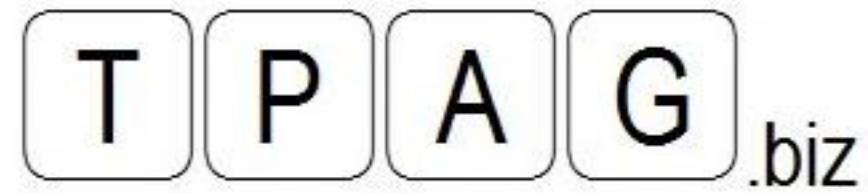


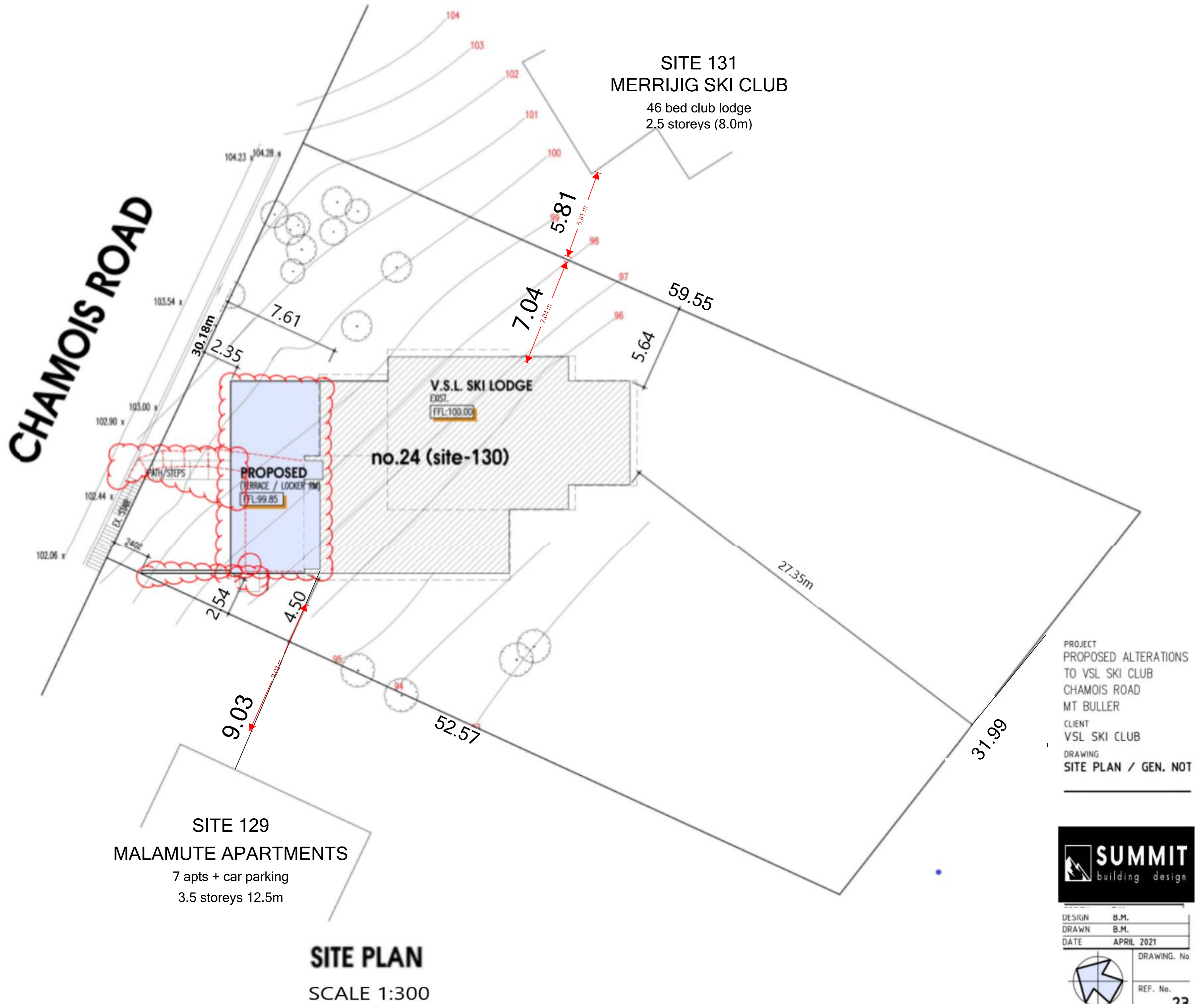
PROPOSED CHANGES TO
ENDORSED DRAWINGS

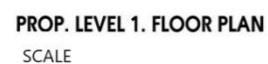
1. BACKFILL NORTH AND EAST SIDES OF NEW EXTENSION TO DECK LEVEL USING MATERIAL EXCAVATED FOR THE EXTENSION
2. REMOVE STAIRS FROM FRONT (NORTH SIDE) OF EXTENSION.
3. RELOCATE ENTRANCE DOOR FROM FRONT (NORTH SIDE) TO WEST SIDE OF EXTENSION.
4. REPLACE PEDESTRIAN "BRIDGE" PROVIDING ACCESS FROM CHAMOIS RD FRONTAGE, WITH HEATED CONCRETE PATH / STEPS.
5. CONTINUE WESTERN WALL OF NEW EXTENSION TO SITE BOUNDARY



TOTAL PROPERTY ADVISORY GROUP

NOTES	TP
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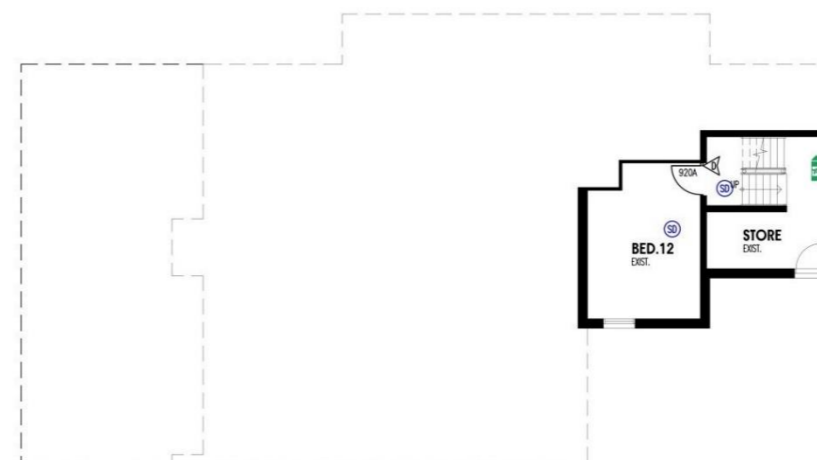




MEASUREMENTS ARE APPROXIMATE AND SUBJECT TO CONFIRMATION

1. DELETE STAIR ON NORTH FACADE OF EXTENSION PROVIDING ACCESS FROM DECK
2. DELETE ENTRY DOOR IN NORTEHRN FACADE PROVIDING ACCESS INTO EXTENSION
3. NEW ENTRY DOOR INTO EXTENSION TRHROUGH WESTERN WALL INCLUDING NEW AIRLOCK IMMEDIATELY ADAJCENT
4. EXTEND WESTERN WALL FROM EXTENSION TO SITE BOUNDARY (SAME HEIGHT AS EXTENSION) TO FUNCTON AS RETAINING WALL
5. AREAS ABUTTING NORTH AND EAST WALLS OF EXTENSION TO BE BACKFILLED TO DECK HEIGHT I.E.WALLS COMPLETELY COVERED

1. DELETE PEDESTRIAN "BRIDGE" PROVIDING ACCESS TO EXTENSION ROOF/DECK FROM NORTH
- 2.. INCLUDE NEW HEATED CONCRETE PATH/STEPS FOR AT GRADE PEDESTRIAN ACCESS TO
EXTENSION ROOF/DECK
2. DELETE STAIR PER LEVEL1 COMMENTS
3. EXTEND BALUSTRADE ON WESTERN RETAINING WALL TO COMPLY WITH REGULATIONS
4. DELETE BALUSTRADES ON NORTH AND EASTERN EDGES OF EXTENSION ROOF/DECK



AMENDMENT

COPYRIGHT IN THIS DRAWING AND ALL WORK EXECUTED FROM IT REMAINS THE PROPERTY OF THE DESIGNER. CONTRACTORS MUST SET OUT ALL WORK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR MAKE ANY CHANGES. ALL WORK MUST BE EXECUTED IN ACCORDANCE WITH THE RULES, BY LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

PROJECT


PROPOSED ALTERATIONS & ADDITIONS
TO VSL SKI CLUB
CHAMOIS ROAD
MT BULLER

CLIENT
VSL SKI CLUB

DRAWING
PROPOSED FLOOR PLANS

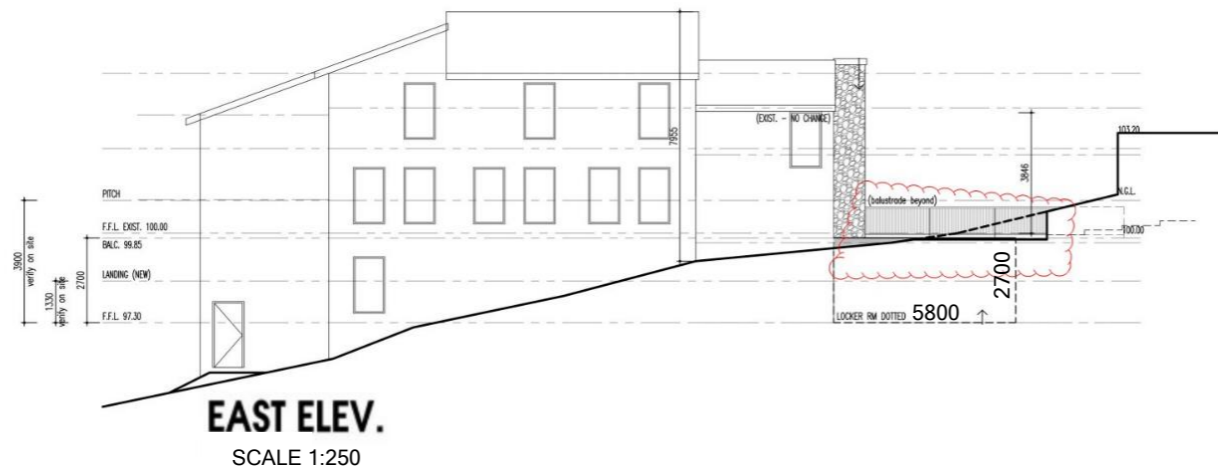


NOTE:
ALL NEW / EXISTING DIMENSIONS, WALL THICKNESS, ROOF PITCHES, CEILING HEIGHTS, STEP HEIGHTS & HEIGHTS ABOVE GROUND ETC. ARE TO BE CONFIRMED ON SITE BY THE BUILDER PRIOR TO COMMENCING ANY WORKS, FABRICATION OF WALL FRAMES, ROOF TRUSSES ETC. WINDOW FRAMES ETC. OR ANY OTHER STRUCTURAL COMPONENT.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY

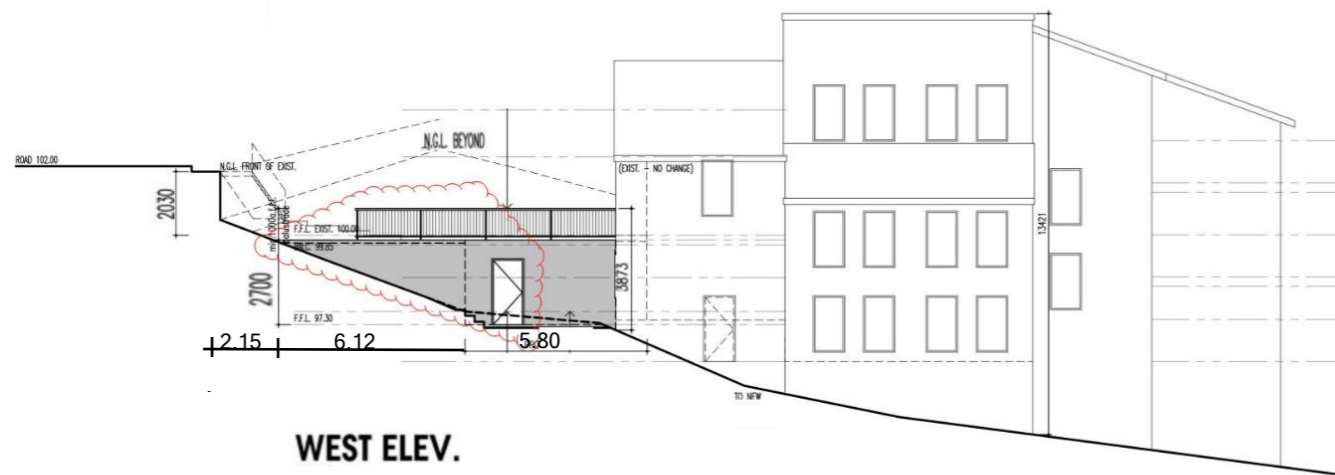


DRAWING. No.	WD3
REF. No.	21017

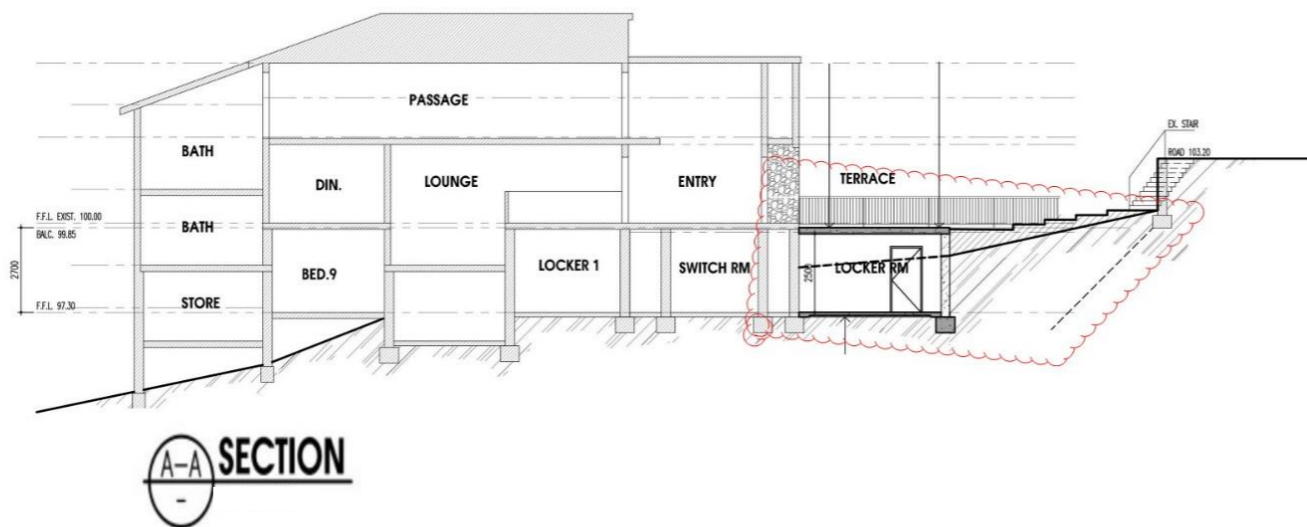




EAST ELEV.
SCALE 1:250



WEST ELEV.
SCALE 1:250



A-A SECTION

AMENDMENTS TO ENDORSED PLANS

MEASUREMENTS ARE APPROXIMATE

EAST ELEVATION

1. EXTEND BALUSTRADE FROM DECK ALONG WESTERN RETAINING WALL IN COMPLIANCE WITH REGULATIONS
2. DELETE BALUSTRADE FROM NORTHERN AND EASTERN EDGES OF DECK (TO BE BACKFILLED TO DECK HEIGHT)

WEST ELEVATION

1. EXTEND WESTERN WALL AT DECK HEIGHT TO SITE BOUNDARY TO FUNCTION AS RETAINING WALL FOR BACKFILL
2. INSTALL ENTRY DOOR IN WESTERN WALL OF EXTENSION
3. EXTEND BALUSTRADE ALONG WESTERN WALL TO ENSURE COMPLIANCE WITH SAFETY REGULATIONS

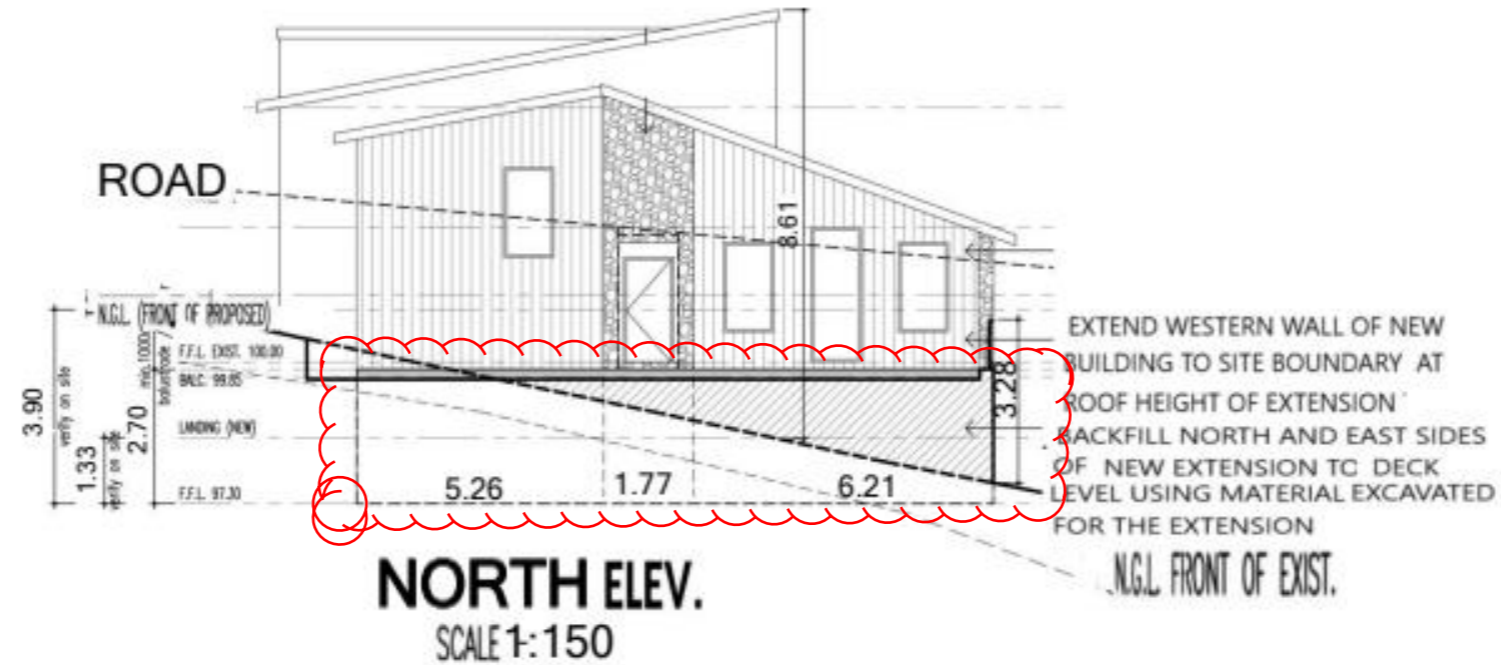
SECTION A-A

1. DELETE PEDESTRIAN "BRIDGE" AND STAIRS TO LOWER LEVEL VOID; AREA B/W NORTH FACADE OF EXTENSION AND NORTH BOUNDARY TO BE BACKFILLED TO DECK HEIGHT (EASTERN & NORTHERN WALLS FULLY COVERED)
2. NEW HEATED CONCRETE PATH AND STEPS AT GRADE

T	P	A	G	biz
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NOTES	TP			
DATE	29 AUGUST 2024			

B	GENERAL REVISION
A	GENERAL REVISION
No.	REVISION
AMENDMENT	
COPYRIGHT IN THIS DRAWING AND ALL WORK EXT. DESIGNERS. CONTRACTORS MUST GET OUT ALL'S DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK MUST BE EXECUTED IN ACCORDANCE REQUIREMENTS OF ALL AUTHORITIES HAVING	
PROJECT	
PROPOSED ALTERATIONS TO VSL SKI CLUB CHAMOIS ROAD MT BULLER	
CLIENT	
VSL SKI CLUB	
DRAWING	
ELEVATIONS / SECTION	

DESIGN	B.M.
DRAWN	B.M.
DATE	APRIL 2021
DRAWING No.	
REF. No.	
21	



FURTHER AMENDMENTS TO ENDORSED PLANS

1. CONTINUE BALISTRAD FROM ROOF DECK OF EXTENSION TO WESTERN RETAINING WALL TO COMPLY WITH REGULATIONS
2. REMOVE BALUSTRAD FROM NORTH AND EAST EDGES OF ROOF DECK OF EXTENSION
3. REMOVE STAIRS FROM FRONT (NORTH SIDE) OF EXTENSION.
4. RELOCATE ENTRANCE DOOR FROM FRONT (NORTH SIDE) TO WEST SIDE OF EXTENSION.
- 5 REPLACE PEDESTRIAN "BRIDGE" PROVIDING ACCESS FROM CHAMOIS RD FRONTAGE, WITH HEATED CONCRETE PATH / STEPS.
- CONNECTING STAIR B/W STRUCTURE AND ROAD NOT SHOWN TO MAINTAIN CLARITY

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TOTAL PROPERTY ADVISORY GROUP

NOTES	TP
DATE	29 AUGUST 2024

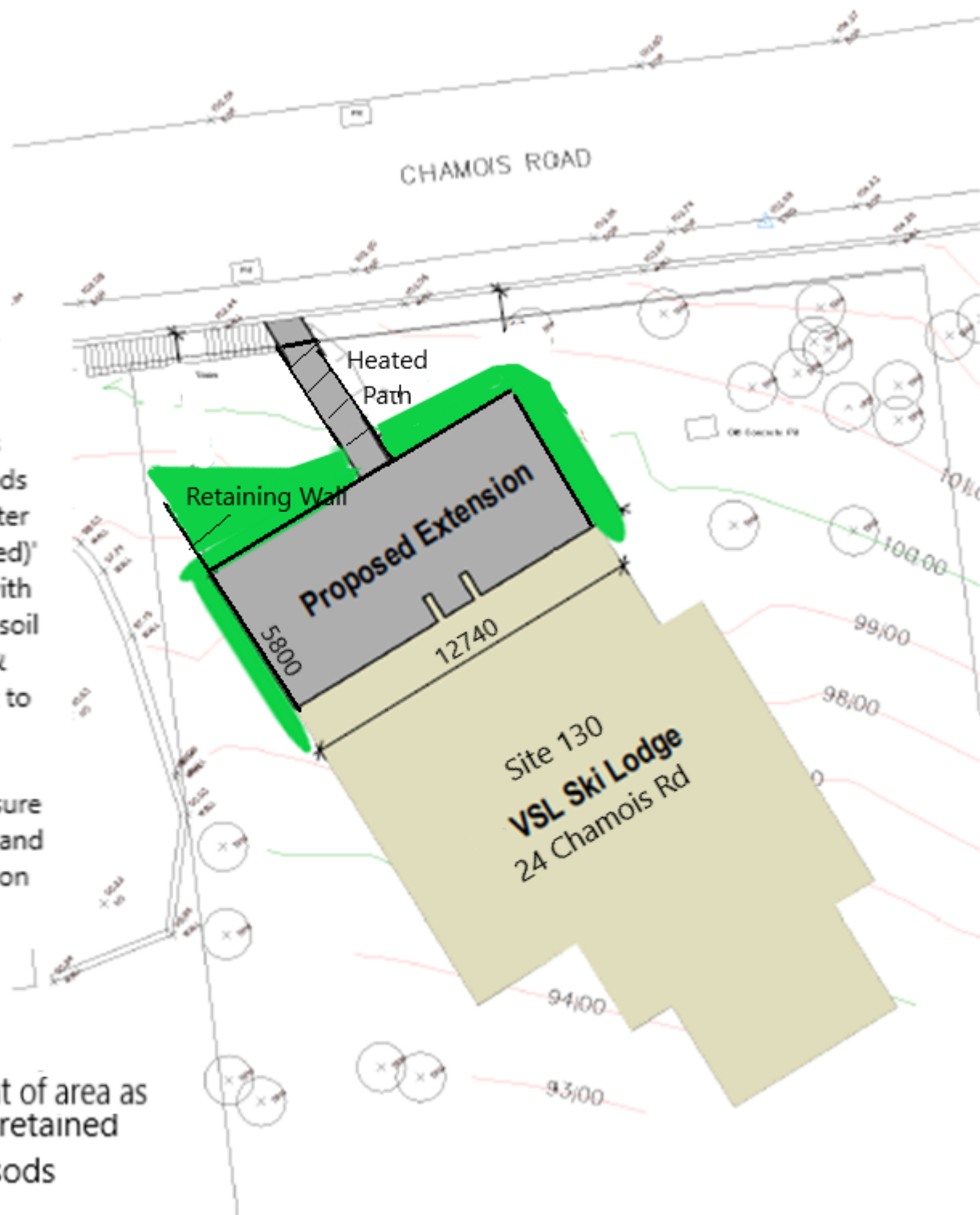
PROJECT
PROPOSED ALTERATIONS
TO VSL SKI CLUB
CHAMOIS ROAD
MT BULLER
CLIENT
VSL SKI CLUB
DRAWING
ELEVATIONS / SECTION





DESIGN	B.M.
DRAWN	B.M.
DATE	APRIL 2021



1. Retain topsoil & grass sods removed when footprint of extended deck excavated.
2. After deck construction has been completed, topsoil & sods can be placed around perimeter (with mulch & mesh, if required)
3. Sodds used in conjunction with mulch and mesh will assist in soil retention and reduce runoff & siltation, and act as a blanket to assist in germination of revegetated ground cover.
4. Site to be monitored to ensure germination of ground cover and maintenance of soil stabilisation measures.



 Revegetate extent of area as required using retained topsoil & grass sods

 Proposed Works
N.T.S.

T P A G

SITE REHABILITATION & REVEGETATION PLAN



11. NORTH-WEST FACADE (Render)
N.T.S.