

Planning Report

Tract

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Planning Permit Application

Wurundjeri Country
46 Brougham St, North Melbourne

Prepared for McAuley Property Ltd

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Acknowledgement of Country

We pay our respects to the Traditional Custodians of Country throughout Australia, their Elders and ancestors, recognising their rich heritage and enduring connection to Country and acknowledging the ongoing sovereignty of all Aboriginal and Torres Strait Islander Nations.

We recognise the profound connection to land, waters, sky and community of the First Nations peoples, with continuing cultures that are among the oldest in human history. We recognise that they are skilled land shapers and place makers, with a deep and rich knowledge of this land which they have cared for, protected and balanced for millennia.

Our Country, 2022

88 x 119 cm Acrylic on canvas

Original artwork by

Alfred Carter

Gunaikurnai

Overview

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Applicant / Owner	McAuley Property Ltd
Address	46 Brougham St, North Melbourne, VIC, 3051
Lot Description	Lot 1 and 2 on Title Plan 513462M (Volume 02086 Folio 011)
Lot Size	567.87sqm
Planning Scheme	Melbourne Planning Scheme
Responsible Authority	Minister for Planning

Permit Application Details

Description of Proposal	- Use of the land as a Secondary School associated with the existing St Aloysius College primary and secondary school at 31 Curran Street, North Melbourne. - Development comprising partial demolition of the existing building on the Site and construction of a new single-storey extension to the rear. - Construction of a wall-mounted business identification sign (0.4sqm).												
Permit Requirements	<table><tr><td>Clause 32.08-2</td><td>A permit is required for the use of a Secondary School</td></tr><tr><td>Clause 32.08-10</td><td>A permit is required for buildings and works associated with a section 2 use</td></tr><tr><td>Clause 43.01-1</td><td>A permit is required to demolish a building, and to construct a building, including a sign, or construct or carry out works</td></tr><tr><td>Clause 52.05-13</td><td>A permit is required for the display of business identification signage in a Category 3 (High Amenity Area).</td></tr><tr><td>Clause 52.06-3</td><td>A permit is required to waive the car parking requirement</td></tr><tr><td>Clause 52.34-2</td><td>A permit is required to waive bicycle facilities requirement</td></tr></table>	Clause 32.08-2	A permit is required for the use of a Secondary School	Clause 32.08-10	A permit is required for buildings and works associated with a section 2 use	Clause 43.01-1	A permit is required to demolish a building, and to construct a building, including a sign, or construct or carry out works	Clause 52.05-13	A permit is required for the display of business identification signage in a Category 3 (High Amenity Area).	Clause 52.06-3	A permit is required to waive the car parking requirement	Clause 52.34-2	A permit is required to waive bicycle facilities requirement
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Relevant Planning Provisions

Zone	General Residential Zone, Schedule 1 (GRZ1)
Overlays	Design and Development Overlay, Schedule 66 (DDO66) Heritage Overlay, Schedule 3 (HO3)
Particular Provisions	Clause 52.05 - Signs Clause 52.06 – Car Parking Clause 52.34 – Bicycle Facilities Clause 53.18 – Stormwater management in urban development Clause 53.19 – Non-Government Schools

Quality Assurance

Planning Report

Planning Permit Application
Wurundjeri Country
46 Brougham St, North Melbourne

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Project Number
325-0295-00

Revisions

No.	Date	Description	Prepared By	Reviewed By	Project Principal
00	14/04/2026	Planning Report	MW	MZ / AZ	MZ
01	07/07/2026	RFI Updated Report	MW	MZ	MZ

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1 Introduction

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This report has been prepared by Tract Consultants Pty Ltd (Tract) on behalf of McAuley Property Ltd to support a planning application for 46 Brougham Street, North Melbourne (Site).

The application seeks permission for the use of the land for a Secondary School associated with the existing St Aloysius College (College) primary and secondary campus at 31 Curran Street, North Melbourne (Main Campus), and development (including partial demolition of the existing contributory heritage building) for the construction of a single storey extension to the rear.

This report assesses the proposal against the relevant provisions of the Melbourne Planning Scheme (Planning Scheme), including the Municipal Planning Strategy, Planning Policy Framework, and applicable zone and overlay controls. It demonstrates that the proposal is well-founded, responds appropriately to its context, and aligns with policy support for the ongoing improvement of education facilities in well-served inner urban areas.

1.1 Overview

The proposal will facilitate an integrated extension to the established campus, providing specialist learning areas and ancillary spaces to support the College's current educational activities.

The proposal includes the retention of contributory heritage fabric, the removal of non-original and non-contributory elements, and the introduction of new built form to accommodate specialist learning and support areas. It does not result in any increase in student or staff numbers, providing purpose-built learning areas for specialist design classes that are currently accommodated in sub-optimal spaces on St Aloysius College's Main Campus.

The Site is located within the General Residential Zone, Schedule 1 (GRZ1) and is affected by the Design and Development Overlay, Schedule 66 (DDO66) and Heritage Overlay, Schedule 3 (HO3) – a precinct-wide heritage overlay.

While the zoning reflects the surrounding residential context, the Planning Scheme provides for education uses in appropriate locations. In this case, the proposal builds on the long-standing presence of the College in North Melbourne and represents a logical extension to its existing operations.

The design has been developed with reference to both the heritage significance of the Site, as a contributory place within the North and West Melbourne Precinct, and its sensitive residential interfaces.

The proposed built form remains modest in scale and will have limited visibility from the public realm, prioritising retention of the principal heritage form with the extension adopting a clear but respectful contemporary response.

Whilst the current use of the Site will change, the proposal will not result in any change to the localised parking, traffic or waste conditions as it will essentially allow for the relocation of existing activities that occur on the Main Campus (which is separated by the Site by one dwelling) to this Site.

1.2 Permit Requirements

A planning permit is required under the following provisions of the Planning Scheme:

- Pursuant to Clause 32.08-2 a permit is required for the use of a school.
- Pursuant to Clause 32.08-10 a permit is required for buildings and works associated with a Section 2 use.
- Pursuant to Clause 43.01-1 a permit is required to demolish or construct a building, including a sign, or construct or carry out works.
- Pursuant to Clause 52.05-13 a permit is required for the display of business identification signage
- Pursuant to Clause 52.06-3 a permit is required to waive the car parking requirement.
- Pursuant to Clause 52.34-2 a permit is required to waive the bicycle parking requirement.

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1.3 Pre-Application Meeting

A pre-application meeting was held on 18 March 2026 via Microsoft Teams. Officers from the Department of Transport and Planning (DTP) and the City of Melbourne (CoM or Council) were in attendance.

The meeting provided an opportunity to discuss the proposed redevelopment, the applicable planning controls, and key considerations relating to heritage and neighbourhood character. While these discussions were largely introductory and 'higher-level', we summarise our understanding of Council's and DTP's position and provide a brief response to each point below:

Comment	Response
Officers sought clarification on anticipated student and staff numbers.	We note that there are no students and staff specifically associated with this application. The new building will accommodate existing staff and students that are currently accommodated at the Main Campus (31 Curran Street), providing improved facilities including specialist teaching spaces and support areas. The maximum number of staff that will be on Site at any one time is 7. The maximum number of students that will be on Site at any one time is 56.
Officers sought clarification on the proposed hours of operation.	The building will operate within standard school hours, consistent with the broader St Aloysius College Campus. • Staff access between 7.30am and 5pm, Monday – Friday. • Student access between 8.45am and 4pm, Monday – Friday.
Confirmation of Application Requirements / Documentation	It was confirmed that the application would be submitted with Architectural Plans, a Sustainability Design Statement, a Heritage Impact Statement and a Landscape Plan. It was agreed by DTP and CoM that no Traffic Impact Assessment or Waste Management Plan would be required, as the application will not result in additional traffic or parking demand, and waste will be handled via existing arrangements on the Main Campus.
Siting of the proposed walkway along the western facade	It was noted that the proposed 5.03m setback of the walkway along the western façade is less than that suggested by Clause 15.03-1L-02. Refer to Section 6.5 for our assessment against Clause 15.03-1L-02. We note that the walkway (ramp) provides for DDA access to the building, and its position cannot be set back further as this would result in a non-compliant ramp grade. The sight line diagrams at TP06.02 demonstrate that the proposed setback is sufficient to ensure that the walkway has limited visibility when viewed from the street, only being visible in a limited range of oblique views.
Discussion focused on the proposed built form, scale and design response, particularly in the context of the surrounding area.	The overall scale and concealment of the addition behind the retained heritage building was supported. The green roof was noted as a positive design outcome.
Drainage and stormwater management requirements - Clause 53.18.	The submitted Sustainability Design Statement confirms that the development achieves a Blue Factor Tool rating of 100%, demonstrating that stormwater management and water treatment is consistent with Clause 53.18.

It was agreed that the more detailed stormwater drainage design matters and the Site Management aspects of Clause 53.18 can be addressed by condition of permit (should a permit issue).

Confirmation of vegetation to be removed and any associated planning permit requirements

It was confirmed that one shrub at the rear of the existing building is proposed to be removed (refer to Figure 1 **Figure 10**), and that this does not require permission under Clause 52.37 – Canopy Trees.

Construction Impacts

It was agreed that this would be managed by a Construction Management Plan which would be required as a condition of permit (should a permit issue).

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2 Site & Surrounds

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2.1 Site Description

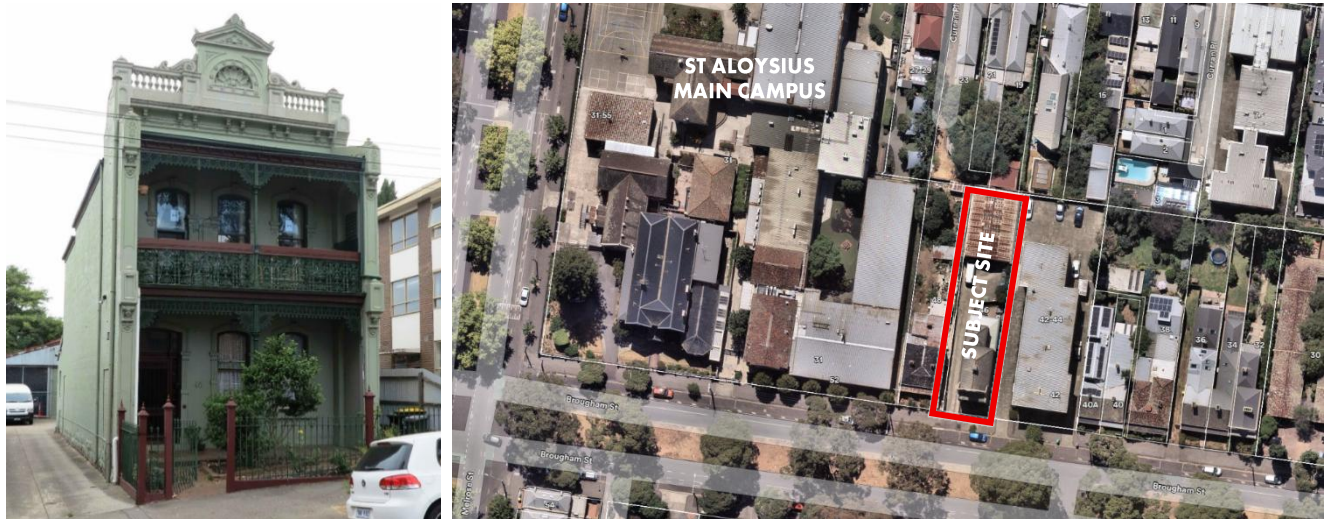


Figure 1. Existing dwelling (left) (Hayball 2026) and site aerial (right) (Nearmap 2026).

The Site is located at 46 Broughman Street, North Sydney, NSW, described as Lot 1 and 2 on Title Plan 513462M.

A review of the Certificate of Title and associated plan confirms that there are no easements, covenants, caveats or other restrictions affecting the Site.

The registered plan TP513462M does not depict any easements or encumbrances burdening the parcel.

The Site is approximately 567.87sqm in size with a width of 11.0m and length of 50.3m.

The Site is orientated south with vehicle and pedestrian access via Broughman Street. The site is surrounded by residential development on its west, north and east boundaries.

The site is occupied by a two-storey building which is owned by McAuley Property Ltd and is currently used as a dwelling. The rear of the site is largely occupied by a large shed (maximum height of 5.18m) which extends approx. 16.2m along each side boundary and the entirety of the rear boundary.

The Site is separated from the Main College campus by 46 Broughman Street to the west.

2.2 Site Analysis

Immediate Interfaces

The site interfaces with a mix of residential properties and transport infrastructure.

- **North – 19 & 21 Curran Street** - These are residential properties with conventional suburban subdivision patterns, with their private open spaces directly adjoining the rear of the Site. No. 19 contains a single-storey outbuilding located on the shared boundary with the Site. Both properties feature established gardens with large trees.
- **East – 42 Broughman Street** – A three-storey residential building adjoins the eastern interface, presenting a higher built form. A narrow accessway runs along the shared boundary, providing access to hardstand parking areas to the rear of the building. Upper level (first and second floor) balconies are positioned on the western elevation, facing towards the Site.

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- **South – Brougham Street** – The site fronts Brougham Street, a 21m wide local road comprising a single traffic lane in each direction and dedicated bicycle lanes. On-street parking is provided on both sides of the carriageway (generally 2P and 4P), as well as planted verges and a landscaped central median strip. On the opposite side of Brougham Street are residential properties ranging from one to three storeys.
- **West – 48 Brougham Street** – A single-storey building occupies this adjoining lot. The site contains a series of single-storey outbuildings located close to the common boundary with the Site. This property is not owned by the College and therefore acts as a physical separation between the Site and the main campus area. The building is also a contributory building (as per the Heritage Places Inventory) and therefore forms part of the heritage streetscape and contributes to the established low-scale character of Brougham Street.

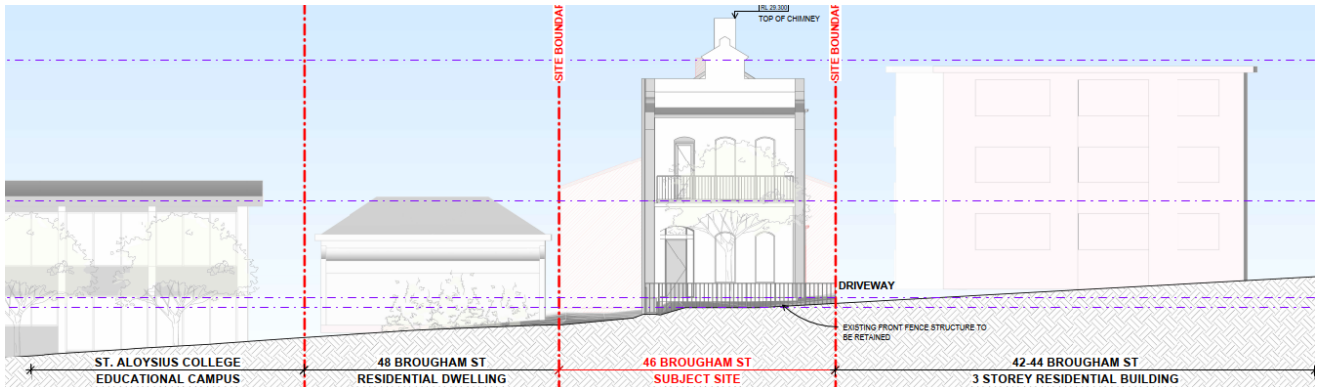


Figure 2. Existing street section

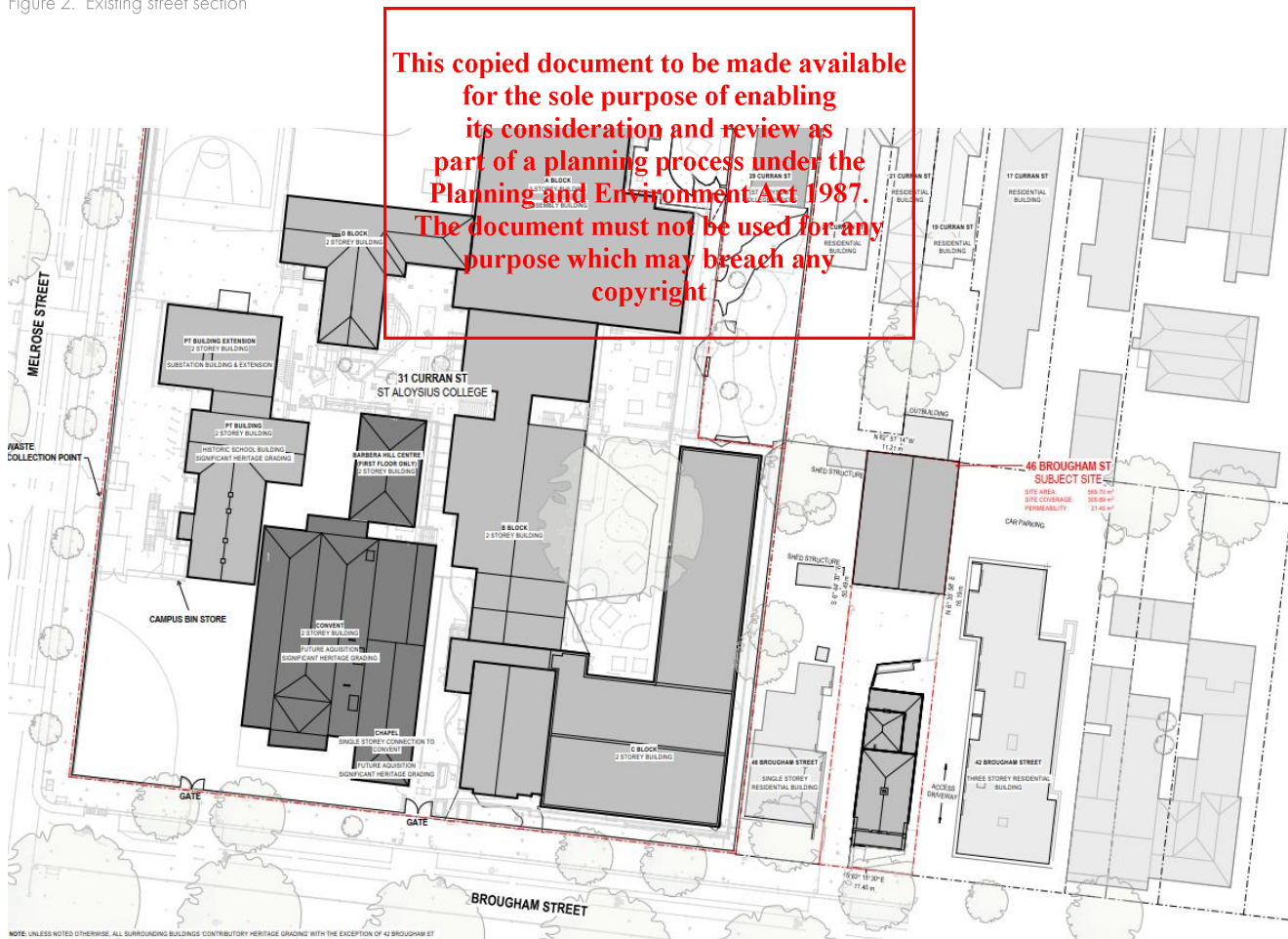


Figure 3. Site context for 46 Brougham Street and adjoining land uses.

2.3 Surrounding Context

The site is located within an established residential neighbourhood in North Melbourne, offering a context well-suited for educational use. Its surroundings provide a mix of housing typologies, a fine-grain street layout, and convenient connections to local transport and community infrastructure, supporting safe and accessible student and staff movement.

The immediate area is predominantly residential, comprising one and two-storey dwellings on conventional lots. This built form provides a low-intensity interface that buffers the school building from busier urban activity, creating a safe environment for students. While the zoning reflects the predominantly residential character of the area, the surrounding streets include a mix of complementary uses, such as the long-established St Aloysius College campus and nearby local services.

To the south-west, beyond Melrose Street, the area becomes more mixed in character, with a local commercial strip and emerging community facilities.



Figure 4. Context plan showing 400m and 800m buffers

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3 Proposal

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The application seeks permission for the use of the land for a Secondary School associated with the existing St Aloysius College primary and secondary campus at 31 Curran Street, North Melbourne and development (including partial demolition of the existing contributory heritage building) for the construction of a single storey extension to the rear.

Whilst the use of the Site will change, the proposal will not result in any change to the localised parking, traffic or waste conditions as it will essentially allow for the relocation of existing activities that occur on the Main Campus (which is separated from the Site by one dwelling) to this Site.

A planning permit is required under the following provisions of the Planning Scheme:

- Pursuant to Clause 32.08-2, a permit is required for the use of a School
- Pursuant to Clause 32.08-10, a permit is required for buildings and works associated with a Section 2 use
- Pursuant to Clause 43.01-1, a permit is required to demolish or construct a building, including a sign, or construct or carry out works
- Pursuant to Clause 52.05-13, a permit is required to construct and display Business identification signage.
- Pursuant to Clause 52.06-3, a permit is required to reduce the minimum parking spaces required
- Pursuant to Clause 52.34-2, a permit is required to waive bicycle parking requirements

3.1 Land Use and Operational Matters

The proposal seeks to permission to use the land as a Secondary School, enabling the Site to be used as an extension of the existing St Aloysius College campus.

Student and Staff Numbers

There are no students and staff specifically associated with this application.

The new building will accommodate existing staff and students that are currently accommodated at the main Campus (31 Curran Street), providing improved facilities including specialist teaching spaces and support areas.

Notwithstanding the above, we confirm that the following maximum numbers of students and staff that will be accommodated on Site at any one time:

- Students – 56
- Staff – 7

Hours of Operation

Hours of operation will remain consistent with the broader St Aloysius College campus.

Staff will access the building between 7.30am and 5pm, Monday – Friday.

Students will access the building between 8.45am and 4pm, Monday – Friday.

Site Access, Traffic Impacts and Car Parking

As outlined above, the new building provides purpose-built specialist learning areas for the existing students at St Aloysius College. Where students are scheduled for a class at 46 Brougham Street, they will meet with their teacher at the main campus and be escorted to the building for the class. At the end of the class, they will be escorted back to the main campus.

As the proposal does not involve any increase in student or staff numbers, it will not generate additional traffic or create additional parking demand.

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Waste Storage and Collection

Waste will be managed through the school's existing arrangements at the main campus, with waste regularly transferred to the bin store at the main campus and collected via private collection from Melrose Street, to the west of the main school campus.

3.2 Development

Demolition

Demolition is limited to the rear of the existing building and the rear shed to enable construction of the new educational facility.

Existing boundary fences are proposed to be retained.

New Built Form

The proposed additions have been designed to make efficient use of the Site.

The front setback is unchanged from current conditions, with side and rear setbacks designed with reference to those that would apply to a residential development under Clause 54 (Standard A2-3 – Side and rear setbacks), ensuring that the form responds to the surrounding residential context.

At ground proposed extension is built to boundary but the roof maintains a setback of 1.415m to the west and 2.574m to the east. The proposed rear extension adopts a single storey form (maximum 5.2m building height) behind the retained two storey heritage form.

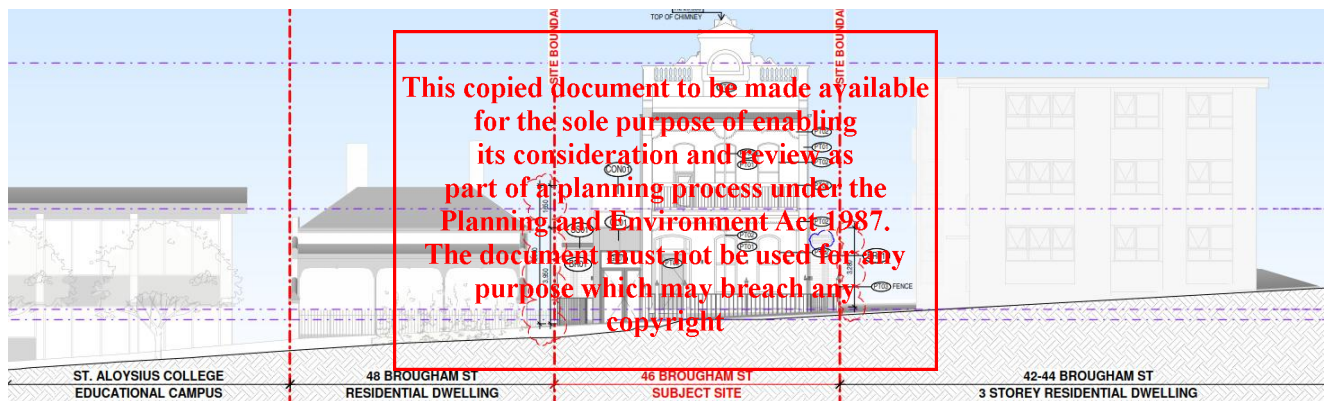


Figure 5. Proposed street (south) elevation (Hayball 2026)

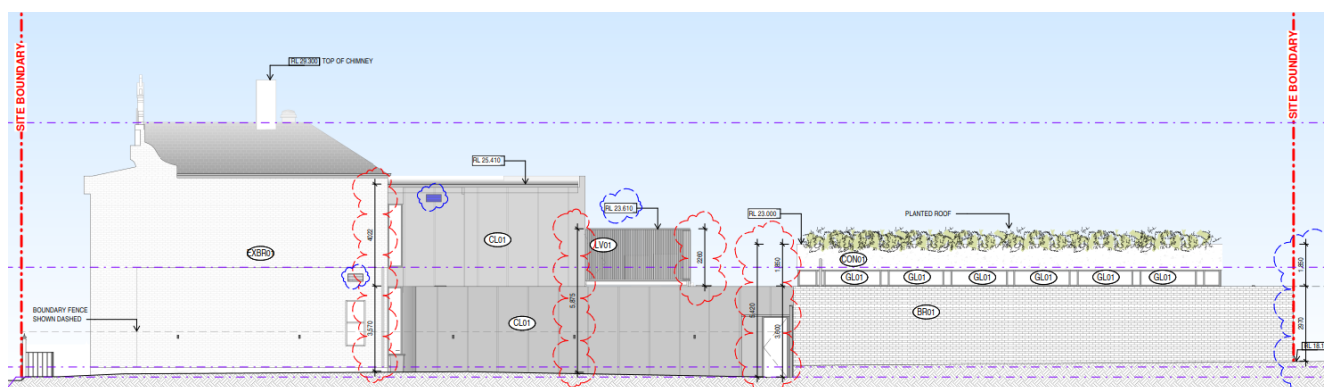


Figure 6. Proposed east elevation (Hayball 2026)

Internal Layout

The ground floor accommodates reception, meeting rooms, specialist STEM and Fabrication spaces, breakout areas, amenities and supporting services.

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The proposed materials have been selected to respond to the Site's heritage context. The use of face brickwork, charcoal metal cladding, pre-finished battens and concrete elements gives the building a contemporary character while remaining respectful of its surroundings. These materials are durable and low-maintenance, ensuring the building will age well and maintain a consistent appearance with other facilities across the Campus.



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3.3 Vegetation Removal and New Landscaping

One shrub at the rear of the existing building will be removed (refer to **Figure 10**). No planning permit is required for its removal.

The proposal includes a series of landscape elements that help soften the built form and improve the presentation of the site. Planting is incorporated along key boundaries and within small courtyard areas to provide visual relief and support a more welcoming environment for students and staff.

Climbing plants and green wall treatments are used strategically to introduce greenery to building edges and enhance the appearance of internal and external interfaces, whilst a rooftop planting zone featuring hardy species adds an additional layer of visual interest and contributes to the environmental performance of the building.

Collectively, these landscape elements support the overall use of the site and help create a more refined interface with neighbouring properties.



Figure 10. Shrub to be removed

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3.4 Signage

The proposals incorporate one 'Business identification sign' (**Figure 11**), located on the wall of the building's west elevation.

The sign would be consistent with existing St Aloysius College signage in form and character and would be a wall-mounted sign, with a maximum display area of 0.4m².

The sign would not be electronic, floodlit, or internally illuminated.

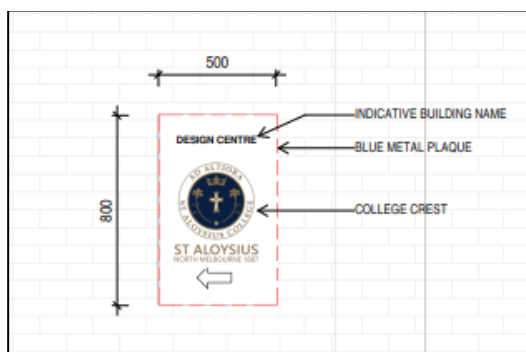


Figure 11. Indicative signage

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4 Planning Provisions

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4.1 Zoning

The site is located entirely within the General Residential Zone (Schedule 1) (GRZ1). The purpose of the GRZ is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that is responsive to the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to Clause 32.08-1, a planning permit is required to use the land as a 'Secondary School'.

Pursuant to Clause 32.08-4, a planning permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.

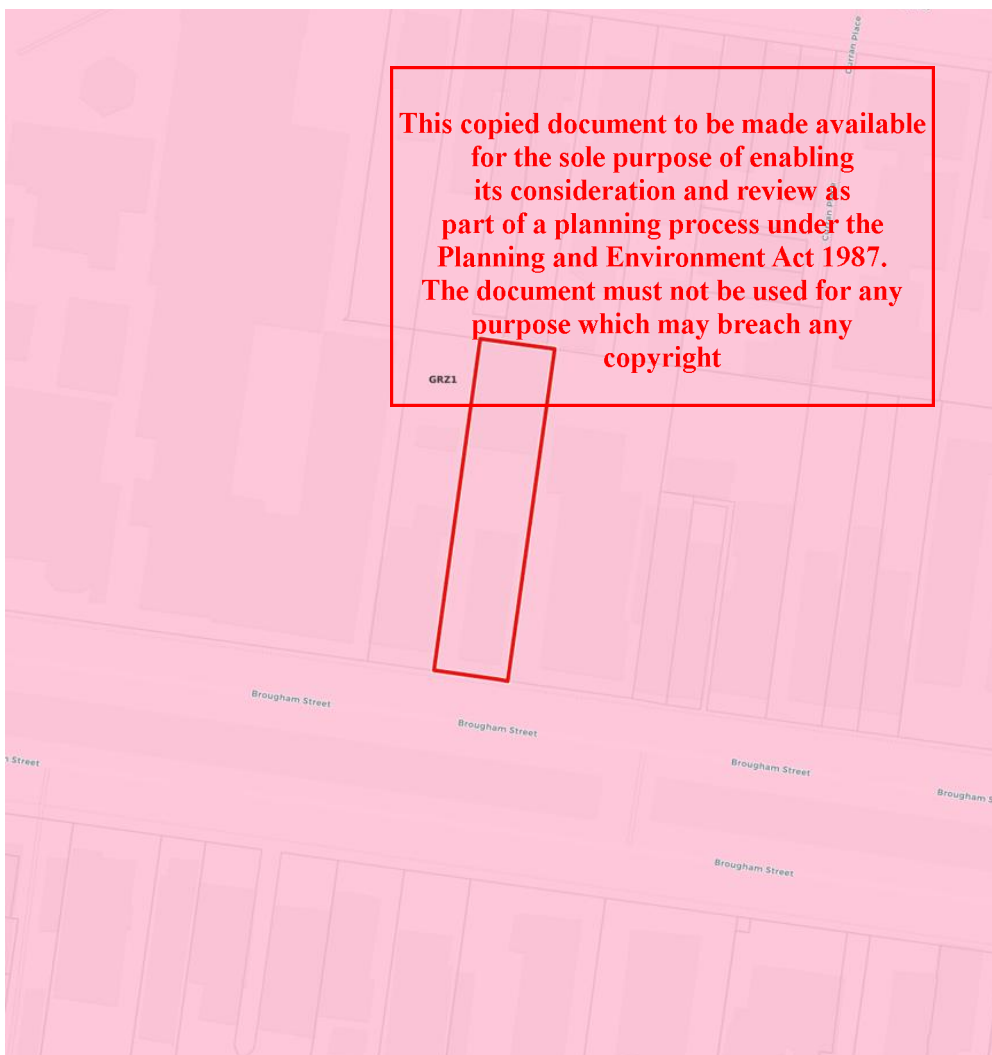


Figure 12. Zone Plan

Design and Development Overlay, Schedule 66

The proposed rear extension maximum building height is 5.2m. Therefore, no planning permit is required under DDO66.

The existing building is identified in the Incorporated Document Heritage Places Inventory (March 2022, amended August 2025) as a contributory place. Refer Appendix B for further detail.

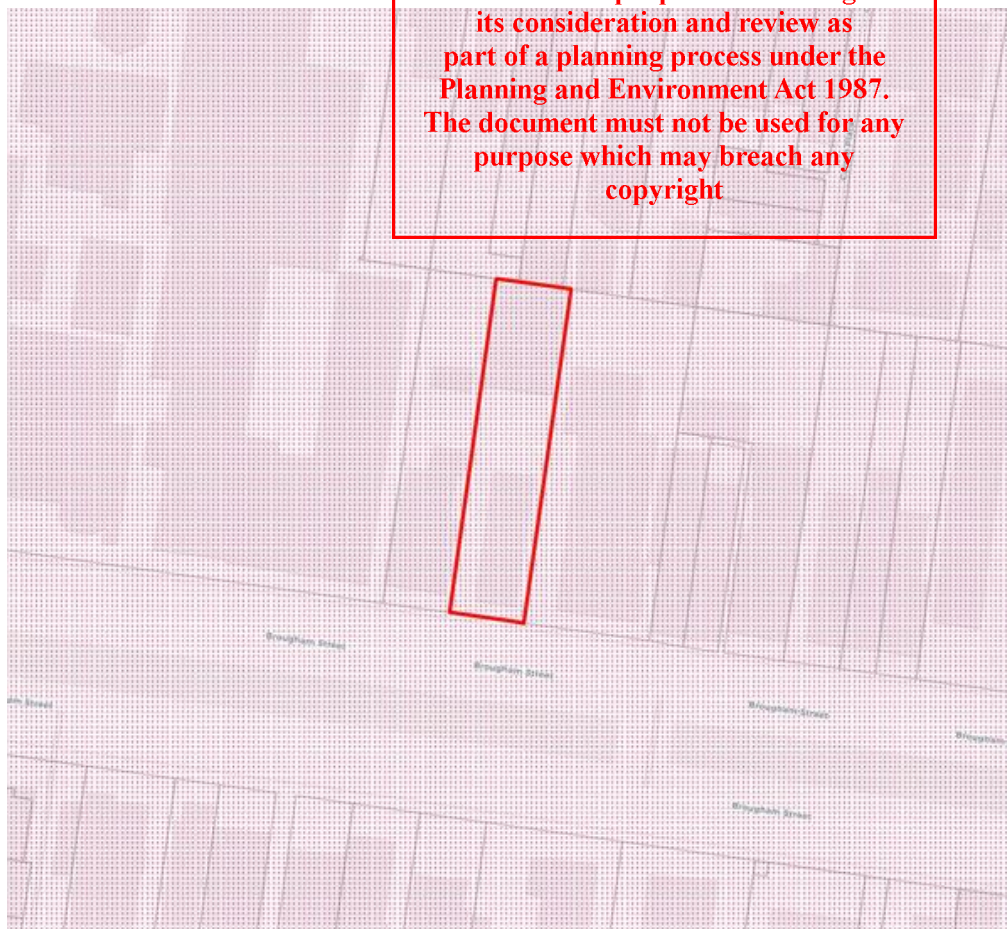


Figure 13. Heritage Overlay

4.3 Particular Provisions

Clause 52.06 Car Parking

Clause 52.06 seeks to ensure that an appropriate number of car parking spaces are provided having regard to the likely demand generated by a use, the activities on the land and the characteristics of the locality.

In the case of a new use, Clause 52.06-2 requires that the minimum number of car parking spaces set out in the table at 52.06-5 must be provided to the satisfaction of the responsible authority.

A permit is required to (*inter alia*) reduce (including reduce to zero) the minimum number of car parking spaces required.

The Site is subject to the 'Category 2' car parking requirements, equating to 0.5 spaces per employee.

There will be a maximum of 7 employees on site at any one time, generating a requirement for 3.5 car parking spaces, which is rounded down to 3 spaces in accordance with clause 52.06-5.

No on-site car parking is proposed and therefore a full car parking waiver is sought.

Clause 52.34 – Bicycle Facilities

Clause 52.34 of the Planning Scheme seeks to encourage cycling as a mode of transport by ensuring bicycle facilities are provided with new development, having regard to the likely demand generated by a use, the activities on the land and the characteristics of the locality.

Clause 52.34-2 states that a permit may be granted to (*inter alia*) reduce or waive any bicycle parking requirements of Clause 52.34-5.

As per Clause 52.34-5, the use of land for a Secondary School requires the following:

- 1 bicycle parking space to each 20 employees
 - If 5 or more employee bicycle spaces are required, 1 shower for the first 5 employee bicycle spaces, plus 1 to each 10 employee bicycle spaces thereafter.
 - A changeroom for each shower provided.
- 1 bicycle parking space for each 5 pupils over Year 4.

A maximum of 7 employees and 50 students will be on site at any one time. Based on the applicable bicycle parking rates, this results in a requirement for 0.35 employee bicycle spaces and 11.2 student bicycle spaces, giving a total calculated requirement of 11.55 bicycle parking spaces. In accordance with Clause 52.34-5, where the calculated number is not a whole number the requirement is the nearest whole number, a minimum of 12 bicycle parking spaces is required. No showers or change rooms are required for the development.

No on-site bicycle parking is proposed and therefore a full waiver is sought.

Clause 53.19 – Non-Government Schools

This Clause applies to an application under any provision of the Planning Scheme to use or develop land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.

Applications to which Clause 53.19 applies are exempt from the notice and review requirements of sections 64(1–3) and 82(1) of the Planning and Environment Act 1987.

Clause 53.18 – Stormwater Management in Urban Development

This Clause applies to an application to construct a building, or construct or carry out works and seeks to ensure that stormwater in urban development is managed to mitigate the impacts of stormwater on the environment, property and public safety.

An application to construct a building or construct or carry out works:

- Must meet all of the objectives of Clauses 53.18-5 and 53.18-6.
- Should meet all of the standards of Clauses 53.18-5 and 53.18-6.

An application must be accompanied by details of the proposed stormwater management system, including drainage works and retention, detention and discharges of stormwater to the drainage system.

Clause 72.01-1 - Minister is Responsible Authority

Under Clause 72.01-1, the Minister is the responsible authority for a primary or secondary school, or for an education centre that is ancillary to, carried out in conjunction with, and located on the same or contiguous land in the same ownership as, a primary or secondary school, where any of the following circumstances apply:

- There is no existing primary or secondary school on the land; or
- The estimated cost of development is \$3 million or greater.

As there is no existing secondary school on the land, the Minister is the responsible authority for the application.

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5 Planning Policy

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5.1 Municipal Planning Strategy

The Municipal Planning Strategy sets the overarching policy framework that guides land use and development across the municipality. It identifies the strategic role of different neighbourhoods, outlines expectations for built form and heritage outcomes, and supports the provision of essential community infrastructure such as education facilities. Within this context, several strategic directions are particularly relevant to the proposed redevelopment.

Clause 02.03 – Strategic Directions

- **Clause 02.03-1 (Settlement)** notes North Melbourne as a stable residential area, recognising its strong residential bases as commercial and industrial uses. Many of the area's streetscapes and buildings have been recognised for their heritage significance.
- **Clause 02.03-4 (Built environment and heritage)** seeks to protect the built form character by ensuring new development respects the character and adds to the overall quality of the urban environment.
- **Clause 02.03-8 (Infrastructure – Education and Health Facilities)** aims to support education facilities by supporting use and development for primary, secondary and tertiary education.

5.2 Planning Policy Framework

Clause 11 (Settlement)

Planning is to anticipate and respond to the needs of the community through provision of zoned and serviced land for housing, employment, recreation and community facilities and infrastructure.

Clause 11.03 (Planning for Places)

- **Clause 11.03-6L-10 (North Melbourne)** - The policy emphasises maintaining North Melbourne's predominantly low-scale, heritage-rich residential character, directing higher built form to key activity nodes elsewhere. It supports community-focused uses within established neighbourhoods, provided development is sympathetic to scale and heritage context. The proposal aligns with this policy by delivering sensitively designed educational facilities within a stable residential area while respecting the precinct's low-scale character and heritage values.

Clause 15.01 (Built Environment)

- **Clause 15.01-1S (Urban Design)** – seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
- **Clause 15.01-1R (Urban Design Metropolitan Melbourne)** – seeks to create a distinctive and liveable city with quality design and amenity.
- **Clause 15.01-2S (Building Design)** – Seeks to:
 - Achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development and
 - Ensure development responds and contributes to the strategic and cultural context of its location.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
- **Clause 15.01-2L-01 (Energy resource efficiency)** – seeks to ensure buildings achieve high environmental performance standards at the design, construction and operation phases. Under this Clause, an application for an Education Centre of up to 2,000sqm must be accompanied by an Environmentally Sustainable Design Statement which demonstrates how the development responds to the following performance measures:

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- Energy efficiency: Compliance with the energy efficiency requirements of the Sustainable Design Scorecard or equivalent.
- Water efficiency: 3 points for Wat-1 credit the Green Star – Education rating tool or equivalent.
- **Clause 15.01-5S (Neighbourhood Character)** – seeks to recognise, support and protect neighbourhood character, cultural identity, and sense of place. Development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character will be supported.

Clause 15.03 (Heritage)

- **Clause 15.03-1S (Heritage Conservation)** – seeks to ensure the conservation and enhancement of places of heritage significance, including contributory buildings within heritage precincts.
- **Clause 15.03-1L-02 (Heritage)** – seeks to ensure development within heritage precincts responds respectfully to existing heritage values by encouraging high-quality contextual design, retention of contributory three-dimensional fabric, and adaptive reuse of heritage places. The policy discourages full or partial demolition of significant or contributory buildings, promotes recessive and clearly distinguishable additions, and requires new built form to be subordinate, appropriately set back and non-dominant when viewed from the street or surrounding public realm.

Clause 19.02 (Community Infrastructure)

- **Clause 19.02-2S (Education Facilities)** – seeks to support the provision, integration and improvement of education facilities within local and regional communities. The policy facilitates the establishment and expansion of primary and secondary schools to meet community needs, recognises that school buildings have different functional and built-form requirements to dwellings, and supports education facilities in locations with good access to public transport and services.

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6 Planning Assessment

6.1 Overview

The proposed redevelopment and use of 46 Brougham Street as a Secondary School building associated with the existing St Aloysius College primary and secondary school represents a low-impact and policy-supported outcome within the General Residential Zone and Heritage Overlay.

The proposal utilises land that is already functionally and historically connected to the College, delivers improved educational facilities without increasing student or staff numbers, and is designed to respond sensitively to the surrounding residential and heritage context. When assessed against the *Melbourne Planning Scheme*, the proposal is consistent with the strategic intent of the zone, supported by State and local planning policy for education infrastructure, and achieves an appropriate balance between heritage conservation, neighbourhood character and functional school requirements.

A planning permit is required under the following provisions of the Planning Scheme:

- Clause 32.08-2 - To use the land as a Secondary School
- Clause 32.08-10 - For buildings and works associated with a Section 2 use
- Clause 43.01-1 - To demolish or construct a building, including a sign, or construct or carry out works
- Clause 52.05-13 - To construct and display a Business identification sign
- Clause 52.06-3 - To waive the car parking requirement
- Clause 52.34-2 - To waive the bicycle facility requirements

When assessing the proposal against the Planning Scheme, the following matters must be considered:

- Is the proposal consistent with the Municipal Planning Strategy and Planning Policy Framework?
- Is the proposal consistent with provisions of the General Residential Zone, Schedule 1?
- Are the external amenity impacts of the proposal acceptable?
- Does the proposal align with the provisions of the Heritage Overlay and Clause 15.03-1L-02?
- Is the proposed waiver of car parking and bicycle facilities appropriate?
- Does the proposed signage appropriately respond to the provisions of Clause 52.05?

Each of these matters are discussed further below.

6.2 Is the proposal consistent with the Municipal Planning Strategy and Planning Policy Framework?

Municipal Planning Strategy (MPS)

The MPS identifies North Melbourne as a stable residential neighbourhood with strong heritage character, where new development must integrate sensitively with established built form (Clause 02.03-1, 02.03-4). At the same time, the Strategy emphasises support for education and community facilities (Clause 02.03-8), recognising their ongoing role in serving local populations.

The proposal aligns with these directions by delivering upgraded educational facilities within an existing school campus, in a form that maintains the low-scale residential character of Brougham Street and responds appropriately to the HO3 heritage context. Its adaptive reuse approach, retaining contributory elements and adopting a modest two-storey scale, supports both neighbourhood character and the historic fabric of North Melbourne.

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Planning Policy Framework (PPF)

Urban Design and Built Form (Clauses 15.01-1S and 15.01-2S)

The proposal responds appropriately to the established character of Brougham Street, which is defined by consistent two-storey development and a cohesive residential rhythm. The building adopts a comparable scale and setback pattern to its surrounding neighbourhood, ensuring it sits comfortably within the streetscape and does not appear visually dominant.

Impacts on adjoining properties have been carefully managed through the overall massing and detailed design. Window placement and screening limit opportunities for overlooking, while the building form reduces perceptions of bulk. The material palette – centred on brick with muted tones – reflects the prevailing character of the area without resorting to pastiche, allowing the development to read as a contemporary addition that still fits within its context.

Heritage Integration and Response (Clauses 15.03-1S and 15.03-1L)

The proposal adopts a conservation-led approach that retains key contributory elements of the existing building, including the primary brick fabric, while allowing the site to evolve to support its ongoing use. Where possible, original openings are reinstated, reinforcing the building's historic form and legibility.

New built form is clearly contemporary but remains recessive in its expression, ensuring it does not compete with the heritage fabric. This approach aligns with policy, which seeks to avoid imitation and instead encourages design that is sympathetic in scale, proportion and materiality. Overall, the development preserves the significance of the heritage place while supporting its continued and viable use.

Neighbourhood Character and Local Policy (Clause 11.03-6L – North Melbourne)

The proposal is consistent with the preferred character of North Melbourne, maintaining the low-scale, fine-grain qualities that define the area. The two-storey height and articulated form reflect the established pattern of development, ensuring the building integrates into the existing streetscape.

Importantly, the development does not intensify use of the Site, with no increase in student numbers. This ensures the existing balance between institutional and residential uses is maintained. The proposal therefore supports the ongoing role of St Aloysius College within the community while respecting the amenity and character of the surrounding neighborhood.

Energy and Resource Efficiency (Clause 15.01-2L-01)

The proposal incorporates a range of measures intended to support efficient energy and water use, consistent with policy expectations for an education center of up to 2,000sqm gross floor area. The development has been designed to support reduced operational energy demand through its compact built form, efficient internal planning and appropriate orientation.

The submitted Sustainability Design Statement confirms that the proposal meets the performance objectives set out at Clause 15.01-2L-01. Specifically:

- Water efficient fittings, fixtures and appliances will be installed.
- A 5KL water tank is proposed to capture roof runoff, with water to be used for irrigation and toilet flushing.
- No gas is proposed.
- Insulation, walls and glazing meet NCC 2022
- A 100% Blue Factor Tool score is achieved.

Overall, the proposal demonstrates a commitment to best-practice energy and water efficiency outcomes, aligning with the objectives of Clause 15.01-2L-01 and supporting the delivery of a sustainable and responsibly designed education facility.

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6.3 Is the proposal consistent with provisions of the General Residential Zone, Schedule 1 (GRZ1)?

The proposal is consistent with the purposes of GRZ1 which seek to ensure that development is responsive to neighbourhood character, protects residential amenity, and allows for non-residential uses that serve local community needs in appropriate locations, noting:

- The proposal implements the MPS and PPF – as outlined at **Section 6.2** above – by supporting the continued operation of an established educational facility within a residential area.
- The development is responsive to neighbourhood character, comprising a modest built form that sits comfortably within the existing residential context.
- While not residential development, the proposal does not prejudice housing outcomes and supports a well-served residential neighbourhood.
- The single storey height of the extension located behind a retained two-storey building, ensures a discreet built form outcome. The height of the proposed extension is well below the 12m maximum building height that would otherwise be permissible for a residential development on the Site.
- The design, height, setbacks and appearance of the proposal are consistent with the character of the area, with articulation and landscaping used to further soften any perceived visual bulk and maintain a respectful interface with adjoining properties.

Overall, the proposal satisfies the purpose and decision guidelines of GRZ1. It delivers a low-impact, community-serving school use that respects neighbourhood character, maintains an appropriate scale and built form response, and protects residential amenity.

A full assessment of the proposal against the decision guidelines of the GRZ1 is included at **Appendix A**.

6.4 Are the external amenity impacts of the proposal acceptable?

The extension to the building has been designed with regard to the Site's residential context and immediate interfaces. The impact to surrounding residential properties is planned to be minimal, consistent with the character and amenity of the immediate area is already strongly influenced by the Main Campus and other non-residential uses in proximity. With respect to specific amenity considerations, we note:

- The single-storey form sits comfortably alongside existing dwellings, with existing boundary fencing ensuring that there is no potential for unreasonable overlooking.
- Whilst built form will extend the majority of the Site, it replaces the existing approx. 5.18m high shed that is built to the side and rear boundaries.
- Consideration has been given to how the new form will appear from the private open spaces of adjoining dwellings, with trellis planting and rooftop landscaping providing an attractive outlook.
- Whilst Clause 54 only applies to residential development, the building has been designed to accord with the side and rear setback standard that applies (Standard A2-3) under this clause, ensuring that there is no unreasonable impact with regard to visual bulk.
- Shadow impacts are well below what would otherwise be permitted under Standard A4-3.
- As the new building will be used by existing staff and students, there will be no additional traffic generation, parking demand or servicing impacts.
- The proposed operating hours are consistent with those of the Main Campus, and do not extend into evening or nighttime hours.
- There are no external gathering or play areas, with all activities contained within the building, maintaining a predictable and low-impact interface.

The impact of the use and development is reasonable and consistent with the level of amenity that can be expected within an inner-city area that supports several non-residential uses.

Importantly, there will be no unreasonable overlooking or overshadowing of private open space and building setbacks and design appropriately will moderate visual impacts.

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6.5 Does the proposal align with the provisions of the Heritage Overlay and Clause 15.03-1L-02?

Under Clause 43.01 of the Melbourne Planning Scheme, a permit is required to demolish or remove a building, construct a building – including construct or display a sign – or carry out works on land affected by the Heritage Overlay. The Site is identified as a contributory place within the North and West Melbourne Precinct, and the proposal has been developed with careful regard to the heritage significance of the building and the broader precinct context.

The architect has worked with Heritage Insight to determine the extent of demolition and the siting and design of the additions, ensuring that original building fabric that contributes to the Precinct is retained and new built form is recessive, subordinate and clearly distinguishable from the original building (consistent with the decision guidelines of Clause 43.01 and the policy direction of Clauses 15.03-1S and 15.03-1L-02).

Whilst we defer to the submitted Heritage Impact Statement for a full assessment of the proposal against the provisions of the HO and Clause 15.03-1L-02, we note:

- The proposal retains the front porch and front two rooms of the existing building in their entirety, as well as the full extent of the existing western wall ensuring that the building continues to contribute to the heritage precinct, and is retained in a legible three dimensional form, consistent with Clause 15.03-1L-02.
- Demolition is confined to non-original rear elements that do not contribute to the heritage significance of the place, consistent with policy which supports removal of non-contributory fabric.
- Additions are predominantly sited behind the original building envelope, in excess of the 8m setback suggested by Clause 15.03-1L-02 and maintaining the prominence of the principal part of the building.
- Whilst the new walkway is proposed to be setback 5.03m behind the façade, the length of the entry gallery and ramp has been dictated by DDA access requirements. The setback cannot be increased further as this would require a non-compliant ramp grade.

The site line diagrams at TP 06.02 demonstrate that the proposed setback is sufficient to ensure that the walkway has limited visibility when viewed from the street, only being visible in a limited range of oblique views.

- To the limited extent that new built form will be visible from the public realm, a modest contemporary form has been adopted which reads as recessive element that is clearly distinguishable from the heritage fabric, consistent with Clause 15.03-1L-02.
- Materials have been selected to complement the existing building through tone, texture and proportion while remaining legible as new development, adopting a traditional building approach in accordance with policy.

The proposal satisfies the objectives and decision guidelines of the Heritage Overlay. It conserves the contributory heritage fabric, with demolition limited to non-significant elements. The retained heritage form will continue to read as the dominant element from Brougham Street ensuring that the proposal does not adversely affect the significance of the heritage place or the North and West Melbourne Precinct.

A full assessment of the proposal against the Decision guidelines of the HO is included at **Appendix B**, and a copy of Heritage Insight's Heritage Impact Statement accompanies this submission.

6.6 Is the proposed waiver of car parking and bicycle facilities appropriate?

The proposed use of the land for a Secondary School with a maximum of 7 staff and 56 students on Site at any one time requires:

- 3 car spaces
- 12 bicycle spaces

No car parking or bicycle facilities are proposed on Site.

As detailed throughout this report, the new building will accommodate existing staff and students that are currently accommodated at the Main Campus (31 Curran Street). Students and staff will begin and end their days at 31 Curran Street and will access the new building for specialist design classes (with students to be walked to and from the Site by teachers for these classes).

In this case, the car parking and bicycle facility requirements are appropriately linked to the main campus, with no 'new' staff or students associated with the use of this building as a Secondary School.

The proposal, therefore, does not result in an additional car or bike parking demand, and it is appropriate that a waiver of these requirements be supported.

6.7 Is the proposed signage consistent with the provisions of Clause 52.05?

The proposal seeks planning approval for one business identification sign in the GRZ1. The GRZ1 is a 'Category 3 – High amenity area'.

The proposed sign satisfies the overarching purpose assigned for Category 3 by ensuring that the design is orderly and will not detract from the appearance of the proposed building or surrounding area.

The proposed signage is entirely appropriate having regard to Clause 52.05, noting:

- The proposed sign is required for business identification purposes, has a maximum display area of 0.4 sqm and is flush-mounted to the building's western façade.
- The modest presentation of the metal plaque sign ensures that it does not detract from the existing character of the building or surrounding area, while assisting with wayfinding.
- There is no scope for a cumulative impact having regard for the low density residential context, nor is there any potential impact to views and vistas considering that the sign does not extend beyond the existing building envelope, and is proposed to be located a maximum of 1.13m above natural ground level.
- The sign is not internally illuminated, electronic or animated. When considering this in connection with the limited display area, it is clear that there is little to no scope for impacts to road safety.

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7 Conclusion

The proposed partial demolition, redevelopment and change of use of 46 Brougham Street will support improved teaching and learning facilities for St Aloysius College.

The proposed development represents a well-considered and contextually appropriate response to the Site's residential context and heritage grading. There will be no traffic or car parking impacts associated with the proposal, noting it will accommodate existing staff and students associated with the school's main campus.

Overall, the proposal satisfies the relevant provisions of the Melbourne Planning Scheme and represents an appropriate and positive outcome for the Site, the College and the broader community.

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Appendices

Appendix A	General Residential Zone (GRZ1) Decision Guidelines
Appendix B	Heritage Overlay (HO3) Decision Guidelines

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Guideline	Response
General	
The Municipal Planning Strategy and the Planning Policy Framework.	See section 6.2 of this report.
The purpose of this zone.	The proposal aligns with the purpose of the GRZ1 by introducing a low-scale extension to an existing building that responds appropriately to its surroundings and the established character of Brougham Street. While it is not a residential use, the single storey form, considered massing and use of materials of the rear addition ensure it sits comfortably within the neighbourhood. The GRZ does allow for community-serving non-residential uses in suitable locations, and in this case the proposal supports the ongoing use of the site as part of the adjoining school. It provides improved facilities on land that is already associated with the main campus, without materially increasing activity or adversely affecting residential amenity. Overall, the development is consistent with relevant planning policy and maintains the residential character of the area.
Non-residential use and development	
Whether the use or development is compatible with residential use.	St Aloysius College has operated within this residential neighbourhood for over 135 years. The proposed use of this Site as a Secondary School associated with the main campus does not result in an increase in student or staff numbers, and will operate within normal school hours. Where students are scheduled for a class at 46 Brougham Street, they will meet with their teacher at the main campus and be escorted to the building for the class. At the end of the class, they will be escorted back to the main campus. This ensures that student site access is appropriately controlled and will not unreasonably impact surrounding residents. The single storey extension to the existing building has been designed to accord with the setbacks that would apply to a residential building under Clause 54, ensuring that it will sit comfortably alongside surrounding homes and will not unreasonably impact the amenity of neighbouring residents.
Whether the use generally serves local community needs.	The proposal supports local community needs by improving facilities at St Aloysius College, building on an existing community resource rather than introducing a new or unfamiliar use.

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Importantly, the development does not increase student numbers or expand the school’s reach but instead focuses on improving the quality of the existing learning environment. This ensures the proposal remains low-impact while still delivering a clear community benefit. The school will continue to provide accessible, local education within walking distance for many students, reinforcing its role within the surrounding neighbourhood.

The scale and intensity of the use and development.

The proposal is low in scale and intensity.

It does not increase student or staff numbers, so there will be no additional traffic, parking demand or daily activity beyond what already occurs in the area.

All new learning spaces are fully enclosed and will be used for specialist indoor teaching, which means noise is contained within the building and there is no increase in outdoor activity or impacts on nearby residents.

The modest single-storey form of the proposed addition, and internalised layout help ensure the development maintains a quiet and predictable presence that sits comfortably within the surrounding residential setting.

The design, height, setback and appearance of the proposed buildings and works.

The proposal has been designed to sit comfortably within the established residential and heritage context of Brougham Street. The single-storey height ensures the building is largely screened by the retained two storey form . Setbacks follow the general rhythm of the street, with the upper level set back to reduce visual bulk and minimise impacts at adjoining interfaces. The design draws on the character of the area through the use of brick and the retention of existing walls, while new elements are clearly contemporary but remain understated in their appearance. Overall, the building presents as a respectful and well-integrated addition that responds appropriately to both the residential setting and the Heritage Overlay.

The proposed landscaping.

The proposal includes a thoughtful mix of new landscape elements, including a green roof, climbing plant zones and planted courtyard areas. These additions will increase on-site biodiversity, soften the built form, and enhance visual amenity for surrounding residents.

The provision of car and bicycle parking and associated accessways.

No car or bicycle parking is proposed on the site, as all parking and end-of-trip facilities will continue to be accommodated within the main St Aloysius College campus. Staff and students will access the building on foot, ensuring no increase in traffic generation, on-street parking demand or vehicle movements in Brougham Street.

Any proposed loading and refuse collection facilities.

No loading or refuse collection facilities are proposed on the site. All waste management and servicing will continue to be handled through the established systems at the main St Aloysius College Campus. This ensures no additional service vehicle movements, noise or operational impacts within Brougham Street, maintaining the quiet residential character of the area.

The safety, efficiency and amenity effects of traffic to be generated by the proposal.

The proposal will not generate any additional traffic, as no increase in student or staff numbers is proposed and all users will access the building on foot from the main campus (with students escorted by teachers).

With no vehicle access, no new crossovers and no on-site parking or drop-off activity, there is no change to existing traffic patterns, volumes or turning movements in Brougham Street. As a result, the proposal has no adverse effect on the safety or efficiency of the local road network and preserves the residential amenity of the street, avoiding any increases in noise or congestion.

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Guideline	Response
The Municipal Planning Strategy and the Planning Policy Framework.	See Section 6.2 of this report.
The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.	The proposal has been developed with a clear understanding of the building’s contributory value. Key elements, including the front facade and visible portions of external side walls are retained, ensuring that the building continues to contribute to the heritage character of the precinct when viewed from the public realm, consistent with the objectives of Clause 15.03-1 L-02 to preserve external fabric that contributes to the significance of the heritage place. New additions are designed to sit in the background, with a recessive form and expression that allows the original building to remain the dominant feature in line with strategies under Clause 15.03-1 L-02 that additions should be set back behind the front or principal part of the building, not visually dominate, and maintain the prominence of contributory buildings. This approach ensures the contributory elements are preserved and continue to contribute to the heritage significance of the North and West Melbourne Precinct.
Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.	The HO3 <i>North and West Melbourne Precinct Statement of Significance</i> (Lovell Chen, June 2025) identifies the site as being located within the Hotham Hill Residential Area, characterised by intact heritage streetscapes of predominantly late nineteenth and early twentieth century residential development, with consistent setbacks, freestanding dwellings and masonry construction. The proposal has been assessed against the Statement of Significance and has been designed to ensure that no key attributes of the precinct are adversely affected. The retained heritage frontage, modest scale of development and recessed siting of new works ensure that the established streetscape character, patterns of development and appreciation of contributory buildings within the precinct are maintained. Accordingly, the proposal is consistent with the Statement of Significance for the HO3 precinct and does not diminish the heritage values of the Hotham Hill Residential Area.

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Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.

The proposal has been carefully designed to avoid any adverse impact on the heritage significance of the place.

The new built form is deliberately modest in scale, retaining the original contributory frontage and presenting a one-storey height. Its bulk is recessed behind retained fabric, ensuring contributory elements remain visually dominant from the street. The contemporary additions are sympathetic in form and appearance, using a restrained materials palette and massing that allows them to sit behind the heritage street-facing elements. As a result, the location, bulk and appearance of the new works are sympathetic to the heritage character of the North and West Melbourne Precinct, and ensure the significance of the heritage place is fully preserved.

Consistent with Clause 15.03-1L-02, the walkway along the western side of the building is modest in height, visually permeable and clearly subordinate to the heritage façade. It does not compete with, obscure or diminish the contributory fabric, which remains visually dominant within the Brougham Street streetscape.

The walkway and ramp is necessary to facilitate clear, legible and DDA compliant access to the building, and also provides for, weather protection and intuitive wayfinding. An increase to the setback would result in a non-compliant ramp grade, and is considered to be unnecessary noting that the proposed setback is sufficient to limit its visibility from Brougham Street.

The site-line diagrams at TP06.02 confirm that views to the retained heritage frontage are maintained from the public realm, and that the walkway does not interrupt key sightlines or alter the appreciation of the heritage place. Accordingly, the walkway responds appropriately to Clause 15.03-1L-02 by remaining recessive, respectful and secondary in form and appearance.

Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.

By retaining the front part of the existing building and protecting key heritage elements, the essential grain of the street is preserved, with the primary streetscape interface remaining unchanged and uninterrupted by the new development. This is consistent with Clause 15.03-1L-02 which encourages new buildings to be in keeping with the key attributes of the heritage precinct, including building height, massing, form, and prevailing streetscape scale.

The new building is set well behind the retained frontage and limited to a modest one-storey height, aligning with policy guidance under Clause 15.03-1L-02 that additions should be set back from the front or principal part of contributory buildings, avoid visually dominating the façade, and conceal higher rear parts where appropriate. Its massing, restrained roof form, and material palette allow it to sit comfortably between the lower and taller adjoining buildings, reinforcing the transitions in scale that characterise this section of Brougham Street which reflects the policy objective to maintain the prominence of heritage buildings while accommodating new works that are respectful and contextually appropriate.

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Overall, the location, bulk, form, and appearance of the proposal respect both the adjacent buildings and the broader heritage character of the precinct, in accordance with Clause 15.03-11-02, which seeks to protect heritage significance, maintain streetscape character, and ensure that new development does not visually dominate or disrupt the appreciation of contributory places.

Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.

Demolition is limited to the rear shed structures and non-original later additions, with no demolition proposed to the original building envelope facing Brougham Street. The structures and elements to be demolished do not enhance the contributory character of the building or the wider heritage precinct. Their removal is consistent with the Local Heritage Policy, which generally supports the demolition of non-contributory fabric, particularly where it assists in the long-term conservation and clearer interpretation of the heritage place.

Importantly, the Brougham Street façade and primary visible heritage fabric are fully retained and conserved. This approach aligns with policy objectives to discourage facadism, retain the three-dimensional fabric and form of contributory buildings, and avoid partial demolition of significant elements forming the front or principal part of a contributory place.

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