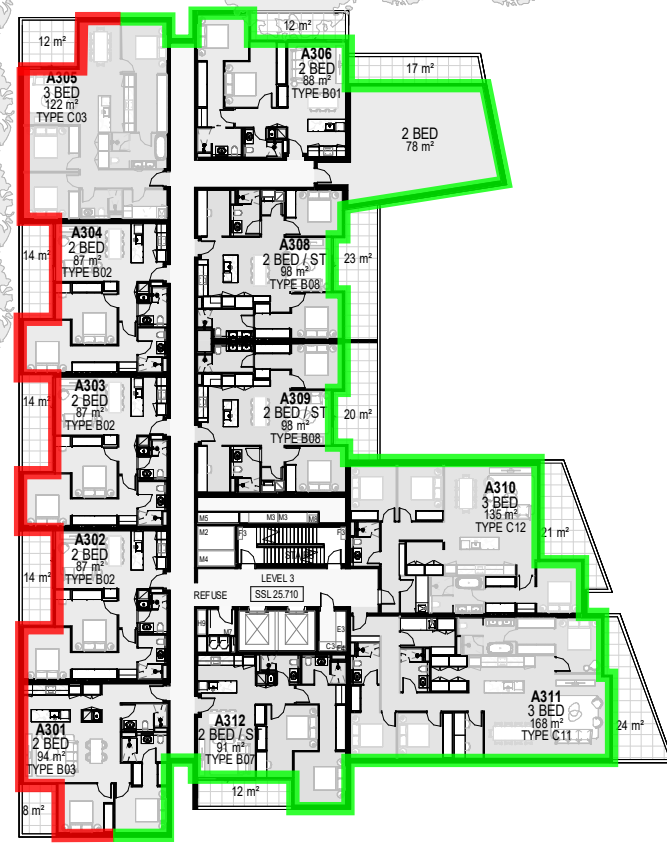


Glazing Legend

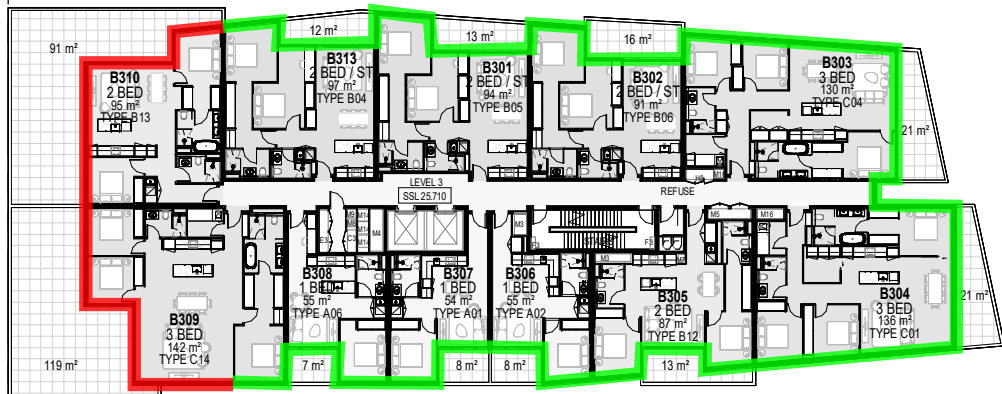
- █ Glass - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

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Project
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Drawing
PLAN - LEVEL 3

Job No.
21715

Drawing No.
SD02_06

Date
03.09.2025

Scale
1 : 500 @ A3

Revision
3

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CROWN STREET

CROWN STREET

RIVER STREET

BLAZEY STREET

MURPHY STREET


1
SD06_04

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SD06_02

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SD06_03

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SD06_04

Acoustic Logic Facade Markup
 Date: 10/10/2025
 Rev: 0

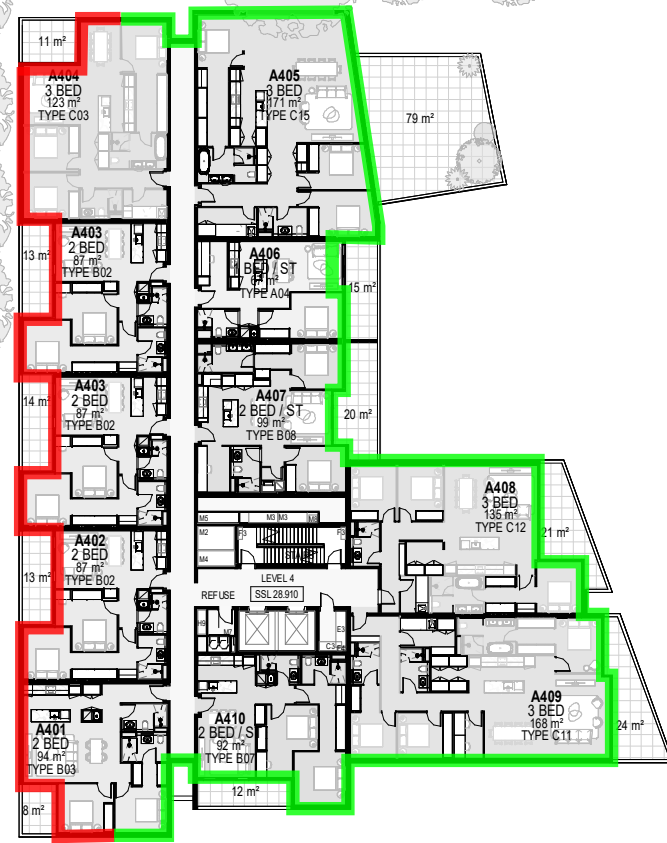


Glazing Legend

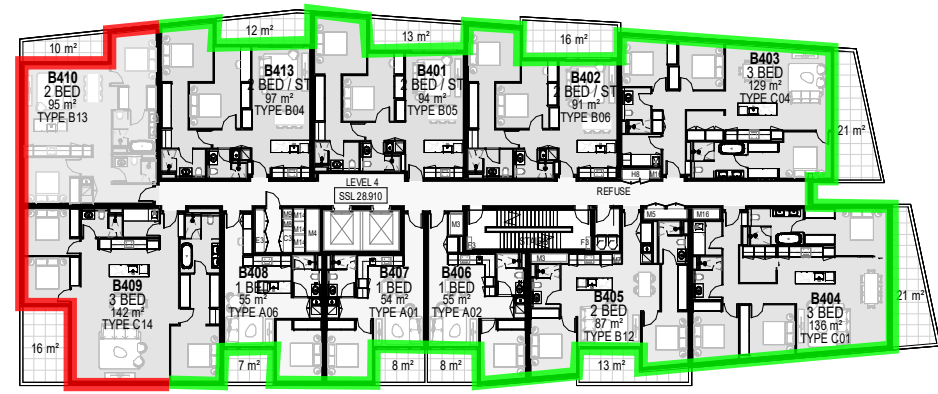
- █ Glass - 6/12/6mm IGU glass
 Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
 Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

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- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
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- Concrete walls will not require further acoustic treatment



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Project
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Drawing
PLAN - LEVEL 4

Job No.
21715

Drawing No.
SD02_07

Date
03.09.2025

Scale
1 : 500 @ A3

Revision
3

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CROWN STREET

CROWN STREET

RIVER STREET

BLAZEY STREET

MURPHY STREET

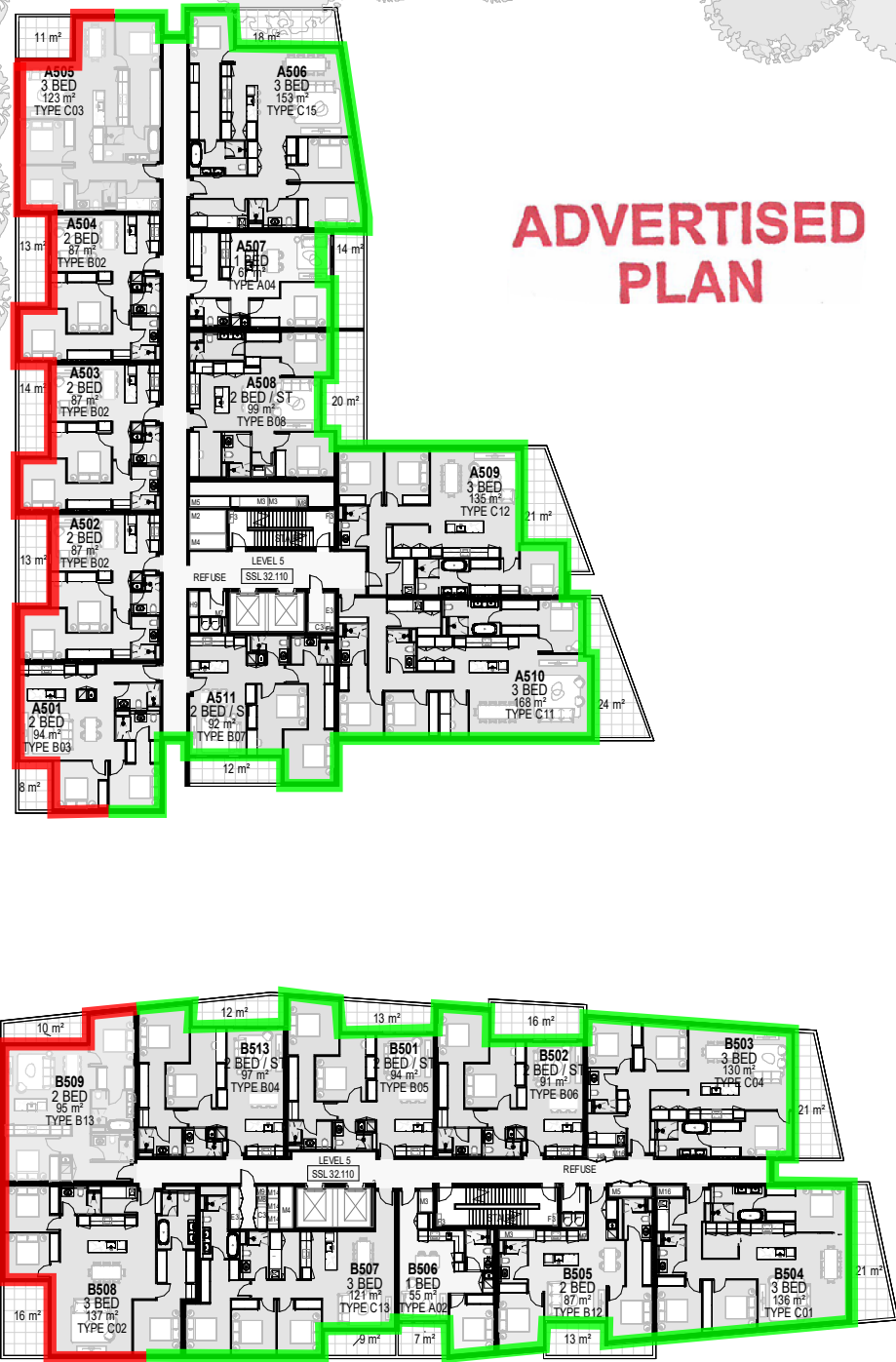
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SD06_02

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SD06_03

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SD06_04

ADVERTISED PLAN



Acoustic Logic Facade Markup
 Date: 10/10/2025
 Rev: 0

ACOUSTIC LOGIC

Glazing Legend

- █ Glass - 6/12/6mm IGU glass
 Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
 Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

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- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment

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Project
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Drawing
PLAN - LEVEL 5

Job No.
21715

Drawing No.
SD02_08

Date
03.09.2025

Scale
1 : 500 @ A3

Revision
3

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CROWN STREET

CROWN STREET

RIVER STREET

BLAZEY STREET

MURPHY STREET

MURPHY STREET

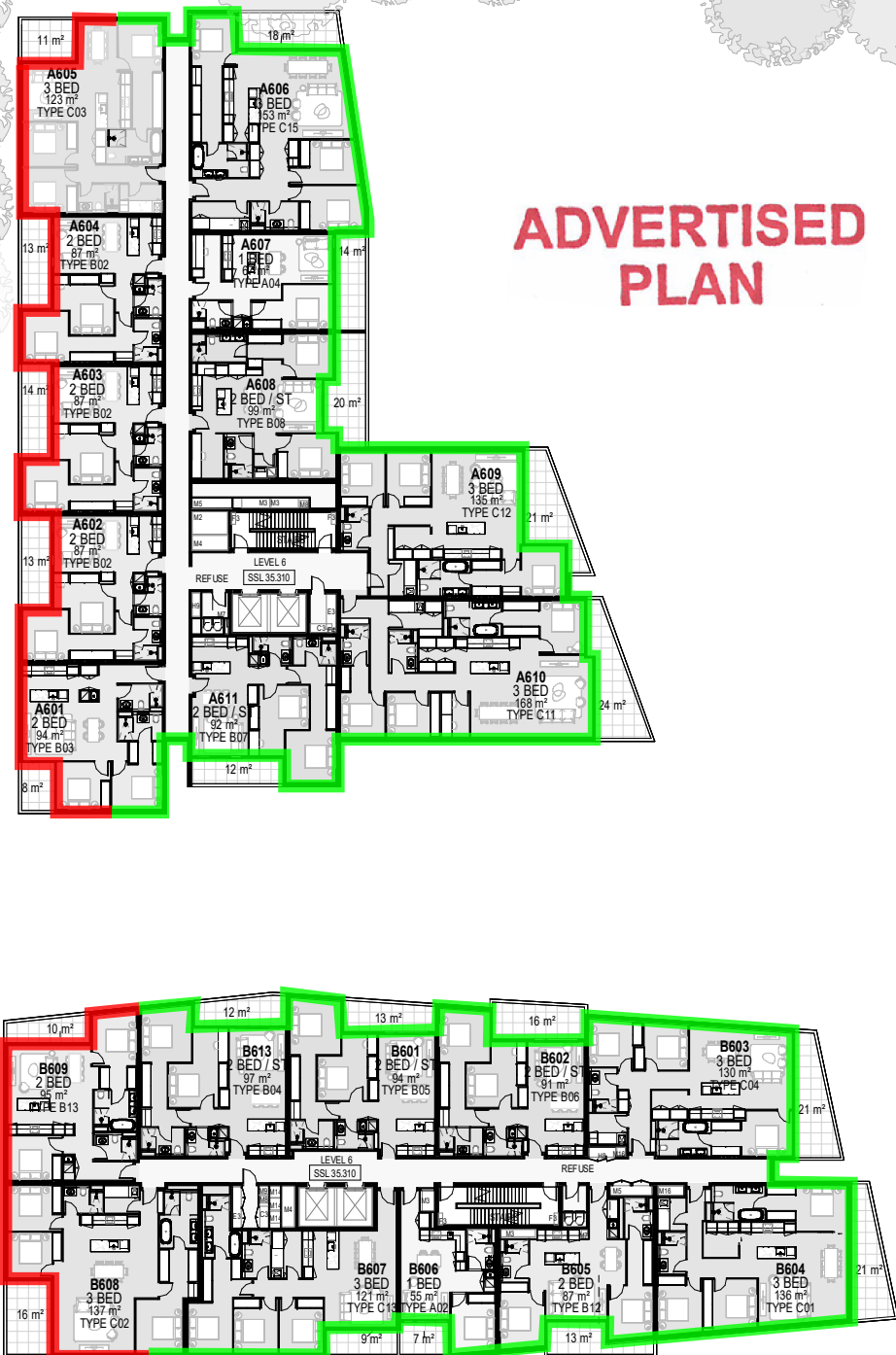
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SD06_02

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SD06_03

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SD06_04

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Acoustic Logic Facade Markup
Date: 10/10/2025
Rev: 0



Glazing Legend

- █ Glass - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

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- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment

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Project
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Drawing
PLAN - LEVEL 6

Job No.
21715

Drawing No.
SD02_09

Date
03.09.2025

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RIVER STREET

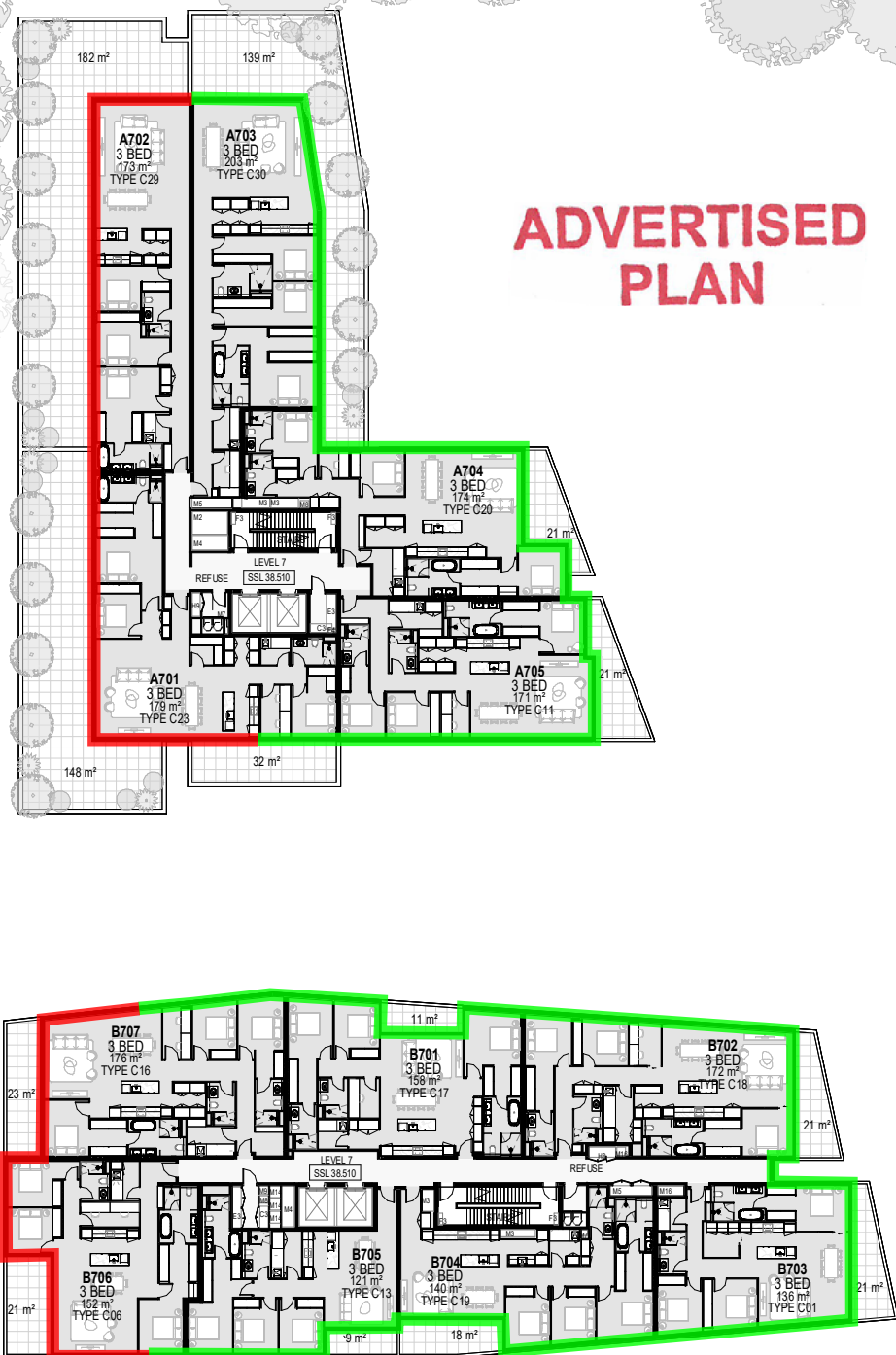
BLAZEY STREET

MURPHY STREET

1
SD06_04

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SD06_02


1
SD06_03



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Glazing Legend

- █ Glass - 6/12/6mm IGU glass
 Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ Glass - 6/12/11.52mm IGU glass
 Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

- All glazing to contain Q-Ion bulb seals
- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment



Client
CBUS Property

Project
43 & 63-67 River Street, Richmond

Drawing
PLAN - LEVEL 7

Job No.
21715

Drawing No.
SD02_10

Date
03.09.2025

Scale
1 : 500 @ A3

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3

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CROWN STREET

RIVER STREET

BLAZEY STREET

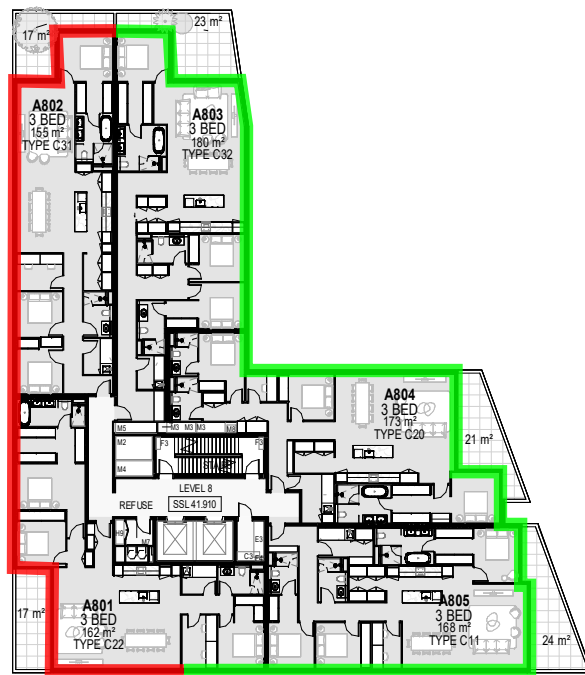
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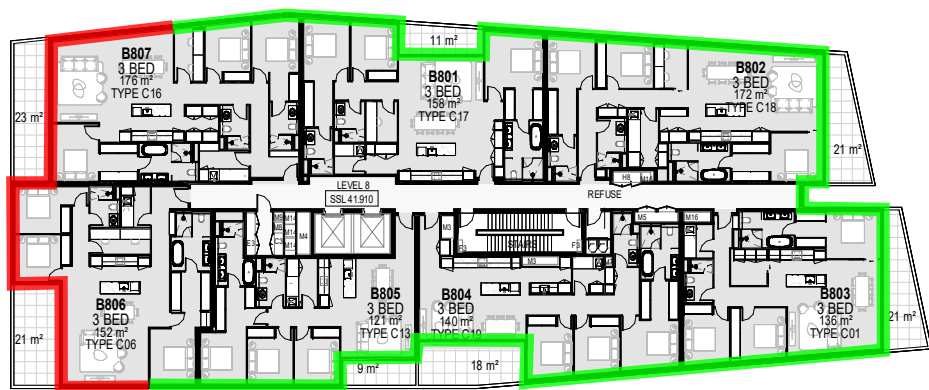
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SD06_02

1
SD06_03

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SD06_04



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Acoustic Logic Facade Markup

Date: 10/10/2025

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Glazing Legend

█ Glass - 6/12/6mm IGU glass
 Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard

█ Glass - 6/12/11.52mm IGU glass
 Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

- All glazing to contain Q-Ion bulb seals
- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment



Client
CBUS Property

Project
43 & 63-67 River Street, Richmond

Drawing
PLAN - LEVEL 8

Job No.
21715

Drawing No.
SD02_11

Date
03.09.2025


Scale
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Revision
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 Date: 10/10/2025
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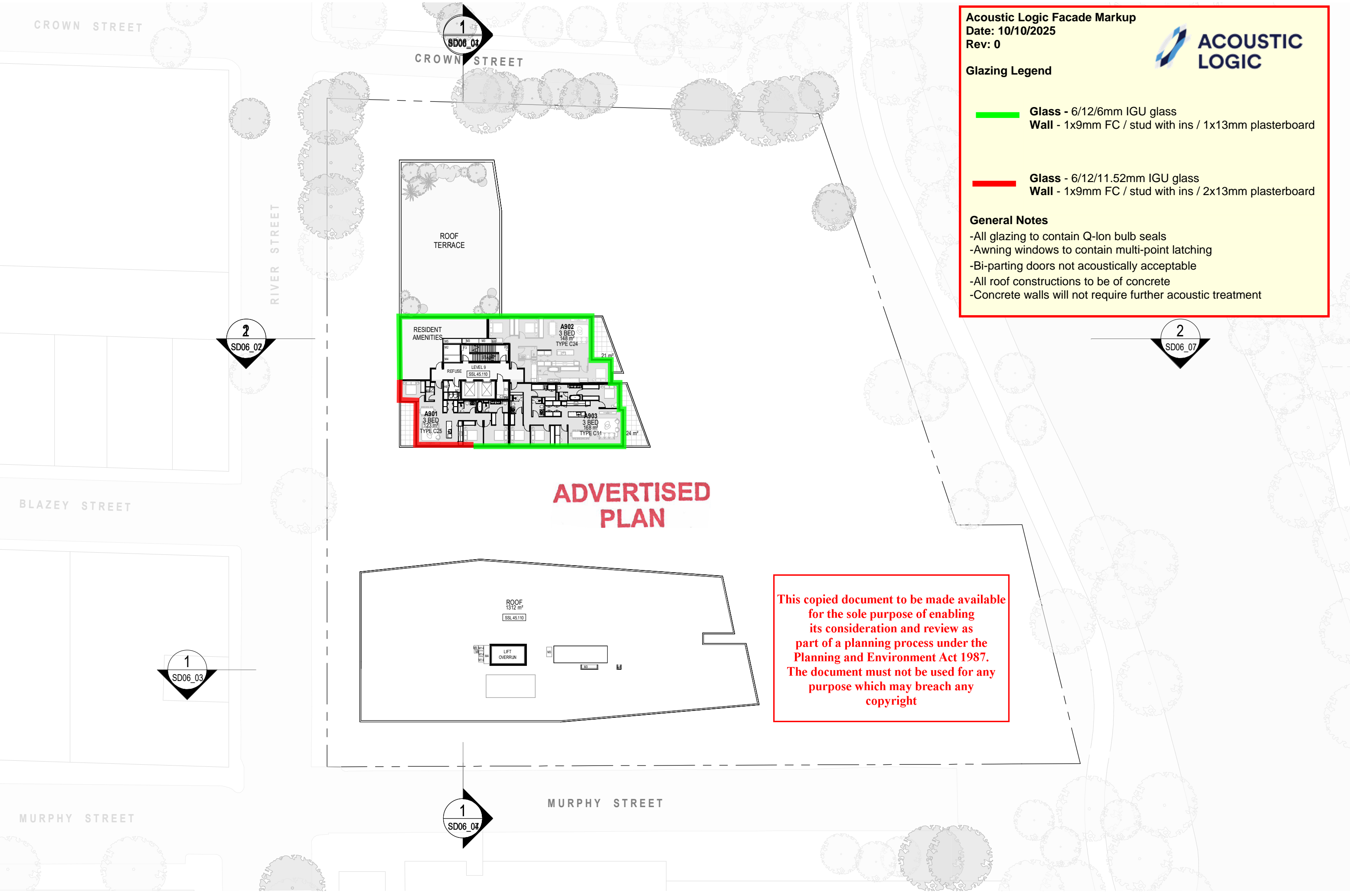


Glazing Legend

- █ **Glass** - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ **Glass** - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

- All glazing to contain Q-Ion bulb seals
- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment



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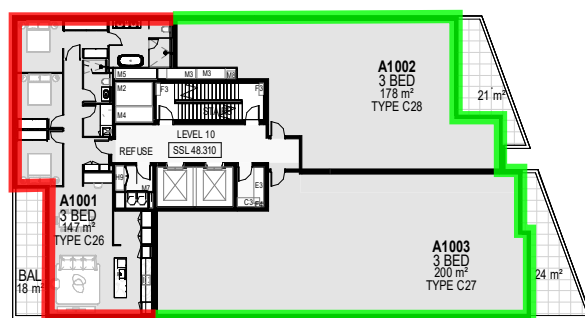
CROWN STREET

RIVER STREET

BLAZEY STREET

MURPHY STREET

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Date: 10/10/2025

Rev: 0



Glazing Legend

Green line: Glass - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard

Red line: Glass - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

- All glazing to contain Q-Ion bulb seals
- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment



Client
CBUS Property

Project
43 & 63-67 River Street, Richmond

Drawing
PLAN - LEVEL 10

Job No.
21715

Drawing No.
SD02_13

Date
03.09.2025


Scale
1 : 500 @ A3

Revision
3

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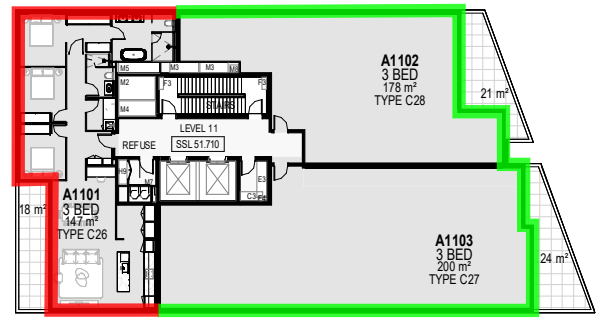
Glazing Legend

- █ **Glass** - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard
- █ **Glass** - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

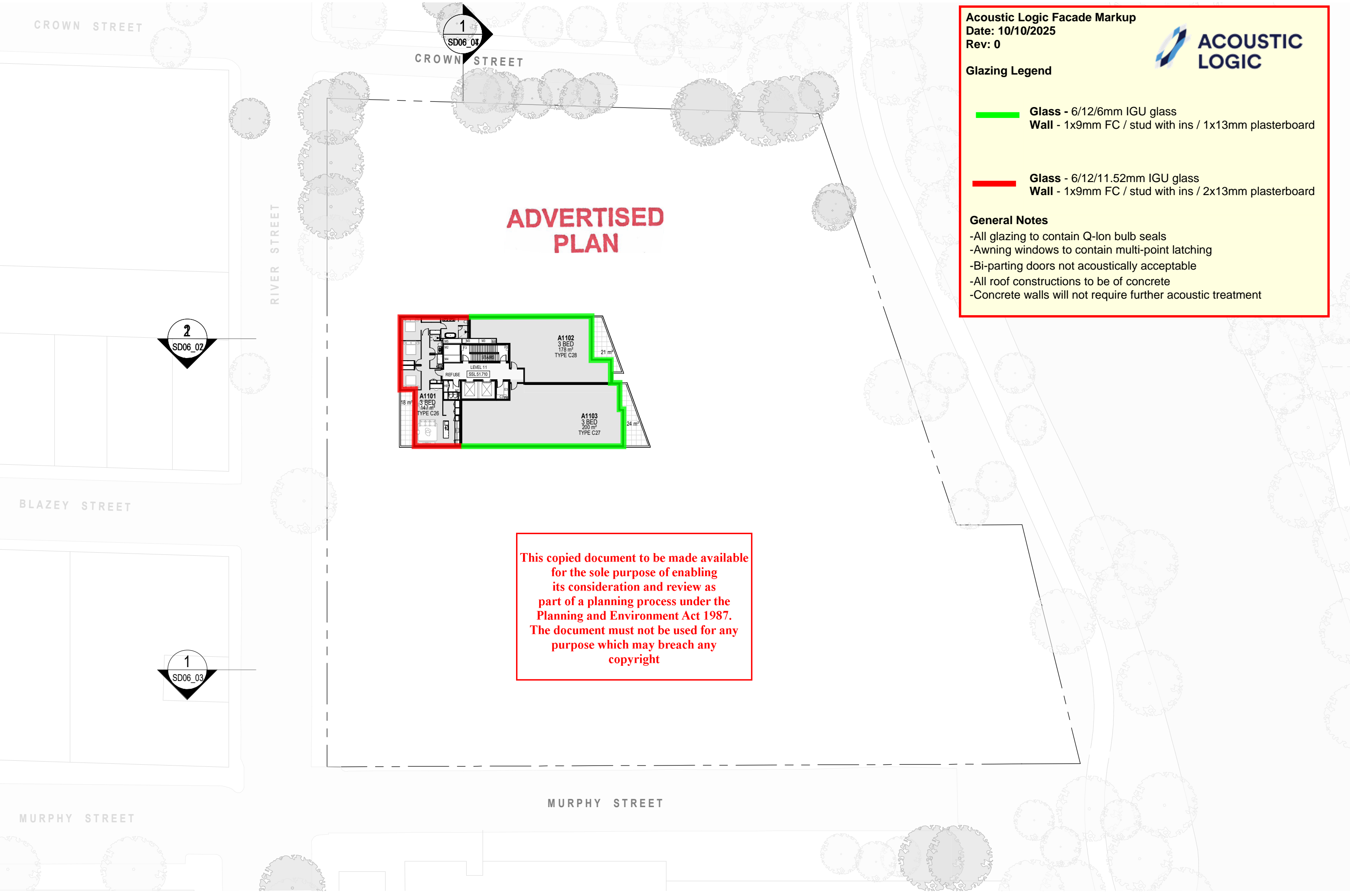
General Notes

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- Awning windows to contain multi-point latching
- Bi-parting doors not acoustically acceptable
- All roof constructions to be of concrete
- Concrete walls will not require further acoustic treatment


ADVERTISED PLAN



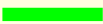
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Glazing Legend

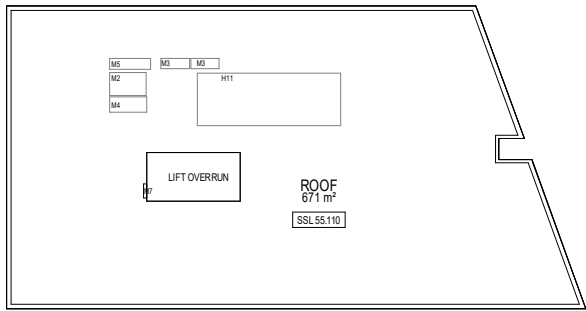
 **Glass** - 6/12/6mm IGU glass
Wall - 1x9mm FC / stud with ins / 1x13mm plasterboard

 **Glass** - 6/12/11.52mm IGU glass
Wall - 1x9mm FC / stud with ins / 2x13mm plasterboard

General Notes

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- Awning windows to contain multi-point latching
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