

79-81 Moorabool Street, GEELONG

Planning Permit Assessment
Application No. PA2302387



Officer Assessment Report
Development Approvals & Design

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Department
of Transport
and Planning

Executive Summary

Key information	Details		
Application No.:	PA2302387		
Received:	26 July 2023		
Statutory Days:	77		
Applicant:	Victoria House ATB Pty Ltd c/- Urbis		
Planning Scheme:	Greater Geelong		
Land Address:	79-81 Moorabool Street Geelong		
Proposal:	<i>Alterations and additions to an existing building , reduction of car parking and display of business identification sign and floodlit sky sign</i> Adaptive re-use and upgrade to an existing vacant office building. The proposal seeks to largely retain the existing building, and construct extensions at the rear and above the existing street wall resulting in a seven (7) storey office building with ground floor bicycle parking and end of trip facilities. It is proposed to partially demolish the rear of the existing building, internal walls and existing roof to allow for the works. The development seeks to encourage the use of sustainable transport modes and discourage private vehicle use, through the provision of end of trip facilities and removing all car parking spaces.		
Development value:	\$ 7m		
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the Responsible Authority for this application because: <i>‘The construction of a building or the construction or carrying out of works (including extensions, alterations or additions to an existing building or buildings) that create additional storeys to or above an existing building containing five or more storeys or would result in a building of five or more storeys upon completion, excluding a basement’.</i>		
Why is a permit required?	Clause	Trigger	
	Clause 34.08-5 Activity Centre Zone	A permit is required to construct a building or carry out works.	
	Clause 52.06-3 Car Parking	A permit is required to reduce the number of car parking spaces required under this clause.	
	Clause 52.05 Signs	A permit is required to display business identification signs and a floodlit business identification sky sign	
Zone:	Clause 37.08	Activity Centre Zone – Schedule 1 (ACZ1)	
Overlays:	N/A		
Particular Provisions:	Clause 52.06 Clause 52.05 Clause 52.34	Car Parking Signage Bicycle Parking	
Total site area:	305m²		
Gross Floor Area:	1741m² from 1232m² (509 sqm increase)		
Height:	7	Storeys including plant	
	36.94 AHD	Metres excluding plant	
Land Uses:	Office (Section 1 use)		
Parking:	Cars	Motorcycles	Bicycles
	3 existing and proposed to be removed (zero parking)	0	14



Key information	Details
Referral authorities:	Greater Geelong City Council (section 55 – recommending) Development Victoria (Section 55 – recommending)
Public Notice:	Pursuant to Section 7.0 of the ACZ, the application is exempt from notification and appeal rights. Car and bicycle parking considerations are also exempt.
Recommendation:	The application is recommended for approval subject to the conditions as discussed in this report.
Delegates List:	Minor deviations from ACZ1 controls presented on 7 December 2023 to internal management discussion meeting. Consent granted to proceed with issuing planning permit under delegation and no requirement to place on delegates list.



1. The key milestones in the process of the application were as follows:

Milestone	Date
Pre-application meeting (DTP and Greater Geelong City Council)	N/A
Application lodgement	26 July 2023
Further information requested	N/A
Further information received	N/A
Further plans submitted (formally under section 50 of the Act)	A section 50 amendment request was sent to the applicant on 5 October 2023. On 20 November 2023 amended plans and reports were submitted which included a number of changes: • Inclusion of Clause 52.05 (Signs) as a permit trigger to allow display of business identification signs, sky sign and floodlit sign • Increase of the north boundary setback of the above podium level to 2.75 metres (from 1 meter) • Alter the ground level façade • Provide additional detail in relation to signs • Provide additional design detail in relation to upper level fins. • Correction in the number of bicycle spaces being provided from 14 to 13. The following documents were updated: • Amended Urban Context Report, prepared by Wardle • Amended Architectural Plans, prepared by Wardle • Amended Car Parking Demand and Design Assessment, prepared by Urbis • Amended Planning Report Plan, prepared by Urbis
Decision Plans	• Area Schedule prepared by Wardle and dated 29 August 2023 • Urban Context Report prepared by Wardle and dated November 2023 • Architectural Plans prepared by Wardle and dated 31 October 2023 • Environmental Wind Assessment prepared by MEL Consultants (Report 23045A-DE-EWA05) • Sustainable Management Plan prepared by GIW and dated 18 July 2023 • Transport Impact Assessment and Green Travel Plan prepared by Urbis and dated 16 November 2023 • Waste Management Plan prepared by Leigh Design and dated 21 June 2023 • Planning Report prepared by Urbis and dated 17 November 2023 • Section 50A Amendment Cover Letter prepared by Urbis and dated 17 November 2023

2. The subject of this report is the decision plans (as described above)



3. The proposal can be summarised as follows:

Key Information	Details
Proposal:	Adaptive re-use and extension of vacant building to operate as commercial office space (section 1 use) - The proposal seeks to alter the existing building and construct extensions at the rear and above the existing street wall resulting in a seven (7) storey office building with ground floor bicycle parking and end of trip facilities (EOT). - The seventh floor is to be shared with existing roof plant; overall height of building will not increase. - Three (3) existing car parking spaces are to be removed to accommodate EOT facilities. - Existing 'Victoria House' signage to be retained and relocated above parapet (floodlit business identification sky sign) - Display three (3) business identification signs at ground floor interface. It is proposed to partially demolish the rear of the existing building, internal walls and existing roof to allow for the works. The development seeks to encourage the use of sustainable transport modes and discourage private vehicle use, through the provision of end of trip facilities and removing all car parking spaces.
Total site area:	305m ²
Gross Floor Area:	1741m ² from 1232m ² (509 sqm increase)
Height:	36.94m AHD (7 storeys)
Street Wall:	31.798m AHD (6 storeys) (existing and therefore no change)
Land uses	Office
Car Parking	3 existing, proposed to be removed (zero parking)
Bicycle Parking	14 spaces (10 staff spaces and 4 visitor spaces) and end of trip facilities featuring two (2) showers, 20 lockers and changing facilities.
Motorcycle parking	0
Loading and Waste	All waste and loading arrangements will be provided via Emerald Place. The current conditions to the rear include high fencing, unused carparking and waste storage. The applicant seeks to activate the interface and create an entrance point for commuters to access the end of trip facilities.

4. Specific details of the application include:

- Retain the existing building and construct additions including a new level (but maintaining the existing height of the building).
- The proposed level above street wall is designed to include lightweight materials and a curved form to minimise hard corners and maximise access to daylight across the interface. The extension to the rear will be setback over three metres from the existing building to the south to allow for adequate daylight.
- The existing 'Victoria House' sign is proposed to be retained by relocating it above the parapet with external illumination, becoming a sky sign pursuant to Clause 52.05.
- Street/Ground level business identification signs are proposed as shown in the renders below

5. The applicant has provided the following concept image/s of the proposal:



Figure 1: Concept image view from northwest of Moorabool Street

Figure 2. Concept view of ground level frontage (left) Figure 3. Concept view from east of Emerald Place (right)

Site Description

6. The site is located on the eastern side of Moorabool Street of central Geelong. The site is 100 metres from the intersection of Malop Street and 300 metres from the Geelong waterfront/eastern beach road.
7. The lot is approximately 305sqm with a street frontage of 10 metres along Moorabool Street and a depth of 30.5 metres backing onto Emerald Place to the east. The rear of the site backing onto Emerald place contains a setback that accommodates for three (3) at grade parking spaces. The existing built form is setback approximately 10 metres from the rear property boundary.
8. The existing building is known as 'Victoria House' and was previously used as commercial office space. The building is now vacant and retains some existing business identification signage from the previous tenancies. The building incorporates distinct 1980's architectural features that were implemented when it was last renovated, with turquoise and orange colouring to the front façade and Victoria House lettering. The current condition of the building is low-grade and underutilised, the vacant status of the site in addition to the ground floor providing a poor contribution to the public realm and when viewed from significant vantage points along Moorabool Street and Malop Street. It is also noted that the building is not considered to have any heritage significance.



Figure 4: Site plan aerial (left) Figure 5. Existing Façade to Moorabool Street (right)

9. The site is formally described as Lot 2 of Title Plan 032904, from parent title Volume 08046 Folio 012.
10. No easements apply to the site.

Site Surrounds

11. The surrounding development consists mainly of commercial retail and office developments, as well as various food and drink premises, reflective of its CBD location in Geelong.
12. Development surrounding the site can be described as follows:
 - To the **north** of the site: immediately north of the site at 75-77 Moorabool Street is a food and drink premises at ground floor with office spaces above. The building is four storeys and shares similar architectural elements to the subject site. Further north is No. 61-71 Moorabool Street which includes a two-storey office building. A permit was recently issued by the Minister for Planning allowing a 39m high mixed-use development (shown in the render below – Figure 9).

Further north of the site are two of Geelong's most historic and significant woolstores. The former Strachan Murray & Shannon Woolstore is north of the site and is occupied by Westfield Shopping Centre and is subject to Heritage Overlay – Schedule 237. North-west of the site is Denny's Lascelles Woolstore which houses the National Wool Museum and Lamby's Tavern and is subject to Heritage Overlay – Schedule 886. The striking red brick work and bluestone masonry is an integral aspect of the urban character of the northern end of Moorabool Street.

- To the **south** of the site: immediately south of the subject site at 83 Moorabool Street is a commercial premises at ground level (used for purposes of a bank) with a double storey frontage to Moorabool and Malop Street. Directly adjoining the subject site is a tower that sits behind the front wall of the commercial frontage of six (6) storeys and accommodates office space (figure 3).

Further south of the site is Market Square Shopping Centre. The site hosts numerous local services and primarily retail businesses and is affected by Heritage Overlay (Schedule 296).



Figure 5. View of 83 Moorabool Street northern frontage

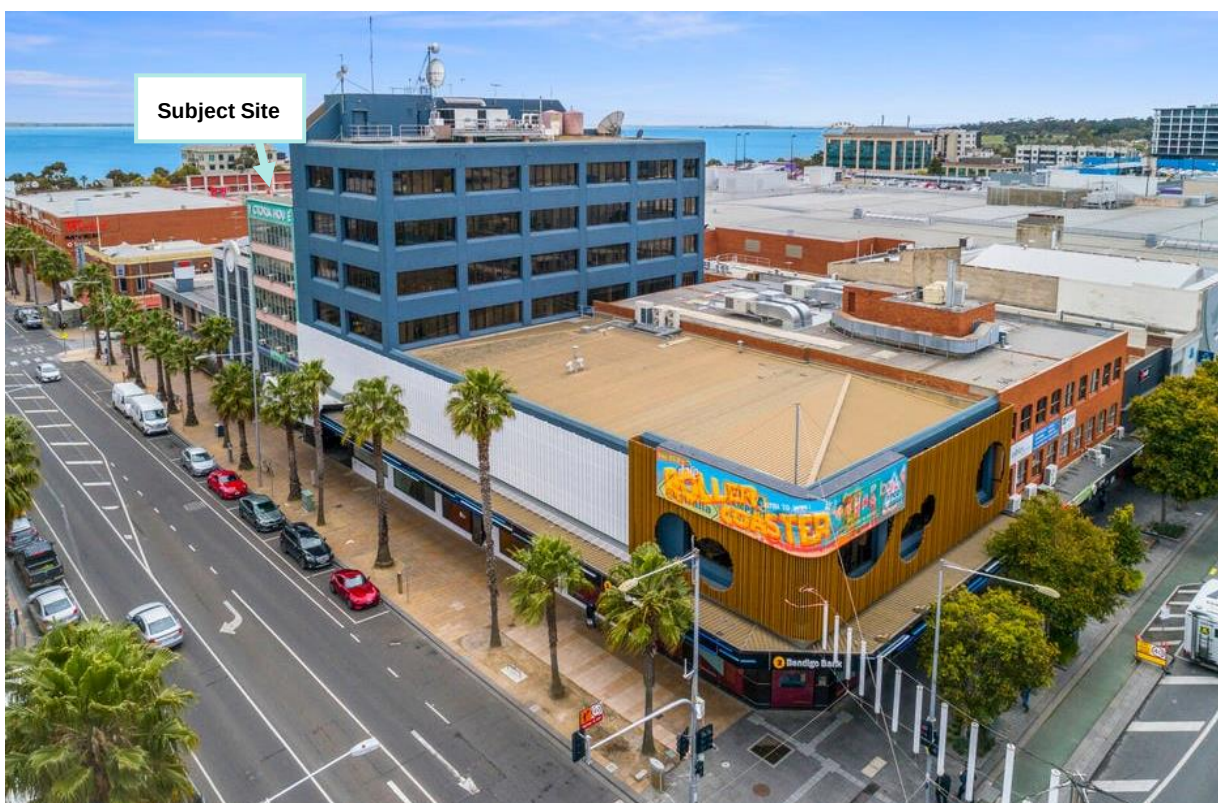


Figure 6. Aerial view of 83 Moorabool Street from the south

- To the **east** of the site: immediately east of the site is Blair Place, an extension to Emerald Place to the rear of the subject site that provides vehicular access to the rear of Malop Street facing premises. Further east is Westfield Shopping Centre. The large shopping centre is two to three storeys and has activated frontages (commercial tenancies) to Malop Street and multiple open clear-gazed shopfronts to Yarra Street.

Approximately 1km east of the subject site is Eastern Park. Eastern Park hosts a golf club and the Geelong Botanic Gardens and provides a high-amenity greenspace in proximity to Geelong's commercial core. A residential area adjoins Eastern Park.

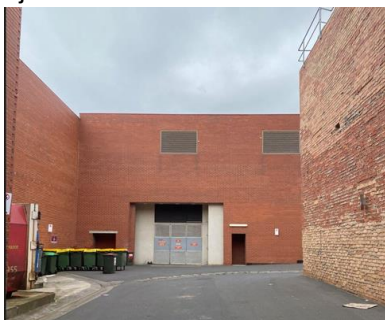


Figure 7. Directly east of subject site (left) Figure 8. Eastern laneway (Emerald place) (right)

- To the **west** of the site: To the west of the subject site (opposite Moorabool Street) is 74-78 Moorabool Street. This site has recently undergone a substantial redevelopment for the construction of a 9-storey building with a retail premises at ground floor and commercial space above.

Further west of the subject site is the Geelong Train Station, Johnstone Park, Mercer, the Geelong Arts and Cultural Precinct and several high-rise office buildings, including the under construction new civic building for the City of Greater Geelong. Mercer Street provides direct access to the C115 highway (connection to the M1) along the North Shore and to Melbourne CBD.

- There are a number of developments existing, approved or proposed in the surrounding area as illustrated in the figure below:



Figure 9: Recent development approval at 61-71 Moorabool St, Geelong 2023



Municipal Planning Strategy

14. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause no.	Description
02.01	Context
02.02	Vision
02.03-1	Settlement – Central Geelong
02.03-5	Built Environment and Sustainability
02.03-8	Transport
02.04-1	Municipal Framework Plan
02.04-2	Retail Activity Centre Hierarchy

Planning Policy Framework

15. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause no.	Description
11	Settlement
11.01-1R	Settlement – Geelong G21
11.01-1L-01	Settlement – Greater Geelong
11.03-1S	Activity Centres
11.03-1L	Activity Centres in Greater Geelong
13	Environmental Risks and Amenity
13.05-1S	Noise Management
15	Built Environmental and Heritage
15.01-1S	Urban Design
15.01-1L-01	Development in Activity Centres
15.01-2S	Building Design
15.01-2L	Environmentally Sustainable Development
15.01-5S	Neighbourhood Character
16	Housing
16.01-1R	Infill Housing – Geelong G21
17	Economic Development
17.02-1S	Business
18	Transport
18.01-1S	Land Use and Transport Integration
18.02-1S	Walking
18.02-2S	Cycling
18.02-3S	Public Transport
18.02-4S	Roads
19	Infrastructure
19.3-3S	Integrated Water Management

16. The Assessment section of this report provides a detailed assessment of the relevant planning policies (as relevant to the proposal and key considerations)

Statutory Planning Controls

ACZ1

17. A planning permit is required to construct a building or construct or carry out works in accordance with Clause 37.08-5. The purpose of the ACZ is:
- *To implement the Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies*
 - *To encourage a mixture of uses and the intensive development of the activity centre:*
 - *As a focus for business, shopping, working, housing, leisure, transport and community facilities*
 - *To support sustainable urban outcomes that maximise the use of infrastructure and public transport.*
 - *To deliver a diversity of housing at higher densities to make optimum use of the facilities and services.*
 - *To create through good urban design an attractive, pleasant, walkable, safe and stimulating environment.*
 - *To facilitate use and development of land in accordance with the Development Framework for the activity centre.*
18. The following sections include a discussion of how the proposal responds to these requirements.

Overlays

19. No overlays apply to the site.

Particular provisions

Provisions that require, enable or exempt a permit

20. The application proposes to remove the existing three (3) car parking spaces to the rear and therefore reduce the car parking rate to 0. Pursuant to Clause 52.06-3 a permit is required to reduce (including to zero) the number of car parking spaces required under Clause 52.06-3.
21. The application proposes to relocate a large sign above the parapet of the building with external illumination, in addition to introducing business identification signs at ground floor. Pursuant to Clause 52.05, a permit is required to display business identification signs, a sky sign and floodlit sign.

General Requirements and Performance Standards

22. Clause 53.18 applies to the buildings and works of this application. The clause includes standards and objectives relating to stormwater.

Other Strategic considerations

Incorporated Documents / Structure Plans / Planning Scheme Amendments

23. *The Central Geelong Framework Plan – A plan for the heart of Djilang (2023)* is a reference document under Clause 11.0 to the ACZ1.



Referrals

24. The application was referred to the following groups:

Provision/ Clause	Organisation	Response Received (date)
Section 55 Referral- Recommending	City of Greater Geelong Council	Fist referred on 27 July 2023 and final comments provided on 11 December 2023

Municipal Council comments

25. The City of Greater Geelong Council (CoGG) considered the application and provided an initial referral response on 1 September 2023. CoGG made a number of comments and recommended requests to amend the proposal as follows:

- Increase the side setback of the top level to 4.5 m along northern edge where property is abutting 77 Moorabool Street, as per the ACZ1 requirements.
- Provide one continuous awning/ weather protection that is of a high-quality design and material such that it does not reduce the sense of openness and publicness and allows transparency that prevents obscuring visual connection to upper levels.
- Add further design detail to the interface with Moorabool Street to avoid a transparent yet blank interface. Further design detail can be achieved through:
 - Material use and tactility; to incorporate business signages and wayfinding in the façade design;
 - reconsider the angled architectural elements; and
 - introduction of an active retail front.
- Re-design the angled entrances concept to prevent unusable crevices in the front and back entrances.
- Provide Landscape plans for all planting & paving details including at ground and on all terraces along with necessary provisions for maintenance and irrigation.
- Redesign the curved massing at the rear to create a bigger void and increase access to light.
- Landscape plans for all planting and paving details including at ground and upper levels along with necessary provisions for maintenance and irrigation.
- Prepare a Streetscape public realm plan.
- Signage details, including locations, fonts, sizes and detailed renders for all signage & wayfinding for proposal.

26. On 20 November 2023 amended plans and reports were submitted via Section 50A Amendment which included a number of changes in response to DTP and CoGG. The changes can be surmised as follows and discussed further in the assessment section of this report:

- Inclusion of Clause 52.05 (Signs) as a permit trigger to allow display of business identification signs, sky sign and floodlit sign
- Increase of the north boundary setback of the above podium level to 2.75 metres
- Reduce the east boundary setback of the above podium level to 4.5 metres
- Alter the ground level façade
- Provide additional detail in relation to signs
- Provide additional design detail in relation to upper level fins.
- Correction in the number of bicycle spaces being provided from 14 to 13.

27. The revised documents were re-referred to CoGG on 20 November 2023. On 11 December 2023 CoGG determined that they do not object to the proposal subject to conditions.

28. The conditions put forward for consideration largely relate to submission of a streetscape plan and landscape plan of which DTP consider appropriate to include into the planning permit. CoGG determined the revised plans as largely positive and support the proposal.

Notice

29. The application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Planning and Environment Act 1987 pursuant to the following provisions:

- Clause 7.0 of ACZ1: An application in respect of land in this schedule under Clause 43.01, Clause 52.05, Clause 52.06, Clause 52.07 and/or Clause 52.27 is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act
- Clause 52.06-4: the application is also for a permit under another provision of the planning scheme and in respect of all other permissions sought, the application is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.
- Clause 52.34-3: an application is also for a permit under another provision of the planning scheme and in respect of all other permissions sought, the application is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

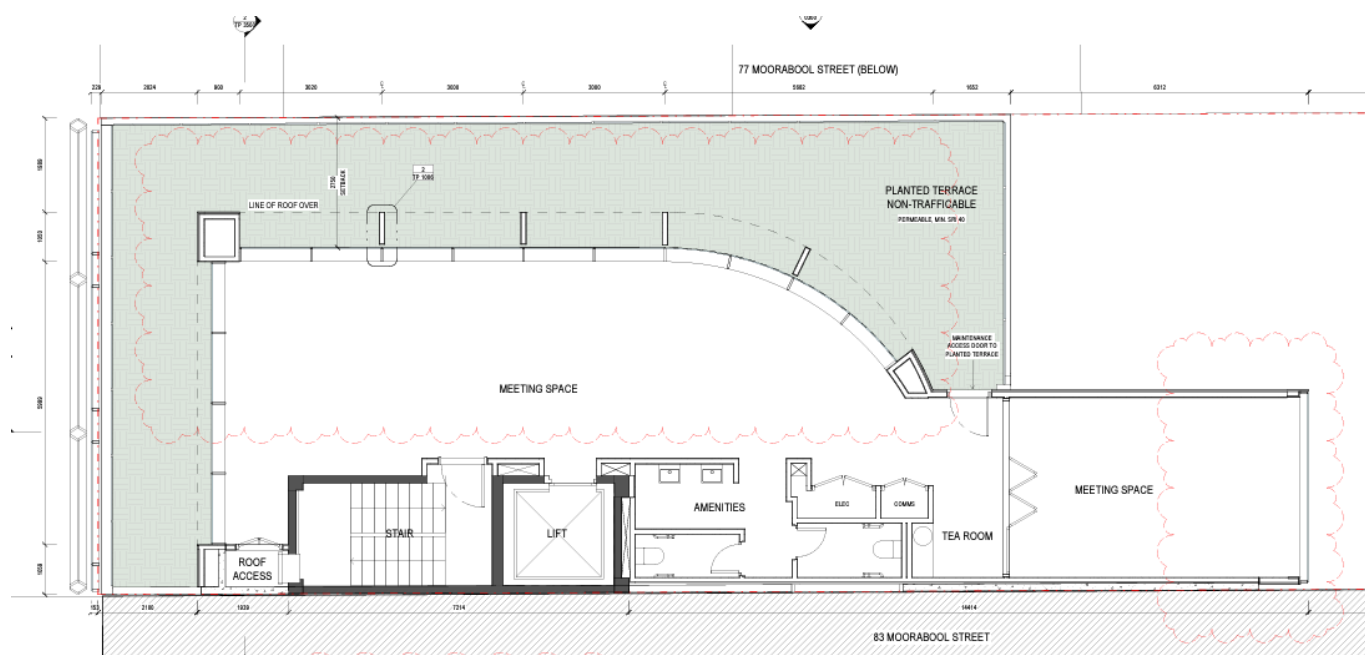


Figure 10. Proposed additional floor space & meeting room



Strategic Direction and Land Use

30. The Planning Policy Framework encourages appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
31. The relevant MPS and PPF policies have been considered in assessing the application.
32. The proposed land use is consistent with the strategic direction of the following policies.
 - The proposal introduces a mix of uses in the Retail Core of the Geelong Activity Centre which is consistent with the policy objectives Clause 11.03-1L: Activity Centres in Greater Geelong, Clause 15.01-1L-01: Development in Activity Centres, Clause 17.01-1S: Diversified economy and Clause 17.01-1R: Diversified economy – Geelong G21
 - The building design is of a high standing and appropriately activates the public realm as encouraged by Clause 15.01-1L-01: Development in Activity Centres and Clause 15.01-1S: Urban design.
 - The proposal repurposes existing infrastructure to provide additional office floor area in an existing settlement that is strongly supported by existing transport infrastructure which is consistent with the objectives of Clause 11.01-S. The proposal also seeks to deliver employment opportunities in a location that offers convenient access to jobs, services and community facilities consistent with Clause 11.01-1L-01.
 - The building materiality in particular has sought to respect the surrounding urban character, with textured materials and deliberate façade compositions referencing surrounding heritage buildings. The repurposing of the *VICTORIA HOUSE* lettering will pay homage to the existing building character and surrounding 80's style office developments consistent with the objectives of Clause 15.01-5S, Clause 15.01-5L and Clause 15.03-1S.
33. The site is within the Retail Core of the Central Geelong Activity Centre. The following Precinct Objectives apply to the site:
 - *Prioritise the use and development of land as the primary location for shops, food and drink premises and nightclubs at street level and within the podium level of large buildings.*
 - *Support building height of between 16 and 28 metres where the fine-grained subdivision pattern, and heritage character presents a dominant form.*
 - *Encourage office, accommodation, and other complementary uses sleaved behind active frontages and/or above the podium.*
 - *Maintain an attractive high amenity streetscape environment by providing wide, sunlit footpaths, landscaping, traffic calming, and accessible public transport.*
 - *Support, maintain and enhance the unique character of small format retail and hospitality offerings in little streets and laneways.*
 - *Protect key views to Corio Bay when viewed from the public realm down Gheringhap, Moorabool, Yarra and Bellarine Streets by setting back development to ensure clear views to the water and the sky.*
34. The proposed development is consistent with the relevant precinct objectives. The development will include employment generating opportunity and assist in the central city in meeting the community's needs for office uses as well as creating an enhanced street level activation on Moorabool Street for the community. It is noted that the ground floor has been designed to be adaptable to allow future retail uses if viable in the future.
35. The proposal seeks a renovation of the building to significantly improve the appearance and functionality of the existing offices.
36. The proposal improves the streetscape experience by pedestrianizing the frontage to Moorabool Street in the urban plaza as well as Emerald Place. This is a significant public realm upgrade compared to existing conditions where the



existing building is constructed to the boundary at ground level had a shadowed recessed entry and roller doors occupying a majority of the ground floor façade.

37. Although various aspects of the subject site exceed the discretionary requirements under the ACZ1 controls, the majority of minor deviations are linked to existing built form conditions. The design of the building though seeking an additional floor space for example, does not exceed the existing height of the roof plant and therefore does not contravene the requirements of the zone.

Compliance with the ACZ1

38. The proposal responds to the ACZ1 objectives as follows:

Built Form Requirement	ACZ1 Control	Requirement	Response
Preferred building height	21m (6 Storeys)	Discretionary	N/A No change to overall building height (Maximum 25.4 metres)
Preferred street wall height	16m (4 Storeys)	Discretionary	N/A No change to Street wall Height (Maximum 20.26 metres)
Preferred street setback above street wall	- Above 16 metres - 4.5 metres - Above 28 metres – 6 metres	Discretionary	Variation Sought The proposed meeting room is proposed to be setback 2.75 metres from the street wall (and existing building footprint).
Overshadowing	No additional overshadowing to both the East and west footpaths on the primary North – South streets between 11am – 2pm on 22 April and 22 September	Mandatory	Complies There will be no additional overshadowing to the western footpath of Moorabool Street as a result of the proposed works. Please see shadow diagrams prepared by Wardle for further detail.
Wind Impacts	Must achieve comfortable wind conditions: Hourly mean wind speed or gust equivalent mean speed (3 second gust wind speed divided by 1.85), from all wind directions combined with probability of exceedance less than 20% of the time, equal to or less than: 3 metres per second for sitting areas, 4 metres per second for standing areas, 5 metres per second for walking areas. Must not cause unsafe work conditions: Annual maximum 3 second gust wind speed exceeding 20 metres per second with a probability of	Mandatory	Complies. The proposal will comfortably meet the wind safety criteria in accordance with this standard. The Wind Assessment prepared by Mel Consultants and dated 20 July 2023 provides further analysis on the introduction of upper level and streetscape meeting the comfort criterion.



	exceedance of 0.1% considering at least 16 wind directions.		
Active Frontage / Glazing	Provide at least 80 percent clear glazing along the façade to the ground level frontage to a height of 2.5 metres, excluding any solid plinth or base. • Encourage operable windows and detailing that provide for street activation. • Avoid the use of security grilles or mesh, and ensure they are transparent when used.	Discretionary	Complies. The proposal will provide 84.5 % glazing at ground level to a height of 2.858 metres.
Vehicle Access and Car Parking	• Crossovers from Moorabool Street are strongly discouraged. • Development should provide on-site car parking in a basement format	Discretionary	Complies. No new crossover is proposed to Moorabool Street.

39. The proposed upper-level setback to the northern boundary is approximately 2.7 metres. The proposed upper-level setback will ensure reasonable sunlight, daylight, privacy and outlook from the meeting space is achieved for any potential development on the adjoining site (75-77 Moorabool Street). Given the site constraints of the abutting property to the north, it is unlikely to be able to accommodate a podium-tower typology given the land size, without further site consolidation. The upper side setback will be assessed further below in the Built Form Assessment section.

Built form

Architectural Expression / Façade

40. The proposed design response will maintain the existing vertical fenestration pattern to the streetscape, however, will be modernised and seeks to improve the thermal performance of the building by introducing a lightweight aluminium frame and double-glazing curtain wall (figure 10).
41. The development is to adopt a neutral material schedule with a primarily glazed 'window wall' façade. Light concrete finishes are proposed to complement muted shades of green at the ground plane and roof top level. The insertion of green elements and adaptive re-use of the 'Victoria House' signage pay homage to the existing and surrounding office building character. Though the building is not recognised as historically significant, the striking colour of the façade and 'heritage like' fenestration make it an iconic building within the Moorabool Streetscape.

Building Height and Massing

42. The proposal seeks to construct a meeting space and non-trafficable landscaped terrace above the existing primary roof level. This takes the building from six (6) storeys to seven (7), however the seventh floor will remain under the existing building height due to the height of the existing roof plant. There is therefore no increase to overall building height.
43. The existing building extends to a maximum height of 25.4m, the top of the parapet of the proposed meeting room is to sit at 22.59m.
44. Although the proposal will continue to sit above the recommended building height within the ACZ1 of 21 metres, the proposed addition is set back from the north, east and western façades, is to be majority glazing and it is to sit behind

landscaping at the rooftop terrace. This ensures the additional built form is recessive and not visually dominant when viewed from Moorabool Street (figure 11).

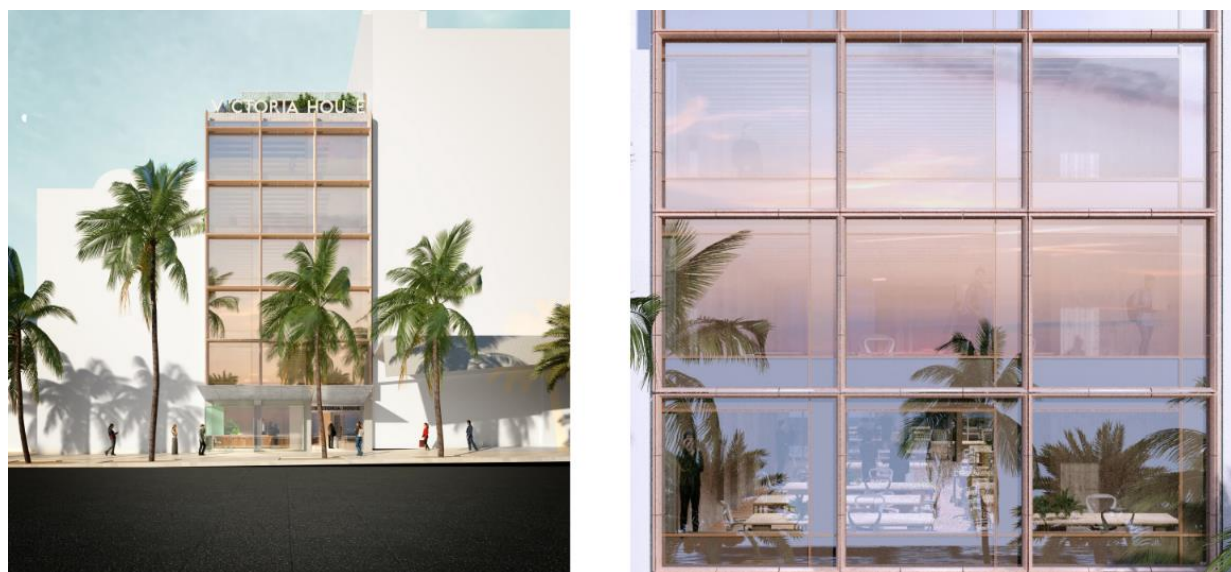


Figure 11. West Elevation view from Moorabool Street and detail of western facade

45. The additional height will also have negligible impact on the existing shadows to the public realm and wind conditions at the ground plane.
46. The larger building envelope can improve the total building population, supporting the needs of a modern office in Geelong and strategic growth in accordance with the framework plan.
47. The proposed extension has also been designed to remain setback from the northern boundary to maintain solar access and from the rear above level 4 (figure 11).
The revised mass respects the proportion and design of the original building, with sympathetic additions that modernise and improve its commercial offering to the neighbourhood.

The mass situated to the rear is setback from the north and shaped where it meets the old building to maximise daylight to the floorplates.

At level 5 an external terrace breaks the building mass and creates vertical separation from a feature meeting pod that protrudes over. Level 6 introduces a dedicated meeting space that is setback from Moorabool St and the north, with a primary outlook north over the bay (figure 12).

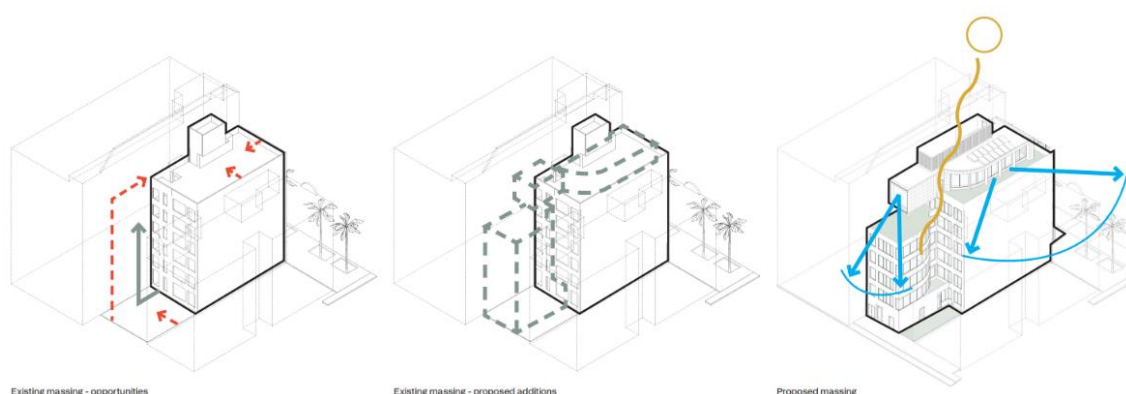


Figure 12. Existing and proposed massing

Setbacks

48. The initial proposal sought a 1m upper side back on the northern boundary of which CoGG requested that the upper side setback be increased to the full 4.5m (as recommended under the ACZ1 discretionary requirement. As) existing built form is approximately only 10m wide, DTP considered a full 4.5m upper side setback at level 7 was an unreasonable request to implement to achieve a functional floorplate at that level. Instead, a 3m setback was requested under Section 50A Amendment.
49. The applicant provided the Section 50A amended plans on 20 November 2023 with a number of positive changes and a 2.75m setback rather than the requested 3m at level 7 (meeting space). The applicant provided extensive justification and 3D streetscape perspectives that satisfactorily displayed the negligible streetscape impact and equitable development outcomes for the abutting property to the north (75-77 Moorabool Street) against matching street wall heights and ACZ1 requirement scenarios (figure 13 & 14.)
50. The meeting space is proposed to be primarily glazing with landscaping surrounding and obscuring the terrace at the Moorabool Street interface and to the north and west of the building. It is considered that the additional built form will contribute to the visual interest of the building and the reduced setback will not result in any unreasonable visual bulk or dominance to the streetscape.

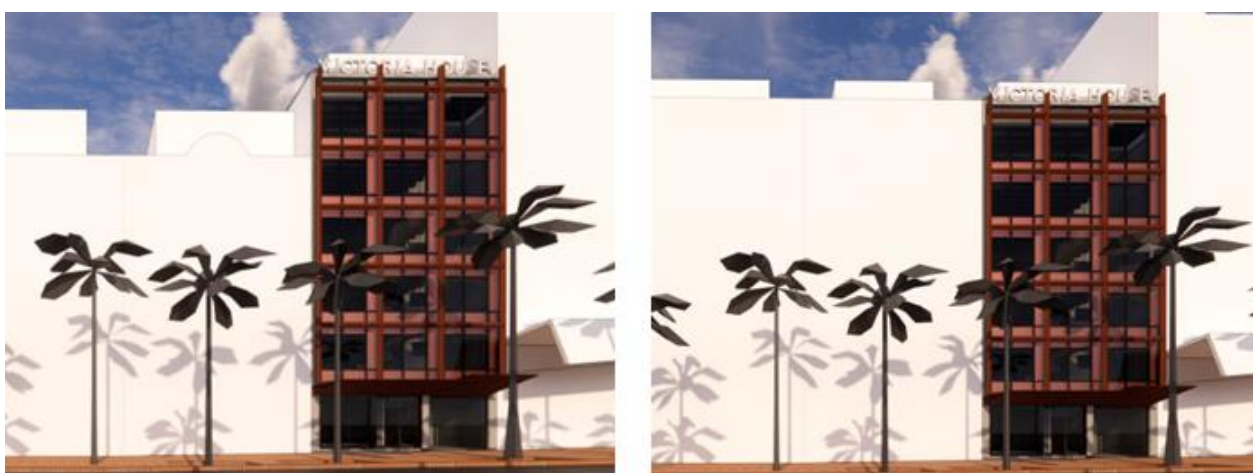


Figure 13. Equitable development ACZ1 requirement (left) and matching built form (right)

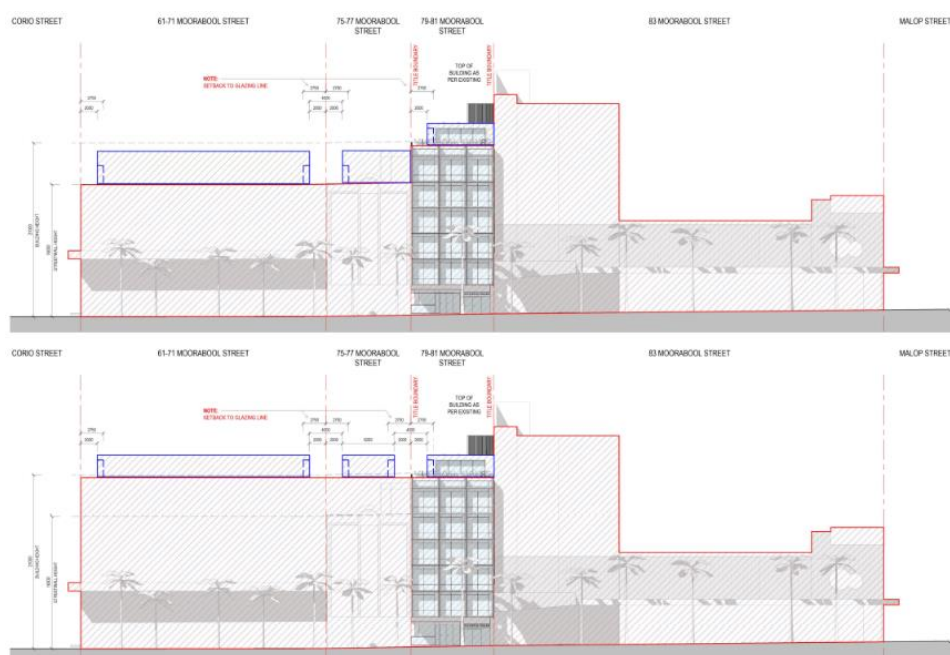


Figure 14. Equitable development ACZ1 requirement (top) and matching built form (bottom)

51. The minor deviation from the ACZ1 discretionary control was presented to an internal discussion meeting on 7 December 2023. The meeting panel determined that the changes are considered appropriate to endorse and continue the assessment under delegation.
52. The southern boundary directly abuts the neighboring development (79-81 Moorabool Street) and therefore was reasonable for the building to be constructed to that boundary.
53. The ACZ1 recommends that built form above 16m be set back 4.5m from the street wall. The existing building exceeds the recommended street wall requirement at a height of 20.45m, which is to be maintained and therefore considered appropriate.

Streetscape and Public Realm

54. The current ground level façade fronting Moorabool Street is in poor condition, with broken and missing finishes, boarded up windows and a security gate over the entry (figure 15). The proposal seeks to significantly improve the buildings ground level interface to the Moorabool retail strip within Geelong's Activity Centre.
55. The existing structural grid façade presents a breakup of three portals - currently the main building entry to the south and two glazed shopfronts to a single tenancy to the north. As the existing core will be retained, the existing entry location to the south remains. The fire stair is proposed to discharge internally to maximise the glazed frontage. Behind a glazed auto slider, an angled wall houses the building directory and mailboxes and acts as a mediating element between a wide frontage and the existing narrow lobby. To the north, a portal and expansive glazing is utilised to create the expression of a unified, single tenancy. A glazed auto door provides a dedicated entrance into a ground floor reception for an office. To the north, a feature window sits above expressed fire services, to maximise the extent of activated facade in lieu of services cupboards (figure 16).
56. A new continuous entry awning sits above, protecting from weather and downdrafts while visually separating the glazing grid above from the structural grid below.
57. The ground floor has been designed to be adaptable to allow future retail uses if viable in the future, the dynamic ground floor aids in catering to changing demand on within the retail core and provides valuable street activation.



Figure 15. Current ground level façade fronting Moorabool Street



Figure 16. Proposed ground level façade fronting Moorabool Street



Figure 17. Existing Emerald Place Interface to the rear (left) and proposed interface (right)

58. The proposal will maintain the existing setback at 0 metres and provide over 84% glazing consistent with the ACZ1 direction and to provide a clear street presence, increasing visibility, marketability, adaptability, and utility.
59. The proposal will also significantly improve the Emerald Place interface (small street to the rear)(figure 17). What is now existing high fencing, unused carparking and waste storage will be an activated interface and entrance point for commuters to access the end of trip facilities. The design incorporates appropriate lighting to provide safety of entrance and sense of security at night. The proposal introduces a landscaped ground level terrace that will improve the visual amenity of Emerald Place. Further detailing of landscaping on the rooftop and ground level terrace will be requested via permit condition.



Amenity

Access to Daylight

60. The rear additions to the built form will adopt a curved form to minimise hard corners and maximise access to daylight across the interface. The built form is setback over 3 metres from the existing building to the south to allow ample daylight to the rear office space proposed. The proposed extension to the rear is therefore considered appropriate and significantly improves the amenity provided to the current built form.

Wind

61. The submitted wind report prepared by Mel Consultants and dated 20 July 2023 concludes that the proposed works will have no impact on the wind conditions along Moorabool Street and negligible impacts to Emerald Place. The wind conditions pre and post development are therefore considered to satisfy the walking comfort criterion and pedestrian safety criterion under the mandatory ACZ1 controls.
62. Additionally, the outdoor terraces are expected to pass the walking comfort criterion, and the standing comfort criterion at G01 and Level 05.

Shadows

63. The proposal is not anticipated to create any additional overshadowing to Moorabool Street. Minor increases are anticipated along Emerald Place; however it is not identified as a primary or secondary street protected under the ACZ1 overshadowing controls.
64. The street is a low amenity laneway generally used for rear access, loading and waste storage. The additional overshadowing is considered reasonable in this context and will have no impact to any third-party windows or Secluded Private Open Space (SPOS).

Landscaping

65. The proposal seeks to introduce landscaping at the ground level terrace and rooftop (meeting space). No landscaping details have been provided and will be requested via permit condition(s) as well as a streetscape plan and the developments interaction with Emerald Place (landscaped areas indicative in figure 17).

Signage

66. Unless the land is located within the Waterfront Precinct (Category 3), all other land within the ACZ1 is considered Category 1 Signage and must meet the sign requirements under Clause 52.05 and Clause 52.05-11.
67. The proposal seeks to introduce three (3) new business identification signs to the Moorabool Street Façade and the repurposing and relocation of the existing 'Victoria House' lettering. The signs proposed can be described as follows pursuant to Clause 52.05 (Signs):
- 1 x 0.7m² business identification sign adjacent to the lobby entrance for future tenants
 - 1 x 2.2 m² business identification sign on the façade below the proposed awning for future tenants
 - 1 x 1.2 m² business identification sign above the proposed awning for future tenants.
 - 1x 0.65 m² business identification sign above the entrance to the building (Victoria House) advertising the building name.
 - 1 x 7.2 m² floodlit business identification sky sign (relocated Victoria House signage) advertising the building name.
68. As stated, the proposal seeks to re-locate the existing 'Victoria House' Logo above the parapet, although the sign is existing, it is to be relocated and reconstructed. The sign is therefore considered a 'new' sign for purposes of the proposal, requiring the signage to meet the requirements of Clause 52.05-11.

69. The 'Victoria House' sign (as well as the other signs) is considered to be a business identification sign, as it provides the name of the building. Business identification signage is identified in the scheme as follows:

- A sign that provides business identification information about a business or industry on the land where it is displayed. The information may include the name of the business or building, the street number of the business premises, the nature of the business, a business logo or other business identification information.

As the sign is proposed to be located above the parapet of the building street wall, the sign is also considered to be a sky sign. Sky signs are identified in the scheme as follows:

- A sign:
 - on or above the roof of a building, but not a verandah;
 - fixed to the wall of a building and which projects above the wall

There are no specific requirements under Clause 52.05-11 relating to sky signs. It is however noted that the sky sign is proposed to be externally illuminated and is therefore also considered to be a floodlit sign (figure 18).

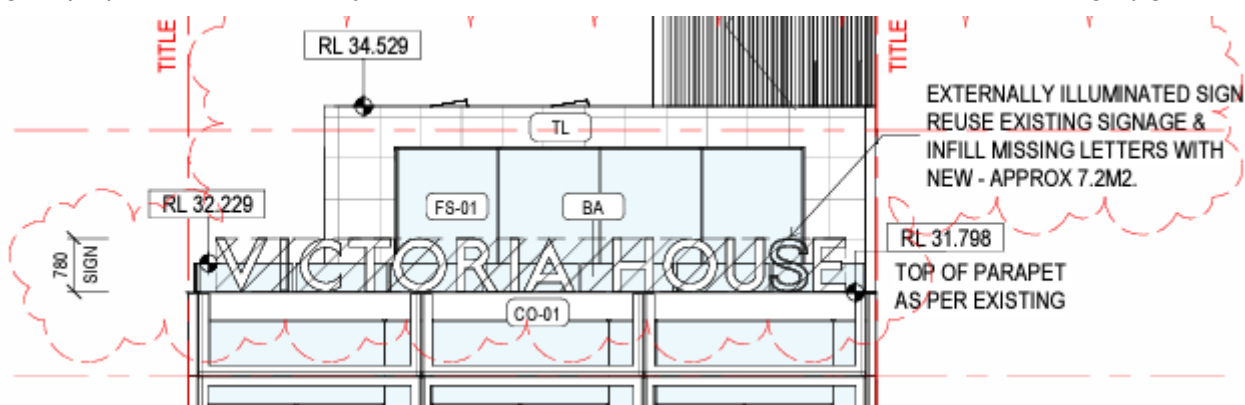


Figure 18. Proposed West Elevation – Floodlit sky sign

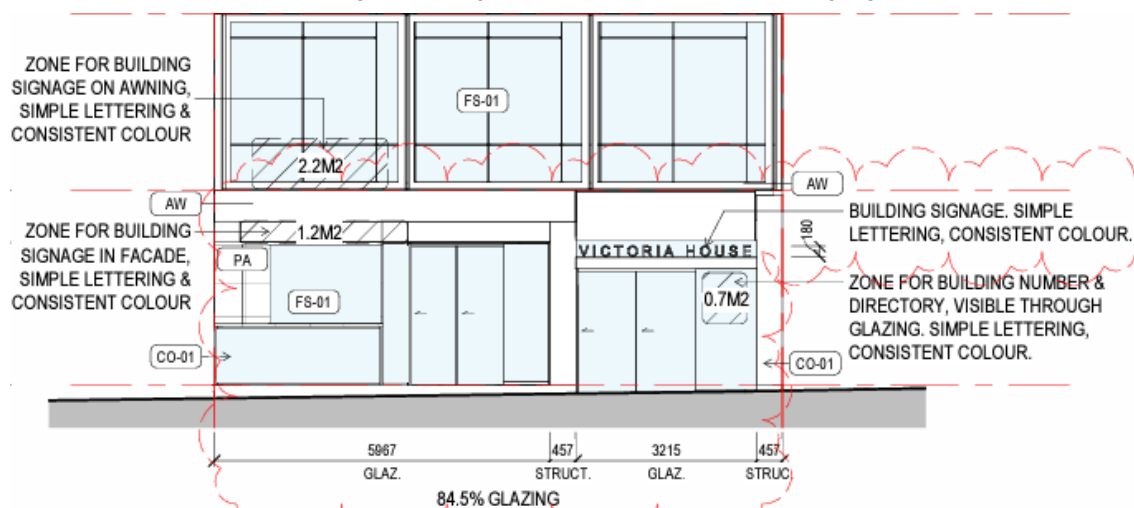


Figure 19. Proposed west elevation – ground floor signage

70. Indicative business identification signage is shown at the lower levels of the western façade to demonstrate potential signage locations for future tenants (Figure 19).

71. A total of 11.95m² of signage is proposed, a permit is therefore required to display the following signs pursuant to Clause 52.06-11 (Category 1):

- A business identification sign exceeding 8sqm
- A floodlit business identification sky sign

72. The size and location of the proposed signs are appropriate and will not appear imposing in the streetscape. The signs will be in proportion to the built form and the site more broadly and will not result in visual disorder or clutter.
73. The retention and reuse of the Victoria House (sky) sign is considered favourable as it pays homage to the existing and surrounding built context. The sky sign is proposed to be externally illuminated. While the placement of the external lights sources is yet to be determined, due to the location of the sign being above the street wall, the external lighting will not result in amenity impacts on the adjoining properties, with the light spill being limited to the site. Conditions will be placed onto the permit for the applicant to provide further details of the external light sources, including placement, luminosity and light spill.
74. The ground level signs are not proposed to be illuminated.
75. As detailed on the submitted plans, the signs will contain simple lettering and consistent colour/materials. This will ensure they do not detract from the character of the area, be conducive to the updated façade of the existing building and provide a cohesive signage strategy.

Car Parking, Loading, Bicycle Storage and Other Services

Car Parking and Bicycle Parking

76. The following car parking rates are relevant to the application:

Use	Rate	Amount required	Amount provided:
Car parking	3.5 car parking spaces to every 100sqm of additional floor area	20	0
Bicycle Parking	• 1 space to every 300sqm of net floor area if the net floor area exceeds 1000sqm (workers) • 1 space to every 1000sqm of net floor area if the net floor area exceeds 1000sqm (visitors) • A shower is required for five or more employee bicycle spaces. One shower for the first 5 and one for each 10 employees thereafter • One change room or direct access to a communal change room to each shower is required.	7 (five spaces for workers and two spaces for visitors)	13 parking spaces, two showers connected to change room and 20 lockers.

77. The proposal seeks to remove all car parking spaces on site and therefore seeking a permit reduction to the car parking requirements to zero.. There are three (3) existing car parking spaces are located to the rear on Emerald Place.
78. Clause 52.06-7 states that an application to reduce the number of car parking spaces required under Clause 52.06-5 must be accompanied by a Car Parking Demand Assessment. The applicant has supplied a Traffic Impact Assessment (TIA) prepared by Urbis and dated 16 November 2023.

79. CoGG's local policy seeks to minimise car dependency and to ensure that the built environment is designed to promote the use of public transport, walking and cycling. The proposal responds well to the requirements of Clause 15.01-2L (Environmentally Sustainable Development) as follows:

- Ten (10) bicycle spaces are to be provided for employees. This represents a 50% increase over the planning scheme requirements.
- Four (4) bicycle spaces are to be provided for visitors. This represents a 50% increase over the planning scheme requirements.
- The development is provided with an end of trip facility including 2 showers, 20 lockers and changing facilities.
- No car parking spaces are provided to minimise car dependency and to ensure that the built environment is designed to promote the use of sustainable transport modes.

The site is well located to a range of public transport options including Geelong Station which is in walking distance to the site.

80. The end of trip facilities will be directly accessible from the rear of the site and will provide 13 bicycle spaces, 20 lockers, two (2) showers and multiple bathrooms (figure 20).

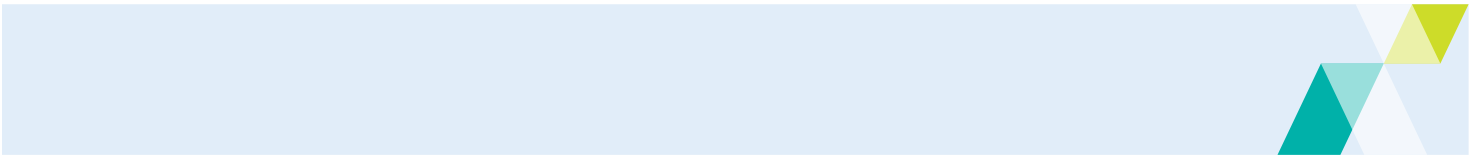


Figure 20. Proposed EOT facilities

81. The submitted TIA satisfactorily demonstrates the removal of car parking spaces and appropriate provision of active transport for working staff within the retain core of the ACZ. The proposal exceeds the statutory bicycle parking requirements and encourages active transport, promoting sustainable travel options. It includes the provision of amenities to support and accommodate individuals using alternate modes of transportation instead of private vehicles.
82. The introduction of bicycle parking provides a significant accessibility and amenity improvement to a constrained built context and should be endorsed.

Loading and Waste

83. The application is accompanied by a Waste Management Plan prepared by Leigh Design 21 June 2023. Waste is proposed to be stored at a ground floor bin storeroom, which is accessible via the rear laneway (Emerald Place). Waste will be collected by a private contractor who will access the bin store zone from Emerald Place. Collection staff shall have access to the Bin Store, and transfer bins to the truck and back to the store.

- 
84. The waste collection shall be carried-out by rear-lift vehicles (nom. 8.8m long and 4m operational height). Swept path analysis in the Transport Impact Assessment confirms that the truck will be able to safely enter and exit the site in a forward motion. Noise will be mitigated by restricting the hours of collection and methods of operation of waste collection.
85. The proposed waste and loading arrangements are therefore considered appropriate for endorsement.

Environmental

Environmentally Sustainable Design (ESD)

86. A Sustainability Management Plan (SMP) has been submitted with the application. The SMP includes a BESS report demonstrating that the proposal achieves a 61% 'Best Practice' rating.
87. Key features of the SMP includes a STORM rating of 104%, native landscaping with water efficient drip irrigation, a 5.2kW Solar PV system and toilets connected to a 7,000L rainwater tank on the roof.
88. The proposal and submitted SMP are considered to achieve the sustainable design outcomes under Clause 15.01-2L and the ACZ.

Water Sensitive Urban Design (WSUD) & Stormwater Management

89. The submitted SMP details the stormwater management initiatives proposed to be implemented. The report highlights that the development will achieve the following:

- STORM rating of 104%
- A reduction of 40% of Potable Water Use.

These outcomes will be achieved through the following measures:

- Water efficient fittings and fixtures are applied throughout.
- A 7,000-litre rainwater tank will harvest rainwater and connect to Ground and L1 toilets and landscape irrigation.

The Stormwater Design Report confirms that the development is consistent with the policy requirements of Clause 53.18 (Stormwater Management).



Recommendation

90. **It is recommended that the a Delegate of the Minister for Planning** issue Planning Permit No. PA2302387 for alterations and additions to the existing building, reduction of car parking and display of business identification sign and a floodlit sky sign at 79-81 Moorabool Street, Geelong, subject to conditions.

Conclusion

91. The proposal is generally consistent with the relevant planning policies of the Greater Geelong Planning Scheme and will contribute to the provision of Office within the Retail Core of the Central Geelong Activity Centre.
92. The alterations and additions will contribute positively to the streetscape and provide for new commercial space with high internal amenity.
93. The proposal is generally supported by the various formal and informal referral agencies.
94. It is recommended that the applicant be notified of the above in writing.

Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- ☒ **No Conflict**
- ☐ Conflict and have therefore undertaken the following actions:
- ☐ Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
 - ☐ Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - ☐ Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.



Reviewed / Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- ☒ **No Conflict**
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