

RICHMOND CLUB HOTEL

**ADVERTISED  
PLAN**

**URBIS**

# HERITAGE IMPACT STATEMENT

94-100 Swan Street,  
Cremorne

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Prepared for  
**AUSTRALIAN VENUE CO.**  
24/04/2026

**URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:**

Director, Heritage	Carolynne Baker
Associate Director, Heritage	Kim Roberts
Senior Heritage Consultant	Sebastian Dewhurst
Heritage Consultant	Mia Clarke
Heritage Assistant	Sophie Wang

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# 1. INTRODUCTION

## 1.1. BACKGROUND

Urbis has been engaged by Australian Venue Co. to prepare the following Heritage Impact Statement (HIS) to accompany a planning permit application for proposed works to the subject site at 94-100 Swan Street, Cremorne (the subject site).

The proposal is for the expansion of the existing Richmond Club Hotel site to include the buildings at 94-98 Swan Street. This involves the demolition to the rear of each building, including non-original roof forms. There will also be a series of alterations to the existing facades, including the reconstruction of the shopfronts at 94-98 Swan Street and new signage. A rear double-storey addition is proposed to allow for new indoor and outdoor dining spaces.

Further details of the proposed works are included in Section 7.

This HIS has been prepared to determine the potential heritage impacts of the development on the heritage significance of the surrounding heritage context and the subject site. A detailed impact assessment of the proposed works has been undertaken in Section 88 of this report.

## 1.2. SOURCES OF INFORMATION

This HIS is intended to be read in conjunction with the architectural documentation by Studio Y (dated 23/04/2026), and any other documents submitted as part of this permit application.

The following analysis draws upon a site inspection conducted on 12/03/2025 and a review of the relevant documents, including the heritage citation for the place. The heritage overlay provisions in the Yarra Planning Scheme Clauses 43.01, 15.03-1S and 15.03-1L have also been reviewed.

The heritage impact assessment at Section 88 is based on the following plans. Extracts of the proposed plans are also provided in Section 8. Full size plans should be referred to for detail.

Table 1 – Provided Plans

Author	Dwg No.	Drawing Name	Date
(Studio Y)	TP0000	Cover Sheet	23/04/2026
(Studio Y)	TP0100	Site & Context - Location Plan	23/04/2026
(Studio Y)	TP0101	Site photos	23/04/2026
(Studio Y)	TP0200	Existing GF Title Re-establishment Plan	23/04/2026
(Studio Y)	TP0201	Existing GF Feature & Level Plan	23/04/2026
(Studio Y)	TP0300	Existing/Demo GF Plan	23/04/2026
(Studio Y)	TP0301	Existing/Demo L1 & L2 Plan	23/04/2026
(Studio Y)	TP0302	Existing/Demo Roof Plan	23/04/2026
(Studio Y)	TP0303	Existing/Demo Elevations	23/04/2026
(Studio Y)	TP0400	Proposed GF Plan	23/04/2026
(Studio Y)	TP0401	Proposed L1 & L2 Plan	23/04/2026
(Studio Y)	TP0402	Proposed Roof Plan	23/04/2026
(Studio Y)	TP0403	Proposed Elevations	23/04/2026

(Studio Y)	TP0404	Proposed Sections	23/04/2026
(Studio Y)	TP0405	Proposed Signage Elevations	23/04/2026
(Studio Y)	TP0406	Proposed Sight Line	23/04/2026

### 1.3. AUTHORSHIP

The following report has been prepared by Mia Clarke (Heritage Consultant) and Sophie Wang (Heritage Assistant). Kim Roberts (Associate Director) has reviewed and endorsed its content.

Unless otherwise stated, Urbis have prepared all drawings, illustrations and photographs.

## 2. DESCRIPTION

### 2.1. SITE LOCATION

The subject site is comprised of four adjoining properties located at 94-100 Swan Street, Cremorne within the Local Government Area (LGA) of Yarra. The sites are legally defined as the following properties:

- 94 Swan Street, Cremorne: Lot 1 TP868241
- 96 Swan Street, Cremorne: Lot 1 TP836640
- 98 Swan Street, Cremorne: Lot 1 TP868360
- 100 Swan Street, Cremorne: Lot 1 TP839790

The site is situated on the traditional land of the Wurundjeri people.



Figure 1 – Location map showing the properties at 94-98 Swan Street that make up part of the subject site outlined in red.

Source: Nearmap, 1 February 2025.

### 2.2. SITE DESCRIPTION

The subject site comprises the double storey Richmond Club Hotel building (100 Swan Street) to the east and the neighbouring row of three double storey terrace buildings located at 94-98 Swan Street to the west. All buildings share a common zero street setback with frontages to Swan Street (Figure 2).

The Richmond Club Hotel is an early Victorian hotel double storey building that was extensively remodelled in 1927. With its overriding symmetry and Grecian architectural motifs, the main façade facing Swan Street introduced at this time is rendered and reflects the influences of the Interwar Stripped Classical style. It has a gable ended parapet above a projecting cornice displaying the name 'Richmond Club Hotel' ( and Figure 5).

The upper storey of the Swan Street façade has an inset balcony area with two ionic columns and wrought iron balustrades. Either side of the balcony, there are arched windows with simple rendered moulding detailing. There is floral cast metal horizontal strip detailing across the centre of the upper façade (Figure 5). The lower storey has original openings except for the central double door which was previously a window (Figure 22 and Figure 26). The openings have two contemporary rectangular double doors, a solid four panel door and four contemporary double hung windows, all with top light windows. There is yellow tiling to the lower half of the facade (Figure 6).

The Swan Street parapet conceals a part hipped roof and part flat roof form. The existing partial hipped roof form reflects the early Victorian roof form but appears to have been altered and reclad in c.2009. The flat roofed section reflects more recent alterations to the previous roof structure and west external wall to create

a covered dining area and large open roof deck to the rear of the building. The rear of the site is bound by non-contributory tall, impermeable fencing with access gate (Figure 4).

The three terrace buildings at 94-98 Swan Street are located to the west of the Richmond Club Hotel, with the property boundary of 94 Swan Street abutting an unnamed laneway to the west (Figure 7). All three building have a zero-street setback and common parapet height which conceals a contemporary skillion roof (Figure 8). To the rear of the front section of the buildings (defined by the extent of the return laneway façade of 94 Swan Street (Figure 2)) there is a number of additions with various roof forms (Figure 9). Each property has a tall impermeable fence onto the rear lane (Figure 10).

The upper façade of each terrace has a simple cornice and extruded rectangular vertical moulding marks the dividing line between each building. The upper storey of each building has one central arched window with ornamental moulding and divided from the lower façade with a moulding band.

The property at 94 Swan Street has no street awning and has signage above the street facing shopfront (Figure 11). The shopfronts at 96 and 98 Swan Street both have large non-original fixed awnings with signage (Figure 12 and Figure 13). The ground floor of all three terraces has been extensively altered and feature contemporary shopfronts.



Figure 2 – The subject site viewed from the northwest across Swan Street.



Figure 3 – The north Swan Street elevation of the Richmond Club Hotel.



Figure 4 – The rear of the Richmond Club Hotel.



Figure 5 – The upper storey of the Richmond Club Hotel.



Figure 6 – The ground floor façade of the Richmond Club Hotel.



Figure 7 – The three terrace shopfronts 94-98 Swan Street.



Figure 8 – The shopfronts of the properties 94-98 Swan Street.



Figure 9 – View -of 94 Swan Street from the laneway.



Figure 10 – The rear yard of the shop at 94 Swan Street viewed from the laneway.



Figure 11 – Shopfront to 94 Swan Street, Cremorne.



Figure 12 – Shopfront to 96 Swan Street, Cremorne.



Figure 13 – Shopfront to 98 Swan Street, Cremorne.

## 2.3. SETTING

The immediate Swan Street context is characterised by Victorian and Federation single and double storey commercial buildings with zero street setbacks and contemporary or altered shopfronts (Figure 14 and Figure 15).

To the west of the subject site across the unnamed laneway, there is the single storey red brick former Richmond South Post Office (90 Swan Street) which is of significance to the state Victoria, registered as VHRH0048 (Place ID4451, Figure 16).

To the east of the subject site, at 104-106 Swan Street there is a pair of altered early Victorian single storey commercial buildings which previously operated as Windows, Angliss & Co Butchers Shop and residence. They are of contributory significance to the HO335 precinct (Figure 17).



Figure 14 – Looking west along Swan Street.

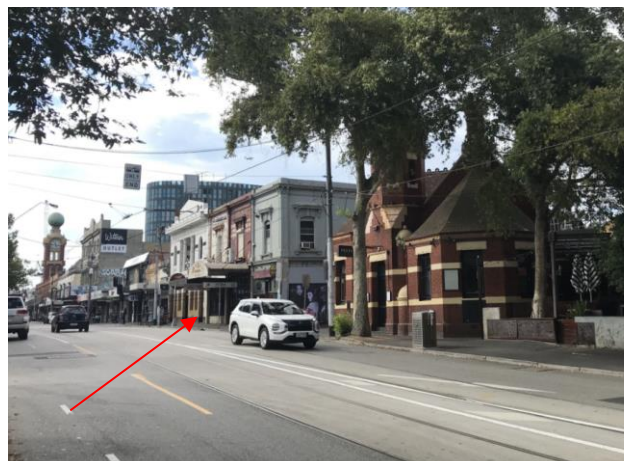


Figure 15 – Looking east down Swan Street, with the subject site on the right.



Figure 16 – The Former Richmond South Post Office, (VHD 4451), neighbouring the subject site in the west.



Figure 17 – The single storey shopfronts at 104-106 Swan Street, both graded contributory.

## 3. HISTORY

### 3.1. AREA HISTORY

The subject site is situated on land that has been the Country of the Wurundjeri Woi-wurrung people for millennia.

Wurundjeri Country includes a vast tract of land that stretches from the Werribee River in the west to the upper reaches of the Yarra (Birrarrung) and Thompson Rivers in the east.

The Wurundjeri are linked via language to the adjacent Wadawarrung people, as well as other clans who together form the Kulin language nation. Together the Kulin nation's Country covers much of present-day Melbourne over which the Kulin people share a continuing tradition and connection.<sup>1</sup>

### 3.2. SUBJECT SITE HISTORY

Swan Street was reserved as a road in Hoddle's Crown survey in 1837. By 1857 the street housed a variety of shops and hotels. The site of 100 Swan Street was initially developed as a hotel in 1865. It was known as *The Duke of Richmond Hotel* from this time until 1875. In 1879 the hotel was renamed the Richmond Club Hotel.<sup>2</sup> By 1889 the Swan Street was largely developed, formally becoming a roadway in 1901.<sup>3</sup>

The original hotel was sited to the north of the site fronting Swan Street. It was a two-storey brick building with wrought iron balcony and hipped roof. To the rear of the site there was a number of outbuildings. During this time, the sites at 94-98 Swan Street were occupied with a single storey Victorian dwelling (Figure 18).

By 1896 the sites at 94-98 Swan Street had been developed with the existing double storey terrace shops. They had a return verandah that ran the extent of the three facades and around the corner into the laneway to the west (Figure 19 and Figure 20).

In 1927, plans were developed by architects Sydney Smith, Ogg and Serpell to extensively remodel the Richmond Club Hotel for a cost of £7000. The included a complete redesign of the façade in the Stripped Classical style. The new façade was brick construction with white rendering and tiling to the lower façade (Figure 22).<sup>4</sup> The hipped roof form was partially maintained and a double storey brick extension was added to the rear, occupying most of the site (Figure 23).

By the 1940's alterations had occurred to the rear section of 94-98 Swan Street (Figure 24). By the 1960's the original return verandah had been replaced with fabric awnings along Swan Street (Figure 25). These were replaced again in the 1970s with solid shop awnings (Figure 26).

In 2009 the hipped roof to the rear of the Richmond Club Hotel was altered and a flat roof constructed to the rear of the building (Figure 28).

In 2011, the early hipped roof cladding was removed, and a new dining area and roof deck was constructed to the rear the building (Figure 29).

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<sup>1</sup> Wurundjeri Wo Wurrung Cultural Aboriginal Heritage Corporation website, <https://www.wurundjeri.com.au/our-story/ancestors-past/>, accessed 22 November 2023.

<sup>2</sup> Sands & McDougall's directory of Victoria: 1880.

<sup>3</sup> Victorian Heritage Database, Richmond Club Hotel, 100 Swan Street, Cremorne, VIC, HO335.

<sup>4</sup> The Argus, Rebuilding Hotels, 17 February 1948.

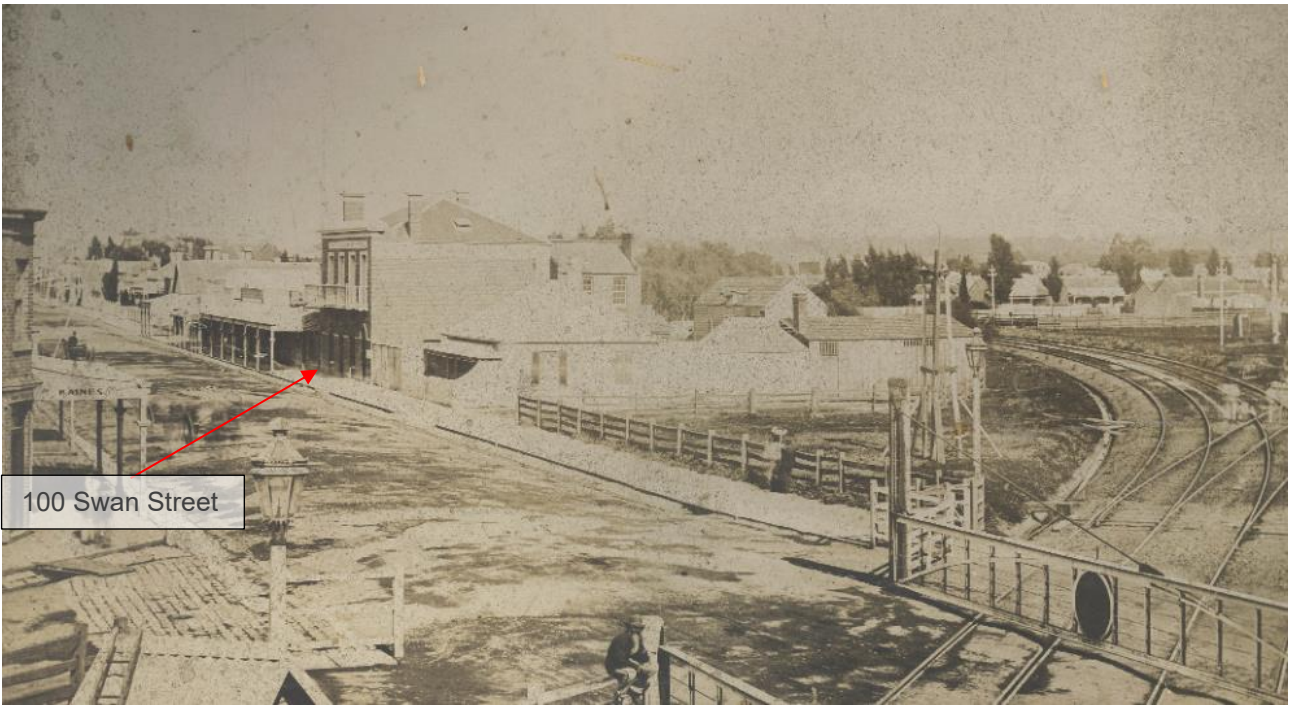


Figure 18 – Photograph of Swan Street, dated 1865-1879, showing the original Victorian hotel building.  
 Source: Yarra Libraries, Swan Street Railway Crossing, Richmond, 1865-1879, RL LF 1.

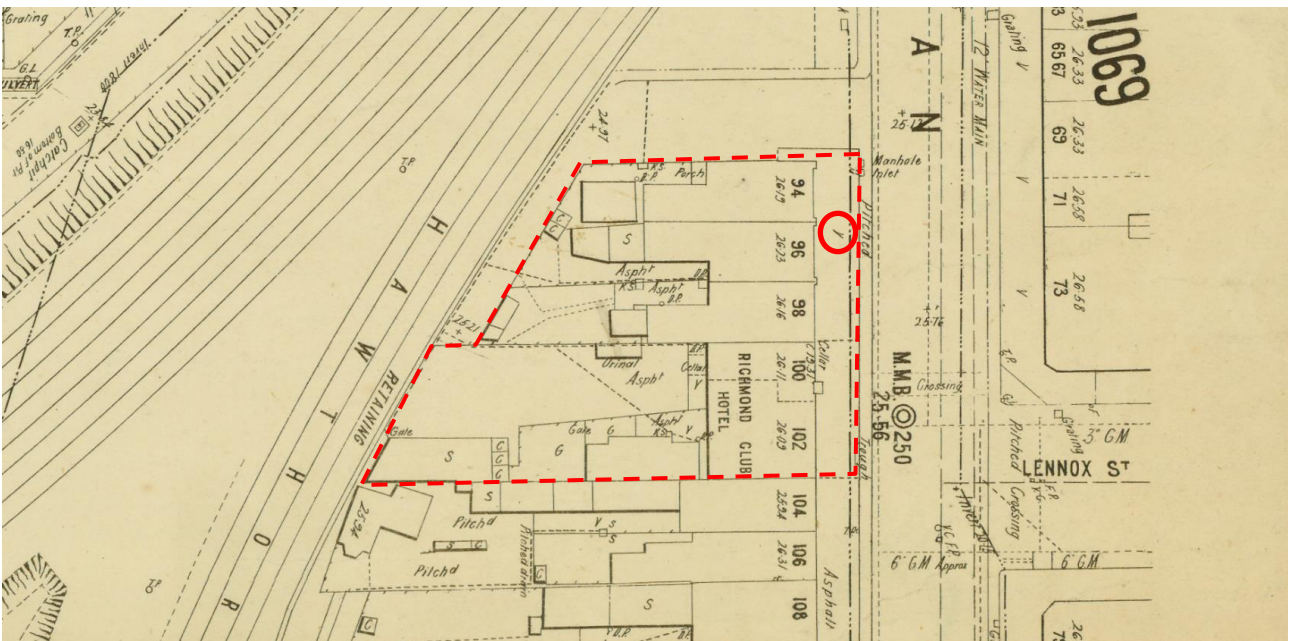


Figure 19 – MMBW showing the early floor plans of the subject site, noting the return verandah (V outlined in red) to 94-98 Swan Street.  
 Source: SLV, MMBW, City of Richmond, 912, 1895.

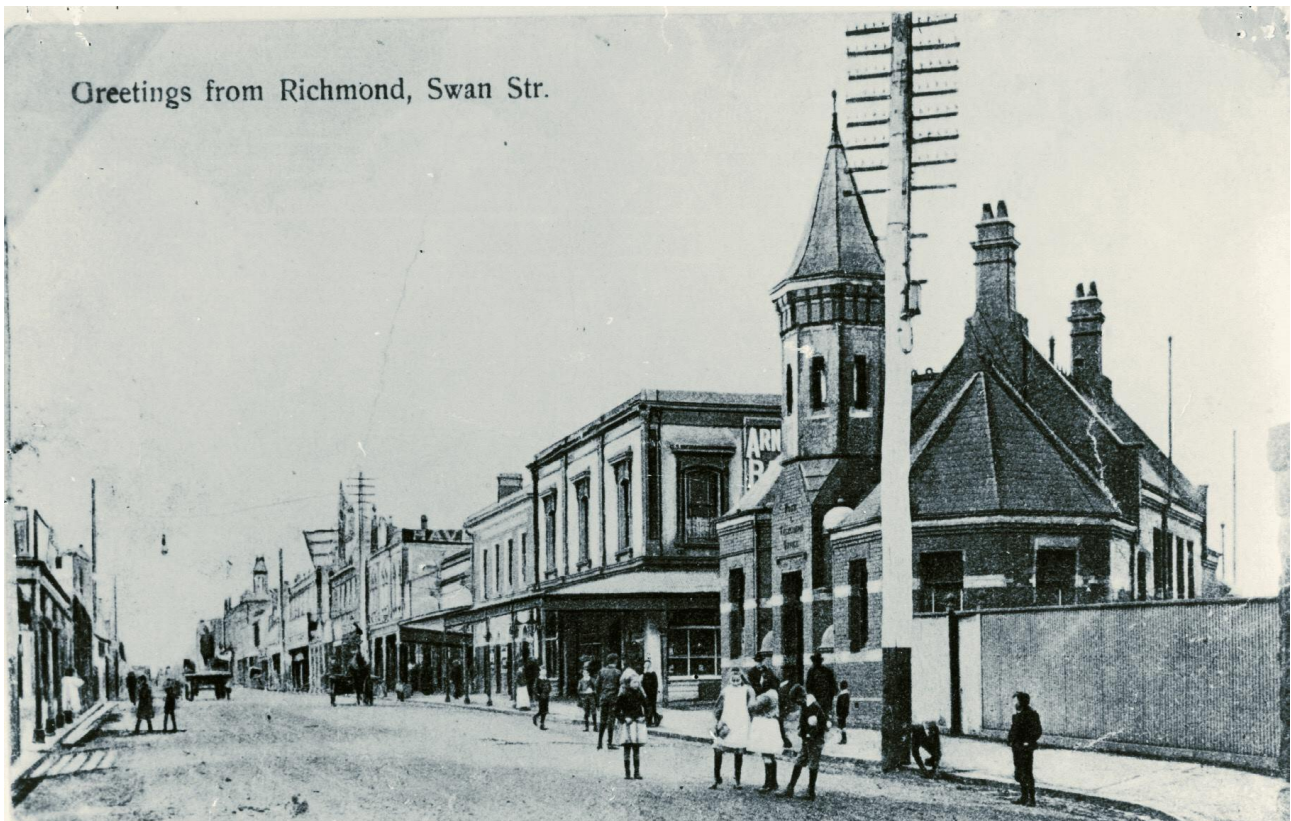


Figure 20 – The subject site as photographed in 1908, showing the original Victorian Hotel building and the Victorian shopfronts with original return verandah.

*Source: Richmond & Burnley Historical Society, Richmond Club Hotel, 1908.*



Figure 21 – Detail of Figure 20, showing the original return verandah to shopfronts at 94-98 Swan Street.

Source: *Richmond & Burnley Historical Society, Richmond Club Hotel, 1908.*



Figure 22 – The proposed façade for the subject site as advertised in the same year as construction.  
*Source: Trove, Modern Hotel to Replace Old one at Richmond, 12, 1927.*

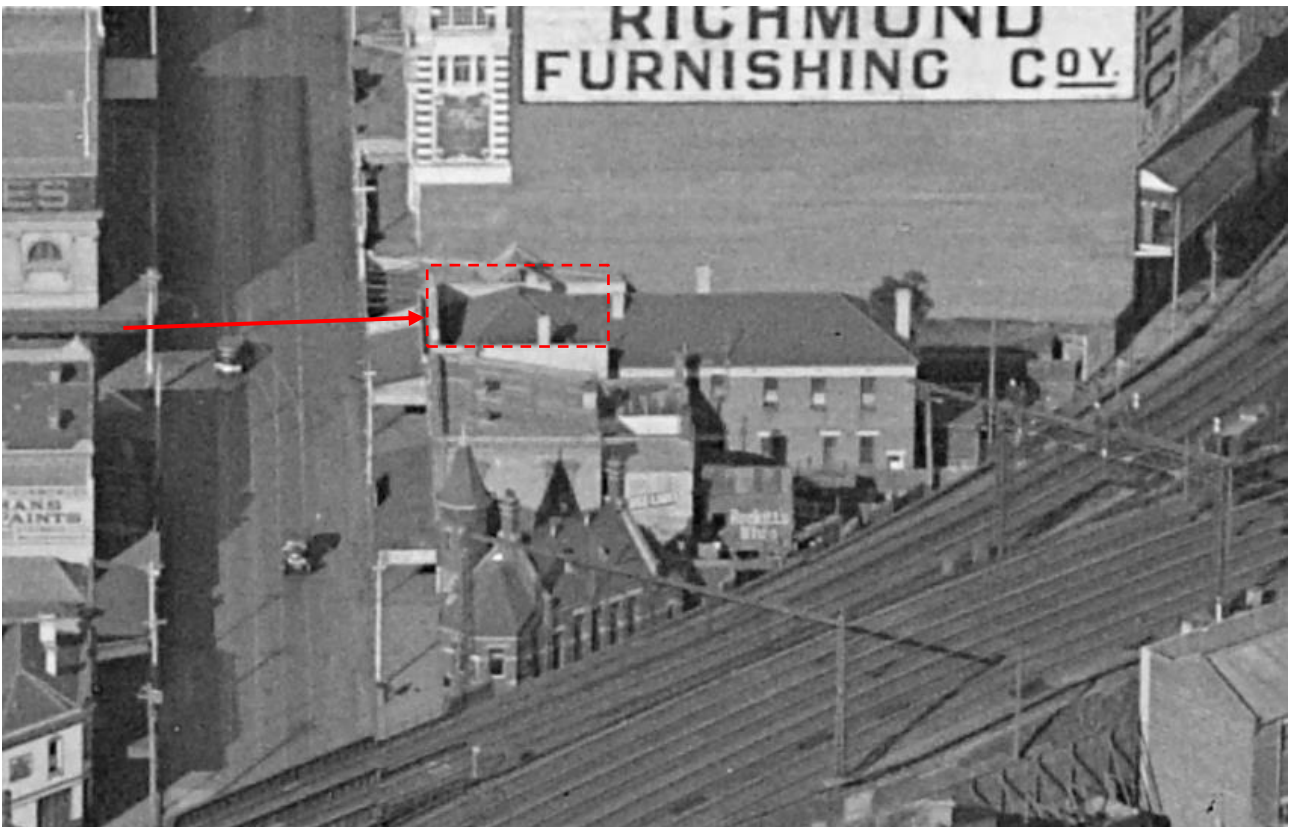


Figure 23 – Aerial photograph of the subject site dated 1925-1940, noting the hipped roof form maintained from the early Victorian building.

Source: SLV, Swan Street, Richmond, Looking East, ID 9916539623607636, 1925-1940.



Figure 24 – Historical Aerial Photograph dated December 1945 noting the outbuildings to the rear which remain on site.

Source: C/O LANDATA Online Services, EAG4 Frame 58669, December 1945.



Figure 25 – Swan Street photographed in 1967, with the subject site indicated in red, noting the awnings.

Source: Richmond & Burnley Historical Society, Herald Sun Archives, 1967.

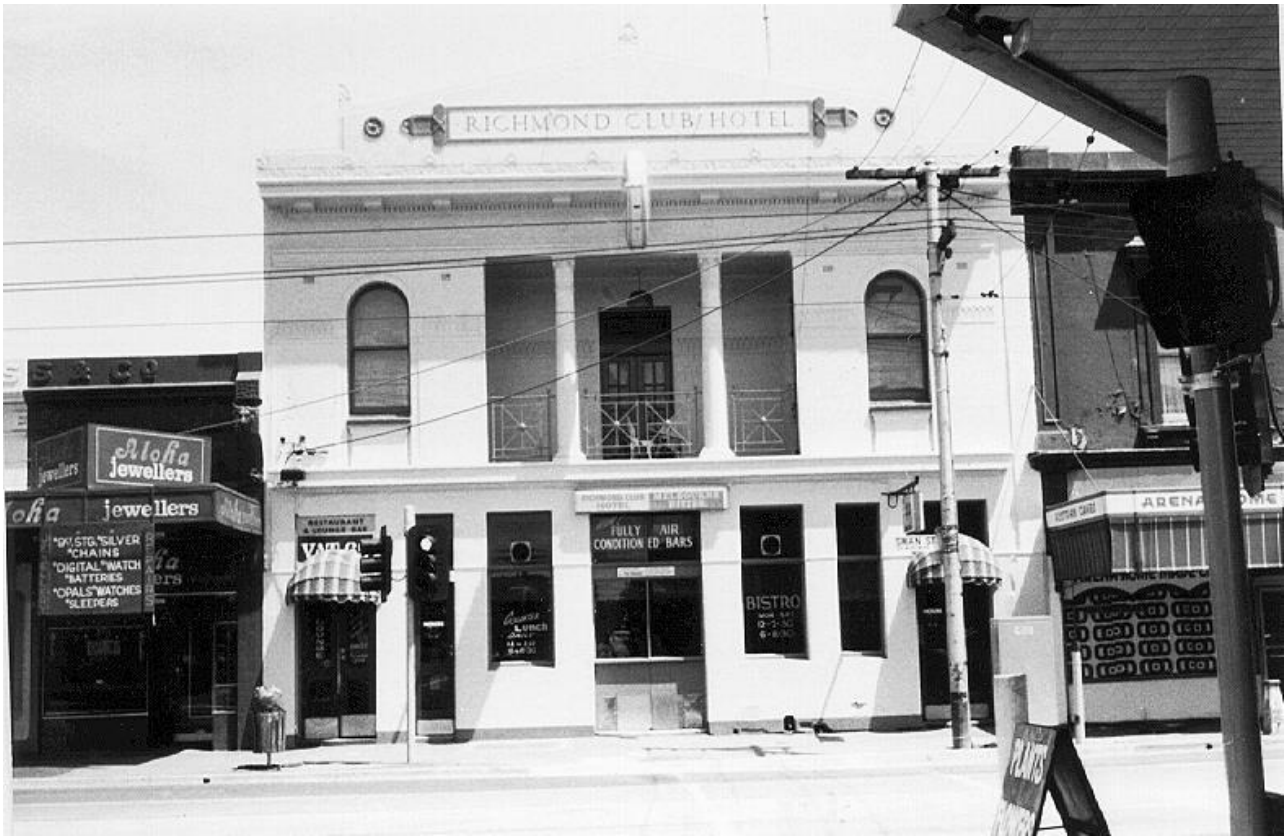


Figure 26 – The façade of the Richmond Club Hotel photographed 100 Swan Street.

Source: Cremorne community Inc, Part9. Duke of Richmond. <https://cremorne.org.au/pubs-of-cremorne/>.

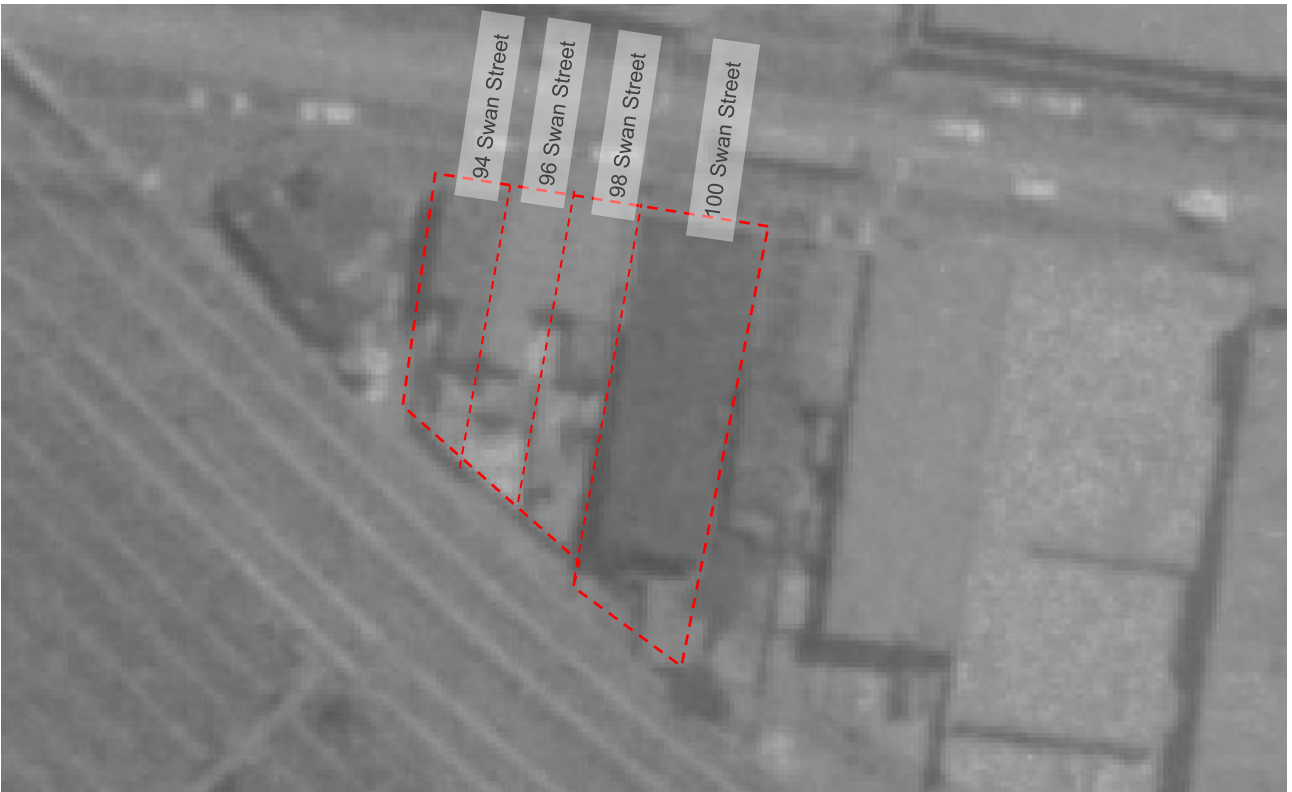


Figure 27 – Aerial of the subject site in 1983.

Source: Landata, CAD8589 Frame 791.



Figure 28 – Aerial of the subject site in 2009, with alterations to the original hipped roof underway.

Source: Nearmap Aerial, 12 Oct 2009.

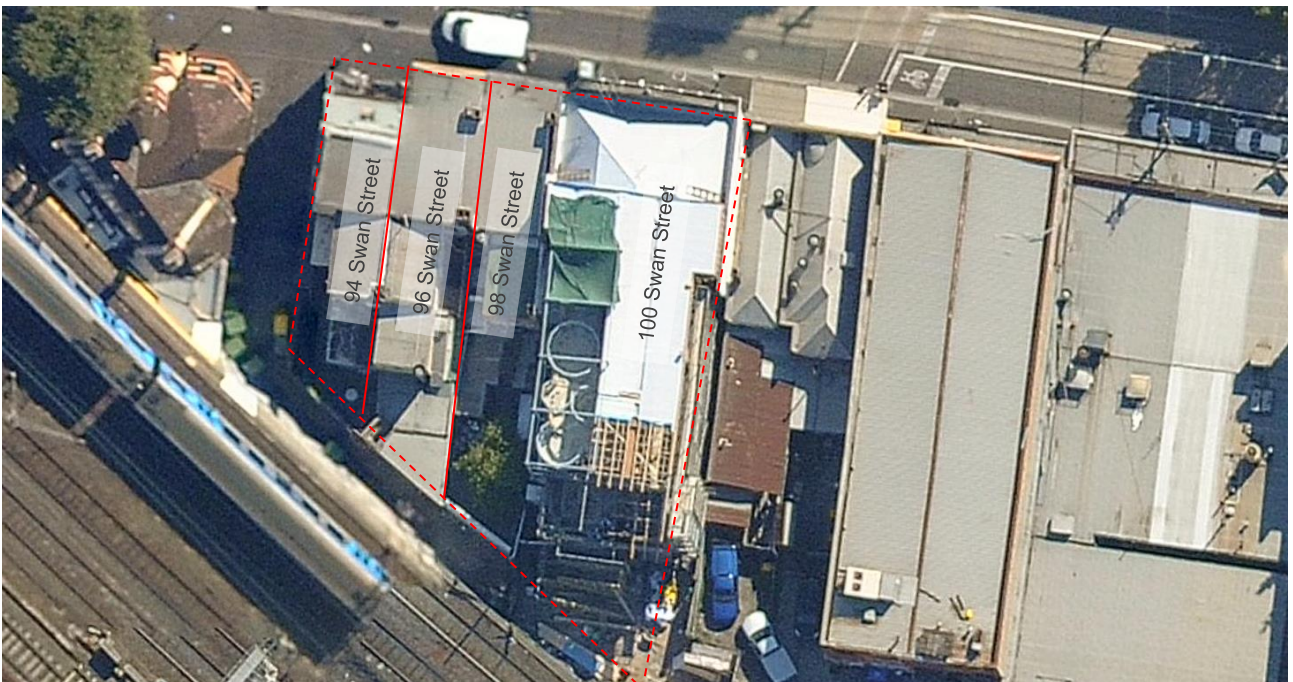


Figure 29 – Aerial of the subject site in 2011, noting the alteration and recladding of the partial hipped roof to the rear of the street facing parapet of the Richmond Club Hotel.

Source: Nearmap Aerial, 6 April 2011.

# 4. HERITAGE LISTINGS AND CONTROLS

## 4.1. YARRA PLANNING SCHEME

The site at 94-100 Swan Street, Cremorne is located within the Swan Street Heritage Overlay, a precinct identified as HO335 in the schedule to the heritage overlay of the Yarra Planning Scheme. Under the provisions of HO335, external paint controls and solar energy system controls apply.

The area is significant as one of the two major early commercial thoroughfares in the former City of Richmond. It has a high number of intact Victorian through to interwar commercial developments, including a number of shops and hotels.

The subject site is comprised of four separate buildings. The Richmond Club Hotel (100 Swan Street) is graded as significant within HO335. A significant heritage place is defined at the City of Yarra website:

*This is the highest grading and means the place is an individually important place.*

*It may have an individual heritage overlay number or be part of a precinct. An individually significant property that is part of a precinct is considered both individually significant and contributory to the precinct.*

The three buildings at 94-98 Swan Street, Cremorne, are graded as contributory within HO335. A contributory heritage place is defined at the City of Yarra website:

*This means the building contributes to the significance of the heritage precinct that it is located in.*

*It is not individually significant but when combined with other individually significant and/or contributory heritage places, they contribute to the significance of the precinct.*

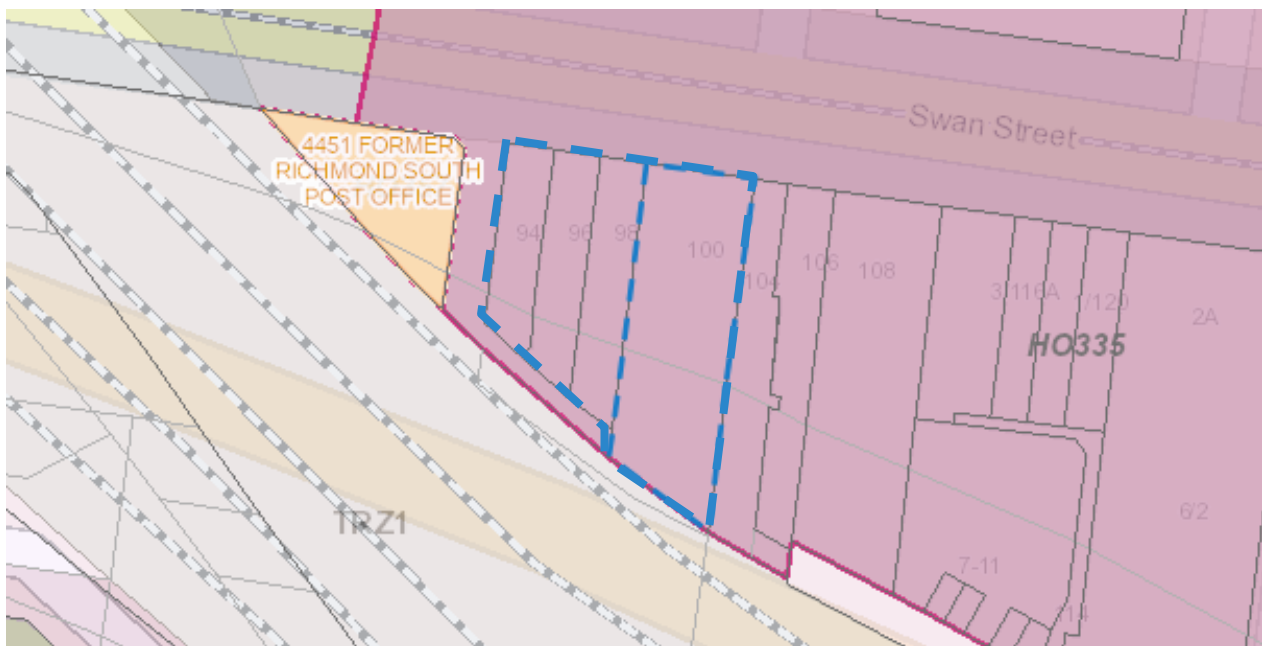


Figure 30 – Extract of the Heritage Overlay map showing the subject site outlined in blue.

Source: VicPlan at <https://mapshare.vic.gov.au/vicplan/>



Figure 31 – Extract of the Heritage Overlay map showing the contributory sites shaded in orange (94-98 Swan Street), and the significant site shaded in red (100 Swan Street).

Source: VicPlan at <https://mapshare.vic.gov.au/vicplan/>

## 4.2. OTHER STATUTORY HERITAGE CONTROLS

The site at 94- 100 Swan Street, Cremorne is not included on Australia’s National Heritage List nor is it included on the Victorian Heritage Register or the Victorian Heritage Inventory.

## 4.3. NON-STATUTORY LISTINGS

The site at 94-100 Swan Street, Cremorne is not classified by the National Trust of Australia (Vic). Nor is it included on the Australian Heritage Commission’s Register of the National Estate.

# 5. SIGNIFICANCE

## 5.1. YARRA PLANNING SCHEME

*The Statement of Significance for the Swan Street Heritage Precinct– as provided in the Victorian Heritage Database– reads as follows:*

### **What is significant?**

#### *Early survey, subdivision and development*

*Swan Street was designated as a road reserve in Hoddle's Crown survey of 1837. The north side of Swan Street within the heritage overlay includes parts of Crown Portions 20 (granted to C Williams), portions 21, 22 (granted to Rev J Docker) and 23 (granted to J McNall), all sold 1839. By 1853, much of Docker's and Williams' land had been subdivided: Wangaratta, Lennox, Stanley, Clifton, Docker and Charles Streets had all been laid out. The precinct also includes parts of Crown Allotments Nos. 1-8, stretching south to the river and sold in 1849. The Whitehorse Hotel (250 Swan St ) was built on one of these portions between 1849 and 1855. By 1857 traders in Swan Street included butchers, drapers, fruiterers, tailors, shoemakers, hairdressers and hoteliers, including the Swan Inn, Dover and Royal Hotels by 1858. (131) Swan Street was fully developed by 1889 and the roadway was sealed or macadamised in 1901.*

#### **Transport**

*The Swan Street area was first served by public transport after the Melbourne and Suburban Railway Co. was authorised to build a line from Princes Bridge Station to Windsor, with a proposed branch line through Richmond to Hawthorn open as far as Punt Road in 1859. The line was later relocated to off Swan Street, serving Richmond Station. The extension from Punt Road to Church Street (now East Richmond Station) and Picnic Station (between Burnley and Hawthorn) opened in 1860, serving the pleasure grounds at Richmond Park (now Burnley Park). The line to Cremorne Station (south of Richmond, near the Yarra) opened 1859 (132) and the level crossing across Swan Street was replaced by an overhead bridge in 1887.(133)*

*While Victoria Street and Bridge Road had been served by cable trams since the mid-1880s, the electric tram service in Swan Street, which duplicated the nearby railway, was established in 1916.(134) Swan Street itself originally terminated at the Survey Paddock (later Richmond Park, now Burnley Park), but was extended to the Yarra River between 1874 and 1888. The introduction of electric trams to Swan St also encouraged further development.*

#### **Dimmey's**

*Dimelow and Gaylard's original store in Swan Street Richmond was burnt out in 1906, and in 1907, a new store was built by Robert McDonald and the architects were HW & FB Tompkins. It was renamed 'Dimmey's Model Stores' in 1912. The distinctive clock tower, which is topped with a copper ball, was added between 1908 and 1916.*

#### **Conclusion**

*Some 24% of the buildings identified along Swan St are from the early Victorian-era and nearly 26% are individually significant, being a high percentage among other Heritage Overlay Areas but typical for the City's old commercial strips, with Brunswick St being 21%, Smith Street 27%, Queens Parade at 33%. Individually significant buildings identified range from the 1880s-1920.*

#### **Main development era**

*The main development period of the Swan Street Heritage Overlay Area is that of the Victorian and Edwardian-era, with a contribution from well-preserved inter-war buildings and individually significant buildings from any period.*

### **Contributory elements**

*Contributory elements include (but not exclusively) typically attached Victorian-era and Edwardian-era mainly two-storey shops and residences having typically:*

*Facade parapets, with pitched roofs behind*

*Two storey wall heights,*

*No front or side setbacks;*

*Face brick (red, dichrome and polychrome) or stucco walls;*

*Corrugated iron and slate roof cladding;*

*Chimneys of either stucco finish (with moulded caps) or of face red brickwork with corbelled capping courses;*

*Post-supported street verandahs as shown on the MMBW Detail Plans (135),*

*Less than 40% of the street upper wall face comprised with openings such as windows;*

*Display windows, timber or tiled shopfront plinths, and entry recesses at ground level; and*

*Red brick, storage or stable buildings at the rear or side lane frontage for some properties;*

*Contributory elements also include:*

*Well preserved buildings from the inter-war period and individually significant buildings from all periods;*

*Public infrastructure, expressive of the Victorian and Edwardian-eras such as bluestone pitched road paving, crossings, stone kerbs, and channels, and asphalt paved footpaths*

### **How is it significant?**

*HO335 Swan Street Heritage Overlay Area, Richmond is aesthetically and historically significant to the City of Yarra (National Estate Register [NER]Criteria E1, A4)*

### **Why is it significant?**

*The Swan Street Heritage Overlay Area, Richmond is significant:*

*As one of the two major early commercial thoroughfares in the former City of Richmond, with a good collection of well-preserved, mainly Victorian and Edwardian commercial buildings, containing a mixture of shops, hotels and other commercial buildings, many of which are substantially intact at first floor level, with a number of historic shopfronts at ground floor, including those dating from the interwar period;*

*For the landmark or individually significant buildings from all eras including early hotels, from the gold rush era, and famous retail stores such as Maples, Dimmey's and Ball and Company, many with architecturally significant upper facades; and*

*As a good illustration of commercial architectural styles in the City, from the late 1850s to the inter-war period.*

## 6. HERITAGE POLICY

As the site at 94-100 Swan Street is subject to HO335, any proposed works on this site must be assessed both against the provisions of Clause 43.01, the Heritage Overlay, as well as the City of Yarra's local heritage policy as set out under Clauses 15.03-1S and 15.03-1L.

### 6.1. CLAUSE 43.01

The purpose of the heritage overlay under Clause 43.01 is as follows:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To conserve and enhance heritage places of natural or cultural significance.
- To conserve and enhance those elements which contribute to the significance of heritage places.
- To ensure that development does not adversely affect the significance of heritage places.
- To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.
- Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.
- Any applicable heritage design guideline specified in the schedule to this overlay.
- Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.
- Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.
- Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.
- Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.
- Whether the proposed subdivision will adversely affect the significance of the heritage place.
- Whether the proposed subdivision may result in development which will adversely affect the significance, character or appearance of the heritage place.
- Whether the proposed sign will adversely affect the significance, character or appearance of the heritage place.
- Whether the lopping or development will adversely affect the health, appearance or significance of the tree.
- Whether the location, style, size, colour and materials of the proposed solar energy facility will adversely affect the significance, character or appearance of the heritage place.

### 6.2. CLAUSE 15.03-1S

The objective of Clause 15.03-1S (Heritage Conservation) of the Yarra Planning Scheme, is to ensure the conservation of places of heritage significance. Clause 15.03-1S provides the following general strategies to help achieve this objective:

## Strategies

- Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.
- Provide for the protection of natural heritage sites and man-made resources.
- Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.
- Encourage appropriate development that respects places with identified heritage values.
- Retain those elements that contribute to the importance of the heritage place.
- Encourage the conservation and restoration of contributory elements of a heritage place.
- Ensure an appropriate setting and context for heritage places is maintained or enhanced.
- Support adaptive reuse of heritage buildings where their use has become redundant.
- Consider whether it is appropriate to require the restoration or reconstruction of a heritage building in a Heritage Overlay that has been unlawfully or unintentionally demolished in order to retain or interpret the cultural heritage significance of the building, streetscape or area.

## 6.3. CLAUSE 15.03-1L

The relevant sections of Clause 15.03-1L of the Yarra Planning Scheme, which provide more detailed guidance relating to appropriate change at heritage places, is reproduced below:

### Objectives

To conserve and enhance Yarra's natural and cultural heritage.

To preserve the scale and pattern of streetscapes in heritage places.

To ensure the adaptation of heritage places is consistent with the principles of good conservation practices.

To promote signs that conserve and enhance the significance of a heritage place.

### Strategies

#### New development, alterations or additions

Retain, conserve and enhance individually significant and contributory buildings as identified in the incorporated document in schedule to clause 72.04 'City of Yarra Database of Heritage Significant Areas.'

Promote development that is high quality and respectful in its design response by:

- Maintaining the heritage character of the existing building or streetscape.
- Respecting the scale and massing of the existing heritage building or streetscape.
- Retaining the pattern and grain of streetscapes in heritage places.
- Not visually dominating the existing heritage building or streetscape.
- Not detracting from or competing with the significant elements of the existing heritage building or streetscape.
- Maintaining the prominence of significant and contributory elements of the heritage place.
- Respecting the following elements of the heritage place:
  - Pattern, proportion and spacing of elements on an elevation.
  - Orientation to the street.
  - Setbacks.
  - Street wall.
  - Relationship between solid and void.

- Roof form.
- Chimneys.
- Verandahs and canopies.
- Materials.
- Being visually recessive against the heritage fabric through:
  - Siting.
  - Mass.
  - Scale.
  - Materials.
  - Architectural detailing.
  - Texture, colours and finishes.

Protecting and conserving the view of heritage places from the public realm (except from laneways, unless fabric visible from laneways is identified as being significant in the Statement of Significance for the place).

Maintain views to the front of an individually significant or contributory building or views to a secondary façade where the building has two street frontages by not:

- Building over the front of it.
- Extending into the air space above the front of it.
- Obscuring views of its principal façade/s.

Setback additions:

- To avoid facadism, where only the visible façade is retained and the remaining fabric is demolished.
- To maintain the visibility of the three-dimensional form and depth of a building.

Retain or reinstate historic street and laneway fabric and infrastructure, including bluestone.

In circumstances where primary pedestrian access is provided from a laneway, allow for any reinstatement of the laneway fabric to provide universal access.

## Demolition

Prioritise the conservation and adaptive reuse of a heritage place over demolition.

Prevent the demolition of individually significant or contributory buildings unless all the following can be demonstrated:

- The building is structurally unsound rather than in poor condition.
- Alternative stabilisation works have been investigated and are not feasible.
- The replacement building and/or works is appropriate for the heritage context.

Prevent the demolition of any part of an individually significant or contributory building unless all of the following can be demonstrated:

- The demolition will not adversely affect the significance of the heritage place.
- The partial demolition will contribute to the long-term conservation of the heritage place.
- The fabric does not contribute to the significance of the place or the area of demolition is not visible from:
  - The street frontage (other than a laneway), unless:
    - The principal façade addresses the laneway; or

- The fabric visible from the laneway is identified in the Statement of Significance.
- A park or public open space immediately adjoining the site.
- The demolition of part of the building allows its three-dimensional form to be retained and does not result in the retention of only the visible façade of the building and demolishing the remainder.
- The replacement building is a high quality design.

Encourage applications for demolition to be accompanied by an application for new development.

Prevent the demolition of an individually significant or contributory building unless new evidence has become available to demonstrate that the building is not of heritage significance and does not contribute to the significance of a heritage place.

### **Commercial and industrial heritage places**

Articulate new façades by incorporating simple architectural detailing that does not compete with the more elaborate detailing of adjoining individually significant or contributory building.

Retain the visual prominence of both façades of buildings on corner sites (not including laneways).

Discourage the following in the facades of individually significant and contributory buildings:

- New openings.
- Enlarging existing openings.
- New floor plates, walls, columns or structural supports cutting through openings.
- Highly reflective glazing in historic openings (not including solar panels).
- Large expanses of glazing with a horizontal emphasis, except for ground floor shop fronts.
- Unarticulated curtain glazing.
- Balconies in historic openings.

### **Commercial heritage places**

Encourage buildings and works to respect and respond to the existing proportions, patterning and massing of nineteenth and early twentieth century facades and streetscapes.

Maintain the prominence of the street wall through appropriate upper level setbacks.

Encourage new development in activity centres to respect the prevailing street wall height in the immediate area.

Conserve and enhance heritage shopfronts and verandahs.

Encourage new shopfronts to complement the general form and proportion of glazing and openings of adjoining original or early shopfronts, if any.

Maintain the existing canopy/verandah height of adjoining heritage buildings and the heritage streetscape.

Encourage a simple contemporary verandah design, consistent with the form and scale of adjoining verandahs.

Encourage inset balconies above the street wall rather than projecting balconies.

Incorporate an angled splay to buildings on street corners where these are present on adjacent or opposite corners.

### **Restoration and reconstruction**

Retain the significance of the heritage place and the original fabric through:

- Restoration (returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material).

- Adaptive re-use.
- Reconstruction, where evidence exists (returning a place to a known earlier state, including the introduction of new material).

Support the reconstruction of a building or works that previously existed in a heritage place if:

- The reconstruction will support the significance of the heritage place.
- Evidence exists to support the accuracy of the reconstruction.

Encourage the reconstruction of a missing building in an otherwise identical row or pair of buildings if it supports the cultural significance of the heritage place.

### **Painting and surface treatments**

Support the removal of paint and other surface treatments from originally unpainted/untreated masonry surfaces by non-abrasive methods.

Retain historic painted signs.

Discourage painting, rendering or other surface treatments of unpainted surfaces.

Where external paint controls apply, ensure paint colours and types are consistent with the period of construction and architectural style of the heritage place.

### **Services and equipment**

Ensure that the location and installation of services and equipment does not detract from the significance of the heritage place or damage the heritage fabric.

Conceal solar panels, water tanks, hot water systems, air conditioners and other mechanical equipment from street view or where this is not possible, sensitively locate and install these services.

Ensure fixed mobility services and equipment (including wheel chair ramps and grab-rails) are designed having regard to the heritage place.

### **Roof terraces and roof decks**

Set back roof terraces/roof decks so that they are concealed when viewed from the street and where on a corner, when viewed from the side street.

Encourage roof terraces/roof decks that are set back a minimum of one metre from chimneys and parapets.

Ensure that stairwells, lift wells and lift overruns are not visible when viewed from the public realm.

### **Signs**

Locate signs in traditional locations on a heritage building.

Discourage signs that disrupt a historic façade, parapet or roofline.

Ensure signs are sensitively designed and located to minimise damaging the heritage fabric.

Conserve original signs and advertising features.

### **Policy guidelines**

#### **Signs**

Consider as relevant:

Discourage the following signs in heritage areas:

- High wall signs outside commercial areas.
- Major promotion signs.
- Promotion signs.
- Panel signs.

- Pole signs.
- Internally illuminated and electronic signs at upper levels.
- Animated signs.
- Sky signs.
- Above-verandah signs, unless they are part of the existing character.
- Signs that project from the verandah or building outside commercial areas.

# 7. PROPOSAL

The proposal is for the expansion of the existing Richmond Club Hotel site to encompass the buildings at 94-98 Swan Street, Cremorne (the subject site).

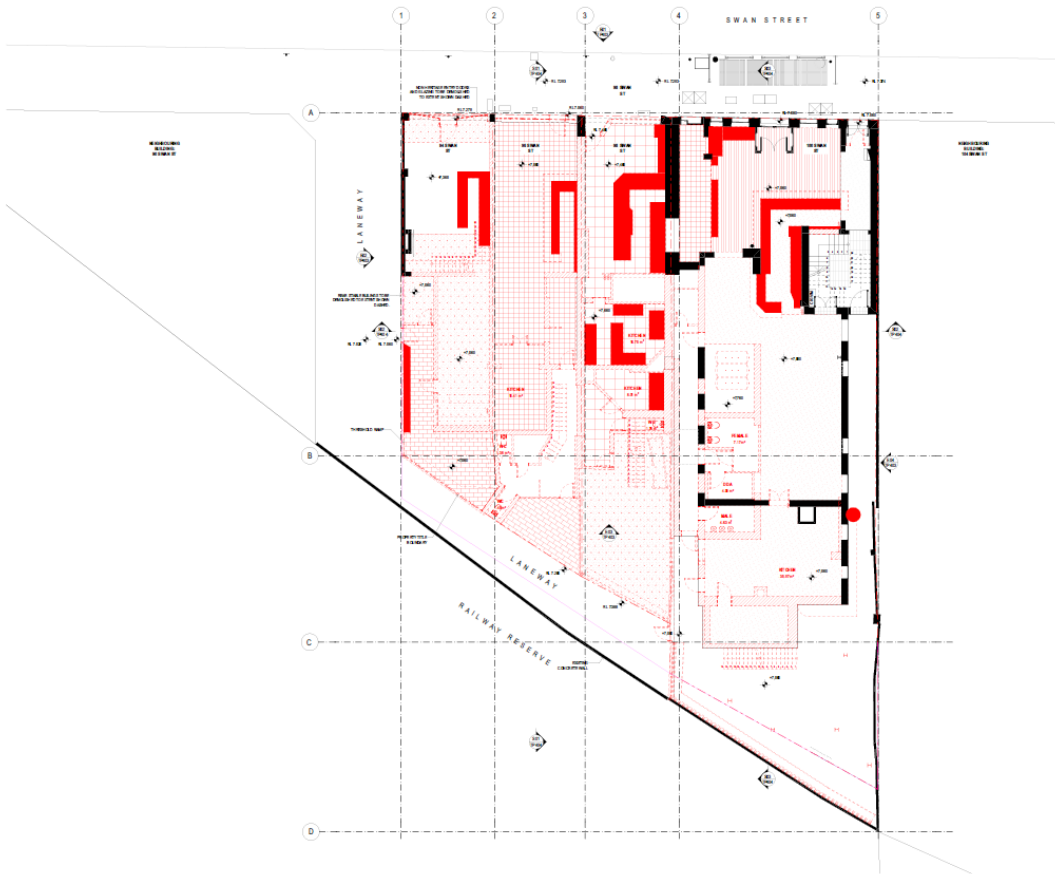
Key aspects of the proposal are outlined below:

- Demolition of rear additions, part of skillion roof form to front section of buildings and contemporary shopfronts – 94-98 Swan Street.
- Demolition to fabric to rear of 100 Swan Street.
- Internal demolition works – 94-100 Swan Street.
- Alterations to non-original ground floor shopfronts (94-98 Swan Street).
- Rear alterations and additions (two storeys plus roof deck to 94-198 Swan Street, three storeys and roof deck to 100 Swan Street).
- Introduction of new signage.

## 7.1. DEMOLITION

It is proposed to demolish the following:

- The non-original rear of 94-98 Swan Street including external walls, outbuildings and part of skillion roof structure to front section of building.
- Internal walls of 94-98 Swan Street, including the dividing walls between the buildings.
- The existing contemporary shopfronts to 94-98 Swan Street.
- The west rear deck roof structure and sections of west and south external walls of 100 Swan Street.
- Existing signage to the front façade of 100 Swan Street.



① EXISTING DEMO PLAN  
1:100

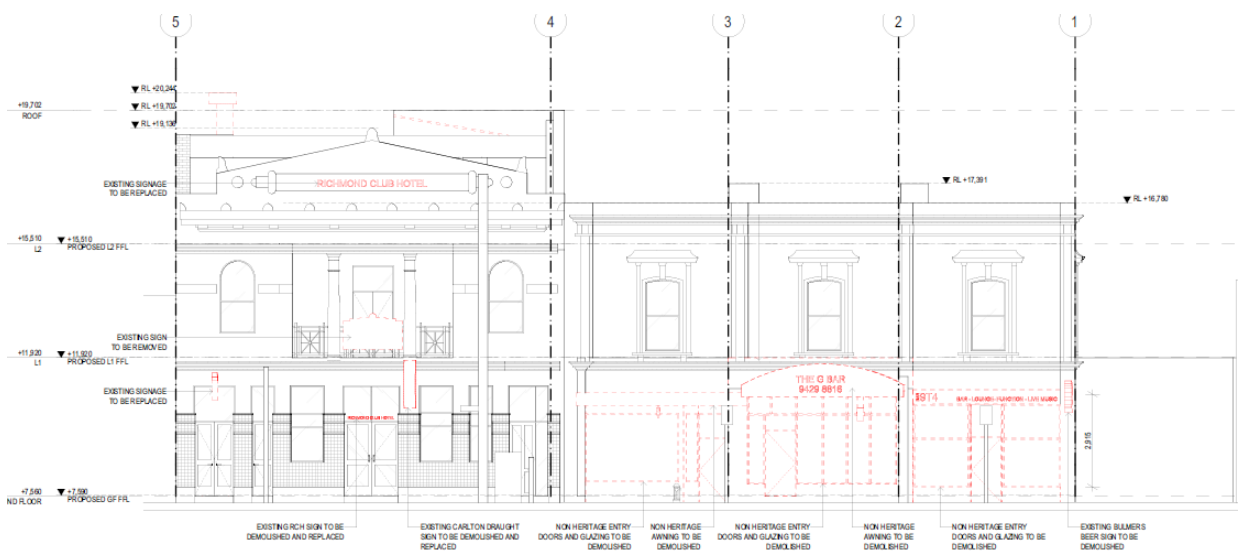
Figure 32 – Site plan showing the extent of proposed demolition.

Source: Studio Y, Dwg TP300, 23/04/2026.



Figure 33 – Ground floor plan showing the extent of demolition to the roof plan.

Source: Studio Y, Existing Demo Roof Plan, TP302, 23/04/2026.



EXISTING/DEMO NORTH ELEVATION (SWAN ST)

Figure 34 – Front elevation showing extent of demolition to the existing northern façade.

Source: Studio Y, Existing/ Demo North Elevation (Swan St), TP303, 23/04/2026.

## 7.2. ALTERATIONS

It is proposed to undertake the following alterations:

- Introduce new shopfront windows, a single double door and signage to 94-98 Swan Street.

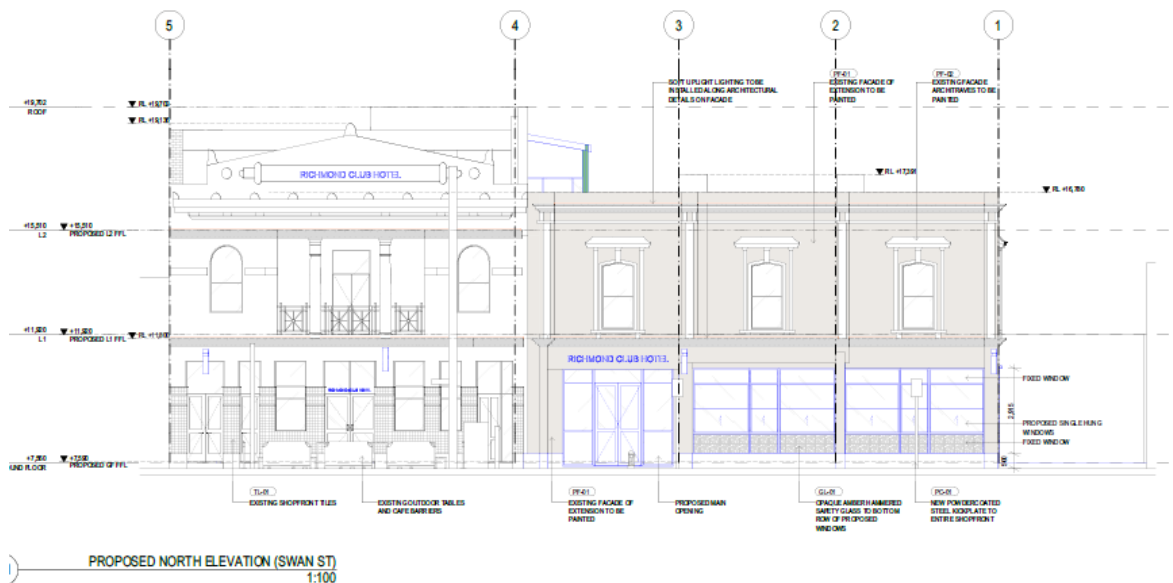


Figure 35 – Proposed north elevation, noting changes to the ground floor shopfronts to 94-98 Swan Street.

Source: Studio Y, Proposed North Elevation (Swan St)

## 7.3. ADDITIONS

The proposed new work involves a rear double-storey and rooftop addition to the rear (south) of the subject site and internal alterations throughout. The additions will accommodate the proposed updated and extended venue, including a seated beer garden area, a children’s play area, new toilets, kitchen, and storage facilities.

The rear addition at third floor level is similar to that of the existing rooftop addition, with the exception of the flat roof form to the rear of 100 Swan Street which will extend further to the west at second floor level. However, these elements will not be visible from the public realm due to their setback and the high parapet walls along Swan Street.

The addition will be framed by a green powder-coated column and beam structure, with balustrades and handrails to the floor balcony and roof deck also in green powder-coated steel. The addition to the rear of 94-80 Swan Street will extend to the side boundary shared by the unnamed laneway. The ground floor will be partially enclosed by a section of double red brick wall with a narrow steel roller (powder coated ‘Manor Red’) enclosing a new glass wash area, and mesh fencing above a hit and miss brick street to the rear which will provide views through to the beer garden and screening to the upper floor balconies and balustrades. There will be an access staircase to the west of the children’s playground that will extend up to the second-floor roof deck. There will be an external seating area and Level 1 to the rear of the stair and to the roof deck area.

The new external walls to the west south of the additions to the rear of the Richmond Club Hotel (100 Swan Street) are largely glazed, with areas of fixed glazing and bifold windows. There will be a second staircase located to the south of the existing Richmond Club Hotel building.

The new western staircase and external column and beam structure will be obliquely visible down the laneway 94 Swan Street and the former Richmond South Post Office neighbouring site at 90 Swan Street.

It is proposed to add solar panels to the northern portion of non-original roof (Figure 38).

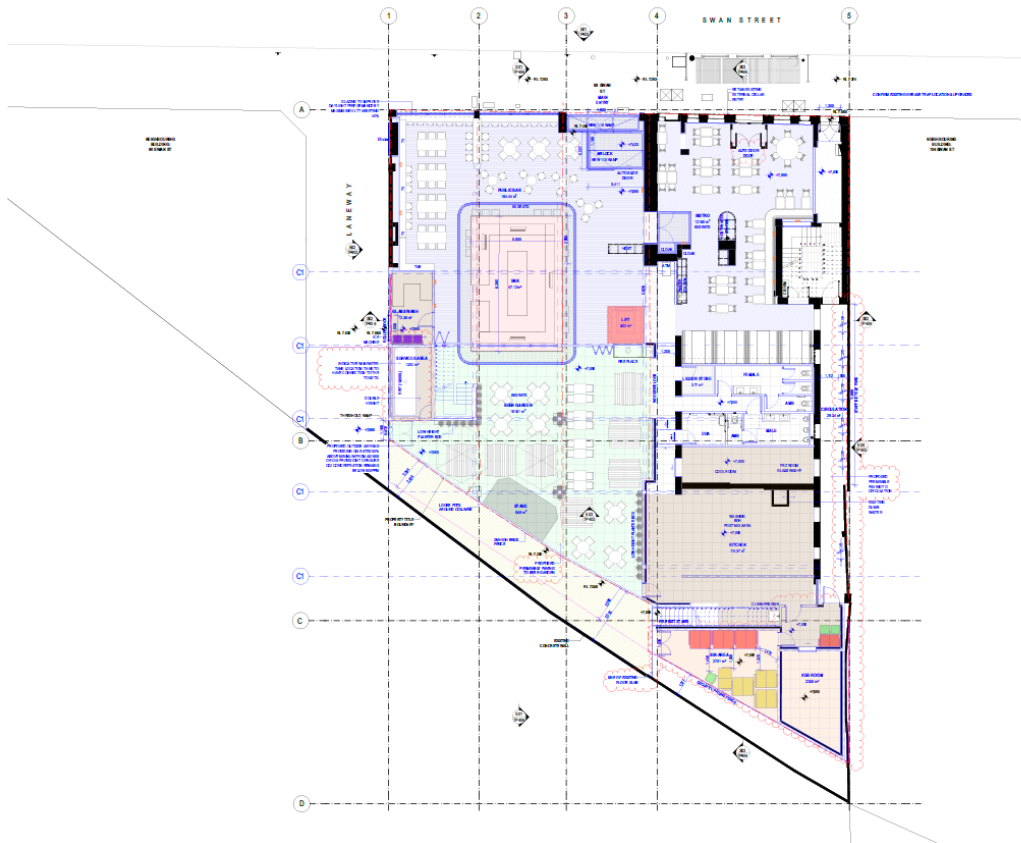


Figure 36 – Proposed ground floor plan.

Source: Studio Y, Proposed Ground Floor Plan, TP400.

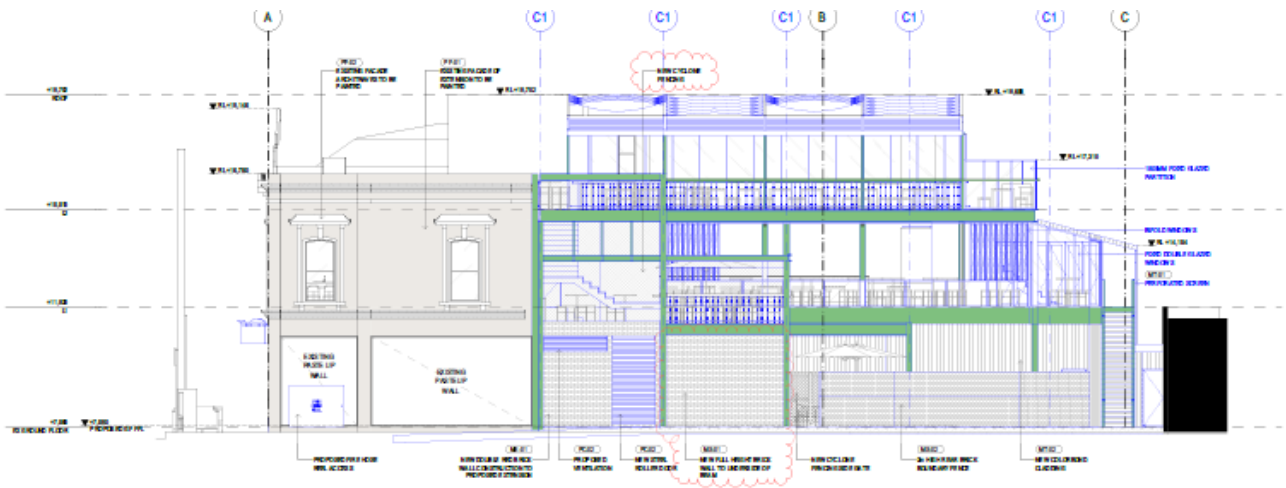


Figure 37 – Proposed west elevation.

Source: Studio Y, Proposed West Elevation, TP403.



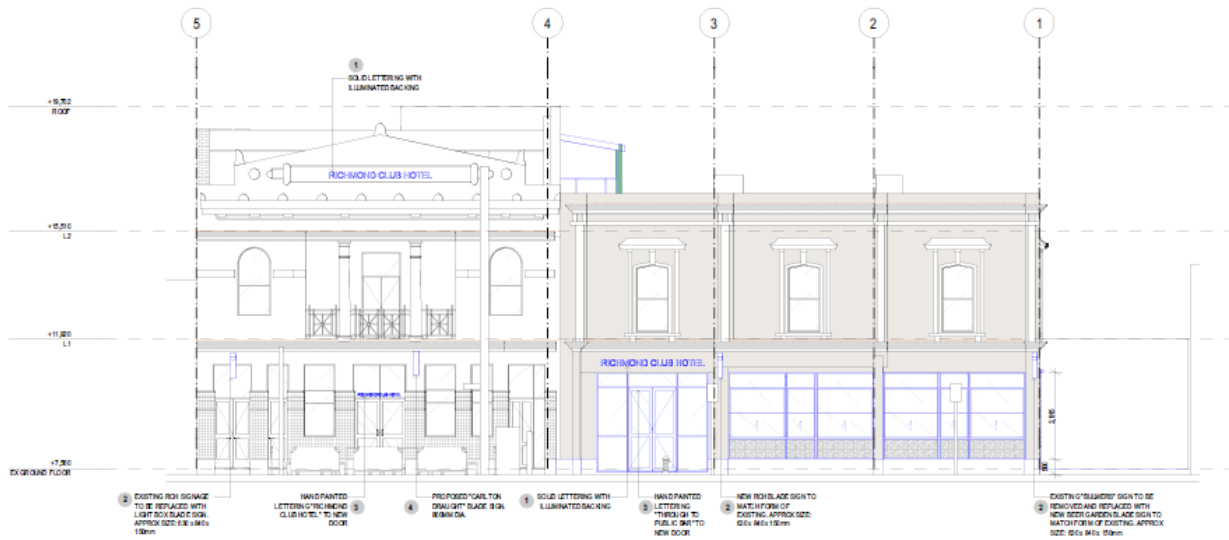
Figure 38 – Site Line Diagram.

Source: Studio Y, Site Line Diagram, TP407.

## 7.4. SIGNAGE

The proposed new signage would include:

- A sign with illuminated backing to the Richmond Club Hotel to the existing parapet wall.
- A sign with illuminated backing above the proposed double doorway at 98 Swan Street.
- Four illuminated light box blade signs in the location of existing signage.
- Hand painted signage to proposed double doorway at 98 Swan Street.



PROPOSED NORTH ELEVATION (SIGNAGE)

Figure 39 – Proposed North Elevation showing the signage.

Source: Studio Y, Proposed North Elevation (Signage).

## 8. HERITAGE IMPACT ASSESSMENT

The following impact assessment provides an analysis of the proposed development in relation to the policies, objectives, strategies and guidelines of the heritage policy of the Yarra Planning Scheme. It considered whether the proposed scheme for the site is appropriate in character and detail, and whether it is acceptable in terms of the potential impact on the heritage significance on both the subject site and HO335 more broadly.

Future works on the site at 94-100 Swan Street, Cremorne must be assessed against the relevant heritage policies of the Yarra Planning Scheme including Clauses 43.01, 15.03-1S, and 15.03-1L, the latter of which provides guidance as to the forms of development that might be appropriate for places subject to the heritage overlay.

Some of the factors that Council must consider when assessing development proposals for heritage sites is the significance of the heritage place and the impact the proposal will have upon the heritage place.

### 8.1. DEMOLITION

As part of the current scheme, it is proposed that the frontage of the Richmond Club Hotel, along with much of the front portions of the existing buildings are to be retained. Demolition to the rear has been limited to fabric that has already been changed as a result of previous alterations and additions to 94-100 Swan Street.

It is proposed to retain the front, original section of the buildings at 94-98 Swan Street, other than part of the non-original skillion roof form. Demolition of the rear fabric is limited to later additions and has been sited to facilitate the new works additions and the integration of all the buildings as one venue.

A larger proportion of fabric to the rear of the significant building Richmond Club Hotel (100 Swan Street) is to be retained, with the largely intact façade to the east to be retained and with demolition largely contained to non-original and highly altered facades (respectively) to the south and west. It is noted that these areas also have little to no visibility from the public realm.

Council's heritage policy at Clause 15.03-1L discourages demolition of any part of an individually significant or contributory building unless it can be demonstrated that the demolition will not adversely affect the significance of the heritage place, the partial demolition will contribute to the long-term conservation of the heritage place, and the area of demolition is not visible from the street frontage (other than a laneway). Furthermore, the extent of partial demolition should allow the building's three-dimensional form to be retained and should avoid only the visible façade of the building being retained. Finally, the proposed scheme should be of a high-quality design.

While demolition of the roof fabric, rear built form and internal dividing walls to all sites is part of the proposed scheme, it is noted that all the existing roof fabric has already been previously altered and remains out of view from the public realm due to the high boundary parapet walls. The proposed extent of demolition to the rear of the site will therefore have little impact on the significance of the Swan Street Heritage Precinct (HO335) or the significant and contributory buildings at the subject site.

Similarly, demolition of the non-original shopfronts and removal of existing signage to 94-98 Swan Street will not result in fabric that contributes to the contributory buildings or the Swan Street Heritage Precinct and allows an opportunity to improve the presentation of these buildings within the precinct.

Internal works are also proposed, but as internal controls do not apply under the provisions of HO335, these are not considered as part of this assessment.

The proposed extent of demolition is therefore considered acceptable from a heritage perspective.

### 8.2. ALTERATIONS

Yarra's heritage policy regarding alterations and additions to heritage places aims to retain, conserve and enhance individually significant and contributory buildings. In general, works should maintain the heritage character of the existing building or streetscape, should retain the pattern and grain of streetscapes in heritage places. Its demolition of significant fabric is discouraged unless it can be demonstrated that the removal of the fabric will not adversely affect the significance of the heritage place, and the replacement works are of a high quality.

The alterations to the ground floor shop fronts of the shopfronts at 94-98 Swan Street are appropriately located within the extent of the existing altered shopfronts.

In terms of architectural expression, the proposed new shopfronts are designed 'respect and respond to the existing proportions, patterning' of the existing context and to 'complement the general form and proportion of glazing and openings of adjoining original or early shopfronts' in line with heritage policy. The proposed design of the new window reflects the general configuration of traditional shopfront windows, with their characteristic stall heights and central door flanked by display windows, in a contemporary manner. They are designed to facilitate the new building program while still respecting the pattern and grain of the streetscapes wider character and the composition of traditional shop fronts.

The proposed palette of materials and colours for the Swan Street façade responds appropriately to the architectural language and existing material and colour palette of the Interwar Richmond Club Hotel façade while maintaining the Victorian commercial character of the buildings at 94-98 Swan Street. The proposed 'Lime White' paint finish is in keeping with the colour scheme of the Richmond Club Hotel and is also appropriate for the buildings at 94-98 Swan Street. The retention and repair of the existing tiles to the lower level of Richmond Club Hotel is appropriate. The use of a similar coloured paint to the lower façades of 94-98 Swan Street to provide a visual connection between the sites is a simple and readily reversible method of integrating the four buildings that will allow the separate character of the contributory buildings to remain legible. The proposed black powdercoated window framing and steel kickplates is appropriately neutral and responsive to the existing building and will not visually detract from the heritage buildings.

The proposed alterations will result in the retention of significant fabric and the respectful and high-quality contemporary design of new elements that respond appropriately to traditional shop front composition and rhythms of the existing commercial heritage precinct.

### **8.3. ADDITIONS**

The proposed additions to the rear have been carefully sited, scaled and designed to be respectful and visually recessive. They 'retain the visual prominence' of the heritage buildings and respond positively to the heritage character of the contributory and significant buildings and the Swan Street Heritage Precinct.

Yarra's heritage policy stipulated that new works should be respectful in their design response to significant and contributory heritage fabric. Additions should generally not visually dominate the existing heritage building or streetscape, not detract from significant elements. The prominence of a heritage place should be retained and key views to heritage places should be maintained.

The three-storey addition proposed to the rear of the four heritage buildings would facilitate both indoor and outdoor undercover bar areas. It has been appropriately sited and scaled to ensure that there is very limited visibility of the new works from Swan Street. Where the new partially and obliquely visible down the abutting unnamed laneway to the west, the new structure is largely transparent, visually recessive and responds appropriately to the architectural character of the heritage buildings. It uses compatible materials and colours (red brick, green and manor red powdercoated steel and transparent mesh) and responds to the scale and compositional framework of the heritage buildings while maintaining its own integrity as a contemporary architectural element.

The height, materiality and architectural expression of the new structure has been designed to ensure the addition is set behind the contributory and significant heritage buildings and are not readily visible from the public realm. The structure maintains the floor levels of the existing heritage buildings. It is simple in form and largely comprised of structural components, which respond appropriately responsive to the language of the heritage buildings. By recessing any solid built form within these structural components, the overall sense of scale and visual bulk is reduced where visible in the laneways to the side and rear of the heritage buildings. The use of an open framework and fixed and operable glazed walls increase the transparency of the addition allowing for views from the rear and from the western laneway.

The solar panels will have no impact on the heritage significance of the place as they are not visible from the public realm, as shown in the sightline diagram at Figure 38.

### **8.4. SIGNAGE**

It is Yarra's heritage policy to promote signs that conserve and enhance the significance of a heritage place through appropriate location of signs in traditional locations, discouraging signage that disrupts a historic façade, parapet or roofline, ensuring sensitive design and minimal damage to heritage fabric, while

conserving original signs and advertising features. Internally illuminated and electronic signs at upper levels are generally discouraged.

The proposed signage has been designed to be simple in nature, and responsive to the existing and historic signage on site. The proposed signage involves a backlit illuminated solid lettering located to the parapet wall and above the new proposed entry of the Richmond Club Hotel. Blade light box signs are also proposed. The signage is appropriately located and reflects the location of existing signage and the pattern of traditional hotel signage (to parapet areas and horizontal signage above door heights).

While policy generally discouraged illuminated signage, the signage is backlit and therefore has a reduced light impact than other illuminated signage. Any heritage impact would be relatively minor in nature.

The proposed light box signage along the façade of the four heritage buildings is appropriately located as they will replace existing extruded signage. They are consistent in terms of size and proportion in relation to the heritage place. Again, while illumination is generally discouraged by heritage policy the perpendicular relationship between the signs and building façade will ensure the lighting has minimal impact on the appreciation of the heritage buildings and precinct.

## 9. CONCLUSION

The current proposal would include a scheme of demolition, alteration and addition works to the buildings at 94-100 Swan Street, Cremorne that would have a justifiable level of impact on the subject building and the Swan Street Precinct considering the strategies and policies of local heritage policy and the Heritage Design Guidelines.

- The proposed demolition is limited to non-original fabric and alterations, with all visible, significant heritage fabric being retained.
- Alterations to the ground-floor shopfronts involve removing non-original elements while respecting the original building's character. The design of the replacement shopfronts responds to the composition of traditional shopfronts while being legible as contemporary additions. They are sympathetic to the heritage context and contribute to a high-quality, responsive overall design.
- The proposed rear additions are designed to be visually recessive, with careful attention to materiality, scale, and architectural expression. The additions respect the heritage fabric and will remain concealed from Swan Street except in oblique views down the unnamed lane to the west. Where visible the transparent nature of the addition to the western end of the site will ensure it is visually recessive.
- The proposed signage respects the heritage site by being simple and being located in areas consistent with historical location and typology. While the signage will be illuminated, it is understated and otherwise simple in nature. It will have a minimal impact on the heritage buildings and heritage precinct.

Overall, the proposed scheme of works is a sensitive approach to the site and surrounding context, would be consistent with the intent of the local heritage policy and are recommended for approval from a heritage perspective.

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VicPlan Map: <https://mapshare.vic.gov.au/vicplan/>

Wurundjeri Wo Wurrung Cultural Heritage Aboriginal Corporation. Ancestors Past.  
<https://www.wurundjeri.com.au/our-story/ancestors-past/>.

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