

This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright



7-15 Horne Street, Elsternwick / Urban Design Advice – Rev 1

1 Introduction

Purpose

Urbis Urban Design has been engaged by Auyin Development to assist with the design of a proposed mixed-use development proceeding through the Development Facilitation Program at 7-15 Horne Street, Elsternwick (the Site). Our engagement has included the preparation of a suite of key Urban Design Principles, drawn from a review of the physical and policy context, to guide the design response of the proposed scheme.

This memo assesses the Architectural Plans dated 05/06/26 Rev A (the 'Revised Scheme') against:

- matters raised in the Urban Design Memorandum prepared by DTP Urban Design dated 20/04/26,
- the key Urban Design Principles,
- provisions of DDO10, being the primary assessment tool from an urban design perspective,
- the previous 2019 VCAT decision and other strategic policy context.

Summary of DTP Urban Design matters

The following provides a summary of urban design matters raised in the DTP Urban Design Memorandum dated 20/04/26 and where each matter is addressed in this advice:

- Blank wall on north-west edge of plaza: Section 3 'Public realm contribution' (pp. 4-5)
- Lois Lane interface further resolution: Section 3 'Lois Lane and rear interface' (pp. 6-7)
- Tower design excellence including upper-level cap design and rooftop plant integration: Section 5 'Criteria to exceed preferred maximum height - design excellence - appearance' (pp. 15-16).

Background

In October 2019, VCAT granted a permit for an 8 storey / 31.7m development on the Site. Following the permit being granted, in November 2024 a subsequent amendment was approved to allow for a 9 storey / 31.7m development for the Site (the 'Approved Scheme').

Since the original VCAT decision, there have been some notable changes that have occurred in both the physical and planning context in the Elsternwick activity centre.

- Firstly, a number of new developments have been either constructed, approved, or both, since the 2019 VCAT decision. This includes a range of developments rising 8-12 storeys, such as:
 - 11 storey building at 24-28 Riddell Parade (approved and constructed);
 - 10 & 11 storey (33.6m-36.12m) development at 10-16 Selwyn Street (approved); and
 - 12 storey building at 233-247 Glen Huntly Road (approved pre-2019 VCAT decision, constructed post-2019 VCAT decision);

This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright



- Secondly, in 2023 Council adopted a revised Structure Plan for Elsternwick (the draft 2023 Structure Plan) – being a revision of the original 2019 Structure Plan which underpins DDO10. The draft 2023 Structure Plan identifies a preferred maximum height of 8 storeys / 31m on the Site, whereas the 2019 Structure Plan and DDO10 recommend a building height up to 12 storeys.

The draft 2023 Structure Plan has been publicly advertised under Planning Scheme Amendment C256 but yet to be tested by an independent panel.

- Thirdly, in 2025 *Plan for Victoria* was released which named Elsternwick activity centre as one of 60 centres that has been '*prioritised to accommodate additional housing taking into consideration market readiness, transport capacity, access to jobs and services...*'. In February 2026, Elsternwick activity centre was selected under Stage 2 of the Activity Centres Program, elevating its status and appetite for it to cater new housing growth. Maps released identify:
 - All land (including the Site) within the core 'Train and Tram Zone' containing a proposed building height range of 5-12 storeys, acknowledging this is to be consistent with the draft 2023 Structure Plan.
 - Adjacent residential land in Ross Street within the 'Inner Catchment' containing a building height range of 4-6 storeys.

In summary, the strategic context of Elsternwick activity centre has changed since the 2019 VCAT decision. It has changed again since the draft 2023 Structure Plan was prepared and advertised. The 2023 Structure Plan heights proposed for the Site were established prior to the new broader uplift in heights around the Elsternwick activity centre, especially in this case, in context of the Ross Street Inner Catchment.

These changes have informed the assessment of the Revised Scheme from an urban design perspective as set out below. However, DDO10 remains the current and primary mechanism to guide the scale, massing and design of future development of the Site.

2 Urban design principles

Based on a review of the physical, policy and evolving context as set out above, a series of urban design principles have been developed to guide the future development of the Site. In response to the release of Stage 2 Activity Centre maps, it is noted that Urban Design Principle 6 has been updated since previous engagement with DFP.

- **Urban Design Principle 1** – Leverage the large site size in the heart of the Elsternwick Activity Centre and within 50m of the station and tram to provide for substantial housing growth in line with the changing policy context.
- **Urban Design Principle 2** – Enhance the existing laneway to improve the journey to the station through the site for existing and future residents in the Ross Street pocket to the west.
- **Urban Design Principle 3** – Incorporate a new open space in the north corner of the site on the desire line to the station that serves as a vibrant, high amenity public alfresco space.
- **Urban Design Principle 4** – Ensure the podium responds to the unique elements of the Elsternwick Village character including traditional fine grain shopfronts, continuous weather protection, vertical rhythm, masonry grid facades with punched openings and window symmetry.

This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright



- **Urban Design Principle 5** – Along Horne Street, respect existing street wall heights while responding to the 4 storey podium height sought in the draft 2023 Structure Plan through variation in height and modulation.
- **Urban Design Principle 6** – Ensure the podium is designed to respond to the slope of land, by transitioning down from the taller emerging podium character along Horne Street to the more sensitive southwest interface, recently earmarked for development up to 6 storeys.
- **Urban Design Principle 7** – Design tower form with legible façade articulation applying a refined materials and colour palette that gestures to the street wall modulation and rhythm.
- **Urban Design Principle 8** – Ensure development provides an appropriate level of amenity to neighbouring properties, acknowledging their identification as a 'Housing Opportunity' in the draft Structure Plan.
- **Urban Design Principle 9** – Provide for high amenity communal open spaces not included in the Approved Scheme.

3 Assessment – Ground Floor

Horne Street

Urban Design Principle 4 and DDO10 Design objectives seek new development to respond sensitively to heritage character of Elsternwick Village. DDO10 includes a range of Building Design requirements relevant to the ground plane including use of high quality materials, visible entries, integrated services, active edges, weather protection, visually interesting façades that draw upon streetscape character and fine grain rhythm.

The proposed frontage to Horne Street comprises a hard-edge character, with its northern half dedicated as new public space.

Along the 'hard edge' half of the frontage towards the south, the Revised Scheme incorporates two retail tenancies and a residential lobby each approximately 6.5m wide, reflecting the fine grain rhythm found within the surrounding streets, in line with Urban Design Principle 4 and DDO10. This responds to DFP comments for small, granular shopfront tenancies to support long-term diversity and adaptability.

Each tenancy is proposed to be clear glazed, spaced by expressed pilasters and planters sitting between each tenancy. The glazed façade line is proposed to be setback 1m and behind the pilasters to modulate the Horne Street façade, contributing to visual interest and façade depth but maintaining a hard edge. The main lobby entry is inset to distinguish it along the frontage. An awning is proposed at an appropriate height and depth to provide meaningful weather protection to pedestrians. These design features respond to Building Design requirements set out within DDO10.

Public space contribution

Urban Design Principles 2 and 3 seek to enhance the existing journey from Ross Street to the station, and provide for a new high amenity public space along the route. DDO10 Design objectives encourage developments on land within urban renewal areas, such as the Site, to provide a significant benefit for the Elsternwick community.

In response, the Revised Scheme introduces a new 130m² public space at Ground Level, incorporating a pedestrian link, landscaped plaza and connected café spill-out terrace space. This contributes a meaningful

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**



public realm offering in the heart of the Elsternwick Activity Centre in 50m proximity to the train station and route 67 tram to the benefit of the surrounding community. It has been strategically placed on the north-east corner of the Site, easily accessible and within a short distance to the station for pedestrians and passers-by.

The public open space comprises the following attributes:

- Northern aspect to capitalise on sunlight exposure in winter months while covered to provide shading through summer months (Figure 1).
- Double height volume to contribute to a public feel, sense of space and increase natural light (Figure 2).
- Pedestrian link from Lois Lane through to Horne Street, providing a direct, clear and universally accessible connection from Ross Street residential pocket through to the station (Figure 3).
- Plaza space designed to the slope, comprising two steps across it, with a third step up to the café spill-out space. Both the plaza and pedestrian link have been carefully designed to address level transitions, ensuring DDA compliance while minimising reliance on high handrails or balustrades.
- Retail anchor and café spill-out space positioned along the inside edge of the public space, incorporating an entry from the plaza and pedestrian link, to enhance activity, vibrancy and engagement throughout the space. The spill-out area has been designed with appropriate dimensions (approx. 2.2m wide) to accommodate its desired alfresco dining function. The space has been designed to be integrated with the public open space and slope, avoiding any physical barriers through the use of planter beds, rather than high balustrades.
- The façade line of the proposed café/restaurant space is designed to be clear glazed to enhance visual connectivity and incorporating a low brick stall riser, landing it on the ground.
- Integrated landscaping helps to cater for slope across the public space, while helping to encompass structural columns and wind mitigation measures. Planters have been designed with appropriate soil depth to provide meaningful planting outcomes and designed with embedded seating on its edges.

While DTP Urban Design expressed support for the inclusion of the public plaza space, concerns were raised in relation to the blank wall condition along its north-west edge. To address this concern, the following design changes have been made:

- The wall has been modulated through changes to internal programming & resizing of the substation helping to break up its extent in view lines from the public realm.
- A highlight window has been introduced to the café bathroom abutting the plaza that will provide visual interest to the wall and in turn contribute some natural light into the bathrooms.
- A two-tier planter bed design has been introduced that will create two layers of vegetation with varying height.
- Variety of textures through use of brick and off-form concrete applied to the wall as shown on north-east elevation (TP200-A).
- Wrapping of the proposed mural from Lois Lane into the plaza.

These changes, combined with the café spill-out space, are considered to respond to DTP Urban Design concerns.

This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright

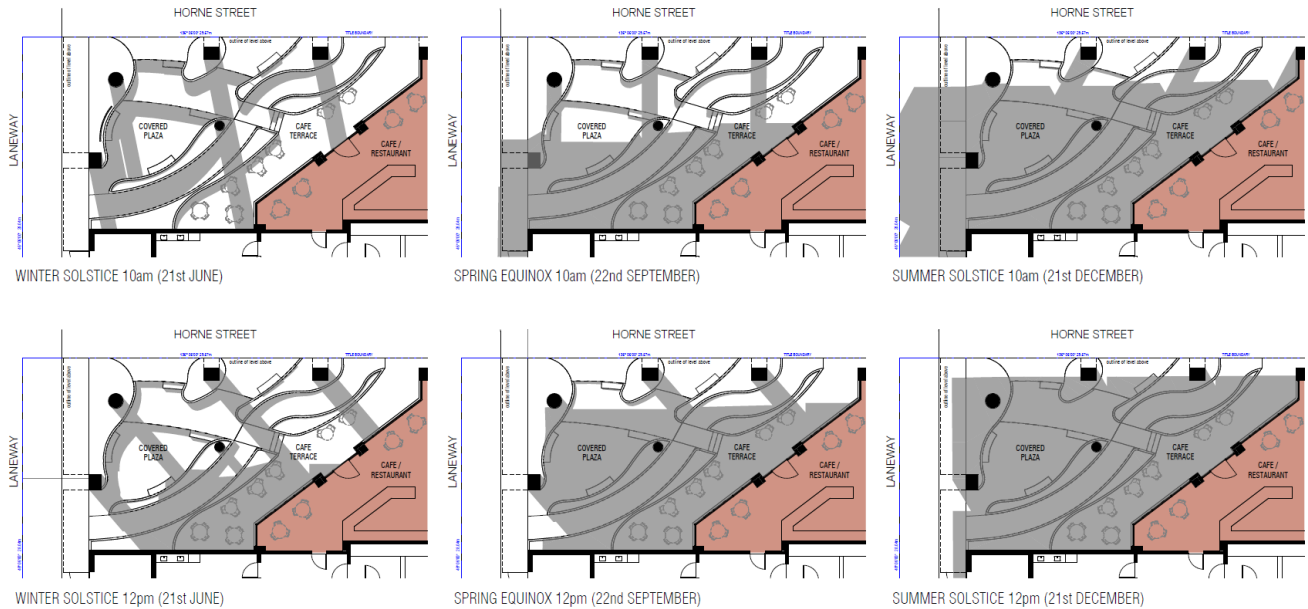


Figure 1 – solar diagrams (source: CBG)



Figure 2 – Proposed public open space in views from Lois Lane (source: 4D studio)

**ADVERTISED
PLAN**



Figure 3 – Proposed public open space in views from Horne Street (source: 4D studio)

Lois Lane and rear interface

Along the north-west side interface and in line with the Approved Scheme, Lois Lane has been widened to support pedestrian movements from Ross Street properties to connect to the new open space through the Site, in line with Design Principle 2.

The vast majority of services and vehicle access have been directed to the rear of Lois Lane and the rear laneway, ensuring the prioritisation of activation along Horne Street. As a result, the back half of Lois Lane and the rear laneway are proposed with blank wall conditions.

DTP Urban Design raised concerns with the proposed scheme relying on anti-graffiti coating to treat the blank wall. In response, the Revised Scheme includes off-form concrete in horizontal and vertical expression as illustrated in the comparison below.

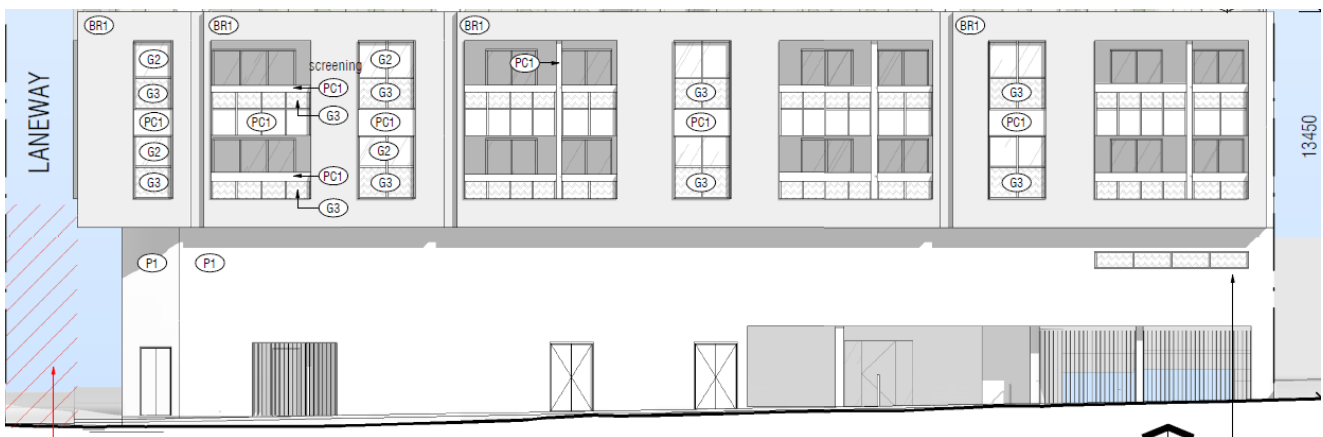


Figure 4 – Proposed Scheme (superseded)



Figure 5 – Revised scheme (TP201-A)

Summary

Overall, the Revised Scheme presents a high quality ground floor response in line with key Urban Design Principles and DDO10, by contributing substantially to the public realm through a new high amenity public open space, widened footpaths and good quality activation along priority edges.

4 Assessment – podium

Context

Along Horne Street, street wall heights and streetscape grain is mixed (Figure 6). To the southeast of the Site, the street walls range from 1-3 storeys high, with one office building rising 5 storeys high. Northwest of the Site, fine grain shopfronts rise 1-2 storeys. Opposite the Site, street walls rise between 1-3 storeys.

Lots have varying frontage widths. Finer grain lots (the Site's immediate neighbours, along with traditional shopfronts on Glenhuntly Road) are generally 6-7m in width, whereas more coarser grain lots are double or triple as wide. Infill development on the opposite side of the street has been articulated to resemble the fine grain pattern.

Overall, there is a mix in heights, grain and style.

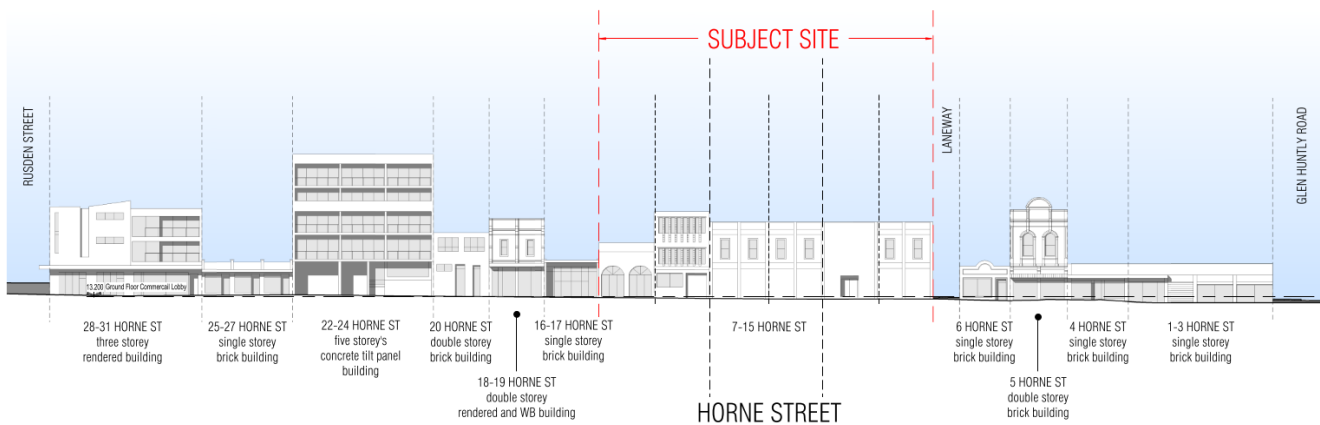


Figure 6 – Horne Street elevation (source: CBG)

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**



Urban Design Principle 4 states new development should *'Ensure the podium responds to the unique elements of the Elsternwick Village character including traditional fine grain shopfronts, continuous weather protection, vertical rhythm, masonry grid facades with punched openings and window symmetry.'*

Along Horne Street, Urban Design Principle 5 seeks development to *'Respect existing street wall heights while responding to the 4 storey podium height sought in the draft 2023 Structure Plan through variation in height and modulation.'*

Along Lois Lane, Urban Design Principle 6 seeks to *'Ensure the podium is designed to respond to the slope of land, by transitioning down from the taller emerging podium character along Horne Street to the more sensitive southwest interface, recently earmarked for development up to 6 storeys.'*

DDO10 Building design requirements seek development to provide a human scale built form response, clear separation between podium and upper form to integrate with traditional streetscape character and incorporate contextually-responsive design through design features of traditional streetscapes in addition to high quality materials, textures and colours.

DDO10 Precinct F seeks podiums to rise 3 storeys / 13m (including parapets). Notably, the draft 2023 Structure Plan varies this along Horne Street, and instead recommends a discretionary 4 storey podium for the southeastern part of Horne Street (including the Site), stepping down to 3 storeys northwest of Lois Lane. As outlined in the Context Analysis Report prepared by CBG architects, a detailed streetscape analysis of the Elsternwick Village character has been prepared.

Podium massing

Along Horne Street, in response to the mixed character, broad frontage and policy context, the podium is designed as a series of modules that step up incrementally in height towards the north-east corner.

On south-eastern third, the podium rises 3 storeys/12m, providing a comfortable transition to the existing one storey street wall to its immediate south while sitting within the preferred 13.5m height. If land at 16-20 Horne Street were to be assembled, it is likely to include a 3-4 storey podium, complementing the proposed.

On the balance of the Horne Street frontage, and wrapping the corner into Lois Lane, the podium steps up in height to 4 storeys/16m (approx.). While exceeding the 13.5m podium height, the height variation is assessed to respond to the eclectic height context along Horne Street, create diversity of form along the broad 40m frontage, and avoiding a uniform response. The gap created by Lois Lane helps transition to 1-2 storey context further north. In addition, the podium achieves Urban Design Principle 5 for new development to respond to the proposed 4 storey street wall height sought in the draft 2023 Structure Plan. Therefore, this height variation along Horne Street is considered acceptable.

Along Lois Lane, the 4 storey podium holds the corner, stepping down to 3 storeys (plus mezzanine)/14.6m to the rear in alignment with the downward slope of land. The step in height helps moderate the built form transition between the taller emerging podium character along the primary street, to the more sensitive south-west interface in line with Urban Design Principle 6. This transition to the adjacent residential land is discussed in more detail below.

Podium detailed design

Figure 7 illustrates the proposed architectural expression of the podium. The design draws upon the local character analysis prepared within the submission pack, Urban Design Principle 4 and DDO10 Design requirements.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**



As discussed above, the podium is designed as a series of modules that vary in height across the frontages. The podium separates Ground and upper podium levels.

A key character trait of the Elsternwick Village character is that Ground Floor is commonly distinct from levels above and separated by a horizontal break which is generally in the form of an awning. In response, at Ground Level, the Revised Scheme is clearly distinguished from upper podium levels due to the ground level tenancy setbacks, glazed treatment and the void space created by the plaza. Columns and expressed pilasters treated in brick carry to ground, creating a cohesive podium expression and a solid base. Along the south-east side of the Horne Street frontage, an awning is proposed to reinforce the horizontality found in more traditional shopfronts.

In upper podium levels along Horne Street and into Lois Lane, the modules are proposed approximately 6.5m which responds to the 6–7m wide grain typical in the Village and treated in brick to reinforce solidity. Windows and balconies read as punched openings in the façade. Modules are distinguished through subtle recesses that carry a similar but slightly different brick pattern, creating dimension to the façade.

In response to DTP Urban Design commentary to update the tower expression, the brick treatment of the podium has been proposed in a lighter colour to the Proposed Scheme, to create a better tonal contrast with the tower form. This is an appropriate change that responds to the colours and tones found in Elsternwick village.



Figure 7 – 3D view of podium from Horne Street (source: 4D studio)

Summary

In summary, the podium is designed to respond to the existing Elsternwick Village character, together with DDO10 and emerging context and is considered an appropriate response from an urban design perspective.

5 Assessment – tower height and massing

Context

DDO10 objectives seek 'to encourage well designed mixed-use development that supports the housing and economic needs of the Elsternwick activity centre' and 'to encourage developments in urban renewal areas and on strategic sites that provide significant benefit for the Elsternwick community'.

Precinct F contains a maximum height of 43m, comprising up to 12 storeys for the Site.

The maximum height provisions in DDO10 are discretionary, which implies there are circumstances where greater height may be appropriate. Relevantly, for an assessment of an application which exceeds the preferred maximum height, the decision guidelines include:

- *Whether any building in Precinct [...] F that exceeds the maximum preferred building height:*
 - *Demonstrates that the development includes the provision of significant community benefit; and*
 - *Do not create unreasonable impacts on the amenity of sensitive interfaces as a result of additional height; and*
 - *Demonstrates architectural design excellence.*

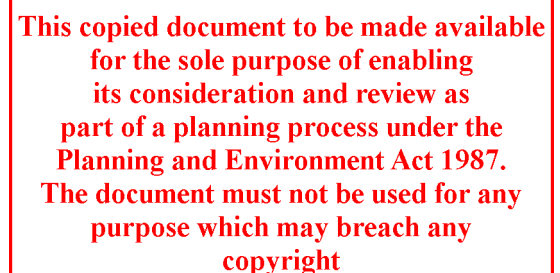
Other DDO10 decision guidelines seek to consider:

- *Whether development responds to the design objectives set out in Clause 1.0 to this schedule.*
- *The extent to which proposed buildings respect the preferred scale and form of development, particularly when viewed from the pedestrian network.*
- *Whether proposed buildings are sensitively designed to avoid views into secluded private open spaces and habitable room windows of dwellings on adjacent land.*
- *The impact of overshadowing to the public realm, and*
- *Whether development in Precinct C, D, E or F demonstrates a high level of architectural quality and makes a positive contribution to the public realm.*

In the 2019 VCAT decision, the Tribunal raised concerns that the 14 storey/59.8m proposal was too tall compared to the emerging physical context, being almost double the height of other developments approved and constructed within the activity centre.

Instead, the Tribunal found that the preferred 12 storey / 43m height in Precinct F of DDO10 as a more appropriate benchmark, and 'not dissimilar to the range of heights in existing approvals and constructed developments'.

Furthermore, the upper-most floor is designed as a recessed 'cap' set back from each interface from levels below, limiting its visibility. As demonstrated in Figure 8 below, this means that it will not add to the visual impact of the buildings in views from street level.



11

ADVERTISED PLAN



Oblique views further reinforce that the upper level will be largely concealed in views. Figure 9 illustrates that the upper floor will almost entirely be concealed when viewed from northern footpath of Glenhuntly Road.



Figure 9 – view from northern footpath of Glenhuntly Road (source: CBG)

Further afield from the intersection of Nepean Highway and Glenhuntly Road, the upper floor will partially be visible. However, due to its generous setbacks (3m from the northwest and 5m from the southwest edges of the level below), in combination with its architectural composition and alignment with the mid-tower form, it is considered to be an appropriate response from this more robust and distant view point.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**

ADVERTISED PLAN



Figure 10 – View from footpath at northeast corner of intersection of Nepean Highway and Glen Huntly Road (source: CBG)

The tower form is proposed to setback 4m from the podium on Horne Street, 4.45m from Lois Lane (4.95m from the laneway centreline), 5m from the southeast and southwest boundaries in line with the Approved Scheme.

3D views above demonstrate that the upper level setbacks ensure that the mid-tower form reads clearly distinct from the podium in line with DDO10 Building design requirements.

From the southeast, the tower setback maintains appropriate separation to ensure the equitable future development of immediate neighbouring land and will ensure sky views are maintained between forms as the street develops.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**

This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright



Criteria to exceed the preferred maximum height

- **Significant community benefit**

As discussed above, the Revised Scheme incorporates a range of community benefits from an urban design perspective including:

- 130m² new public open space, inclusive of plaza and pedestrian link,
- Laneway widening of Lois Lane, and
- Pedestrian activation to the laneway and Horne Street interface.

From an urban design perspective, this range and depth of community benefit sufficiently justifies the inclusion of an additional level above the preferred maximum height.

- **Design excellence**

Criteria to exceed the preferred maximum height under DDO10 includes demonstrating architectural design excellence. Architectural design quality is not merely about the external appearance of a building. Good design responds well to its physical and policy context, and the opportunities and constraints of the Site, and performs well in terms of its brief and the environment. These aspects of a development proposal can be assessed relatively objectively (including building appearance, which is subject to widely-accepted principles). Importantly, an assessment of a development proposal must also be based on the expectations set out within the DDO.

Therefore, it is considered appropriate to assess the design quality of the Revised Scheme on the themes set out below. It is noted internal amenity and environmental performance are also important criteria to assess design excellence. These matters are addressed in the planning report.

DTP Urban Design comments received on the original Proposed Scheme as set out in the Memorandum dated 20/04/26 are addressed under the 'appearance' section below.

- **Response to the strategic context:** In line with Urban Design Principle 1 and DDO objectives, the Site is a large site that has an excellent strategic location to provide housing growth. The Revised Scheme takes advantage of these strategic attributes, providing one additional level. Importantly, this additional height has been designed to respond to local context while managing off site amenity impacts as sought by DDO decision guidelines and discussed below.
- **Response to the site conditions:** The Site presents as a key candidate to cater for increased housing growth due to its 1,200m² size, positioning it as one of, if not the largest, urban renewal sites within Elsternwick activity centre. This is reinforced by its location within 50m from Elsternwick Station and tram line. The Site sits on sloping land and fronts street and laneway interfaces on 3 of its 4 edges.

In response, the Ground Floor layout has been designed to focus activation to Horne Street, in addition to providing passive surveillance at upper levels. Ground floor and podium levels have been designed to respond to the slope and carefully considering level changes through design. A detailed assessment of the Ground Floor and Podium response is outlined at Section 3 and 4 of this memo, concluding that the Revised Scheme responds appropriately to site conditions.

- **Response to the public realm interfaces:** The development interfaces with Horne Street, Lois Lane and a rear laneway. A detailed assessment of the response to these interfaces is outlined at Section 3 of this memo.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**



- **Response to the neighbours:** In relation to the immediate neighbour at 16-17 Horne Street, the Revised Scheme does not vary from the Approved Scheme, aside from an increase in height. It presents a 3 storey blank wall with a generous 3.5m x 6m light court from Level 01 upward. The tower form is proposed to setback 5m above. This ensures an appropriate interface response and even with additional height, preserves the future development potential for the neighbouring property if it were to assemble and develop in the future. This is considered to continue to be an appropriate response to 16-17 Horne Street. A response to rear interfaces is discussed further below.

- **Appearance:**

DTP Urban Design raised concerns with the tower expression of the Proposed Scheme not meeting expectations for design excellence. Primary concerns raised included its predominant glazing resulting in a commercial-like form lacking material depth and coherence. A more refined expression that employs robust materials and high quality materials is sought, that responds to the surrounding character. A range of design ideas prepared by DTP Urban Design were suggested, including:

- Introduction of expressed masonry or off-form concrete elements,
- More solid or semi-solid balustrading in a material consistent with the podium palette,
- Further development of the three-level banding to avoid a flat facade and create genuine depth, and
- Further resolution of the upper cap and avoid a cold commercial outcome.

These have been considered in the Revised Scheme, as set out below.

The Revised Scheme maintains an architectural expression that is based on a grid design that extends across its base, middle and top.

The tower façade maintains its original concept of three-level horizontal banding. Between the stronger three-level banding, finer grain articulation is introduced through individual expressed slabs and vertical strips. Solid panels at irregular intervals sit within the grid, that help to solidify the façade and reduce the extent of glazing.

More genuine façade depth has been introduced through the 'push and pull' of the three-level banding that now protrudes from the main façade line, along with variation in façade panel widths and geometries. As demonstrated in photomontages, this creates façade depth through light and shadow.

Semi-solid balustrading has been introduced to create strong balcony runs. Tower balustrades are proposed in champagne bronze metal with open picket above, being a high quality finish designed coherently with the podium dark bronze balustrades.

The tower is proposed to be treated using CT1 Off-formed Concrete that is applied on a vertical and horizontal grain. This treatment has been introduced at Ground floor and within the plaza to improve overall cohesion.

The top-level cap has been designed using CT1 Off-form Concrete treatment in vertical panels between windows – tying it to the tower expression. Lift overrun is proposed to be treated using the same material, and screening will match the open picket detail found in balustrades. This is considered to be a well integrated design outcome that incorporates roof services while fitting within the overall expression.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**



The tower design responds to the character of Elsternwick Village by maintaining a strong and legible grid expression, reading as largely solid with punched openings and aligning with the grain through major and minor breaks in rhythm, as sought in Urban Design Principle 7.

Summary

In summary, the tower height and massing is considered to be an appropriate response to Urban Design Principles and DDO10, including key criteria to exceed the preferred height.

6 Assessment – Ross Street interface

Context

A DDO10 objective seeks *'to ensure an appropriate design response to sensitive interfaces, such as heritage or residential sites and open space.'*

Map 1 in the DDO schedule identifies a range of sensitive interface conditions. Importantly, land within the Ross Street precinct is not identified as a sensitive interface within the DDO map. This is presumably because the residential area fronting Ross Street is also identified for change through its RGZ1 zoning.

The draft 2023 Structure Plan builds on this, identifying it as within the Housing Opportunity Precinct. It states, *'This precinct allows for greater housing density and diversity because it is currently zoned to allow up to four storeys (RGZ) and is not in a heritage or neighbourhood character precinct. Over time the precinct will change to denser apartment living, some of which may accommodate affordable housing.'*

The strategic status of the residential area fronting Ross Street has been heightened again through the release of Stage 2 Activity Centres Program maps, which identifies the land within the 'Inner Catchment' containing a building height range of 4 storeys, up to 6 storeys on consolidated sites.

Although the residential properties neighbouring the Site could still be regarded as 'sensitive', the fact that this interface is not identified as a sensitive interface in DDO10, and has been elevated to cater for up to 6 storey development indicates that their residents should not expect the same level of amenity protection as those of properties at an identified sensitive interface.

Other relevant Buildings & works requirements under DDO10 state:

Buildings should:

- *Minimise overshadowing impacts on existing and future open spaces, commercial footpath trading areas and existing residential sites*
- *Provide separation between a low-scale podium and upper levels to assist in integration with traditional low-scale streetscapes and to assist in mitigating building bulk and overlooking (without reliance on privacy screens).*
- *Ensure active living areas (balconies, courtyards, terraces, lounges, kitchens, dining, etc.) maximise views, outlook, natural daylight and ventilation while managing overlooking and visual privacy for residents without the need for excessive screening.*

Relevant Decision guidelines under DDO10 state:

- *Whether proposed buildings are sensitively designed to avoid views into secluded private open spaces and habitable room windows of dwellings on adjacent land.*

Built form transition

Urban Design Principle 6 seeks to 'ensure the podium is designed to respond to the slope of land, by transitioning down from the taller emerging podium character along Horne Street to the more sensitive southwest interface, recently earmarked for development between 4-6 storeys.'

To the rear, the Revised Scheme includes Ground Level and Ground Level Upper setback 2.4m to widen the laneway, with upper podium levels cantilevering over, rising 14.2m. The mid-tower form rises above, setting back 5m from the property boundary, with the Level 12 cap set back 9.8m above.

In the 2019 VCAT Decision, the tribunal raised concerns regarding the abrupt transition created between the previously proposed 14 storey/59.8m scheme, and the immediately adjacent residential land rising 4 storeys/13.5m.

Figure 11 demonstrates this previous abrupt transition, compared with the current proposed scheme and emerging future heights in Ross Street (as per the Activity Centre Program). The transition is significantly improved.

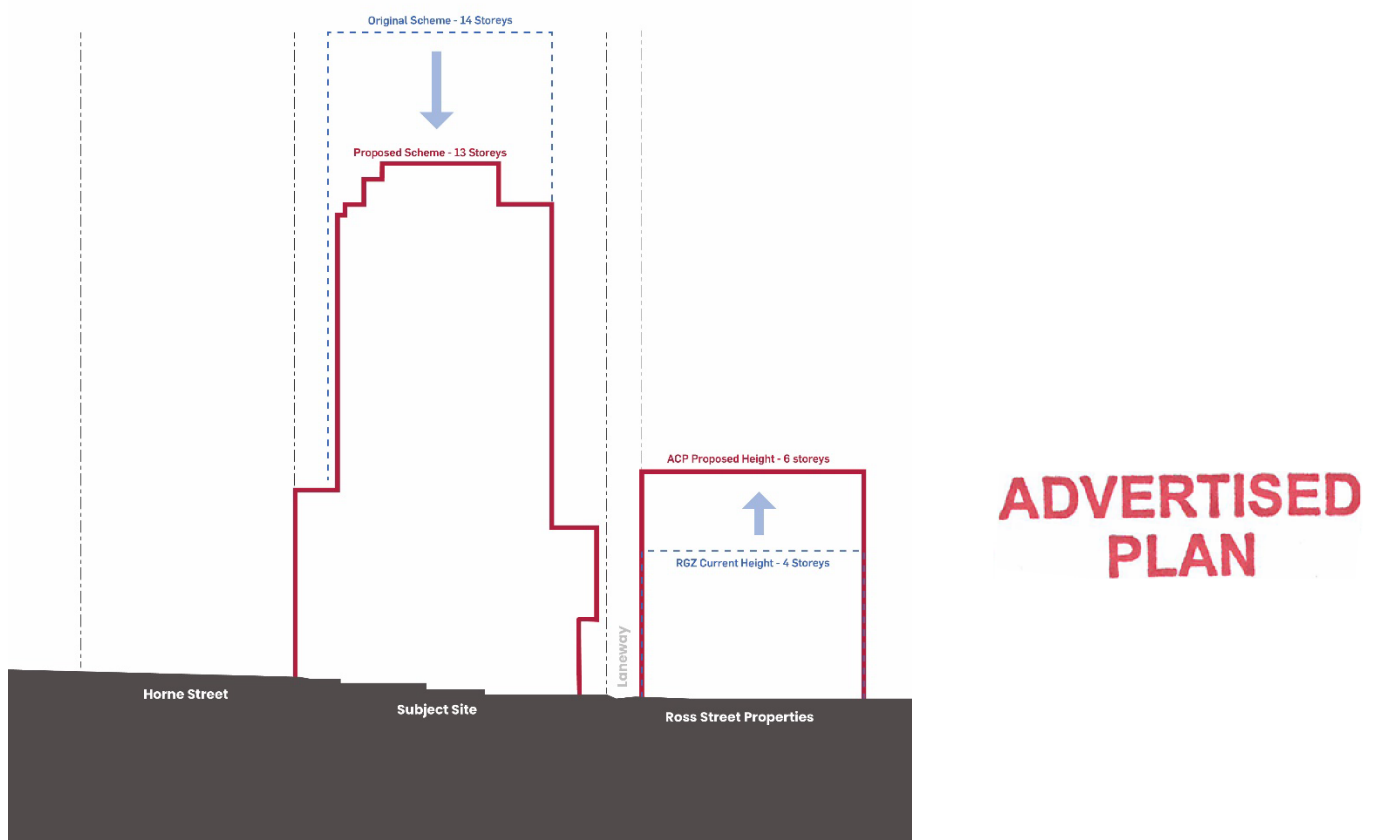


Figure 11 – Transition between Site and Ross St properties

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**



Therefore, in context of the Site within the core of the Elsternwick activity centre within 50m of the station and earmarked for transformative change, the built form transition between the Revised Scheme and Ross Street properties is considered appropriate.

Overshadowing

Shadow plans have been prepared to assess the shadow impact to SPOS of Ross Street properties at the September equinox. The shadow diagrams compare the impact to SPOS between the Approved Scheme of 9 storeys, compared with the proposed scheme of 13 storeys. Importantly, the design and massing of the Level 12 top level 'cap' ensures it will not cast any additional shadow beyond a DDO-compliant form, and no shadow is cast beyond that deemed acceptable by the 12-storey Council proposal.

Shadow plans demonstrate that when compared to the Approved Scheme, the additional shadow impact on SPOS is minor. This additional shadow is summarised as follows:

- 15 Nepean Highway: at 9am, the rear backyard will receive a minor additional shadow, until approximately 9:30am and excellent sun for the remainder of the day.
- 17 Ross Street: at 9am, the rear apartment contains a balcony facing southeast that will receive additional shadow, until approximately 9:30am. Between 9:30am and 11:30am (approx.) it will receive good levels of sunlight, before the building overshadows itself for the rest of the day.
- 15 Ross Street: at 9am, part of the rear SPOS will experience additional shadow. However, by 10am shadow would have moved from the backyard, with relatively good levels of sunlight received from 12:30pm onwards.
- 12 Ross Street: at 11am, a small area of rear SPOS will experience additional shadow. However, the backyard will receive good levels of sunlight in morning hours between 9-10am, and from 2pm onwards.
- 8 Ross Street: at 12pm, a small area of rear SPOS will experience additional shadow. As outlined in the shadow plans, this impact will result in a worsen shadow outcome for an additional 20 minutes. Considering the small size of the SPOS and the shadow cast by its existing fence, the SPOS will experience some small pockets of sunlight between 11-12pm and 2pm.

Weighing up this relatively minor cumulative impact of additional shadow compared to the strategic location of the Site and its contribution to housing growth in the Elsternwick activity centre, on balance these shadow impacts are considered to result in an acceptable outcome.

Visual bulk

The proposed height will have an impact on the existing amenity of the residential area to the southwest. However, due to the recessed nature of Level 12, this impact will match that sought by a DDO10-compliant form.

Regardless, the visual bulk impact will be largely determined by the podium in views from neighbouring private SPOS. The 5m upper level setback to the tower above will provide separation from the podium and help to mitigate building bulk in line with DDO10.

If Ross Street properties were to assemble and develop up to 6 storeys, given their widths and depth, the likely form of apartment development would be a configuration orientated primarily towards the street, and not

towards the rear of the Horne Street properties (Figure 12). This layout avoids facing apartments towards Horne Street, and the Site.

Therefore, visual bulk impacts of the proposed development are considered an acceptable outcome in this context.

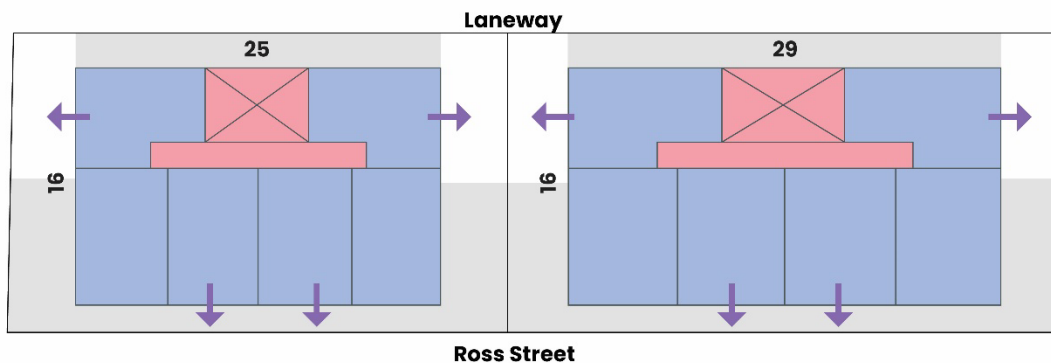


Figure 12 – Typical layout of upper levels applicable to adjacent properties in Horne Street

Overlooking

Across the rear lane, the Site has the following interfaces where overlooking impacts are to be considered (Figure 13):

- 22 and 24 Ross Street – both comprising rear backyards
- 16 and 20 Ross Street – both comprising a double storey dwelling with habitable windows facing the Site, and
- 14 Ross Street – comprising a rear backyard



Figure 13 – Typical layout of upper levels applicable to adjacent properties in Horne Street

The Revised Scheme includes a nuanced design response to address each neighbouring interface condition in line with DDO10 requirements and decision guidelines. These responses are described as follows:

- Ground Floor Upper: the Communal Health Facility/Studio contains a window with obscure glazing up to 1.8m to avoid direct views to 14 Ross Street.
- Level 1 and Level 2: habitable room windows where direct interface are proposed with frosted glass and balconies are proposed to incorporate angled balcony fins (rather than high screens) to avoid downward views, while maintaining good outlook for new residents.
- Level 3: balconies are proposed with planters combined with screens to avoid downward views.

Above, downward views are avoided within 9m.

Therefore, overlooking impacts of the proposed development are considered an acceptable outcome in this context.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**

**ADVERTISED
PLAN**

7 Conclusion

In conclusion, the Revised Scheme provides an appropriate response to the Urban Design Principles, DDO10 along with the strategic context associated with Elsternwick activity centre.

The Revised Scheme provides for a high quality Ground Floor contribution, including the provision of a new open space. It presents a modulated and contemporary podium that responds to its interfaces and key elements of the Elsternwick Village character. The tower form has been redesigned to achieve a high quality architectural outcome that responds to key criteria to exceed the preferred height and comments raised by DTP Urban Design. Offsite amenity impacts have been appropriately managed.

**This copied document to be made available
for the sole purpose of enabling
its consideration and review as
part of a planning process under the
Planning and Environment Act 1987.
The document must not be used for any
purpose which may breach any
copyright**

**ADVERTISED
PLAN**