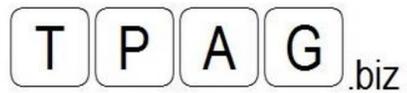


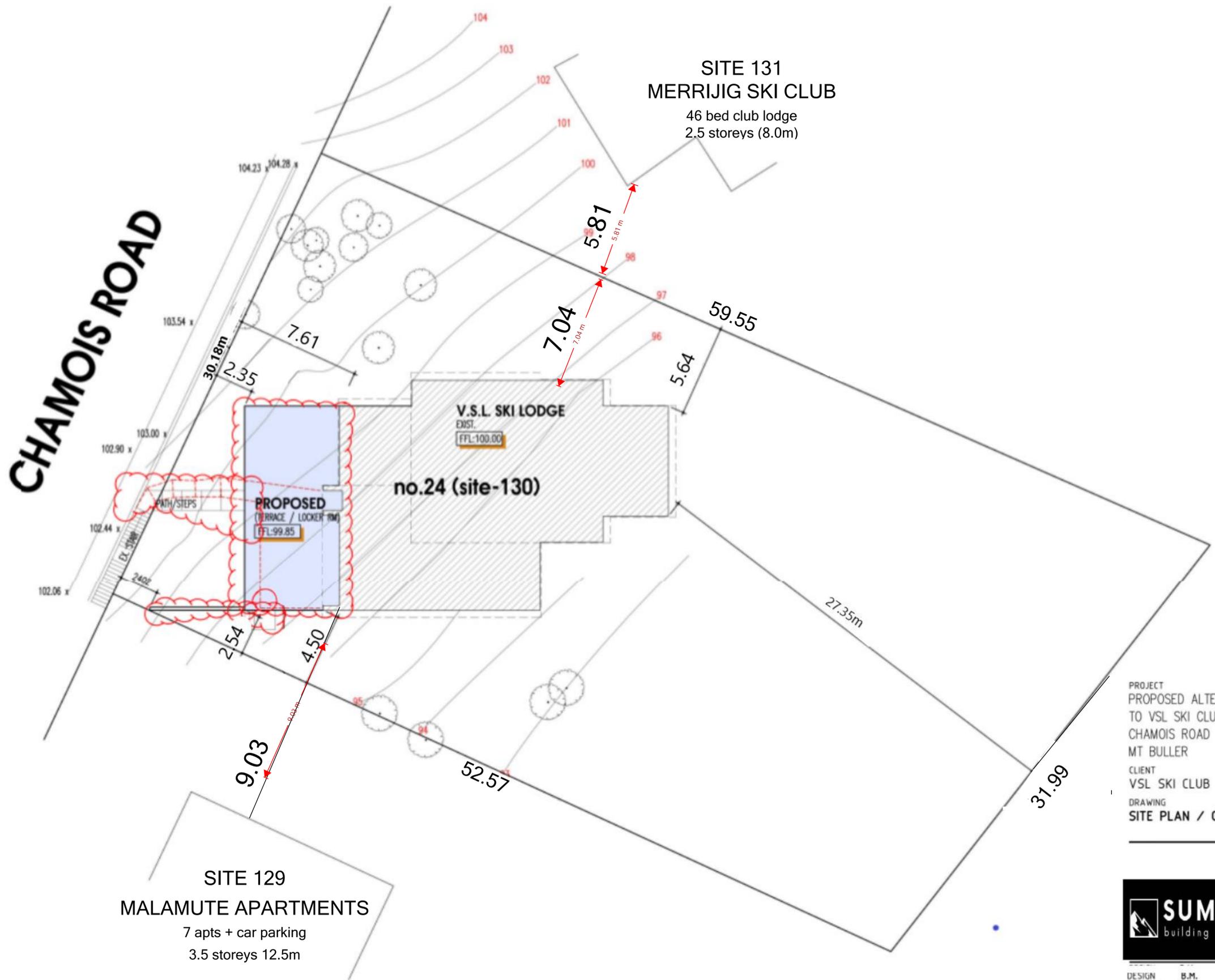
**PROPOSED CHANGES TO ENDORSED DRAWINGS**

1. BACKFILL NORTH AND EAST SIDES OF NEW EXTENSION TO DECK LEVEL USING MATERIAL EXCAVATED FOR THE EXTENSION
2. REMOVE STAIRS FROM FRONT (NORTH SIDE) OF EXTENSION.
3. RELOCATE ENTRANCE DOOR FROM FRONT (NORTH SIDE) TO WEST SIDE OF EXTENSION.
4. REPLACE PEDESTRIAN "BRIDGE" PROVIDING ACCESS FROM CHAMOIS RD FRONTAGE, WITH HEATED CONCRETE PATH / STEPS.
5. CONTINUE WESTERN WALL OF NEW EXTENSION TO SITE BOUNDARY



TOTAL PROPERTY ADVISORY GROUP

NOTES	TP
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**SITE PLAN**

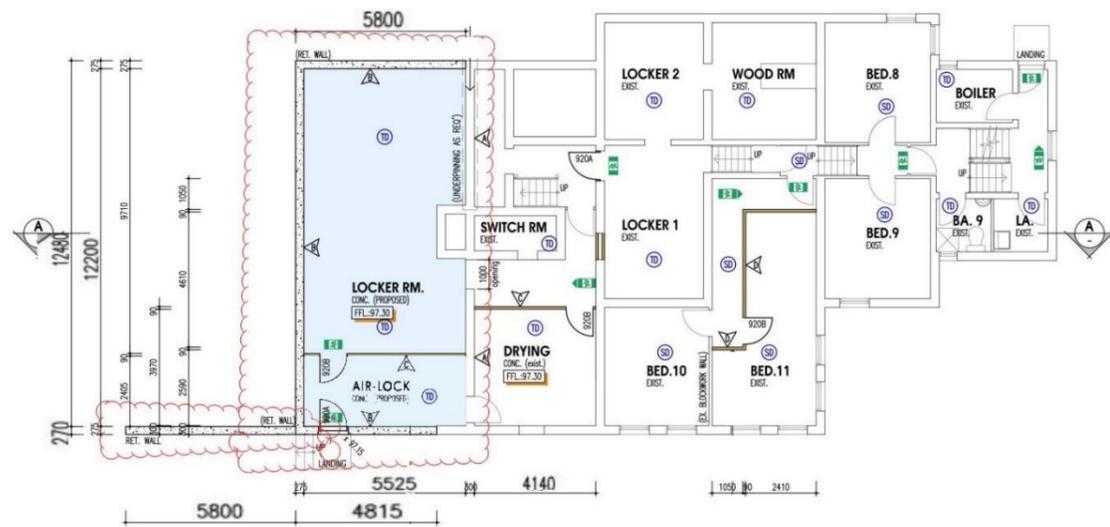
SCALE 1:300

PROJECT  
 PROPOSED ALTERATIONS  
 TO VSL SKI CLUB  
 CHAMOIS ROAD  
 MT BULLER  
 CLIENT  
 VSL SKI CLUB  
 DRAWING  
 SITE PLAN / GEN. NOT

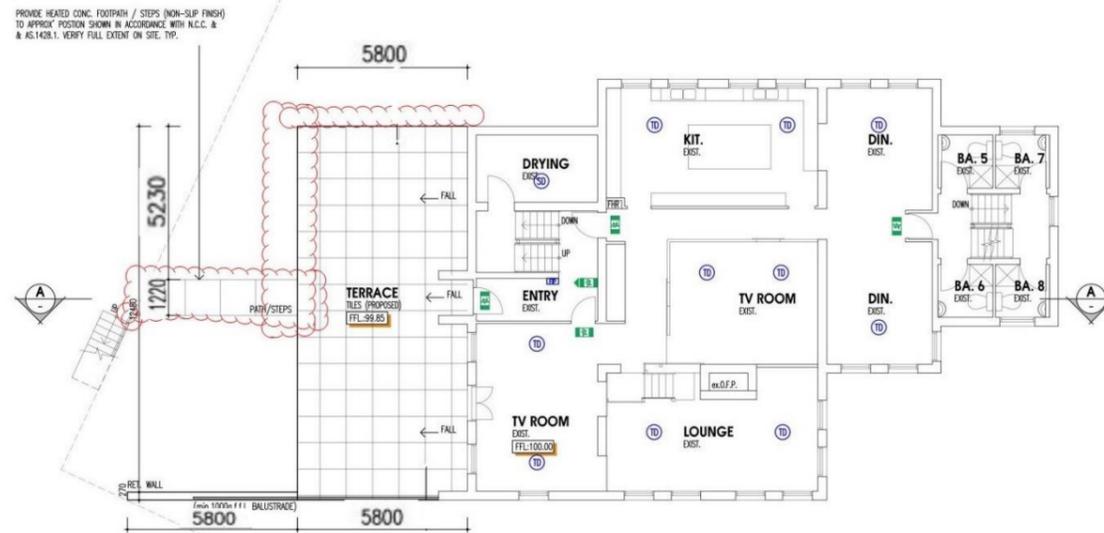


DESIGN	B.M.
DRAWN	B.M.
DATE	APRIL 2021

DRAWING. No.	
REF. No.	23



PROP. LEVEL 1. FLOOR PLAN  
SCALE



PROP. LEVEL 2. FLOOR PLAN  
SCALE

# AMENDMENTS TO ENDORSED PLANS

MEASUREMENTS ARE APPROXIMATE AND SUBJECT TO CONFIRMATION

## LEVEL 1

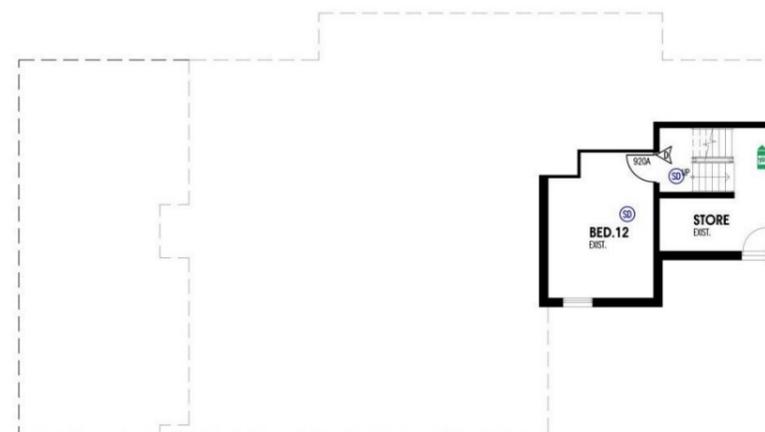
1. DELETE STAIR ON NORTH FACADE OF EXTENSION PROVIDING ACCESS FROM DECK
2. DELETE ENTRY DOOR IN NORTEHRN FACADE PROVIDING ACCESS INTO EXTENSION
3. NEW ENTRY DOOR INTO EXTENSION THROUGH WESTERN WALL INCLUDING NEW AIRLOCK IMMEDIATELY ADAJCENT
4. EXTEND WESTERN WALL FROM EXTENSION TO SITE BOUNDARY (SAME HEIGHT AS EXTENSION) TO FUNCTON AS RETAINING WALL
5. AREAS ABUTTING NORTH AND EAST WALLS OF EXTENSION TO BE BACKFILLED TO DECK HEIGHT I.E.WALLS COMPLETELY COVERED

## LEVEL 2

1. DELETE PEDESTRIAN "BRIDGE" PROVIDING ACCESS TO EXTENSION ROOF/DECK FROM NORTH
- 2.. INCLUDE NEW HEATED CONCRETE PATH/STEPS FOR AT GRADE PEDESTRIAN ACCESS TO EXTENSION ROOF/DECK
2. DELETE STAIR PER LEVEL1 COMMENTS
3. EXTEND BALUSTRADE ON WESTERN RETAINING WALL TO COMPLY WITH REGULATIONS
4. DELETE BALUSTRADES ON NORTH AND EASTERN EDGES OF EXTENSION ROOF/DECK

**TPAG** biz  
TOTAL PROPERTY ADVISORY GROUP

NOTES	TP
DATE	29 AUGUST 2024



PROP. LEVEL 0. FLOOR PLAN

C	GENERAL REVISION
B	GENERAL REVISION
A	GENERAL REVISION

AMENDMENT  
COPYRIGHT IN THIS DRAWING AND ALL WORK EXECUTED FROM IT REMAINS THE PROPERTY OF THE DESIGNER. CONTRACTORS MUST SET OUT ALL WORK AND VERIFY ALL COORDINATES ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR BEARING OF ANY WORK MUST BE EXECUTED IN ACCORDANCE WITH THE RULES, BY-LAWS AND REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION OVER ANY

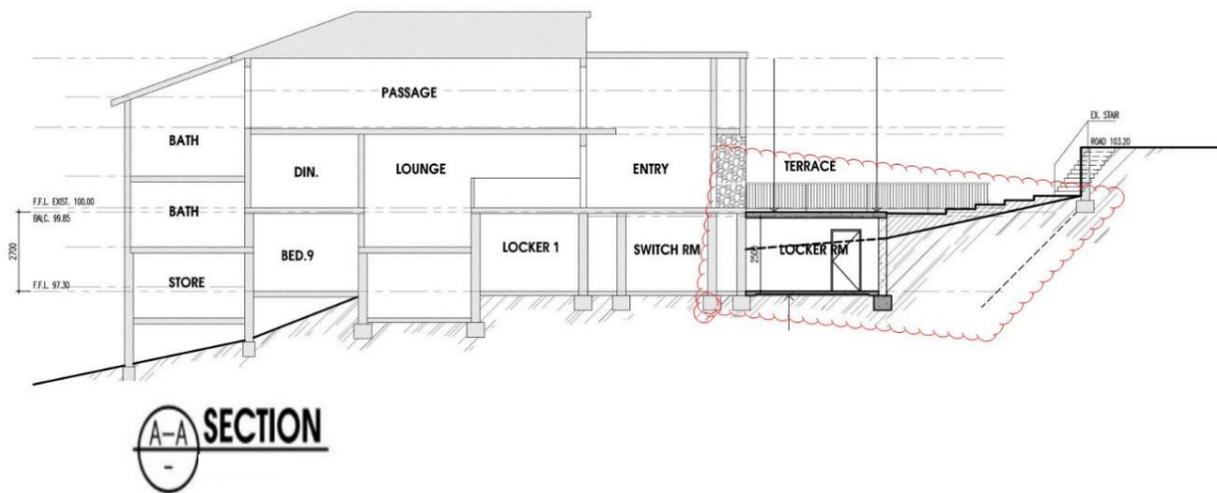
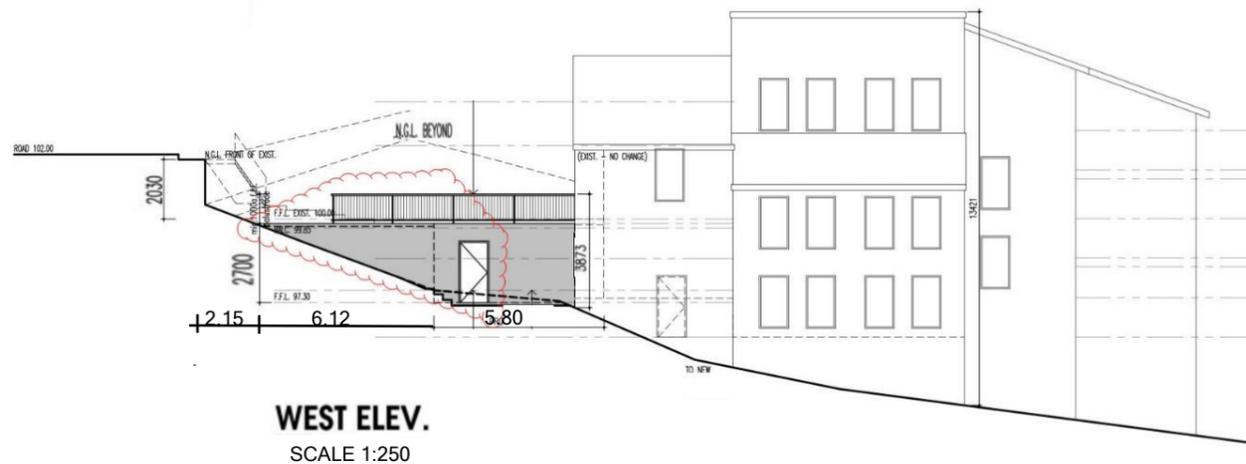
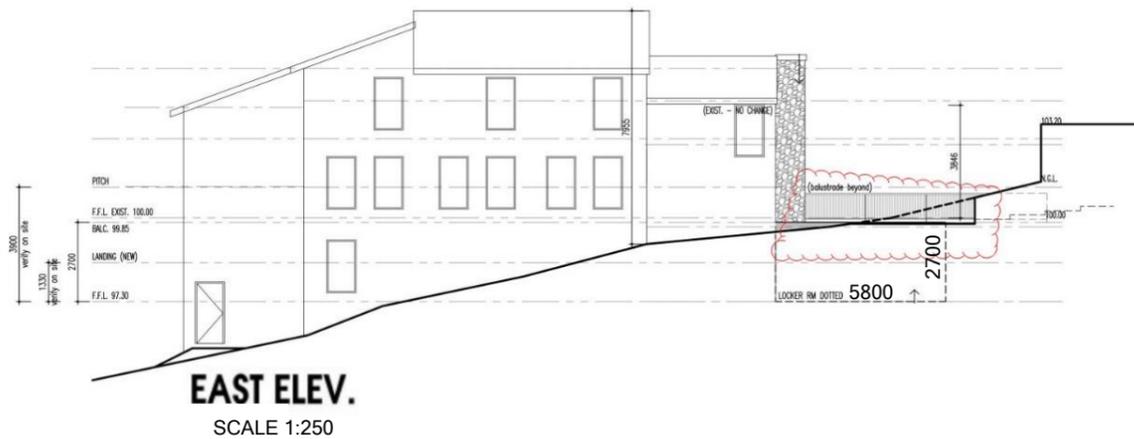
PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
TO VSL SKI CLUB  
CHAMOIS ROAD  
MT BULLER  
CLIENT  
VSL SKI CLUB  
DRAWING  
PROPOSED FLOOR PLANS



**PRELIMINARY DRAWING**  
NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:  
ALL NEW / EXISTING DIMENSIONS, WALL THICKNESS, ROOF PITCHES, CEILING HEIGHTS, STEP HEIGHTS & HEIGHTS ABOVE GROUND ETC. ARE TO BE CONFIRMED ON SITE BY THE BUILDER PRIOR TO COMMENCING ANY WORKS, FABRICATION OF WALL FRAMES, ROOF TRUSSES ETC. WINDOW FRAMES ETC. OR ANY OTHER STRUCTURAL COMPONENT. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY

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DATE	APRIL 2021	SCALE 1:1K
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## AMENDMENTS TO ENDORSED PLANS

MEASUREMENTS ARE APPROXIMATE

### EAST ELEVATION

1. EXTEND BALUSTRADE FROM DECK ALONG WESTERN RETAINING WALL IN COMPLIANCE WITH REGULATIONS
2. DELETE BALUSTRADE FROM NORTHERN AND EASTERN EDGES OF DECK (TO BE BACKFILLED TO DECK HEIGHT)

### WEST ELEVATION

1. EXTEND WESTERN WALL AT DECK HEIGHT TO SITE BOUNDARY TO FUNCTION AS RETAINING WALL FOR BACKFILL
2. INSTALL ENTRY DOOR IN WESTERN WALL OF EXTENSION
3. EXTEND BALUSTRADE ALONG WESTERN WALL TO ENSURE COMPLIANCE WITH SAFETY REGULATIONS

### SECTION A-A

1. DELETE PEDESTRIAN "BRIDGE" AND STAIRS TO LOWER LEVEL VOID; AREA B/W NORTH FACADE OF EXTENSION AND NORTH BOUNDARY TO BE BACKFILLED TO DECK HEIGHT (EASTERN & NORTHERN WALLS FULLY COVERED)
2. NEW HEATED CONCRETE PATH AND STEPS AT GRADE

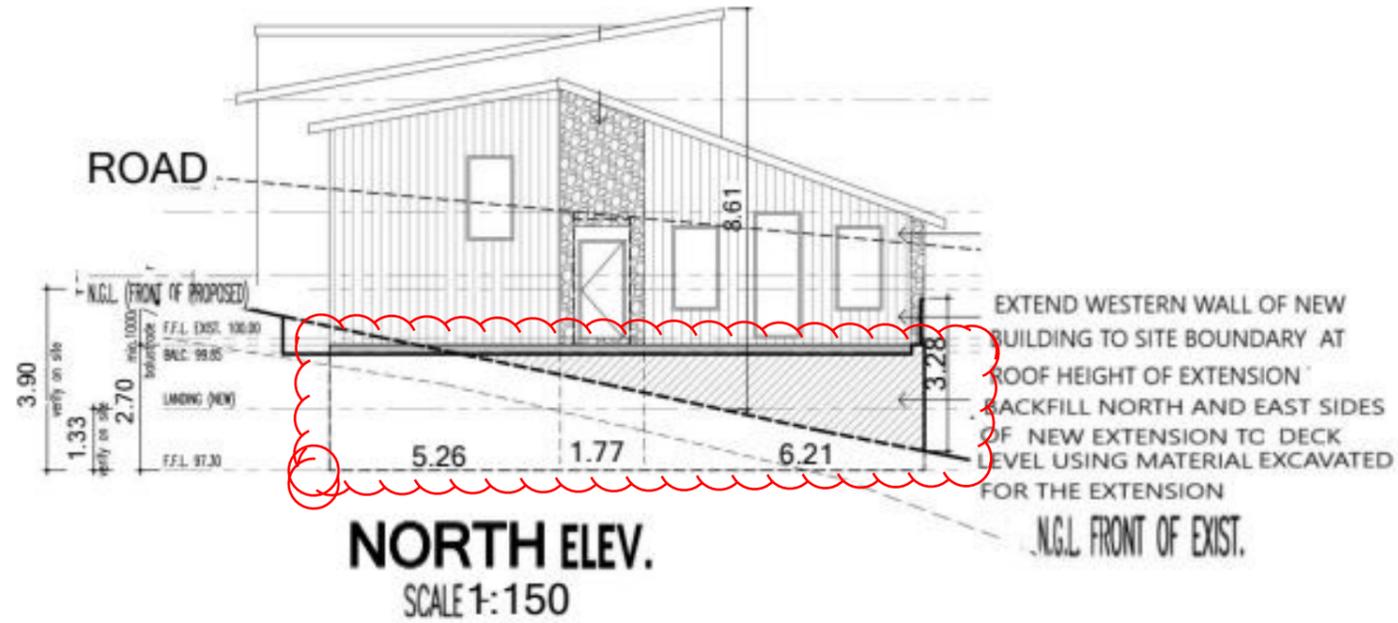
<b>TPAG</b> biz	
TOTAL PROPERTY ADVISORY GROUP	
NOTES	TP
DATE	29 AUGUST 2024

B	GENERAL REVISION
A	GENERAL REVISION
No.	REVISION
AMENDMENT	
<small>COPYRIGHT IN THIS DRAWING AND ALL WORK HEREIN DESIGNERS. CONTRACTORS MUST GET OUT ALL'S DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ALL WORK MUST BE EXECUTED IN ACCORDANCE REQUIREMENTS OF ALL AUTHORITIES HAVING</small>	
<small>PROJECT PROPOSED ALTERATIONS TO VSL SKI CLUB CHAMOIS ROAD MT BULLER CLIENT VSL SKI CLUB DRAWING ELEVATIONS / SECTION</small>	

**SUMMIT**  
building design

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DRAWN	B.M.
DATE	APRIL 2021
DRAWING No.	
REF. No.	

**21**



**FURTHER AMENDMENTS TO ENDORSED PLANS**

1. CONTINUE BALISTRAD FROM ROOF DECK OF EXTENSION TO WESTERN RETAINING WALL TO COMPLY WITH REGULATIONS
2. REMOVE BALUSTRAD FROM NORTH AND EAST EDGES OF ROOF DECK OF EXTENSION
3. REMOVE STAIRS FROM FRONT (NORTH SIDE) OF EXTENSION.
4. RELOCATE ENTRANCE DOOR FROM FRONT (NORTH SIDE) TO WEST SIDE OF EXTENSION.
- 5 REPLACE PEDESTRIAN "BRIDGE" PROVIDING ACCESS FROM CHAMOIS RD FRONTAGE, WITH HEATED CONCRETE PATH / STEPS.
  - CONNECTING STAIR B/W STRUCTURE AND ROAD NOT SHOWN TO MAINTAIN CLARITY



TOTAL PROPERTY ADVISORY GROUP

NOTES	TP
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PROJECT  
PROPOSED ALTERATIONS  
TO VSL SKI CLUB  
CHAMOIS ROAD  
MT BULLER  
CLIENT  
VSL SKI CLUB  
DRAWING  
ELEVATIONS / SECTION



DESIGN B.M.  
DRAWN B.M.  
DATE APRIL 2021



1. Retain topsoil & grass sods removed when footprint of extended deck excavated.
2. After deck construction has been completed, topsoil & sods can be placed around perimeter (with mulch & mesh, if required)
3. Sodds used in conjunction with mulch and mesh will assist in soil retention and reduce runoff & siltation, and act as a blanket to assist in germination of revegetated ground cover.
4. Site to be monitored to ensure germination of ground cover and maintenance of soil stabilisation measures.

 Revegetate extent of area as required using retained topsoil & grass sods

 Proposed Works  
**N.T.S.**

**T P A G**

**SITE REHABILITATION & REVEGETATION PLAN**



11. NORTH-WEST FACADE (Render)  
N.T.S.