

Planning Assessment Officer Report

PA2604395 – 161
McMahons Road, Frankston



Planning Assessment Officer Report
Development Assessment

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Department
of Transport
and Planning

OFFICIAL

Executive Summary



Key Information	Details												
Application No:	PA2604395												
Received:	12 May 2026												
Applicant:													
Planning Scheme:	Frankston												
Land Address:	161 McMahons Road, Frankston (Lot 2 PS527651T)												
Proposal:	Development of a school building and business identification signage associated with an existing education centre.												
Development Value:	\$ 11,540,443												
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the responsible Authority for this application because: The development is associated with a non governmental school comprising a development with an <i>estimated cost of development is \$3 million or greater.</i>												
Why is a permit required?	<table><tr><th>Clause</th><th>Control</th><th>Trigger</th></tr><tr><td>Zone:</td><td>Clause 32.08-10 General Residential Zone – Schedule 1 (GRZ1)</td><td><i>A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.</i></td></tr><tr><td>Overlays:</td><td>Clause 44.05-2 Special Building Overlay (SBO)</td><td><i>A permit is required to construct a building or to construct or carry out works</i></td></tr><tr><td>Particular Provisions:</td><td>Clause 52.05-2 Signs</td><td><i>A permit is required to construct or put up for display a sign in Section 2.</i></td></tr></table>	Clause	Control	Trigger	Zone:	Clause 32.08-10 General Residential Zone – Schedule 1 (GRZ1)	<i>A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.</i>	Overlays:	Clause 44.05-2 Special Building Overlay (SBO)	<i>A permit is required to construct a building or to construct or carry out works</i>	Particular Provisions:	Clause 52.05-2 Signs	<i>A permit is required to construct or put up for display a sign in Section 2.</i>
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Particular Provisions:	Clause 52.05-2 Signs	<i>A permit is required to construct or put up for display a sign in Section 2.</i>											
Cultural Heritage:	Not required.												
Referral Authorities:	Frankston City Council (s52(1)(b)) – No objection subject to conditions Melbourne Water (s55 determining) – consent subject to conditions												
Public Notice:	Notice of the application under section 52 of the Act was not required because the development does not have potential to adversely impact upon the interests of any third parties.												
Delegates List:	Not required.												



Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
Application lodgement	12 May 2026
Decision Plans	Plans prepared by Clarke Hopkins architects, dated 11 May 2026 SMP prepared by Ewenviroment, dated 8 May 2026 Green Travel Plan prepared by WENVIRONMENT and dated 8 May 2026.

2. The subject of this report is the decision plans (as described above).

Proposal Summary

3. The proposal seeks planning permit permission for the construction of a new senior learning building, and display of school business identification (logo) signage. Details of the proposal are as follows:

Buildings and Works:

4. The proposal requires demolition of the existing library and resource centre building and construction of a new two-storey Senior Learning Building.
5. The proposed new building will comprise the following:
 - A gross floor area of 1,618m² and a maximum height of 10.356 metres.
 - A finished floor level of 11.61m AHD, providing at least 300mm freeboard above the applicable 1% AEP flood level.
 - A general floor plan layout consisting of:
 - 16 classrooms
 - Breakout spaces
 - Staff rooms and staff lounge
 - Meeting rooms
 - Two large multipurpose rooms
 - Resource centre with quiet study spaces and quiet rooms
 - ICT room
 - Lift, storage areas and accessible amenities.
6. New landscaping around the building, including removal of 18 small planted trees and retention/protection of larger existing trees.
7. As part of this proposal, it is confirmed that there is no increase in student or staff numbers. Furthermore there is no changes to existing vehicle access, parking provision or site operations.

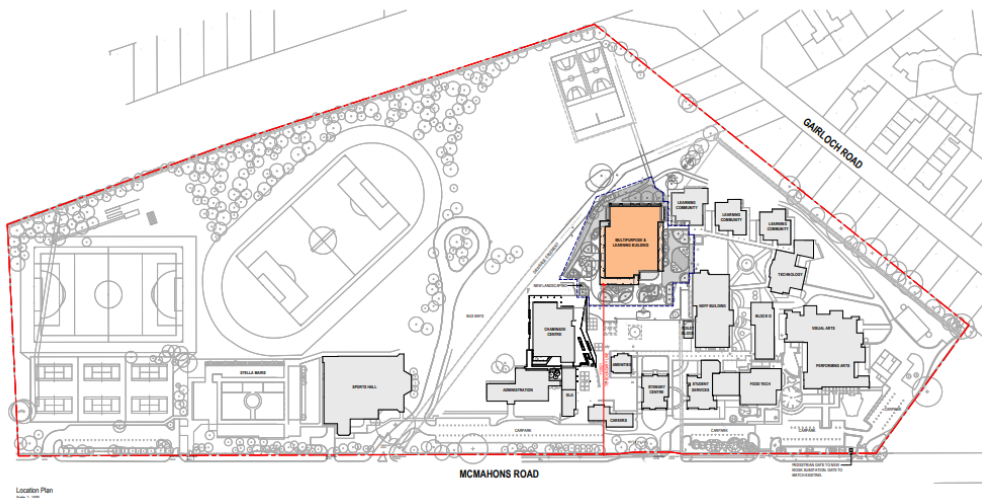


Figure 1: Proposed site plan extract



Figure 2: Proposed building plan extract



Figure 3: Proposed school building render - plan extract

Proposed Signage

8. Business identification signage on the eastern façade of the proposed Senior Learning Building.
9. Signage to display "John Paul College" in block lettering. The signage total display area will equate to 5.18m².
10. It is confirmed that there is no illuminated signage proposed.



Figure 4: Elevation plan depicting proposed business identification signage



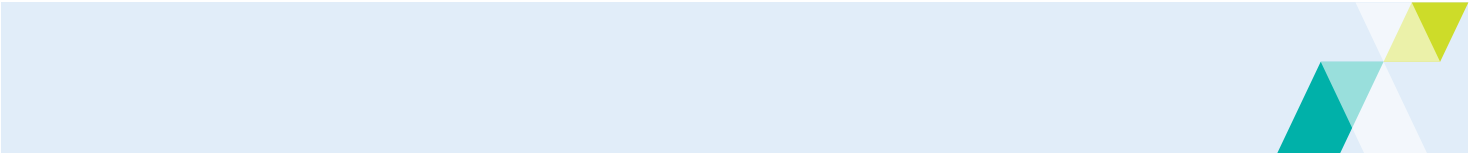
Site Description

11. The site is located at 161 McMahons Road, Frankston
12. The existing site comprises Saint John Paul College, which has occupied the site since 1979.
13. The site measures approximately 13.24ha and has a frontage to McMahons Road, and abuts Frankston Freeway.
14. The site is formally described as comprising the following land parcels:
 - Lot 2 PS527651T
15. There are several easements, restrictions or reserves on the site, as follows:
 - Easement E-1: Sewerage easement in favour of the lots on LP93133. The easement has a width of 2.44m and extends approximately 417m along the site's south-western boundary.
 - Easement E-2: Drainage and sewerage easement in favour of Melbourne Water and the lots on LP93133 and LP96142. The easement has a width of 6.10m and extends generally east-west through the centre of the site and connects with Easement 4.
 - Easement E-3: Powerline easement in favour of Melbourne Water. The easement has a width of 1.5-3.66m and extends into the site from McMahons Road at the north-eastern portion of the site.
 - Easement E-4: Drainage easement in favour of Frankston City Council. The easement has a width of 2m and extends along the north-west boundary of the site at a setback of 7.5 metres, to connect to Easement 2.
16. The proposed building will not impact the easements at the subject site.
17. The site is irregular in shape and consists of multiple school buildings, outdoor play space and sports facilities. Buildings are located in the northern portion of the site, or adjacent to the sites eastern boundary that interfaces with McMahons Road.
18. Vegetation at the site is generally limited to adjacent to the site boundaries, particular adjacent to the sites southwestern boundary that interfaces with the Frankston Freeway.
19. Vehicle access to the site is provided via McMahons Road. This includes 4 crossovers that provide access to the 4 car parking areas located across the site. The 4 car parking areas provide 148 car parking spaces and 7 bus parking bays.
20. Pedestrian access is also provided via McMahons Road, located adjacent to the pedestrian crossing



Site Surrounds

21. The site is located in a residential area approximately 830m northeast of the Frankston Metropolitan Activity Centre.
22. The site is bound by McMahon's Road to the east, the Frankston Freeway to the west, and residential land to the north and south.
23. Surrounding development predominantly includes single and double storey detached dwellings. An aged care facility is located immediately northeast of the site, featuring a 3 storey building with access provided via McMahon's Road.
24. Development surrounding the site can be described as follows:
 - To the **north** of the site: Directly north of the site is residential development to the north-west and the Skye Lodge aged care centre to the north-east. The residential lots to the north-west are predominantly single storey detached dwellings. Approximately 100m north of the site across Skye Road is the Peninsula Country Gold Club.
 - To the **south** of the site: Immediately south of the site is residential development, consisting of single and double storey detached dwellings. Approximately 900m south-west of the site is the southern area of the Frankston Central Metropolitan Activity Centre.
 - To the **east** of the site: Immediately east of the site is McMahon's Road which includes the John Paul College/ McMahon's Road bus stop. Residential development exists on the easter side of McMahon's Road, comprising of detached single and double storey dwellings.
 - To the **west** of the site: Immediately west of the site is the Frankston Freeway to the south and residential development to the north consisting of single and double storey detached dwellings.

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- Further west of the Frankston Freeway is residential development consisting of detached single and double storey dwellings.
 - Approximately 1km west of the site is the northern area of the Frankston Metropolitan Activity Centre. The Frankston Train Station is located approximately 1.1km south-west of the site, which provides train and bus services.



Municipal Planning Strategy

25. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03-1	Settlement
02.03-9	Infrastructure

Planning Policy Framework

26. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	Settlement
11.01-1S	Settlement
Clause 13	Environmental Risks and Amenity
13.03-1S	Floodplain Management
Clause 15	Built Environment and Heritage
15.01-1S	Urban Design
15.01-2S	Building Design
15.01-2L-01	Environmentally Sustainable Development
15.03-2S	Aboriginal Cultural Heritage
Clause 19	Infrastructure
19.02-2S	Education Facilities

27. The assessment section of this report provides a detailed assessment of the relevant planning policies

Zoning and Overlays

General Residential Zone – Schedule 1

28. A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.

29. The following sections include a discussion of how the proposal responds to the purpose and decision guidelines of the control, as relevant, in the assessment section of this report.

Special Building Overlay

30. A permit is required to construct a building or to construct or carry out works

31. The following sections include a discussion of how the proposal responds to the purpose and decision guidelines of the control, as relevant, in the assessment section of this report.

Other Overlays

32. There are no additional overlays affecting the land as at time of this assessment.



Particular and General Provisions

Clause 52.05 - Signs

- 33. Clause 32.08-15 (GRZ1) outlines that 'Sign requirements are at Clause 52.05. This zone is in Category 3'.
- 34. Clause 52.05-13 (signs – category 3 – high amenity areas) outlines that business identification signage is a section 2 (Permit required) class of signage.
- 35. A permit is required to construct or put up for display a sign in Section 2.

Clause 53.18 – Stormwater Management In Urban Development

- 36. Clause 53.18 applies to the buildings and works of this application. The clause includes standards and objectives relating to stormwater.

Clause 53.19 – Non Governmental Schools

- 37. Clause 53.19-1 *'applies to an application under any provision of this scheme, other than a VicSmart application, to use or develop land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school'*.
- 38. Clause 53.19-2 states that *'An application to which Clause 53.19 applies is exempt from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act'*.



Referrals

39. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 55 Referral – Determining	Melbourne Water	No objection subject to conditions.
Section 52(1)(b)	Frankston City Council	No objection subject to conditions.

Municipal Council Comments

40. The Frankston City Council (the council) considered the application and did not object to the proposal, subject to recommended conditions. The below conditions were recommended to be applied to permit:

CONDITION NO.	COUNCIL SUGGESTED CONDITION	ASSESSMENT RESPONSE
AMENDED PLANS		
1	Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions. The plans must be generally in accordance with the plans submitted with the application Project Number 250154 16 sheets prepared by Clarke Hopkins dated 11 May 2026 Revision A but modified to show:	
1a	Consolidate north and south mechanical enclosures at ground level for one single plant enclosure and contain internally within the building footprint.	The mechanical plant needs to be at the ground level for maintenance purposes. The plant must be located external to the building to allow maintenance to occur outside of school hours. Both plant enclosures include screening and are located away from the main entrance of the building. Both are well setback from the site boundaries and will not be visible from the public realm. DTP does not consider this design change to be required, as it is not causing any adverse amenity issues and is not a requirement within the planning scheme.
1b	Additional skylights to service the upper level ICT, breakout, resource centre areas and western stairwell.	There are 5 skylights on the roof. DTP does not consider this design change to be required, as it is not causing any adverse amenity issues and is not a requirement within the planning scheme.



1c	Additional windows for improved outlook and passive surveillance to the following: i. South facing window to GLA 08 ii. North facing window to GLA 11 iii. East facing window GLA 07 and Staff 04 (these could be slimline windows to minimise disruption to the façade).	The building includes substantial glazing with windows or glazed doorways at each facade. All classrooms and staff spaces receive adequate daylight as per the daylight modelling in the SMP. DTP does not consider this design change to be required, as it is not causing any adverse amenity issues and is not a requirement within the planning scheme
1d	An awning above ground level (mid façade) along west interface to provide solar shading to ground level rooms unless it can be demonstrated the upper level vertical louvres (fixed aluminium screen) provide adequate solar protection.	The building sections show the vertical louvre extending from the western façade and will provide shading to ground floor windows. It is noted that 68% of the western, eastern and norther façade include shading which exceeds the BESS targets. DTP does not consider this design change to be required, as it is not causing any adverse amenity issues and is not a requirement within the planning scheme
1e	Redesign proposed feature brick seat walls to protect landscaping from edge degradation and trampling.	The seating benches will be integrated within the retaining walls and feature edging that adjoin the raised garden beds and lawned areas. The seating creates a clear delineation between landscaped and paved areas to ensure students will not access or trample the landscaped areas. Seating is important to creating a useable outdoor area for secondary school students.
1f	Relocate timber bench seats to adjoin paving areas	The landscape design will maximise the extent of permeable and landscaped areas at the site by delivering the benches within the edges of the garden beds. DTP does not consider this design change to be required, as it is not causing any adverse amenity issues and is not a requirement within the planning scheme. A detailed landscape plan is noted to be a conditional requirement, which will ensure appropriate landscaping results are delivered.
1g	Design detail of the proposed signage.	An amended plans condition will be applied to permit requiring details of business identification signage to be refined on plans, to an extent suitable for endorsement.
1h	Bicycle facilities in accordance with Clause 52.34 of the Frankston Planning Scheme.	The proposal will not change the student or staff numbers at John Paul College. No changes to bicycle parking are proposed. Refer to assessment section below. Clause 52.34 does not apply to the subject development.
1i	Landscape Plan in accordance with Condition 4.	A DTP standard condition will be applied to permit requiring preparation of a landscape plan.



1j	Amended Sustainability Management Plan (SMP) in accordance with Condition 8.	The proposal meets best practice BESS requirements as expected for a school building. A condition will be applied to permit requiring endorsement of the submitted SMP, which demonstrates BESS practice ESD compliance.
1k	Amended Green Travel Plan in accordance with Condition 11.	A condition will be applied to permit requiring endorsement of the GTP. As the GTP includes ongoing operational commitments, which are being relied upon, a condition requiring compliance with the GTP is considered to be necessary.
1l	Development plans to reflect all sustainability features that are required as part of a submitted and approved Sustainability Management Plan (SMP), together with any requirement outlined in Condition 8. The plans are to be generally in accordance with the plans submitted indicating: i. An annotation detailing the rainwater tank size and that the rainwater tank is allocated for reuse/retention purposes and exclude any volume allocated for detention. ii. An annotation that the rainwater tanks are connected to all toilet flushing and irrigation areas. iii. All operable windows, doors and vents on elevation drawings. iv. Double glazing annotated to areas windows on elevation drawings. v. Shading devices and fixtures for north, east and west facing glazing annotated on elevation drawings. vi. Add notations for daylight & JV3 modelling assumptions for façade elements. vii. Show solar energy system location & size on the roof plan viii. Where measures cannot be visually shown, include a notes table or 'ESD Schedule' providing details of the ESD features and requirements. This is required to include energy and water efficiency ratings for heating/cooling systems and WELS rating for plumbing fittings and fixtures, solar PV panels, EV charging station, Bicycle parking spaces, IEQ initiatives as well as, any waste recovery and use of sustainable materials commitments.	A condition will be applied to permit requiring endorsement of the submitted SMP, which demonstrates BESS practice ESD compliance. DTP does not agree that additional measures are required.
NO ALTERATIONS OR CHANGES		
2	The development, location and details of sign(s) including those of the supporting structure, as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.	A similarly worded DTP standard conditions achieving same will be applied to permit.
COMPLETION OF WORKS		



3	Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.	
LANDSCAPING		
4	Before the development starts, a detailed landscape plan consistent with Frankston City Council's Landscape Plan Guidelines (2024) must be submitted to and approved by the Responsible Authority . When approved, the plan will be endorsed and form part of the permit. The plan must be prepared by a suitably qualified landscape designer, drawn to scale with dimensions. The plan must be consistent with the development plans and show:	A DTP standard condition will be applied to permit requiring preparation of a landscape plan.
4a	A survey (including botanical names) of all existing vegetation in the area of the proposed buildings and works and within 15 metres around , accurately illustrated to represent canopy width and labelled with botanical name, height and whether the tree is proposed to be retained and/or removed.	
4b	Tree Protection Zone (TPZ) and Structural Root Zone (SRZ) of retained trees illustrated with notations regarding protection methods during construction.	
4c	The delineation and details of surface finishes of all garden beds grassed areas, pathways, driveways, retaining walls and other landscape works including areas of cut and fill throughout the development site.	
4d	Plant schedule of all proposed trees, shrubs, and ground covers , including botanical names, common names, pot sizes, size at maturity and accurate quantities of each plant that match what is shown on plan.	
4e	A range of plant types from ground covers to large shrubs and trees.	
4f	L andscaping and planting within all open are as of the proposed buildings and works	
4g	Proposed canopy trees located in garden beds with understorey planting and/or provision of edging (minimum plan dimension 0.8m) if located in lawn	
4h	Adequate planting densities (e.g.: plants with a mature width of 1 metre, planted at 0.8 1 metre intervals).	
4i	A planting theme of a minimum 40% indigenous and 40% native	
4j	All existing environmental weed species must be removed from the site and environmental and noxious weeds found in the 'Frankston City Council Invasive Species Guide (2019)' must not be planted.	



4k	Notations on the landscape plan regarding site preparation, including removal of all weeds, proposed mulch, soil types and thickness, subsoil preparation and any specific maintenance requirements.	
4l	Notation on Plant S schedule that tree stock used must be in accordance with AS2303 2015 Tree stock for Landscape Use and be minimum 2m tall when planted	
5	The landscaping as shown on the endorsed landscape plan must be carried out and completed to the satisfaction of the Responsible Authority before the occupation of the development and/or commencement of the use.	
6	The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged trees are to be replaced.	
STORMWATER		
7	Stormwater drainage must be connected to stormwater Legal Point of Discharge as nominated by and to the satisfaction of Frankston City Council	DTP agrees this condition is appropriate to be applied to permit.
ENVIRONMENTALLY SUSTAINABLE DESIGN		
8	Before the development starts, an amended Sustainability Management Plan (SMP) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The plan will be endorsed and will then form part of the permit. The plan must be generally in accordance with the SMP prepared by WENVIRONMENT and dated May 2026 but modified to include or show:	As the proposed supporting SMP demonstrates BESS practice ESD response, compliant with the planning scheme, additional ESD measures are not considered to be justified for inclusion via condition. On such basis these recommended ESD measures will not be applied via condition as an amended plan condition.
8a	Install a rainwater tank to treat rainwater collected from the roof and connect it to toilets to reduce potable water consumption. Amend MUSIC, SMP & BESS reports accordingly.	
8b	Energy a. JV3 modelling: Attach 3D model of the development to the SMP. b. Install solar PV panels on the roof to generate at least 5% of the whole development electricity consumption.	
8c	IEQ: Show spaces & openings providing natural ventilation as claimed in BESS that meet the natural ventilation requirements.	



8d	Transport: At a minimum, one parking space nominated for EV charging, with appropriate signage and charging infrastructure installed.	
9	All works must be undertaken in accordance with the endorsed Sustainability Management Plan (SMP) to the satisfaction of the Responsible Authority. No alterations to the SMP may occur without the written consent of the Responsible Authority.	A similarly worded standard condition achieving same will be applied to permit.
10	Before the occupation of any building approved under this permit, a report from the author of the SMP, approved pursuant to this permit, or similarly qualified person or company, must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm that all measures specified in the SMP have been implemented in accordance with the approved Plan.	A similarly worded standard condition achieving same will be applied to permit.
GREEN TRAVEL PLAN		
11	Before the development starts, an amended Green Travel Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Green Travel Plan will be endorsed and will form part of this permit. The amended Green Travel Plan must be generally in accordance with the Green Travel Plan prepared by WENVIRONMENT and dated May 2026, but modified to include or show:	A condition will be applied to permit requiring endorsement of the GTP. As the GTP includes ongoing operational commitments, which are being relied upon, a condition requiring compliance with the GTP is considered to be necessary.
11a	At a minimum, one parking space nominated for EV charging, with appropriate signage and charging infrastructure installed.	As the proposed supporting SMP demonstrates BESS practice ESD response, compliant with the planning scheme, additional ESD measures are not considered to be justified for inclusion via condition. On such basis this recommended ESD measure will not be applied via condition as an amended plan condition.
SIGNAGE REQUIREMENTS		
15	The sign(s) hereby permitted must not: • be animated. • be moving or rotating. • contain any flashing or intermittent light. • be floodlit or internally illuminated	DTP agrees these items are necessary to be included on permit. Similarly worded conditions achieving same will be applied to permit. This will include a condition requiring no illumination, as that class of signage is not submitted for approval at permit assessment stage.

Notice

41. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions:



- Clause 32.08 (GRZ1): A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.
 - Clause 52.05 (Signs): A permit is required to construct or put up for display a sign in Section 2.
42. The application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions:
- Clause 44.05 (SBO): A permit is required to construct a building or to construct or carry out works
43. The application was not advertised other than to the municipal authority under section 52(1)(b) as it was considered not to cause material detriment to any person because:
- The proposed new building is located a substantial distance away from the adjoining properties (approximately 80m), and will not adversely alter the visual bulk appearance of the school, ensuring no material detriment to any person.
 - The proposal replaces an existing building of a similar scale and does not seek to alter the staff and student numbers of the existing school.
 - The signage proposed is minor in scale and faces internally within the school site (towards the east) so to not directly opposite any adjoining properties.



Key Considerations

45. The following are deemed the key considerations in assessing the acceptability of the proposal:

- Finished floor levels of the development in response to the Special Building Overlay control and Melbourne Water determining referral authority requirements.
- The overall appropriateness and functionality of the school building within the existing campus.

Permit Triggers

Planning scheme clause	Matter for which the permit has been granted
32.08-10 (R1Z)	A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.08-2.
44.05-2 (SBO)	A permit is required to construct a building or to construct or carry out works
52.05-2 (Signs)	A permit is required to construct or put up for display a sign in Section 2.

Strategic Direction and Land Use

46. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.

47. The relevant MPS and PPF policies have been considered in assessing the application.

48. The proposed land use is consistent with the strategic direction of the following policies within the Frankston planning scheme on the basis of the following:

- The proposal facilitates the continued operation and improvement of an existing non-government secondary school through the provision of a new Senior Learning Building, supporting the educational needs of the Frankston community.
- The proposal replaces existing learning facilities without increasing student or staff numbers, ensuring the school can continue to meet operational requirements while maintaining existing site activity levels.
- The proposed building has been designed and sited having regard to flood risk, including a finished floor level of 11.61 metres AHD, exceeding the applicable 1% AEP flood level by at least 300mm.
- The development incorporates a high-quality architectural design, varied building articulation and landscaping outcomes that will complement the existing school campus and internal amenity of the site.
- The proposal includes environmentally sustainable design initiatives and new landscaping that will enhance the functionality and visual amenity of the school environment.
- The proposal does not alter existing access arrangements or car parking provision and is located within an established educational facility that is well connected to surrounding transport infrastructure.

Buildings and Works

49. The zoning and overlay provisions have been considered in the application.

50. The purpose and decision guidelines of zoning and overlay controls triggering the requirement for planning permit have been considered as part of this application. The proposal is considered to appropriately respond to these considerations on the basis of the following:

- The proposal facilitates the ongoing operation and improvement of an existing secondary school, consistent with the purpose of the General Residential Zone to accommodate educational and community uses that serve local needs.
- The development is appropriately sited and designed within the established school campus, maintaining generous setbacks from site boundaries and avoiding unreasonable amenity impacts on adjoining residential land.
- The scale, height and architectural design of the proposed building are compatible with the existing school buildings and contribute positively to the built form and character of the site.
- The proposal appropriately responds to the requirements of the Special Building Overlay, with the building designed to achieve a finished floor level of 11.61 metres AHD, providing flood protection in accordance with Melbourne Water and Council engineering advice.
- Existing access arrangements and car parking provision are retained, with no increase in student or staff numbers, thereby avoiding adverse traffic and parking impacts.
- New landscaping is proposed to complement the development and soften the appearance of built form, with a detailed landscape plan capable of being secured through permit conditions.
- The proposed business identification signage is modest in scale, non-illuminated and appropriately integrated into the building design, ensuring it will not result in visual clutter or detract from the amenity of the surrounding area.

Landscaping

51. A landscape plan can be required by permit condition to ensure the development delivers a high-quality landscaping outcome that complements the built form, softens the visual appearance of the development, and provides appropriate planting, species selection, and ongoing maintenance arrangements. Subject to a suitably worded condition requiring the submission and endorsement of a detailed landscape plan, the proposal is capable of achieving a satisfactory landscaping outcome.

Car and Bicycle Parking, Loading, and Other Services

Car Parking

52. The proposal does not involve any change to staff and/or student numbers. On such basis the carparking considerations of clause 52.06 are not relevant to this proposal.
53. It is furthermore noted that the development does not seek to alter any existing carparking or access arrangements within the existing school site.

Bicycle Facilities

54. The proposal does not involve any change to staff and/or student numbers. On such basis the bicycle provision considerations of clause 52.34 are not relevant to this proposal.

Waste

55. A waste management plan has not been provided in support of the proposal. The planning submission supporting the proposal outlines that there are no proposed changes to existing on site waste management arrangements.
56. It is considered that given staff and student numbers are not changing, that there will be no new additional waste generation demand that would warrant additional waste management arrangement beyond that already in effect for current school operations. On such basis a waste management plan will not be a conditional requirement applied to permit.



Signs

57. The proposed extent of signage is considered appropriate for approval, in response to the relevant decision guideline considerations of clause 52.05, on the basis of the following:

- The proposed signage is limited to a single business identification sign displaying the name of the school and serves a clear wayfinding and identification function.
- At 5.18m², the signage is modest in scale relative to the size of the proposed two-storey education building and broader school campus.
- The signage is integrated into the eastern façade of the building and forms part of the overall architectural presentation of the development.
- No illuminated signage is proposed, reducing the potential for visual or amenity impacts on surrounding land.
- The signage is located well within the school site and is significantly setback from McMahons Road and neighbouring residential properties.
- The signage adopts a simple block-letter design and is not excessive in size, height or visual prominence.
- The proposal involves only a single business identification sign and will not contribute to visual clutter within the streetscape.
- The signage appropriately identifies an established educational facility and is proportionate to the scale and function of the use.

Environmental Risks

Flood Mitigation

58. The subject site is included within a special building overlay, which requires consideration for flooding management. Importantly, under this control, Melbourne Water is a determining referral authority on developments for buildings and works within the SBO.

59. The application was referred to Melbourne Water, who supported the proposal subject to conditions. These conditions have been included on permit.

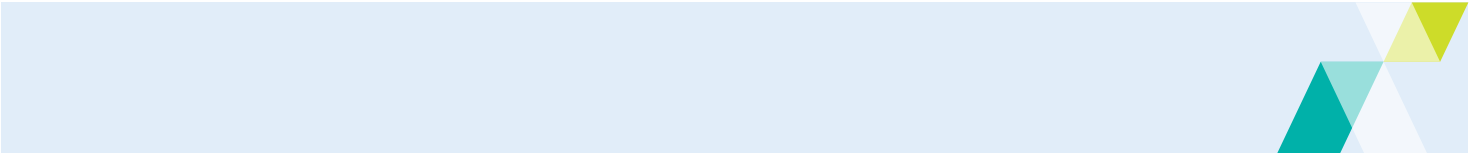
60. The primary consideration from Melbourne water was that FFL are required to have a finished floor level of 11.61m AHD, providing at least 300mm freeboard above the applicable 1% AEP flood level. It is noted that plans demonstrate this compliance is achieved.

Sustainability

Environmentally Sustainable Design (ESD)

61. The proposal includes a ESD response which 'achieves a BESS score of 53%, meeting Frankston City Council's best practice sustainability requirements. The proposal includes the following key ESD measures:

- Building designed to achieve a 14% improvement in heating and cooling performance above NCC energy efficiency benchmarks.
- Incorporates an all-electric building design, energy-efficient LED lighting and high-efficiency VRF air-conditioning systems with heat recovery.
- Provides good indoor environmental quality, including 50.7% of primary occupied spaces achieving a daylight factor greater than 2% and 80% of learning and staff spaces naturally ventilated.
- Includes solar shading devices to reduce heat gain and glare, with more than 50% of north, east and west-facing glazing shaded.
- Utilises water-efficient fixtures and fittings, including 4-star toilets, 6-star taps and 5-star dishwashers, reducing potable water consumption by approximately 35%.
- Incorporates water sensitive urban design measures and stormwater treatment infrastructure, achieving reductions in suspended solids, phosphorus and nitrogen that exceed best practice targets.

- 
- Uses environmentally preferable materials, including low-VOC paints, adhesives and flooring, low-formaldehyde joinery, and non-ozone-depleting insulation and refrigerants.
 - Provides recycling and composting facilities and targets reuse or recycling of at least 80% of construction waste.
 - Includes new landscaping and a Green Travel Plan to encourage walking, cycling, public transport and carpooling.

62. The applications ESD response is considered to satisfy the requirements of the Frankston planning scheme. It is recommended that the SMP, subject to conditions, be conditioned as an operational requirement of the permit.

Stormwater Management

63. It is noted that the application did not include a SWMP for consideration at permit assessment stage for demonstration of the proposals response to clause 53.18 requirements.

64. It is further noted that council engineers did not recommend a condition be applied requiring a stormwater management plan (SWMP).

65. Subject to a conditions requiring demonstration of clause 53.18 compliance, the proposal will result in appropriate stormwater outcomes.

Other Matters

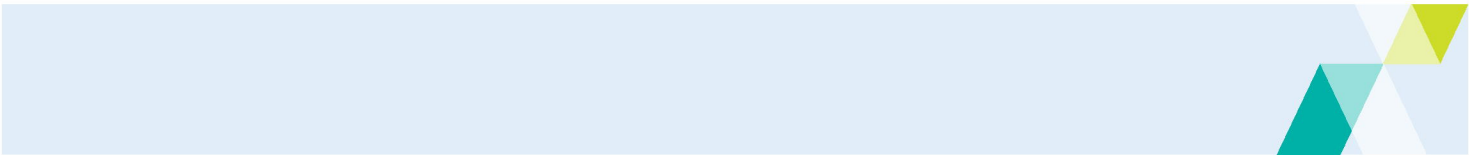
Cultural Heritage

66. No CHMP is required as John Paul College has been operating at the site since 1979, and therefore the Stage 2 works are not considered a high impact activity under the Aboriginal Heritage Regulations 2018.

Recommendation



67. The proposal is generally consistent with the relevant planning policies of the Frankston Planning Scheme and will contribute to the provision of education services within the area.
68. The proposal is generally supported by the various referral agencies.
69. It is **recommended** that Planning Permit No. PA2604395 for buildings and works and business identification signage associated with and existing education centre at 161 McMahon's Road, Frankston be issued subject to conditions.
70. It is **recommended** that the applicant and the council be notified of the above in writing.



Prepared by:

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Approved by:

[Redacted signature area]