

ADVERTISED
PLAN

Former St Joseph's Boys Home

HERITAGE IMPACT STATEMENT
1 Kent Road, Surrey Hills

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May 2026

Prepared for

VJ 1 KR PTY LTD

Prepared by

LOVELL CHEN



ACKNOWLEDGEMENT OF COUNTRY

This report was prepared on the lands of the Wurundjeri Woi-wurrung people who have been custodians of this land for thousands of years. We acknowledge their stories, connection to land, water and culture which is embedded in Country. We pay our respects to their Elders past and present and acknowledge that this report includes a post-contact history that forms only a small part of the ongoing story.

Former St Joseph's Boys Home located at 1 Kent Road, Surrey Hills is located on the lands of the Wurundjeri Woi-wurrung people, who are, and have always been the custodians of this land. We pay our respects to the Elders past and present, and acknowledge the stories, traditions and cultures of all Aboriginal and Torres Strait Islander people.

Quality Assurance Register

The following register documents the development and issue of this report prepared by Lovell Chen Pty Ltd in accordance with our certified quality management system.



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Referencing

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Cover: View of the chapel at the former St Joseph's Boys Home campus from Middlesex Road (Source: Lovell Chen)

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1.0 Introduction

This Heritage Impact Statement (HIS) has been prepared for VJ 1 KR Pty Ltd, prospective owner of the former St Joseph's Boys Home at 1 Kent Road, Surrey Hills (subject site, Figure 1). It has been prepared to accompany a planning permit application to the Department of Transport and Planning (DTP) via the Development Facilitation Program (DFP) pathway. The permit application is for the redevelopment of the subject site, including demolition, adaptive re-use of existing assets and the construction of new residential buildings.

In the preparation of this HIS, reference has been made to the following drawings and design reports:

- Woods Bagot, Kent Road Residences, Architectural drawings – DTP Town Planning Application (48 sheets, dated 26 May 2026)
- Woods Bagot & KTA, St Joseph's Residences, Surrey Hills, Urban Context Design Report, dated 13 February 2026
- KTA, Architectural drawings – Planning Application, Rev TP00 (41 sheets), dated 27 May 2026
- Oculus, 1 Kent Road Surrey Hills, Landscape Design Report, dated 20 May 2026

1.1 Site identification

The former St Joseph's Boys Home occupies a large, irregularly shaped allotment bound by Middlesex Road to the west, Durham Road to the east and Kent Road to the south (Figure 1). The site slopes down appreciably from the south towards the north. Historically the site functioned as a single institutional complex. An area at the south of the site contains a collection of buildings constructed from c.1889 to 1941, associated with the former Boys' Home. The balance of the site contains more recent development.

Note: The c.1889 dwelling in which the original St Joseph's Boys Home was set up in 1890 by the Sisters of St Joseph and its 1890s, 1907 and 1938 additions are generally referred to as the 'main building' in this report.

2.0 Statutory heritage controls

2.1 *Planning and Environment Act 1987 (Boroondara Planning Scheme)*

The subject site is included in the Surrey Hills English Counties Residential Precinct which is identified as HO670 in the Schedule to the Heritage Overlay of the Boroondara Planning Scheme. As such, the property is subject to Clause 43.01 'Heritage Overlay' and Clause 15.03-1L of the Boroondara Planning Scheme.

The heritage controls apply to the external building fabric and land area mapped as part of the precinct. Controls associated with external paint, interiors or tree do not apply to the precinct. However, solar energy system controls do apply to the subject site.



Figure 1 Aerial view of the former St Joseph's Boys Home
Source: Nearmap, August 2025, accessed 15 October 2025

2.2 Statement of significance

2.2.1 Surrey Hills English Counties Residential Precinct (HO670)

The following statement of significance has been extracted from Appendix 2 of the Surrey Hills and Canterbury Hill Estate Heritage Study prepared by Lovell Chen in February 2014 and revised by Context Pty Ltd and City of Boroondara in April 2016:

What is Significant?

The Surrey Hills English Counties Residential Precinct is a large and irregular precinct located in Surrey Hills, between Canterbury and Riversdale roads. The precinct boundary captures comparatively intact streets, and sections of streets, with high proportions of 'contributory' and some 'significant' heritage properties. Streets predominantly run north-south, with generally lesser (shorter) streets running east-west. There are two main periods of residential development, with some intervening bursts of building activity, including late Victorian and Federation era development of the 1890s through to 1910s, followed by the next major phase of development in the 1920s through to c.1940 periods. Houses in the precinct are constructed in timber and brick and range from some more modest dwellings to larger and more substantial villas. Established gardens are also a feature of the precinct area, many with deciduous trees of some size and age in front gardens, as well as mature street trees, often planted non-consecutively and thus providing a treescape of variety and interest.

How is it Significant?

The Surrey Hills English Counties Residential Precinct is of historical and aesthetic/architectural significance to the City of Boroondara.

Why is it Significant?

Surrey Hills English Counties Residential Precinct is of historical significance, as an expansive and long-standing residential area in Boroondara which demonstrates aspects of the growth and consolidation of Surrey Hills in the late nineteenth and early twentieth centuries. Popularly known as the 'English Counties' area, the precinct evolved after the railway was extended to Surrey Hills in the 1880s, encouraged by developers and estate agents who promoted the suburban lifestyle of the area and used street names which evoked English counties and places. Names such as Middlesex, Norfolk, Durham, Suffolk, Essex and Kent helped give a sense of establishment to the new area, and attracted the aspiring middle classes. Although there were land sales in the precinct in the 1880s, the majority of sites remained undeveloped until the early twentieth century, largely due to the 1890s depression. Houses were then built in the 1900s and 1910s, with development again slowed by World War One, followed by a post-war burst with numerous houses in the precinct built from the 1920s through to c.1940. This stop-start nature of development is reflective of a common pattern in Boroondara, and elsewhere in Melbourne, where development was impacted by economic downturns and world wars. The initial residential development of the northern half of the precinct, which is close to the Surrey Hills train station and occupies high ground, followed by development of the less desirable low-lying southern half in the interwar era, is also reflective of the common pattern of development in Boroondara and other Melbourne suburbs.

The expansive and irregular precinct is also of aesthetic/architectural significance. It comprises 'significant' and 'contributory' dwellings from the 1890s through to c.1940, and has a comparatively high level of intactness. It demonstrates two main periods of development, albeit with some intervening bursts of building activity, including late Victorian and Federation dwellings through to interwar houses. Dwellings with Victorian Italianate styling display transverse and bracketed hip roofs with a projecting wing or canted bay; corniced chimneys in

stucco or exposed red face brick; some block front or ashlar detailing to resemble stone; and a variety of verandah forms. Federation houses in the precinct have hipped roofs with a single projecting gable or two projecting gables set at right angles, reflecting Federation diagonal planning; half-timbered projecting gabled wings; some Art Nouveau detailing; and chimneys with criss-cross strapwork or raised courses, and corbelled stack crowns. For the interwar dwellings, there are bungalow variants of the 1920s, often with a horizontal emphasis and conspicuous transverse roofs with gable ends; and forward sloping roofs linked with (integrated) front verandahs which in turn are enclosed by medium height walls with square-plan timber columns or solid piers. Later interwar houses in the precinct have Art Deco detailing and some referencing of 'past' styles such as Tudor Revival, conveyed in clinker or tapestry brick.

2.2.2 Former St Joseph's Boys Home

The following statement of significance for the former St Joseph's Boys Home has been extracted from an individual citation available in Appendix 2 of the Surrey Hills and Canterbury Hill Estate Heritage Study prepared by Lovell Chen in February 2014 and revised by Context Pty Ltd and City of Boroondara in April 2016:

What is significant?

The former St Joseph's Boys Home established in 1890 by the Sisters of St Joseph, is located in Kent Road, Surrey Hills, between Middlesex and Durham roads. The site is large and comprises a collection of evolved and extended historic buildings including the original 1890 red brick Victorian boys home building to the south-west corner (corner of Kent and Middlesex roads), built in stages at that time; the 1907 extension to the north-east of the original building; the pre-1909 chapel to the north of the 1907 building; and the two clinker brick buildings to the southern boundary along Kent Road of 1935 and 1941. The 1890 and interwar buildings are the most visible, and have a comparatively high level of external intactness. The 1907 building and pre-1909 chapel have restricted visibility.

The recommended Heritage Overlay captures the buildings from the 1890s to 1941, with some curtilage around them, which are concentrated in the south and south-west of the property. The overlay also captures an extent of the red brick boundary fence, including pedestrian gates to Kent Road and the driveway entry and gates to Middlesex Road, sited just north of the 1890 building. In identifying a curtilage, elements of other buildings and structures are also included, but these are not identified as significant. The remainder of the property, including the later 1940s and post-war buildings are not recommended for inclusion in the Heritage Overlay.

How is it significant?

The former St Joseph's Boys Home in Kent Road, Surrey Hills, is of local historical [Criterion 'A'] and aesthetic/architectural significance [Criterion 'E'] to the City of Boroondara.

Why is it significant?

The former St Joseph's Boys Home dates from 1890, and is of local historical significance. The boys' home was established by the Sisters of St Joseph, in a large brick building at the corner of Kent and Middlesex roads. It occupied a large landholding, and subsequently expanded across the site through the second half of the twentieth century, adding extra accommodation and facilities for the children and nuns. The association with the Sisters of St Joseph is significant. The order arrived in Australia in 1866, and established welfare related facilities throughout the country, including in metropolitan Melbourne. They were founded in France in the 1600s, and are known internationally for their charitable and educational work. St Joseph's operated until 1980, and was a major orphanage in Melbourne until that time. It is also one of a number of large and evolved child welfare facilities surviving in Victoria from the nineteenth century, which were church-based (Catholic or Protestant). All were of some scale and accommodated large numbers

of children, predominantly in barracks-style dormitories in large buildings, often of two or three stories, as with St Joseph's. The former St Joseph's Boys Home is also of local aesthetic/architectural significance. The site contains a collection of historic brick buildings from the 1890s to 1941, with a comparatively high level of external intactness. Architecturally, the earlier 1890 and 1907 components, with the timber verandah details, and exposed brick and cement dressings, are characteristic of early phases of Federation architecture. In the 1890 building, the loggia of brick pointed arched bays, and some window forms, also add Gothic character which is appropriate to the religious dimension of the home. The ecclesiastical spirit is further enhanced by the use of simple crucifix finials and brick buttresses. The late interwar buildings are also significant, and add a pleasing symmetry to the Kent Road frontage. These have skilfully rendered ecclesiastical elements, including the bays with rendered crucifix motifs, and the steeply pitched transverse gable roofs which recall the form and pitch of church buildings.

2.3 Gradings

The southern portion of the subject property is identified as a significant place in the Surrey Hills and Canterbury Hill Estate Heritage Study (Lovell Chen 2014, revised by Context Pty Ltd 2016). The balance of the site to the north is not identified as significant (Figure 2). Significant places are defined as: '[...] places that are individually important. They also contribute to the heritage significance of their precinct'.¹



Figure 2 City of Boroondara Schedule of Gradings Map with the subject site (indicated): the southern portion of the site is significant; the balance of the site is not significant
Source: City of Boroondara website

¹ City of Boroondara, *Boroondara Heritage Overlay and heritage grading map*, <https://www.boroondara.vic.gov.au/services/planning-and-building/heritage/boroondara-heritage-overlay-and-heritage-grading-map>, accessed on 7 October 2025

3.0 Brief history and description

3.1 Historical overview

The summary chronology below is informed by historical research including review of architectural drawings and documents held at Public Record Office Victoria (see also Figure 3).

Dates for the construction of the brick fence have not been established. It is known, however, that the south-west corner of the site was previously enclosed by a timber picket fence (consistent with its previous use as a private residence). It is anticipated that the brick fence was built in multiple increments, to a broadly consistent detail, as the site was developed during the twentieth century.

Year	Works
1890-1901	St Joseph's Home for Destitute Children established by Sisters of St Joseph in a six-room brick residence in Surrey Hills. The primary approach was from Canterbury Road and the rail corridor at the north (see Figure 4) A new dormitory and refectory building had been constructed by 1901 (see Figure 5)
1903	Chapel designed by Augustus Andrew Fritsch constructed (Figure 6)
1907	New wing constructed (also designed by Fritsch), likely the two storey classrooms to the north-east corner of the c. 1901 dormitory/refectory
1910s-20s	Laundry and outbuildings constructed to the east of the chapel (Figure 7)
1935	Infirmery constructed at the south of the site, to the east main building (Figure 8)
1938	First-floor addition to the c. 1901 building located to the south the chapel (Figure 9)
1941	School building constructed in the south-east corner of the site



Figure 3 Aerial view of the subject site (part) with dates of construction for the main buildings overlaid
Source: Nearmap, August 2025, accessed 15 October 2025

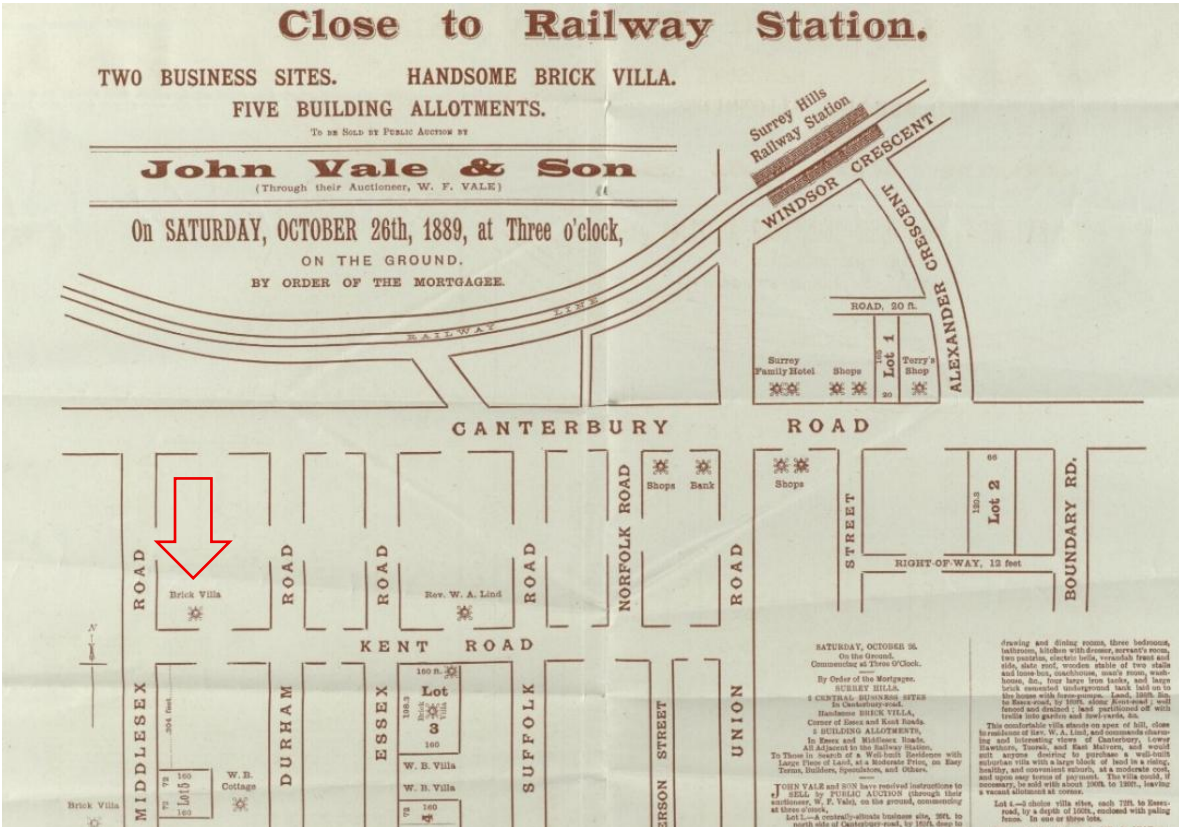


Figure 4 Auction plan of 1889 (cropped) showing a brick villa at the subject site, indicated
Source: State Library of Victoria, ID – 9924466063607636

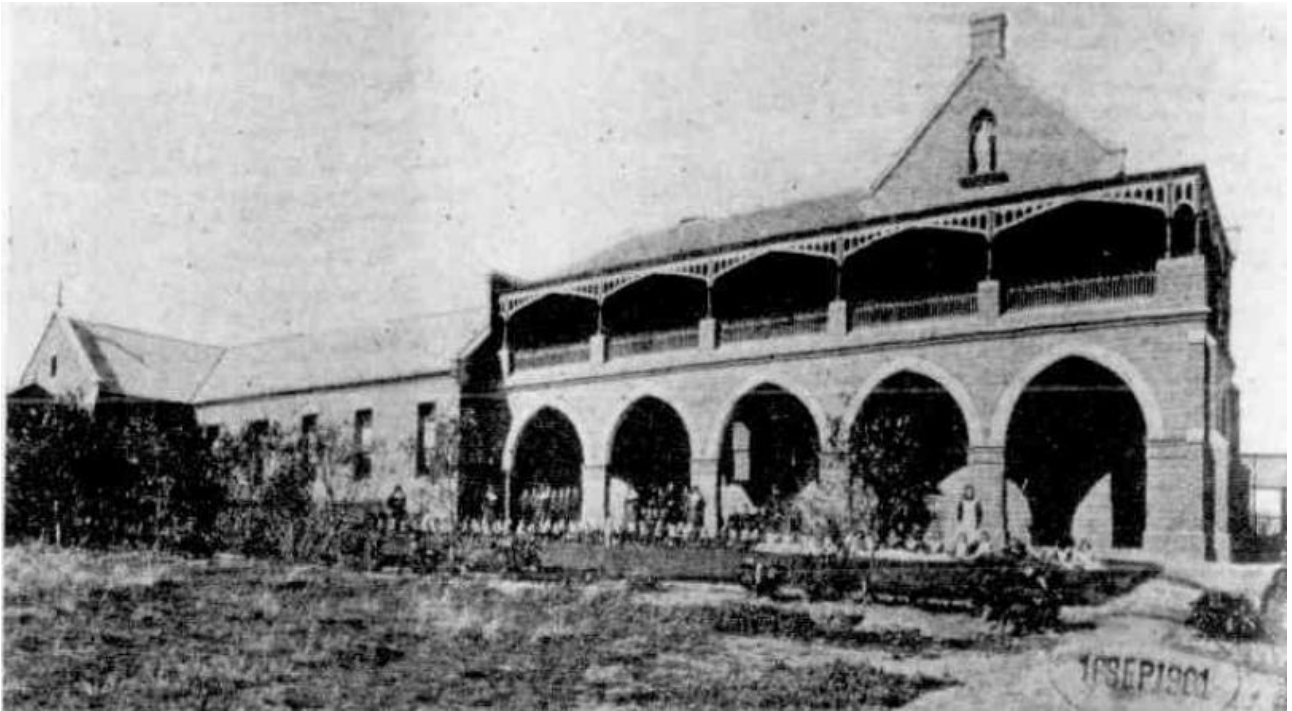


Figure 5 Photograph, 1901, of the north elevation of the former Boys Home: note the single storey addition to the east
Source: *Advocate*, Saturday 14 September 1901, page 10

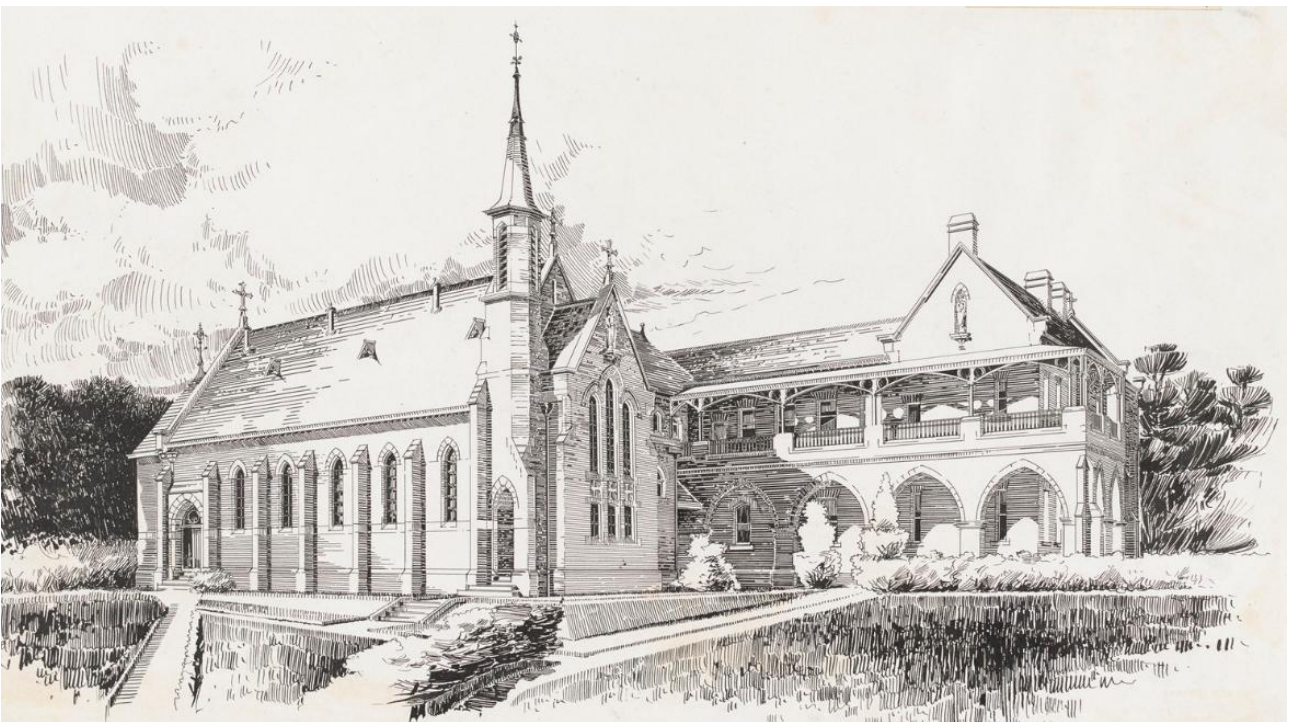


Figure 6 Undated sketch of the Chapel by Augustus Andrew Fritsch: the chapel concealed the addition in the photograph above
Source: State Library of Victoria, H36164/6

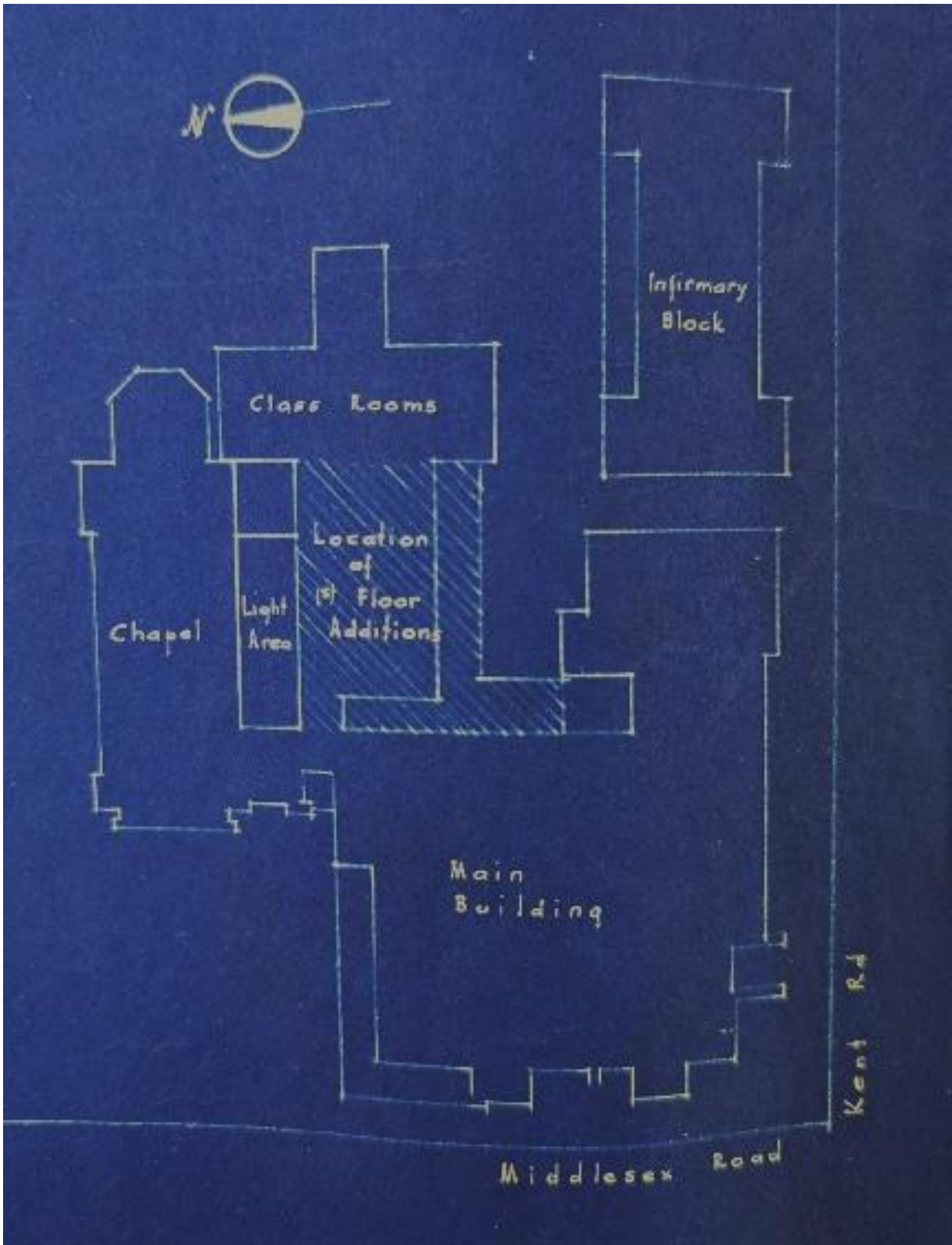


Figure 9 Block plan, 1938, showing the first-floor additions to c. 1901 addition (north is at left)
 Source: Public Records Office Victoria, 5344/P0000

3.2 Physical description

3.2.1 Subject site

The former St Joseph's Boys Home occupies a large, irregularly shaped allotment to the north-east of the intersection of Kent and Middlesex roads. The site extends from Middlesex Road to the west through to Durham Road to the east. As noted, buildings introduced from c. 1889 to 1941 are located at the south of the site.

It is noted that all of the buildings at the site (except for the chapel) were altered to accommodate the evolving needs of the institution prior to its closure in 1980. Iterative change has also occurred to support post-institutional uses at the site over the past c. 45 years.

The south-western corner of the site is occupied by the original c.1889 dwelling, a substantial two-storey red brick building that was acquired by the Sisters of St Joseph for use as the Boys' Home. This building is the earliest and most prominent element of the complex and establishes much of the historic character of the site when viewed from Kent and Middlesex roads. Since its construction, the c.1889 building has undergone a series of alterations and additions, including works in 1907, 1938, and further modifications in the late twentieth century, which reflect the evolving functional requirements of the institution over time. The two-storey chapel (1903) is located to the north-east of the main building.

Fronting Kent Road at the south of the site are two single-storey clinker brick buildings constructed in 1935 (infirmary) and 1941 (school building). These structures illustrate the continued expansion of the institution during this period. Their materials and architectural expression are consistent with interwar institutional building typologies.

The northern portion of the allotment is characterised by more contemporary development, comprising modern buildings that are visually and architecturally distinct from the historic elements to the south. This northern area is more open in character and less constrained by heritage fabric, reflecting a later phase of site use and redevelopment.

Overall, the site exhibits a clear spatial and chronological division between the historic institutional core in the south and later modern development in the north.

3.2.2 Main building

The main building is a substantial institutional building of red face brick construction. It is approximately square in plan form and has a complex and articulated roofscape composed of a series of intersecting gable forms (see Figures 11-14). The roof areas are clad predominantly in slate to the roof planes fronting the public domain, with areas of corrugated steel reflecting later repairs and alterations. Prominent red brick chimneys with cement cornices are located at regular intervals, contributing to the building's vertical emphasis and historic character.

The exterior walls are constructed in red face brick and are articulated by shallow wall buttresses with rendered stepped detailing, providing structural expression and visual rhythm. The masonry is further enriched with rendered dressings to door lintels, parapets, and window heads, creating a subtle contrast with the brickwork and highlighting key architectural elements. Door openings are predominantly characterised by pointed-arch heads, a recurring motif that reinforces the building's Gothic Revival-inspired detailing. Many of the windows also feature pointed-arched heads, while those that are flat-headed are typically surmounted by pointed-arched rendered panels, maintaining a generally consistent architectural language across the elevations.

A notable architectural feature is the verandah located at the north-west corner of the building, comprising a series of brick pointed-arched bays at ground floor level, which open onto the exterior. Currently, some bays of this verandah are enclosed by an intrusive 1963 brick addition. Above this is a verandah supported by timber posts and embellished with a decorative timber fretwork and decorative metal balustrade is the first-floor balcony, adding a layer of craftsmanship and visual interest to this corner of the building. Gothic-inspired detailing is evident throughout the building, particularly in the form and proportion of window openings, the pointed arches of the fenestration, and the detailing of the verandah elements, collectively contributing to the building's institutional character.

The 1907 extension to the north-east corner of the main building is largely obscured in views from the public realm. As a result, these components are more legible within the internal site context rather than as prominent features in the broader streetscape. The eastern elevation of the 1907 addition has been significantly altered with intrusive ad-hoc additions constructed in this location, obscuring the original presentation of the building (Figure 13).



Figure 10 c.1889 dwelling from the intersection of Kent and Middlesex roads, facing north-east



Figure 11 Western elevation of c.1889 main building showing the original verandah within pointed arches and balcony on the first floor



Figure 12 Northern elevation of c.1889 main building showing the intrusive 1963 enclosing the ground floor verandah



Figure 13 Eastern elevation of the 1907 addition showing intrusive later additions

3.2.3 Chapel

The chapel was constructed in 1903 and has similar detailing to the main building, to which it is connected. It is a red face brick masonry building with rendered detailing to the sill and lintel levels of the narrow window openings and along the primary (western) elevation. There is stained glazing to the west, north, and south facades. A bell tower is located in the north-west corner, extending above the gabled roof of the chapel.



Figure 14 Western (front) elevation of the Chapel with the tower and the stained-glass windows



Figure 15 Eastern (rear) elevation of the Chapel showing the northern entrance bay

3.2.4 Interwar buildings - infirmary and school

The former infirmary (see Figures 17 and 18) is a single storey structure located to the west of the c.1889 dwelling. It is constructed in clinker brick masonry with a transverse gabled roof clad in terracotta tiles. Rendered crucifix motifs are located to the gabled ends of the building. A copper spire vent is in the central section of the roof ridge. The entrance is located along the northern elevation which is defined by a face brick has a decorative entrance with brick buttresses and rendered brick capping and detailing. A verandah along the north elevation of the building has been enclosed. Original multi-pane timber double hung windows are extant along the southern and eastern facades of the building.

The 1941 school building (see Figures 19-21) is located in the south-eastern corner of the former St Josephs Boys Home complex. It is a single storey red face brick masonry building in a L-shaped plan. A north-facing verandah has been infilled. All the original timber windows this building have also been replaced with modern aluminium framed windows.



Figure 16 View of the infirmary from Kent Road



Figure 17 Northern elevation of the infirmary as viewed from within the site



Figure 18 Northern elevation of the infirmary showing the enclosed verandah



Figure 19 View of the 1941 school building from Kent Road

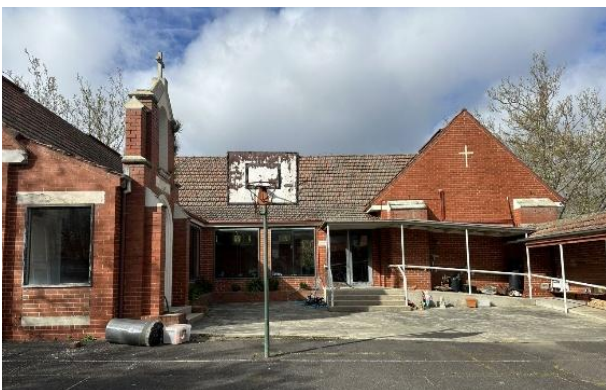


Figure 20 North elevation of the 1941 school building

3.2.5 Brick masonry boundary fence

The three main site boundaries to Kent, Middlesex and Durham roads are enclosed by a red face brick fence with integrated red brick piers and rendered masonry capping (see Figure 21-25). This wall defines the former institutional use of the site. The northern section of the wall along Durham Road has been demolished, accommodating two vehicular driveways accessing the site. There are also two vehicular driveways along Middlesex Road, one providing access to the 1960s residential development and one to the south in front of the chapel. Another vehicular entry is located along the southern boundary along Middlesex Road, between the interwar building on site (the infirmary and the school).



Figure 21 The brick boundary wall along Middlesex Road with the vehicular entry gate in front of the chapel



Figure 22 Vehicular driveway along Middlesex Road providing access to the 1960s residential development

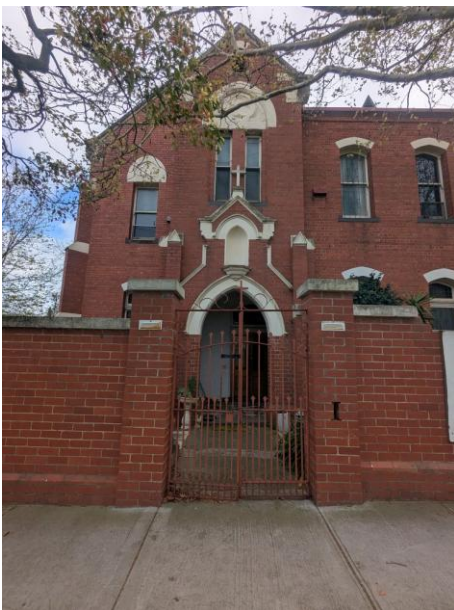


Figure 23 Pedestrian gate entrance along Kent Road to the main building



Figure 24 Vehicular driveway along Kent Road between the school and infirmary

4.0 Review of heritage significance

The heritage rationale adopted for the former St Joseph’s Boys Home complex is grounded in the Burra Charter ‘Process’ (see Figure 25). The Burra Charter is accepted by regulatory authorities across Victoria (and Australia) as a benchmark of best practice. The ‘Process’ promotes a systematic sequence of research and analysis to support the management of heritage places, including the management of change.

As discussed further below, it is noted that the Burra Charter recognises that concepts of heritage significance are not static: ‘Cultural significance may change over time and with use; and ‘Understanding of cultural significance may change as a result of new information’.²

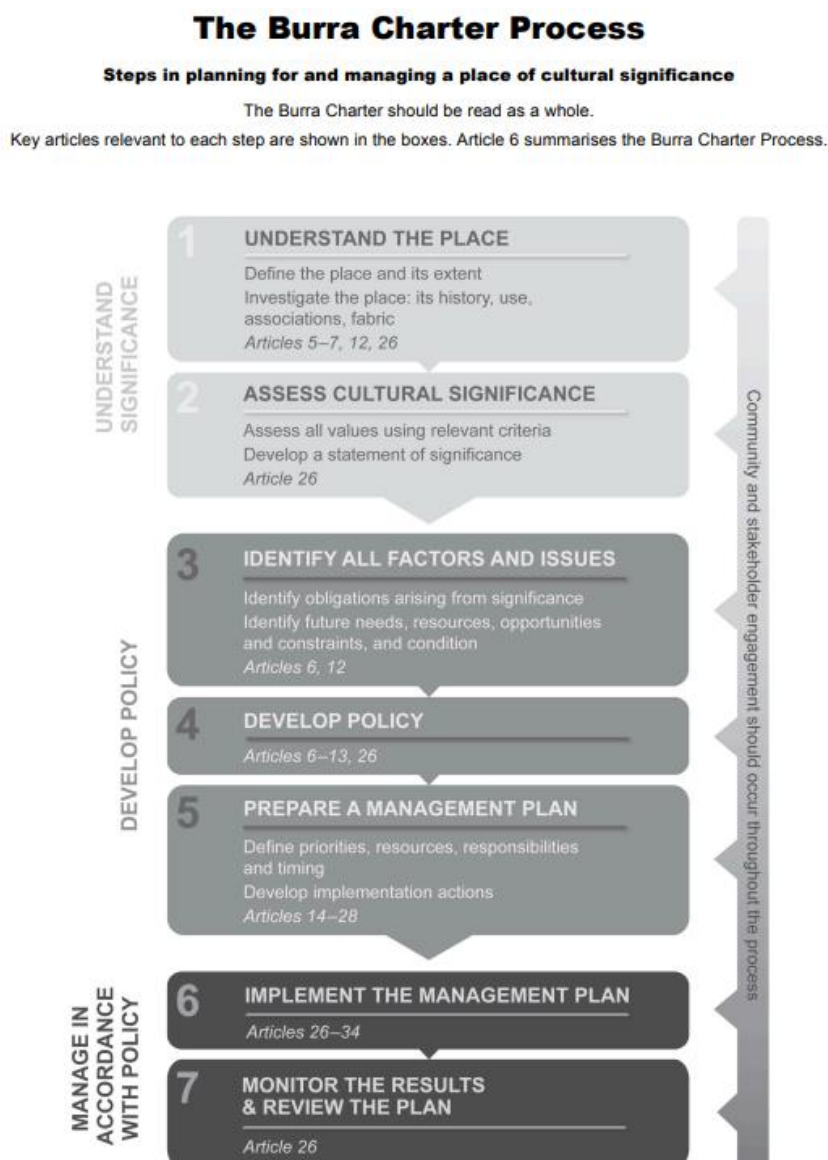


Figure 25 The Burra Charter Process
Source: The Australia ICOMOS Charter for Places of Cultural Significance, 2013, p. 10

² Burra Charter, 2013, Explanatory Notes to Article 1.2 ‘Cultural Significance’.

4.1 Understanding the place

An understanding of the former St Joseph's Boys Home has been developed through documentary research (secondary sources) and on-site investigation. In addition, primary historical research was undertaken to clarify the evolution and development of the place. This included a review of historic plans and records held by the Public Record Office Victoria (PROV), together with reference to archival material held by the Mary MacKillop Heritage Centre. This material assisted in establishing the chronology of development, key phases of construction and supported an ability to distinguish between early buildings and later additions associated with ongoing institutional (and post-institutional) uses.

A site inspection was undertaken on 24 September 2025 to assess the existing condition, integrity and legibility of the built fabric, including the main building, chapel, infirmary and school (Figure 1). The inspection revealed that, with the exception of the chapel, the buildings on site have been subject to varying degrees of alteration and adaptation over time. Consequences are that there is no consistent or unifying architectural style across the complex; and architectural detailing within the extant buildings is generally fragmentary. This reflects the incremental and pragmatic manner in which the site developed as an institution, rather than as a formally conceived architectural composition. It also informed the assessment of relative significance across the site (discussed further below).

Extensive experience of comparable former institutional complexes informed our understanding of characteristics that are reasonably understood as demonstrative of this class of place (welfare institution).

4.2 Assessment of cultural significance

Planning Practice Note No.1: *Applying the Heritage Overlay* does not provide threshold guidelines for assessing whether a place meets the requirements of a particular criterion of local heritage significance. While draft local heritage criteria and threshold guidelines were prepared by the Department of Transport and Planning and circulated for feedback in September 2025, these have not been finalised or formally adopted. Accordingly, the assessment of heritage significance for the subject site was undertaken using a structured, evidence-based approach guided by the Burra Charter process and the intent of PPN01, as outlined below.

4.2.1 Methodology and application of the Burra Charter process

The assessment of significance has been informed by a review of available historical documentation, previous heritage studies and field work, with particular attention to the evolution of the place over time and the relative integrity of surviving fabric. This approach enables significance to be grounded in evidence and allows for an evaluation of how individual elements contribute to the overall cultural values of the site.

Consistent with the Burra Charter, the assessment recognises that heritage significance is not static and that understandings of significance may evolve as additional research is undertaken or as the place is examined in greater detail. Earlier heritage assessments (2014 and 2016) are acknowledged as important reference points. However, the current assessment refines that understanding by applying a more explicit consideration of integrity, representativeness and comparative context in line with contemporary heritage practice and the guidance set out in Planning Practice Note No.1 (PPN01).

4.2.2 Basis for the application of Criteria A and D

From a heritage perspective, the site is valued primarily as a place of *historical significance*, for its use and operation as an orphanage from 1890 to 1980 (Planning Practice Note 1, Criterion 'A', 'Importance to the course or pattern of

our cultural or natural history (historical significance)³. This long period of institutional use demonstrates the evolving nature of child welfare, religious charitable work and institutional care in Victoria from the late nineteenth century through much of the twentieth century. The establishment of the orphanage reflects a broader historical pattern of church-based welfare provision prior to the expansion of state-run social services. The site therefore provides tangible evidence of past attitudes towards child welfare, care practices and the role of religious institutions in providing education, accommodation and pastoral care.

The episodic and *ad hoc* pattern of development at the site also illustrates this history. Rather than being conceived as a single, master-planned complex, the site developed incrementally as additional accommodation and facilities were required. This pattern of growth is characteristic of large institutional sites of this type and period.

The site is also considered to satisfy PPN01 Criterion 'D' (Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments). As substantiated by the site's historical associations, spatial organisation and the episodic pattern of development, the complex demonstrates key characteristics of a church-based welfare institution with origins in the nineteenth century.

The built fabric includes structures from the Victorian, Federation, and interwar periods. Earlier buildings reflect nineteenth-century institutional planning and construction, while later additions demonstrate shifting approaches to care, education, and building design in the early twentieth century. Although the site has been substantially altered and expanded over time, there remains a general consistency in materiality, with a predominance of red face brick construction, brick, and cement dressings and pointed arch openings. Collectively, these recurring material and design attributes create a visual cohesion across different building phases and reinforce the site's identity as a Catholic welfare institution (PPN1, Criterion 'D': 'Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments').

This assessment places emphasis on the ability of the place to demonstrate historical patterns and the principal characteristics of a class of place, rather than on architectural resolution or formal design intent.

Further, as discussed below, it is considered that the relative contribution of site elements to the significance of the whole varies.

4.2.3 Rationale for departure from Criterion E

The application of Criterion D in preference to Criterion E (aesthetic significance) reflects a considered outcome of the Burra Charter process, rather than a rejection of architectural qualities altogether. While individual elements – notably the chapel – exhibit identifiable aesthetic and architectural attributes, these qualities are not expressed consistently across the site, nor do they combine to create a coherent or resolved architectural composition.

4.2.4 Levels of significance

As noted above, it is considered that significance is not evenly distributed across the subject site. An understanding of the relative contribution of different buildings and elements is well established as a technique in the management of change to heritage places and to achieving balanced outcomes. Consistent with recognised best practice, the assessment of the former St Joseph's Boys Home adopts a hierarchical approach that distinguishes between elements of primary significance and those that are contributory (Figure 26).

The integrity and significance of individual buildings and built elements varies considerably, reflecting different periods of construction and levels of alteration. The chapel is the most intact building, retaining a high level of internal and external integrity, including original architectural detailing, spatial configuration, and ecclesiastical character. Its

³ Victoria State Government, Department of Transport and Planning, PPN01: Applying the Heritage Overlay, <https://www.planning.vic.gov.au/guides-and-resources/guides/planning-practice-notes/applying-the-heritage-overlay>, accessed 21 October 2025.

continued legibility as a place of worship contributes strongly to the site's symbolic and aesthetic values and reinforces its association with Catholic institutional use.

The main building (excluding its later additions) is the earliest structure on the site and remains the most prominent element in views from the public realm. Its scale, siting, and architectural expression establish the historic character of the site when viewed from Kent and Middlesex roads. It provides the strongest physical and visual connection to the orphanage's establishment phase and is central to understanding the origins and early operation of the institution.

Built elements that are considered to be of primary significance for their capacity collectively to demonstrate the site's valued historical associations are:

- The main face brick building and its 1890s, 1907 and 1938 additions (excluding its later intrusive additions), as the earliest, most prominent, and architecturally distinctive structure associated with the orphanage, and a key contributor to the site's historic character and public presentation.
- The chapel, as the most intact and symbolically significant building on the site, embodying the religious foundation and purpose of the institution.
- The red brick boundary wall and entry gates to Kent and Middlesex Roads, which define the site's historic perimeter and setting, create a clear separation between the institution and the surrounding urban context, and visually reinforce the site's historic institutional use.

Built elements that contribute to significance include:

- The interwar buildings (infirmary and school house) at the south of the site, being structures of similar age and architectural expression that illustrate the expansion of the orphanage in the mid-twentieth century.



Figure 26 Elements of primary significance indicated in red; contributory elements in yellow: note the significance perimeter wall extends to the north along Middlesex Road
Source: Lovell Chen (Nearmap as base)

4.3 Identifying factors and issues (Burra Charter process Stage 3)

4.3.1 Review of applicable statutory controls and previous heritage assessments

The subject site is included in the Surrey Hills English Counties Residential Precinct which is identified as HO670 in the Schedule to the Heritage Overlay of the Boroondara Planning Scheme.

The southern part of the site is identified as a significant place within the *Surrey Hills and Canterbury Hill Estate Heritage Study* (Lovell Chen, 2014; revised by Context Pty Ltd, 2016). The citation in the study finds that the former St Joseph's Boys Home is of local historical significance (Criterion 'A') and aesthetic/architectural significance (Criterion 'E') to the City of Boroondara. While the findings of the 2014 and 2016 studies are acknowledged, the current assessment, as outlined above, forms a different view based on additional evidence gathered.

4.3.2 Broader planning context and strategic considerations

The heritage rationale applied in guiding change at the subject site has also considered the present planning policy context, including recent changes to planning pathways at the State level which seek to facilitate the delivery of housing and encourage optimisation of under-utilised sites, including those subject to heritage controls. These policy settings place emphasis on achieving balanced outcomes that conserve heritage values while enabling appropriate and well-designed development, particularly in inner and middle-ring suburbs and locations with good access to public transport and services.

4.3.3 Site condition and use considerations

A further factor that shaped the heritage response to the subject site is its long-standing under-utilisation – the site has been partially vacant or only intermittently occupied for more than 40 years, limiting opportunities for regular maintenance and increasing the risk of deterioration to buildings and fabric. This circumstance underscores the importance of enabling a future use that can support active occupation and long-term stewardship of the site's most significant elements.

5.0 Description of proposal

The proposal is for development of the former St Joseph's Boys Home complex to accommodate new residential buildings to the north and east of the site and adapting the existing heritage buildings as duplexes.

5.1 Demolition

Aside from buildings at the north of the subject site (the area identified as non-contributory within HO670), proposed demolition at the subject site has generally been limited to the areas of lesser sensitivity and/or areas that have previously been altered. The proposal also includes the demolition of the 1941 school building at the south-east corner of the site.

5.2 Adaption and refurbishment

Overall, the proposed adaptive reuse of the heritage buildings on site (Main Building, Infirmary and Chapel) would accommodate 11 duplexes.

5.2.1 Main building

The proposal includes the adaptive reuse of the interiors of the c.1889 dwelling, including its 1907 and 1938 additions, to accommodate nine new duplexes. These works involve internal reconfiguration, while retaining the overall original external form and character of the building.

To support this adaptation, the proposal includes the demolition of the single-storey 1960s addition along the northern elevation of the c.1889 dwelling. This later addition currently encloses the original ground floor verandah

with pointed arches and the first-floor balcony. The removal of this intrusive structure will allow for the reinstatement of the original northern presentation of the c.1889 dwelling particularly the reinstatement of the pointed arch along the ground floor verandah and the balcony detailing to the first-floor balcony, improving its historic legibility and restoring its intended architectural expression.

The proposal also includes the demolition of intrusive later additions along the eastern elevation of the 1907 addition. Their removal will create opportunities for the introduction of new private open spaces associated with the new duplexes along this elevation. A lightweight metal ornamental trellis is proposed to the east elevation of this structure; vegetation will partially conceal the building.

Internally, the proposal includes the removal of the central flat corrugated roof section of the c.1889 dwelling to create a new central courtyard within the building. This will significantly improve natural light, ventilation, and amenity for the new duplexes while maintaining the overall external envelope of the building. In addition, small sections of the inner roof plane of the hipped roof will be removed to accommodate new skylights, providing necessary daylight to the adapted residential spaces.

The works will also include minor alterations to some of the windows along the ground floor of the southern elevation to convert them into entrance doors to the new duplexes. The works would maintain the rendered detailing of the lintels and the works would be limited to the removal of the windows and the brick masonry below the sill level.

5.2.2 Chapel

The chapel will be adapted as a communal space for the new residential development. Alterations required for this use are limited to the demolition of a non-original lean-to toilet to the north of the chapel, and adaptation of the existing entry bay to the north to include new steps and the addition of a platform lift, providing equitable access. The proposal also includes replacement of alternating slates to the north and south roof slopes with glass roof shingles.

5.2.3 Infirmary (1935)

The proposal includes the adaptation of the existing 1935 clinker brick Infirmary building to accommodate two new duplex residences. This will involve the refurbishment and reconfiguration of the interiors to introduce a new first floor, which will largely be contained within the existing roof form of the building. To provide compliant ceiling heights and acceptable amenity for the new first-floor spaces, the proposal includes limited demolition of small sections of the northern roof plane of the Infirmary to accommodate new roof extensions. The proposal also includes the introduction of two private open spaces to the north of the Infirmary. These will be separated from the new courtyard by a metal louvered fence.

5.2.4 Brick fence

The proposal includes demolition of small sections of the existing brick masonry boundary fence for introduction of pedestrian entry gates to individual duplexes within the heritage buildings and the new infill development. Two vehicular entries are proposed along Middlesex Road, in line with the existing large vehicular entries that are extant at the subject site. The vehicular entry along Kent Road will be maintained to provide basement access to the new infill development in this location.

5.3 Landscaping

Extensive landscaping works are proposed through-out the site. The current concrete and hard-paved ground cover around the heritage buildings is to be replaced with paved pathways and green landscaped areas. Two courtyards are proposed to the north and east of the main building, providing a separation between the old and the new built form.

As indicated in the landscape documentation, the proposal includes introduction of stone markers (FN04) at the entry points along pathways to the subject site. These markers have been designed to provide an opportunity to include historical information and integrate a deeper understanding of the historical use of the site.

5.4 Conservation works


Conservation works will be necessary to restore the significant buildings and make good their original late nineteenth and early twentieth century form. Many sections and heritage fabric of the original buildings are obscured by intrusive additions. The full extent of repair and make good works will be revealed further to removal of later additions/accretions. As such, it is anticipated that a detailed conservation works schedule will be specified as a condition of the permit. Table 3 below is a tentative (and incomplete) list of conservation works that are anticipated.

It should be noted that there is limited and incomplete historical documentary record available for the subject site, therefore, for the physical evidence from the extant fabric at the subject site will key to undertake the conservation and repair works on site.

Overall, general repair works to all the significant heritage buildings on site –

- Remove paintwork to face brick surfaces and make good to match existing
- Repointing and mortar repairs to face brickwork as required
- Render repairs as necessary
- General repair works to fenestration - make-good to match existing
- Repair work as required for the stained-glass windows of Chapel
- Roof - Repair and make good to slate and terracotta cladding

Table 1 Tentative list of conservation works that have been identified

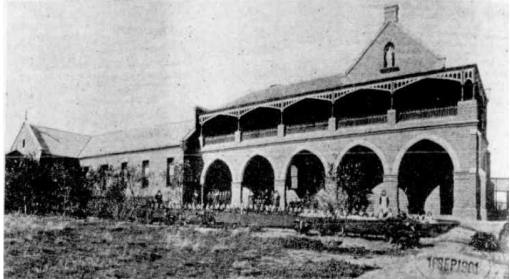
Conservation works	Areas identified	Photographs
Conservation and reinstatement of ground floor verandah	<p>The original verandah with pointed arches along the ground floor, in the north-western corner of the c.1889 dwelling, has been enclosed and obscured from view by the 1963 addition. The original face brick arches have been rendered and painted.</p> <p>The render and paint is to be removed from the face brick masonry of the brick arches</p>	



Conservation and reinstatement of detailing first floor balcony

The original timber columns, cast iron balustrades and timber fretwork of the first-floor balcony have been removed/enclosed along the northern elevation of the c.1889 dwelling

This section of the first-floor balcony is to be reinstated back to its original form on the basis of historic photographs and extant fabric along the western elevation



Removal of painted
from red face brick
masonry walls

Remove later additions/ enclosures to the
south-eastern first-floor balcony

Removal of paint from the painted brick
masonry wall



Conservation of the
eastern elevation

Repair works to make good the eastern
brick masonry façade after the removal of
later additions/ enclosures



Repair of northern
roof plane

Repair and make good works to the
terracotta cladding



6.0 Assessment of heritage impacts

The proposed development has been assessed having regard to the heritage significance of the former St Joseph's Boys Home at 1 Kent Road, Surrey Hills, its identification as a significant place within the Surrey Hills English Counties Residential Precinct (HO670), and the relevant heritage policies and decision guidelines of the Boroondara Planning Scheme, including Clause 15.03-1L and Clause 43.01-8. In particular, the assessment has considered whether the proposal appropriately retains significant built fabric, avoids adverse impacts on elements that contribute to heritage significance, supports the removal of non-contributory or intrusive additions, and ensures that new development is appropriately sited, scaled and designed in relation to the heritage place and its precinct context.

It is noted that internal controls do not apply to the subject site. Accordingly, this assessment is limited to the heritage impacts of works proposed to the exteriors of the heritage buildings and their setting, including their presentation from the public realm and relationship to the broader precinct.

Relevant points pertaining to the proposed development in Clause 15.03-1L are reproduced below:

Significant heritage places strategies

Retain significant built fabric and not normally allow demolition.

Permit partial demolition of significant built fabric for the purpose of additions and alterations only if the partial demolition, additions and alterations will not adversely affect the cultural heritage significance of the place and will assist the long term conservation of the building.

Support the demolition of non-original and non-contributory additions.

Ensure alterations, including restoration or reconstruction works, maintain the significance and integrity of the heritage place.

Encourage reconstruction of features or finishes formerly removed, only where historic evidence of original or earlier appearance can be found.

Ensure that materials and restoration techniques consistent with the historic period of the heritage place are used.

Discourage the painting of previously unpainted surfaces. This does not apply to non-original features.

Discourage the rendering of previously non-rendered surfaces.

Discourage painting in a manner that detracts from the understanding of the place, including painting in corporate colours, painting over and covering windows and the loss of contrast that provides for articulation of heritage features.

Discourage sandblasting of rendered, masonry or timber surfaces.

Discourage the introduction of architectural features, unless there is evidence that they were originally present.

Ensure development does not alter fabric that contributes to the cultural heritage significance of any part of a 'significant' heritage place including elements that cannot be seen from the public realm.

Ensure development does not obscure fabric that contributes to the cultural heritage significance of any part of a 'significant' heritage place that addresses the public realm.

Use materials and surface finishes that are complementary to the fabric of the heritage place.

Encourage the reuse of previously demolished building materials from the heritage place in the design and construction of new additions to buildings.

Incorporate design details that complement the design of the heritage place (including the type and form of windows, doors, architectural features and verandahs), that are:

- Interpretive, that honestly admit their modernity while relating to the heritage character of their surroundings, or are a replication of historic forms and detailing.
- Located and massed in a manner that does not detract from or dominate significant fabric of the heritage place (through siting and massing). This should be achieved utilising a combination of setbacks, heights and physical separation as appropriate. This does not apply to commercial buildings.
- Located to the rear of the heritage place, where possible.
- Sympathetic with heritage fabric of the place rather than any 'non-contributory' elements of the place.

Non-contributory heritage places strategies

Support the demolition of 'non-contributory' places.

Ensure replacement buildings, development, alterations and additions are sympathetic with heritage fabric of the place, rather than any 'non-contributory' elements of the place.

Orient new buildings and additions/alterations to non-contributory places in a similar manner to the siting of adjacent 'significant' or 'contributory' heritage places and to the heritage precinct as a whole.

Position a new building and design its façade height or an addition/alteration to the façade of a non-contributory place so that it does not dominate adjoining 'significant' or 'contributory' heritage places. The façade should neither exceed in height, nor be positioned forward of, the adjoining heritage place(s).

Design new development so that the height of the façade is consistent with the prevailing heights of 'significant' or 'contributory' heritage places in the precinct, especially where the precinct has a consistent façade height.

Avoid front setbacks that are substantially behind prevailing setbacks of 'significant' or 'contributory' heritage places in the heritage precinct, especially where the heritage precinct has a consistent front setback.

Provide side setbacks consistent with the setback of adjacent 'significant' or 'contributory' heritage places.

Design new buildings or additions/alterations so that the height and form respect the height and form of adjacent and surrounding 'significant' or 'contributory' heritage places, as these places are viewed from the street.

Where a heritage precinct or part of a heritage precinct has a consistent building height and form, ensure the height of the new building or addition/alteration is no higher than the roof ridgeline of the adjacent buildings when viewed from the street, but may include a higher, unobtrusive component to the rear.

Where a heritage precinct or part of a heritage precinct has a diverse building height and form, and the site abuts a 'significant' or 'contributory' heritage place, ensure the height and form of the new building or addition/alteration respect both the adjacent 'significant' or 'contributory'

heritage places and the prevailing height and form of 'significant' or 'contributory' places in the precinct, but may include a higher, unobtrusive component to the rear.

Where a heritage precinct or part of a heritage precinct has a diverse building height and form, but the site does not abut a 'significant' or 'contributory' heritage place, ensure the height and form respect the prevailing height and form of 'significant' and 'contributory' heritage places in the precinct.

Design roof form and window and door proportions of new buildings and additions/alterations to non-contributory places to be similar to or sit well with the prevailing forms in the heritage precinct.

Design new buildings and additions/alterations to display the following design characteristics:

- Articulate external walls to be complementary to the heritage precinct through their massing and form and the use of materials and finishes.
- Utilise external materials, textures and finishes that complement materials evident in the heritage precinct.

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority would typically be required to consider the following from Clause 43.01-8:

- The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.
- Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.
- Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.
- Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.
- Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.
- Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.

6.1 Demolition, adaptation and refurbishment

With the exception of the 1941 school building (discussed below), demolition within the former St Joseph's Boys Home is limited to areas of lesser heritage sensitivity or to parts of the site and buildings that have previously been altered or concealed. The approach prioritises the retention of buildings and elements of primary significance while enabling the removal of non-contributory or intrusive fabric to facilitate the adaptive reuse of the heritage buildings and the introduction of new residential development. This is consistent with the relevant strategies of Clause 15.03-1L, which seek to retain significant built fabric while supporting the removal of non-original and intrusive additions where appropriate.

The proposal includes the demolition of some 1920s fabric which includes a former laundry. The laundry was an ancillary service building and has been substantially altered. As an ancillary service building, it did not play a central role in the institutional, social, or public narrative of the former St Joseph's Boys Home, nor was it integral to the original design intent or core welfare functions of the site. It is also located within an area of the site that is identified as non-contributory in City of Boroondara Schedule of Gradings Map (Figure 2).

The proposed alterations and additions to the retained heritage buildings have been guided by established heritage design principles that seek to balance conservation with adaptive reuse. Adaptive reuse is recognised as integral to the long-term conservation of large former institutional buildings and necessarily involves a degree of change to support continued use. In this instance, the proposed works have been designed to ensure that the heritage values of the main building and chapel, particularly their public presentation and spatial relationships, remain clearly legible, with detailed resolution to be guided by specialist heritage advice and appropriately managed through permit conditions to support ongoing conservation and stewardship.

The design interventions have been developed with careful regard to maintain the primacy of the heritage buildings as the most significant elements of the site, with a focus on minimising visual change to principal heritage façades, retaining overall form, scale, and material expression. New materials and detailing are clearly contemporary yet sympathetic in scale, texture, and tone, ensuring that new work is legible as modern while remaining visually recessive in relation to the heritage fabric. The proposal avoids pastiche or mimicry of historic detailing, consistent with best-practice conservation principles and Clause 15.03-1L strategies. Where reinstatement works are proposed, particularly to the main building following the removal of later additions, these will be informed by historical documentation and surviving physical evidence on site. Where evidence is limited, a simple, recessive contemporary approach will be adopted rather than conjectural reconstruction.

6.1.1 Non-contributory buildings (northern portion of the site)

The buildings in the northern section of the site are of recent construction and do not contribute to the heritage significance of the former Boys' Home complex. Their removal will enable the construction of new residential development in the remaining section of the site, while maintaining a clear distinction between the historic institutional core in the south-western part of the site and contemporary development to the north and east.

6.1.2 1941 school building

The proposal includes demolition of the 1941 school building at the south-east of the subject site. While recognised as a loss from a heritage perspective, for the reasons given below it is considered that demolition is an outcome that can reasonably be contemplated in this case.

The 1941 building, the last structure to be introduced during the site's operation as an institution, has been modified, including the enclosure of the original verandah with intrusive glazing and replacement of the original timber windows with aluminium framed windows. The extent of change is a consideration that informed its designation as a contributory building in the context of the subject site. Further, as distinct from the main building, the chapel and the brick perimeter wall which collectively demonstrate the site's late nineteenth century origins as a church-based institution, the school makes a relatively modest contribution to significance.

It is noted that the demolition of the school building is balanced by the net benefit of the sustainable reactivation of the subject site, as well as the retention and adaptation of the primary heritage assets. Importantly, the 1935 infirmary will also be retained and adapted, ensuring that the interwar phase of development will remain legible – the two interwar buildings both adopt the same material palette and architectural styling. The proposal will also largely retain the entirety of the perimeter brick masonry wall, including sections that extend beyond the areas mapped as significant (Figure 2), thereby maintaining the legibility of the site as a complex.

The school building has undergone alterations particularly the enclosure of the original verandah with intrusive glazing and replacement of the original timber windows with aluminium framed windows. Although the loss of a contributory building is generally discouraged, in this instance it is considered that demolition can reasonably be contemplated and will not substantively impact the site's heritage significance. Importantly, the 1935 infirmary will be retained and adapted, ensuring that the interwar phase of development remains legible. As noted above, the two interwar buildings both adopt the same material palette and architectural styling and make a relatively modest contribution to

significance as distinct from the main building, the chapel and the brick perimeter wall which collectively demonstrate the site's late nineteenth century origins as a church-based institution.

It is also noted that the proposed development is contemplated at a time when aspirations for greater density within inner-urban suburbs are a major commitment of the state government. Demolition of the school building will support the delivery of a development outcome that balances heritage considerations with the establishment of higher residential densities in the neighbourhood.

6.1.3 *Main building*

Demolition at the main building is largely confined to later, intrusive additions, including the 1963 addition to the northern elevation, enclosed south-eastern verandah and balcony of the 1907 addition and the additions along the eastern elevation of the 1907 structure. The extent of demolition proposed aligns with Clause 15.03-1L strategies that support the removal of non-original and non-contributory fabric. The removal of these additions will improve the legibility of the original built form of the main building and provide an opportunity for reinstatement and make-good works that better reveal its historic proportions and architectural character.

The fenestration pattern of the building would be largely retained. Minor alterations are proposed to some ground floor windows along the southern elevation, involving limited removal of masonry beneath existing sills to create new door openings. These changes are modest in scale, localised, and do not materially alter the building's overall massing, rhythm, or architectural composition. They are also located on a less publicly prominent elevation and therefore do not adversely affect fabric that contributes to the building's heritage significance as viewed from the public realm.

The alterations to the roof for the introduction of the new courtyard and the skylights along the inner roof planes would all be limited to areas which have previously been altered. These interventions would not be visible from the public domain and would maintain the external presentation of the building. Generally, the works at the main building have been sensitively designed to retain its original fabric and will maintain its existing form and scale.

6.1.4 *Chapel*

Demolition to support the adaptation of the chapel as communal space is limited to a non-original toilet that is attached to the entry bay to the north.

To enhance the amenity of the chapel, there is a preference to replacing alternating slates with glazed tiles across the full extent of the north and south roof slopes. This approach avoids more intrusive alterations such as dormer projections or substantial roof form modifications. It is noted that these works are reversible and will retain the existing profile of the roof. It is also noted that slates removed from the site will be retained on site for future re-use.

Importantly, the principal elevations, roof form and overall architectural expression of the chapel are retained, ensuring that it remains legible as the most intact and symbolically significant building on the site. Preservation of the chapel's visual prominence, ecclesiastical character and contribution to the heritage significance of the place is consistent with Clause 15.03-1L which supports retention of significant fabric addressing the public realm.

6.1.5 *Infirmary*

The proposal includes limited demolition of sections of the north-facing roof plane of the 1935 infirmary to accommodate sensitively designed roof extensions. These extensions have been designed to be modest in scale and located in less publicly visible areas, ensuring that the overall presentation and heritage character of the building are largely maintained when viewed from the street.

The roof works are necessary to enable the viable adaptive reuse of the building for contemporary residential use, which aligns with heritage policy that supports partial demolition where it assists the long-term conservation and continued use of a heritage building. The scale, form, and heritage contribution of the infirmary as viewed from the public domain will be maintained.

The introduction of private open spaces to the north of the former infirmary building represents a positive adaptation that enhances residential amenity while remaining sensitive to heritage values. These open spaces provide north-facing outlook and access to light, improving the long-term viability of the adaptive reuse. Landscape treatment and carefully designed louvred fencing will provide privacy without obscuring views to the heritage buildings. The screening elements are lightweight and recessive in character, ensuring that the architectural qualities and prominence of the heritage structures continue to be appreciated from within and beyond the site.

6.1.6 Brick fence

Vehicular access arrangements have been designed to minimise physical and visual impacts on significant fabric. The new development retains vehicular access points in their existing locations along Middlesex Road and Kent Road, thereby avoiding the introduction of additional crossovers and preserving the established rhythm of the boundary fence. The proposed works necessitate only minor and localised demolition within existing fence openings to facilitate access to the new basement and vehicular entries. Importantly, these interventions are confined to previously altered sections of the fence and do not entail wholesale removal of early fabric.

Additional minor openings are proposed within selected brick panels of the boundary fence to provide pedestrian access to the new buildings of the infill development and adapted heritage buildings. These alterations are limited in extent and will be detailed to respect the materiality, scale and craftsmanship of the original fence. The retention of the substantial majority of the early boundary structure ensures that its contribution to the understanding of the site's former institutional use and its historic presentation to the street is maintained. The legibility of the site as a cohesive institutional complex will therefore remain intact.

6.2 Infill development

The proposed new infill residential development has been designed to respond appropriately to both the retained heritage buildings on site and the broader character of the Surrey Hills English Counties Residential Precinct.

Setback and siting

The siting, orientation, and setbacks of the new development are broadly consistent with prevailing patterns within the precinct and avoid projecting forward of key heritage façades, thereby preventing the new buildings from dominating, or visually competing with the heritage fabric. The new residential buildings to the north and the east of the heritage buildings have been sited to match the existing heritage building on site or are set behind the building line of the heritage buildings, maintaining the significance of the heritage structures (Figure 28).

The stepping back of the upper residential levels would create a distinct separation between any new development and HO670 and would reduce the perceived bulk of the new development from a pedestrian perspective. Further, the provision of these setbacks would allow for sufficient space for landscaping, which would soften the visual impact of the new development.

Scale, bulk, form and massing

Middlesex residences

The scale of the new building transition across the site, stepping from two storeys to the north to four storeys near the heritage buildings along Middlesex Road (Figure 28). The stepped form of the new development would ensure that the new development is in line with the single and double storey residences generally observed within HO670 (Figure 27). Upper level of the new development is further setback from the streetscape, reducing perceived bulk and visual impact when viewed from the public realm. Importantly, the new buildings remain lower than the roof ridgelines of the Chapel and the c.1889 building, ensuring that these heritage buildings retain visual primacy in key views from Kent and Middlesex Roads (Figure 28 and Figure 29).

The massing of the new buildings is broken up in three blocks to the north of the site by the introduction of glazed links in between the new built form. The introduction of the glazed links reduces the solid built form at the subject site. The design of the new facades is articulated in a contemporary style which does not imitate the heritage buildings but is sympathetic to the surrounding context.



Figure 27 Perspective of the proposed development showing new works adjacent to existing residential development within HO670, with the heritage buildings in the background (street trees removed for clarity)
Source: Woods Bagot Design Report, pg. 35



Figure 28 Proposed west elevation along Middlesex Road showing the stepped form of new development
Source: Woods Bagot

Durham residences

The proposed development has been carefully conceived to respond to the established heritage character of the site and its surrounds, ensuring that the significance of the place is conserved and clearly legible within its evolving urban context. The stepped form of the new development along Kent Road and Durham Road reinforces the prevailing built form rhythm of the streetscape and provides a respectful transition in scale between the existing heritage buildings and the surrounding development within the HO670 precinct. As illustrated in the architectural drawings (Figure 29 and Figure 30), the proposed infill residential building at the corner of Durham and Middlesex Roads has been deliberately set below the roof ridge line of the main building. This height differentiation ensures that the original structure retains visual primacy when viewed from the public realm, particularly from key pedestrian vantage points along Kent, Durham, and Middlesex Roads (Figure 31).

The upper levels of the infill development are recessed to reduce apparent bulk and visual impact. This setback establishes a datum line that aligns with the eaves and parapet heights of the heritage buildings, maintaining the

established horizontal emphasis of the streetscape. From a pedestrian perspective, the perceived scale of the new built form remains consistent with the contributory buildings within HO670, thereby safeguarding the prominence and legibility of the heritage fabric. The modulation of massing and articulation further ensures that the new work reads as a contemporary addition that is recessive in character, allowing the heritage buildings to remain the dominant elements within the site. The heritage buildings will remain the primary visual and historical focus of the precinct, while the new work will read as a contemporary yet sympathetic layer that supports the ongoing use and sustainability of the place.

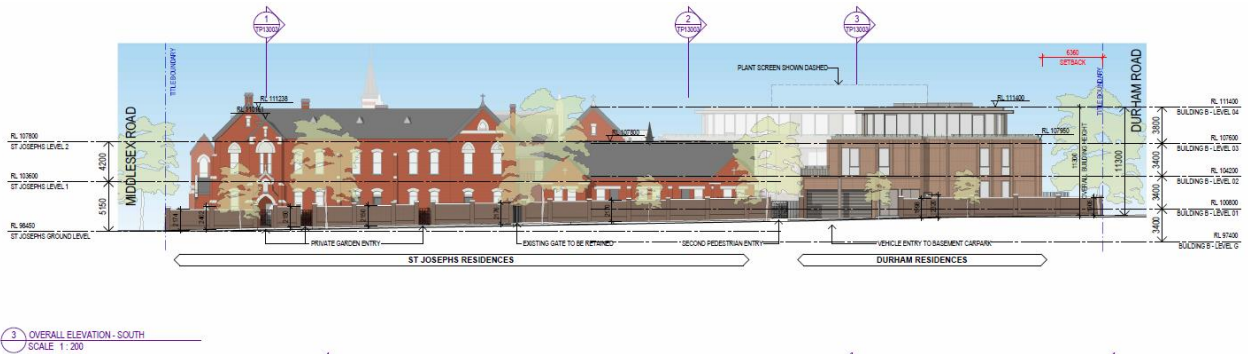


Figure 29 Proposed south elevation along Kent Road showing the stepped form of new development
Source: Woods Bagot



Figure 30 Perspective of the proposed development showing new works adjacent to main building along Kent Road (street trees removed for clarity)
Source: Woods Bagot Design Report, pg. 36



Figure 31 Perspective of the proposed development showing new works adjacent to the heritage buildings on site and the residential development of HO670 as viewed from the intersection of Kent and Durham Roads (street trees removed for clarity)
Source: Woods Bagot Design Report, pg. 38

Materials and finishes

Architecturally, the new buildings incorporate articulated façades, complementary materials, and roof forms that sit comfortably alongside the heritage buildings while clearly expressing their contemporary character, in accordance with Clause 15.03-1L strategies for development within and adjacent to heritage places.

The proposed material palette adopts a restrained and muted range of medium to light brick tones as a contemporary interpretation of the red brick masonry that characterises the site’s most significant heritage elements, including the main building, the chapel and the boundary wall. The use of lighter-toned brickwork provides a complementary backdrop to the darker, highly articulated heritage fabric, ensuring that the significant buildings remain visually prominent within the site and maintain their heritage significance within HO670. This calibrated approach to materiality allows the new development to read as recessive and secondary, while still achieving visual coherence with the established palette of the heritage place, thereby reinforcing and respecting the existing character of the HO670 precinct.

6.3 Landscaping

The introduction of landscaped open space to the north and east of the main heritage building provides an appropriate level of spatial separation between the existing heritage buildings and new development. This separation enhances the ability to read the c.1889 building and Chapel as distinct heritage elements within the site, preserves key views to these buildings from the public realm, and reduces visual competition between old and new. The landscaped areas also offer opportunities for interpretation that could further communicate the site’s history and cultural significance.

7.0 Conclusion

Overall, the proposal represents a balanced and heritage-responsive approach to redevelopment that retains and conserves buildings and elements of primary significance, supports the removal of intrusive or lesser-value fabric, and introduces new development that is appropriately scaled, sited, and designed in relation to the heritage place and precinct.

The new residential development anticipated at the subject site provides an opportunity to rejuvenate a neglected site that has not been in use to its full potential. The proposed residential development would provide a balanced outcome within the contemporary planning context that requires the construction of new residences while maintaining the significance of heritage places.

The works have been sensitively designed to respond to the identified cultural heritage values of the subject site as well as the wider HO670. The new infill development and the adaption of the heritage buildings on site aims to maintain the cultural heritage significance, character and appearance of the former St Joseph's Boys Home and the Surrey Hills English Counties Residential Precinct. The proposal will facilitate the long-term conservation and adaptive reuse of the site while enabling its integration into the residential context.