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OUR LADY OF SION COLLEGE  
STEAMD AND ADMINISTRATION CENTRE TOWN PLANNING APPLICATION

Layout ID	Layout Name	TP10	STEAMD & Administration L2 Floor Plan
TP	Cover	TP11	STEAMD & Administration L3 Floor Plan
TP00A	Design Response	TP12	STEAMD & Administration Roof Plan
TP01	Location Plan	TP13	Learning Area Refurbishment Plans & Elevations
TP02	Existing Site Plan	TP14A	STEAMD & Administration Elevations
TP03	Existing / Demolition Ground Floor	TP15A	STEAMD & Administration Elevations
TP04	Existing / Demolition First Floor	TP16A	STEAMD & Administration Sections
TP05	Existing / Demolition Elevations	TP17A	STEAMD & Administration Sections
TP06A	Proposed Overall Site Plan	TP18A	Artists Impressions
TP07A	Proposed Site Elevations	TP19	Construction Management Plan
TP08A	Proposed Site Plan		
TP09A	STEAMD & Administration L1 Floor Plan		



Proposal Description

STEAMD & Administration Building Summary  
Level 1: 1195m2. Administration, Music and Weights

Level 2: 1415m2 Arts Rooms, Project Lab, Arts Equipment Hub, Drama, Staff Workroom

Level 3: 1317m2 (plus 104m2 roof deck) Science Laboratorys, Project Lab, Staff Social Space, Rooftop Garden

Student and Staff Numbers  
2015 Student Numbers - 907  
2015 Staff Numbers - 85

2022 Student Numbers - 978  
2022 Staff Numbers - 111

On-Site Car Parking  
Pre-development - 95, including parking at 1 Graham Place

Post-development - 119 spaces, including parking at 1 Graham Place

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Urban Design Response

Built Form

The new facility addresses Whitehorse Road and Dorking Road corner strongly with a contemporary, high quality architectural expression and an emphasis on a green, landscaped base.

This corner is characterised by the two existing education facilities either side, providing a gateway to the residential areas beyond. Each of these education facilities have double storey facilities addressing the street in this location.

Along the Whitehorse Road service road immediately to the east, St Francis Xavier Primary School has older, 2-storey brick buildings with high floor-to-floor heights. The proposed new facility at OLSC talks to these facilities, presenting a similarly strong presentation to the street, with a modern architectural epxression, use of brickwork and garden base.

Urban Landscape

The existing, tree-lined street provides a strong, shaded, green frontage along the Whitehorse Road service road.

The new OLSC facility sits behind that treed frontage, with a new layer of greenery along the school boundary and fence-line.

The new street-level landscape and high-quality architectural expression to Dorking Road improves the visual appearance of the College on the corner, and therefore the street.

The urban response acknowledges its location in the Garden Suburban Precinct 10, retaining the street trees and reinforcing the greenery through a steel picket fence and new low-level planting that improves the pedestrian experience at street level. However the proposal must be acknowledged as as educational facility on a main road rather than a dwelling in a garden setting.

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Street Context

Materials, Sustainability and Landscape

Facade Articulation

The predominant facade material is proposed to be brick, using the same tone as the recently constructed extension to the existing sports hall facing Dorking Road. This will provide a consistent College facade presentation to the street.

The brickwork is proposed to have elements of feature herringbone patterning to provide a high-quality, textural appearance to the facade.

Feature sun-shading shrouds to the windows on the upper facades provide further articulation to the facade with shadows and depth. The larger windows will have a soft, green perforated screening in front. The soft green colour is found elsewhere on the site and ties into the campus aesthetic.

The ground floor base of the building is set further back from the upper floors, providing shelter and greater space for landscape along the boundaries.

The upper floors are further articulated by a 'slipping' of the floor plates to break up the verticality of the building with shadowing created across the facades.

A roof deck addresses the College courtyard to the west, facing the established canopy trees. Landscaping and trees on the roof deck will break up the building massing on that side, connecting the green courtyard to the greenery of the building.

Sustainability

The facility has been designed with best practice environmental sustainable principles as detailed in the BESS Report.

End-of-trip Facilities

End-of-trip facilities have been included in accordance with Clause 52.34 of the planning scheme. 14 new spaces have been added to the existing 14 spaces in the north-west corner of the site (refer TP06 for location). Staff showers are noted as sufficient in the Sustainability report, however the new facility will have new staff accessible showers on Level 2 and Level 3 adjacent the Staff Workroom and the Staff Social space with lockers.

Landscape

Moving car parking from within the College courtyard improves student safety, separates vehicle and pedestrian movements and provides the opportunity for a new, green courtyard for students.

The landscape design has focussed on creating greater green space for students and enhancing the beautiful landscape charater of the school. This includes the extension of the existing high quality steel picket fence with buffer planting to the corner and along Dorking Road.

Retention of as many established trees as possible has occurred, along with the proposed preservation and relocation of the rose bushes, as described in the next section.

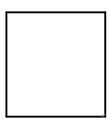

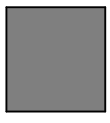
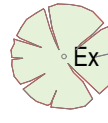
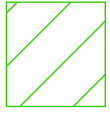

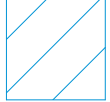
The retaining wall to the south and east boundaries is a 350mm wide low brick wall with the footing designed to face towards the building (under the path) to maximise the potential for tree growth and soil depth. Please refer the detail section in the Landscape package.



Massing Model





L E G E N D			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees
	Civil and Landscape works		Subject Site
	Car park linework works		



A Whitehorse Road - St Peters Church



B Whitehorse Road - Apartments



C Whitehorse Road / Linsley Street - MFB Station



D Whitehorse Road - St Francis Xavier Primary School



E Whitehorse Road - Apartments



F Bluecross - Aged Care



G Bluecross - Aged Care

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A Dorking Road - Existing College Courts



B Existing College Courts - view from oval



C Existing Dorking Road view - Resource Centre

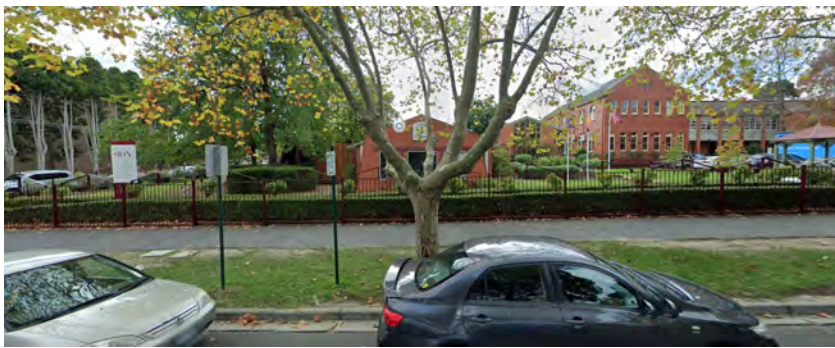


D Existing Dorking Road view to corner

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E Whitehorse Road Street Frontage Photos



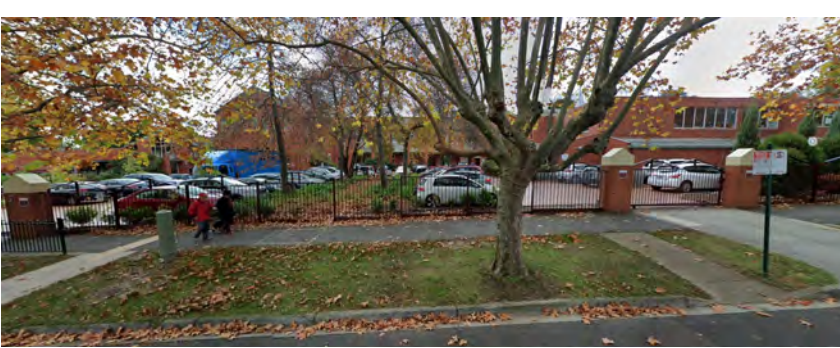
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H



I



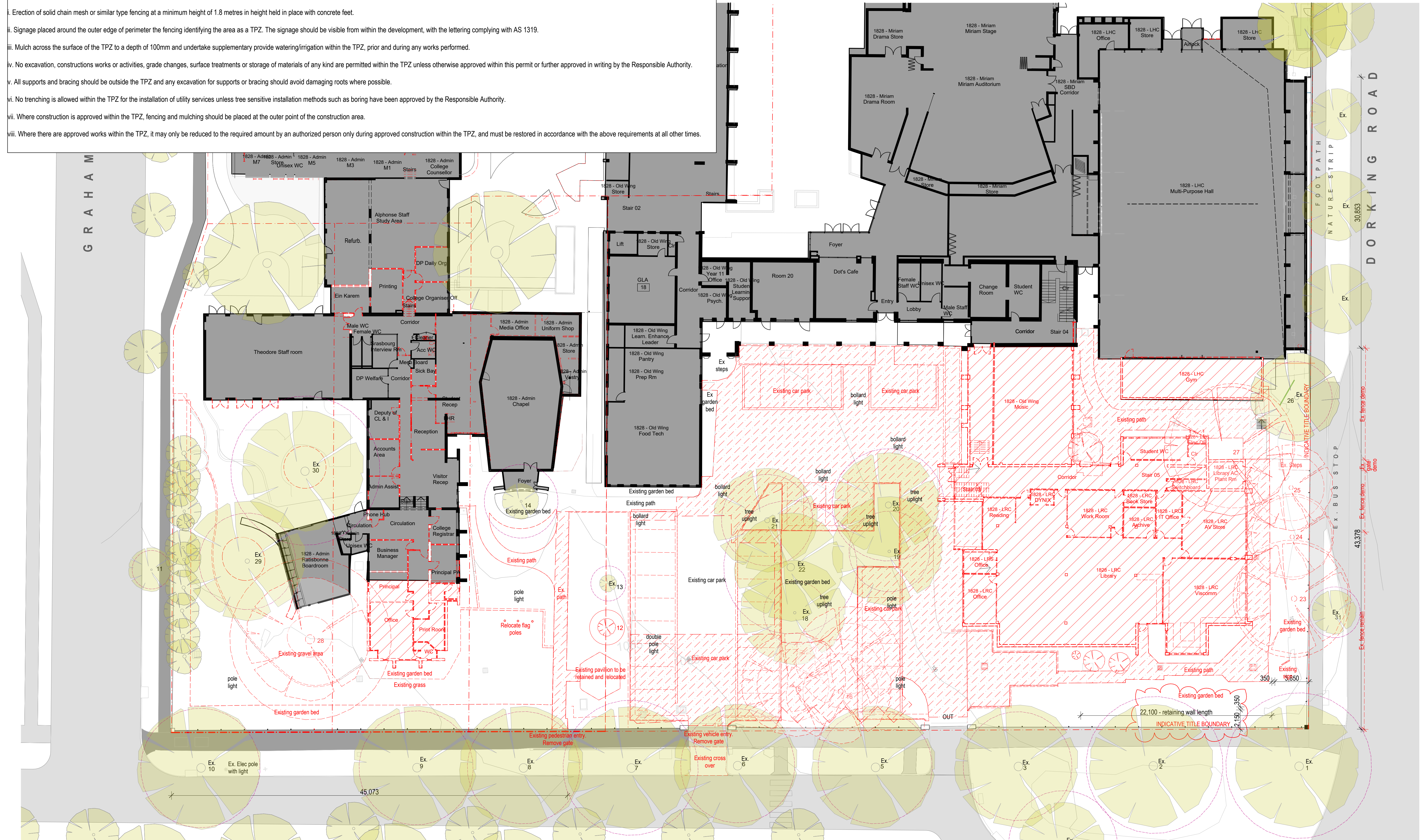
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K



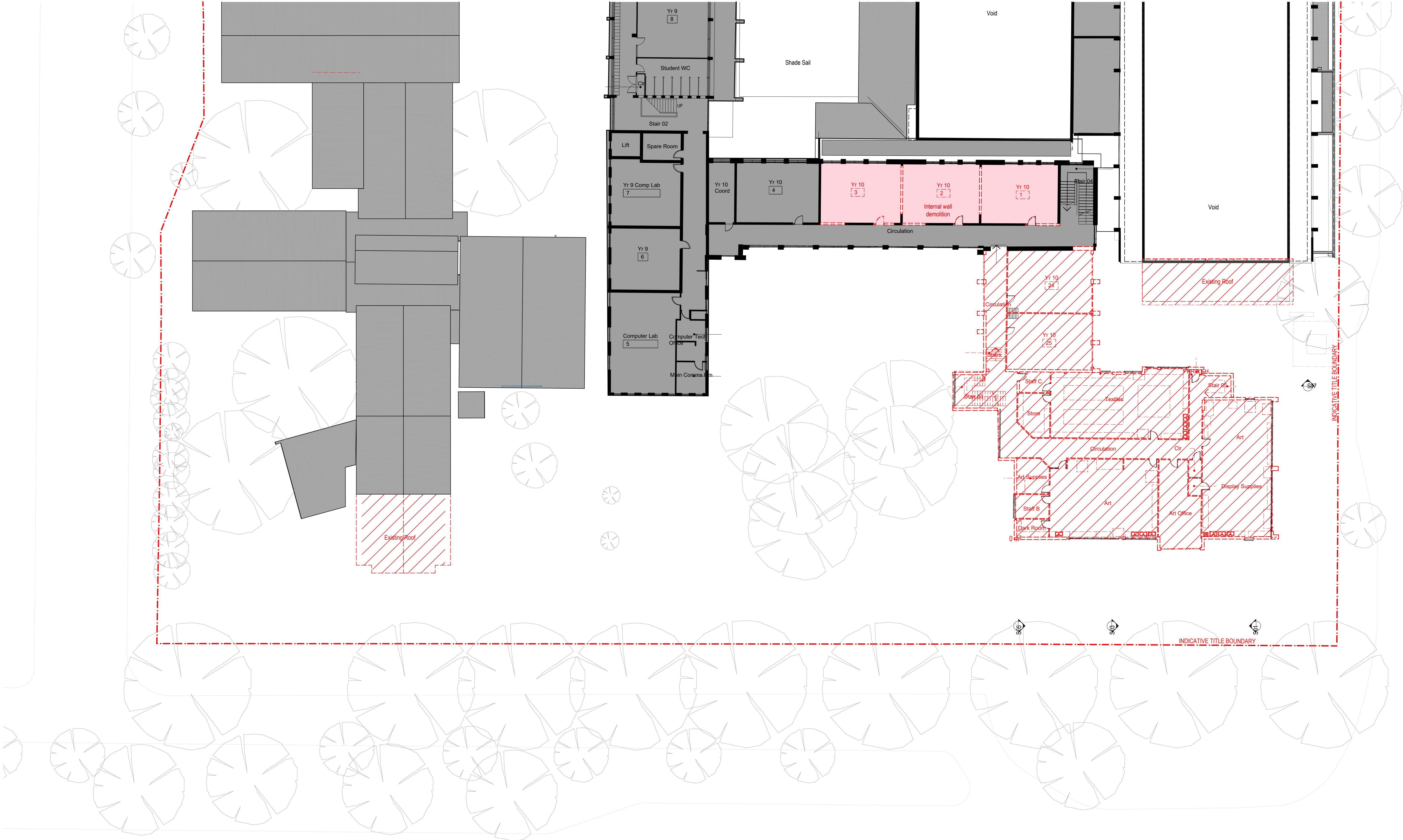
- i. Erection of solid chain mesh or similar type fencing at a minimum height of 1.8 metres in height held in place with concrete feet.
- ii. Signage placed around the outer edge of perimeter the fencing identifying the area as a TPZ. The signage should be visible from within the development, with the lettering complying with AS 1319.
- iii. Mulch across the surface of the TPZ to a depth of 100mm and undertake supplementary provide watering/irrigation within the TPZ, prior and during any works performed.
- iv. No excavation, constructions works or activities, grade changes, surface treatments or storage of materials of any kind are permitted within the TPZ unless otherwise approved within this permit or further approved in writing by the Responsible Authority.
- v. All supports and bracing should be outside the TPZ and any excavation for supports or bracing should avoid damaging roots where possible.
- vi. No trenching is allowed within the TPZ for the installation of utility services unless tree sensitive installation methods such as boring have been approved by the Responsible Authority.
- vii. Where construction is approved within the TPZ, fencing and mulching should be placed at the outer point of the construction area.
- viii. Where there are approved works within the TPZ, it may only be reduced to the required amount by an authorized person only during approved construction within the TPZ, and must be restored in accordance with the above requirements at all other times.


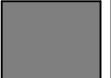






	Demolition Works - Building		Existing Buildings
	Demolition Works - Paving		College Title Boundary

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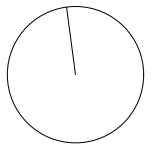




L E G E N D			
	Demolition Works - Building		Existing Buildings
	Demolition Works - Paving		College Title Boundary
	Trees to be demolished		Existing Trees & TPZ. Refer Arborist report.

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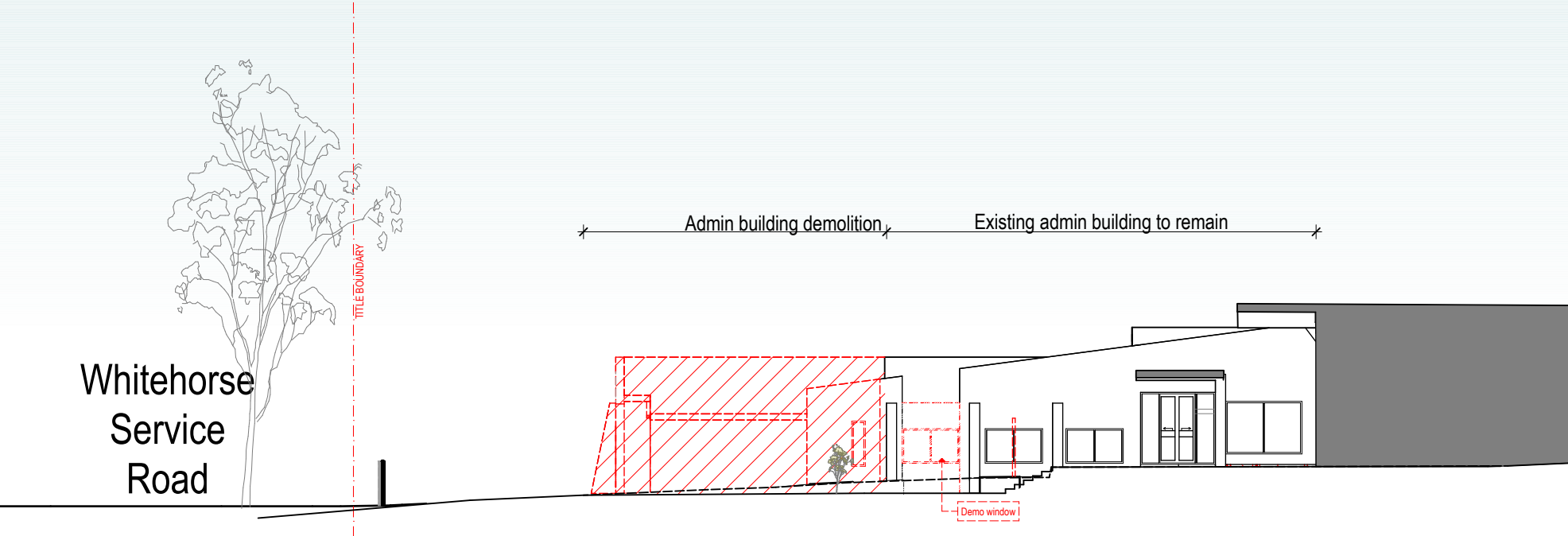





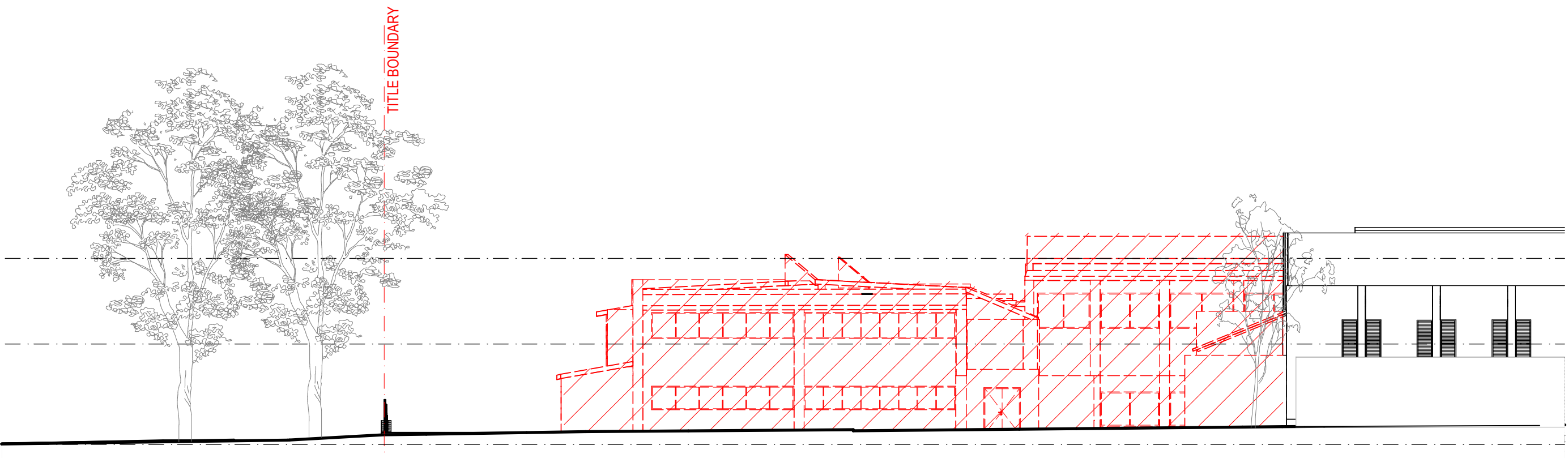
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South Whitehorse Road Elevation - Demolition  
1:200



East Learning Area Elevation - Demolition  
1:200

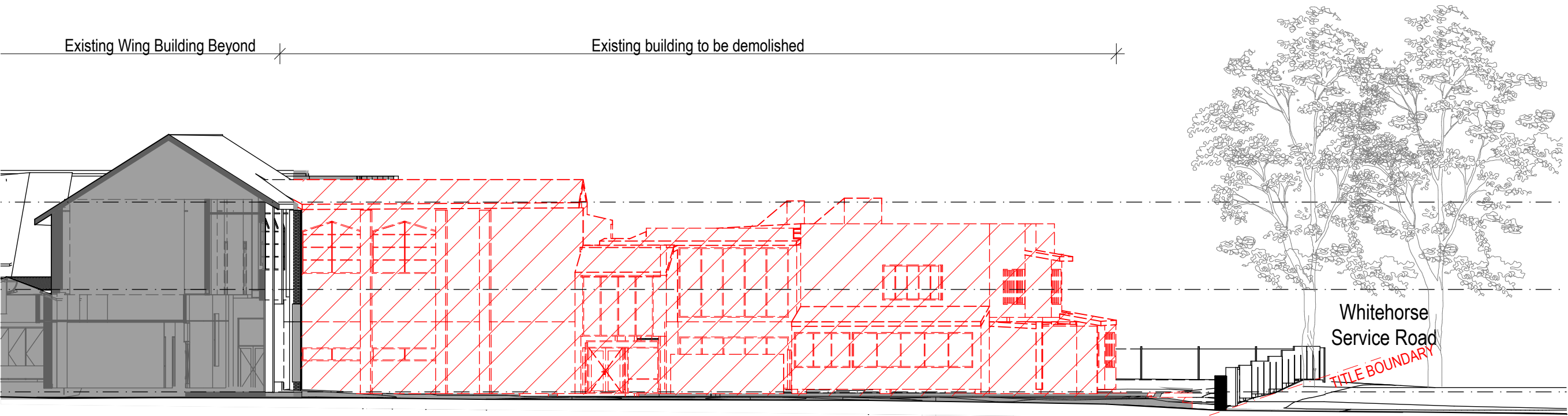


East Dorking Road Elevation - Demolition  
1:200

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West Learning Area Elevation - Demolition  
1:200



West Courtyard Elevation - Demolition  
1:200

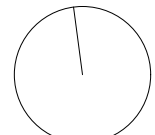


Photos of end of old Admin building on corner of Graham Place and Whitehorse Rd To Be Demolished



Photos of Building on corner of Dorking and Whitehorse Rds To Be Demolished



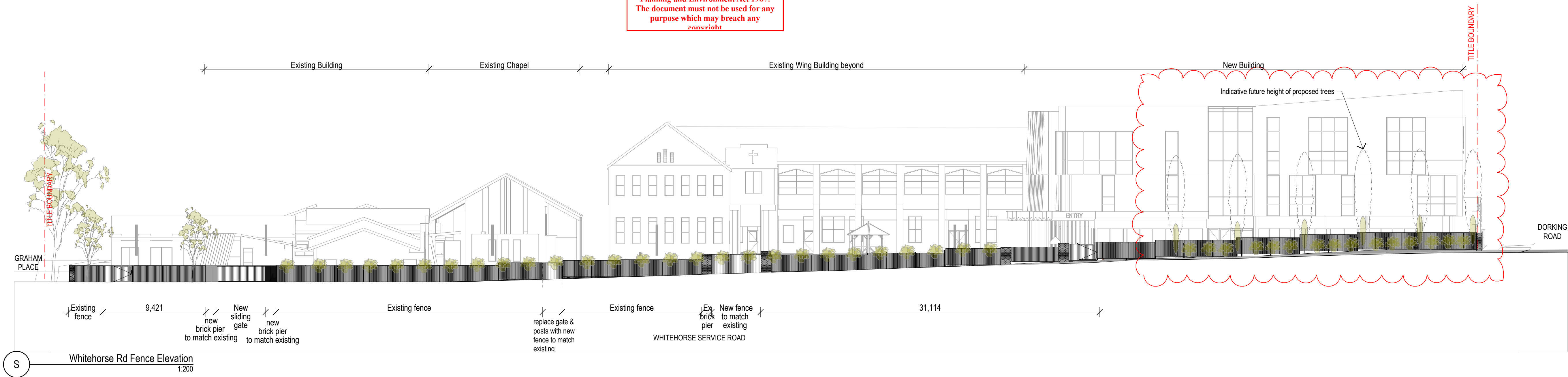







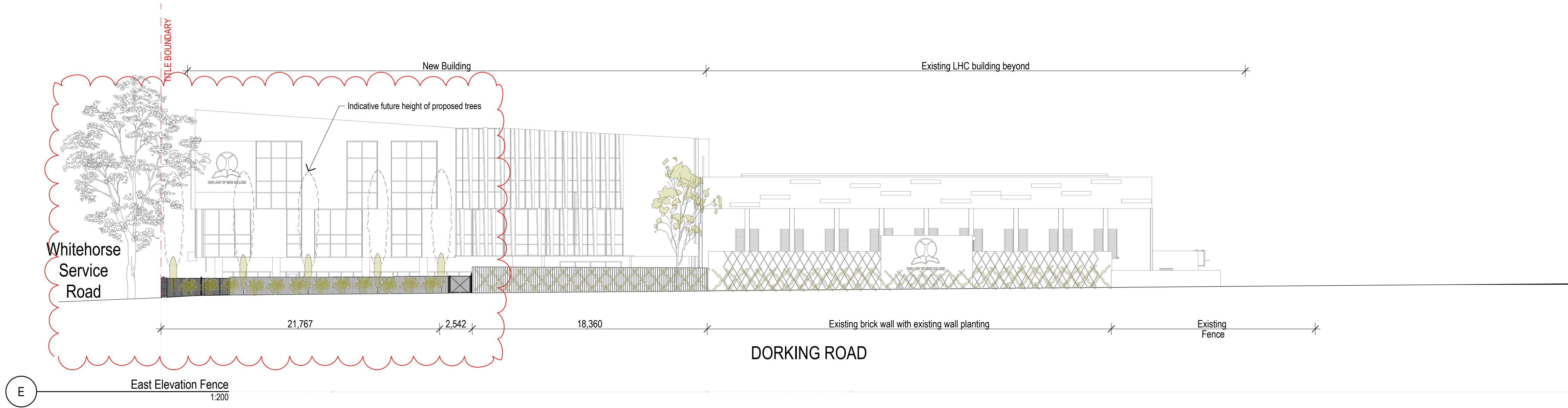


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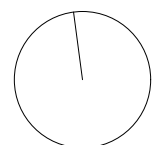


Whitehorse Road Street Frontage Photos

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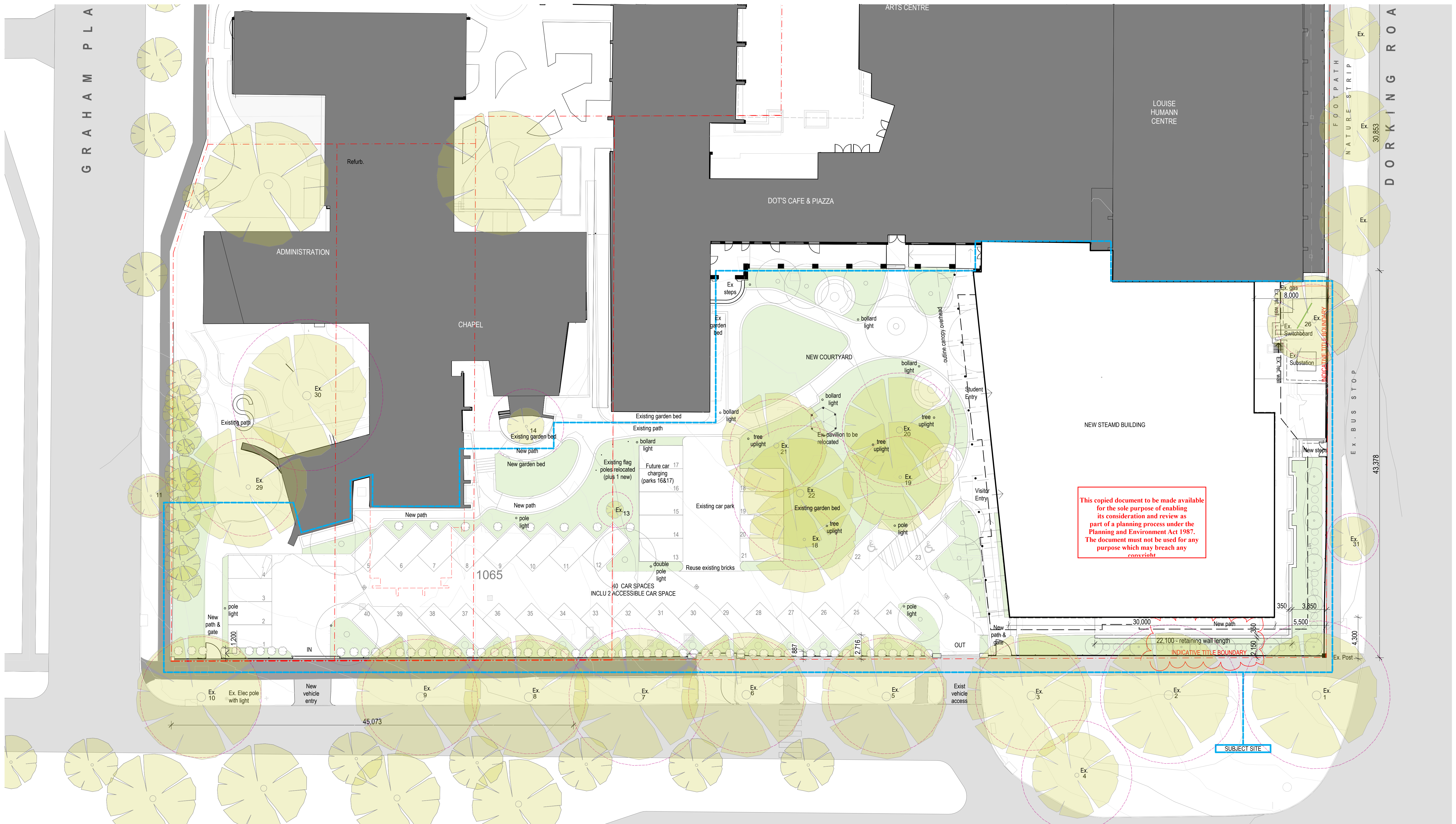


Dorking Road Street Frontage Photos



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




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L E G E N D			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees & TPZ
	Subject Site		New Trees






L E G E N D			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Canopy Roof

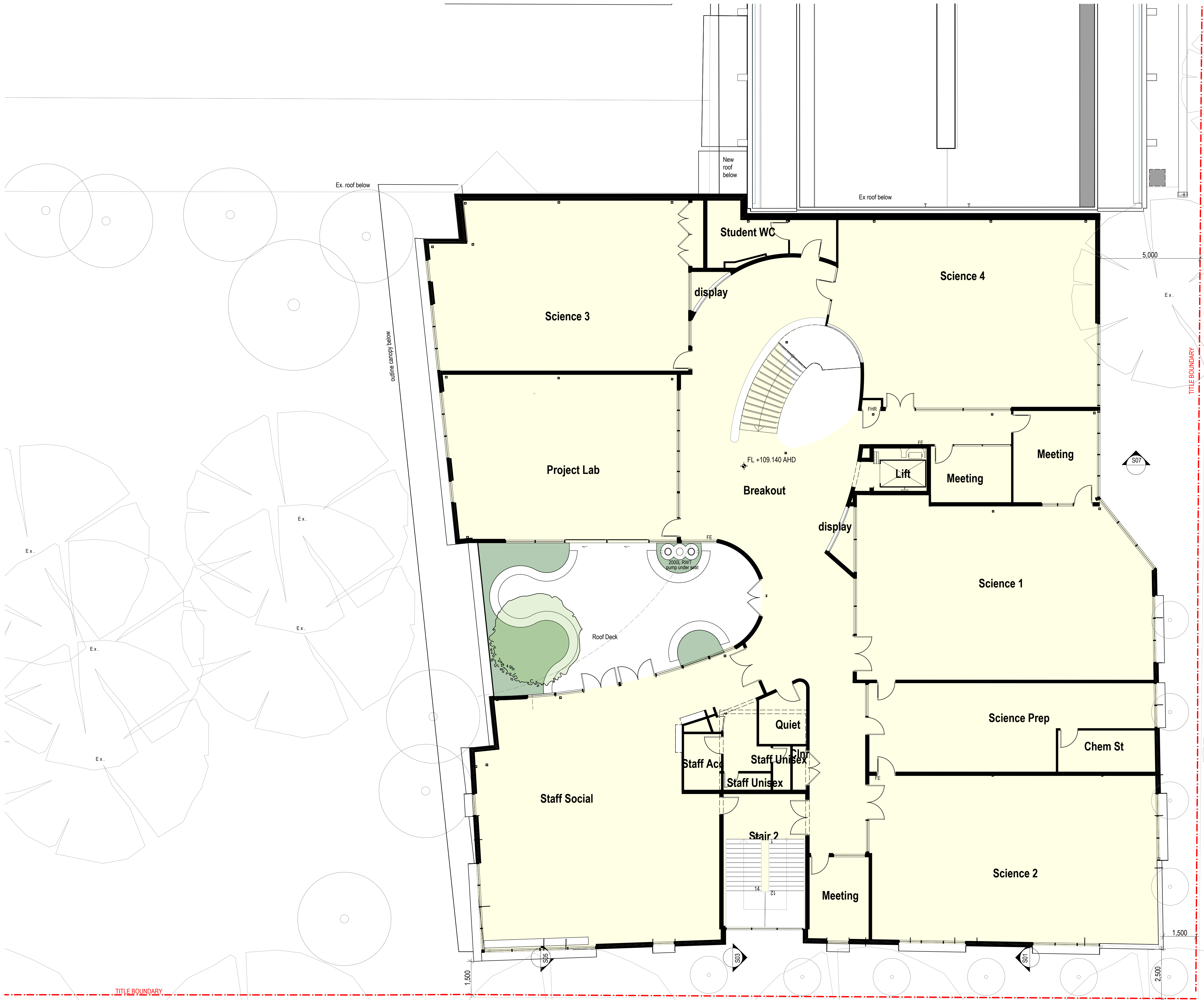
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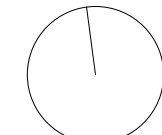




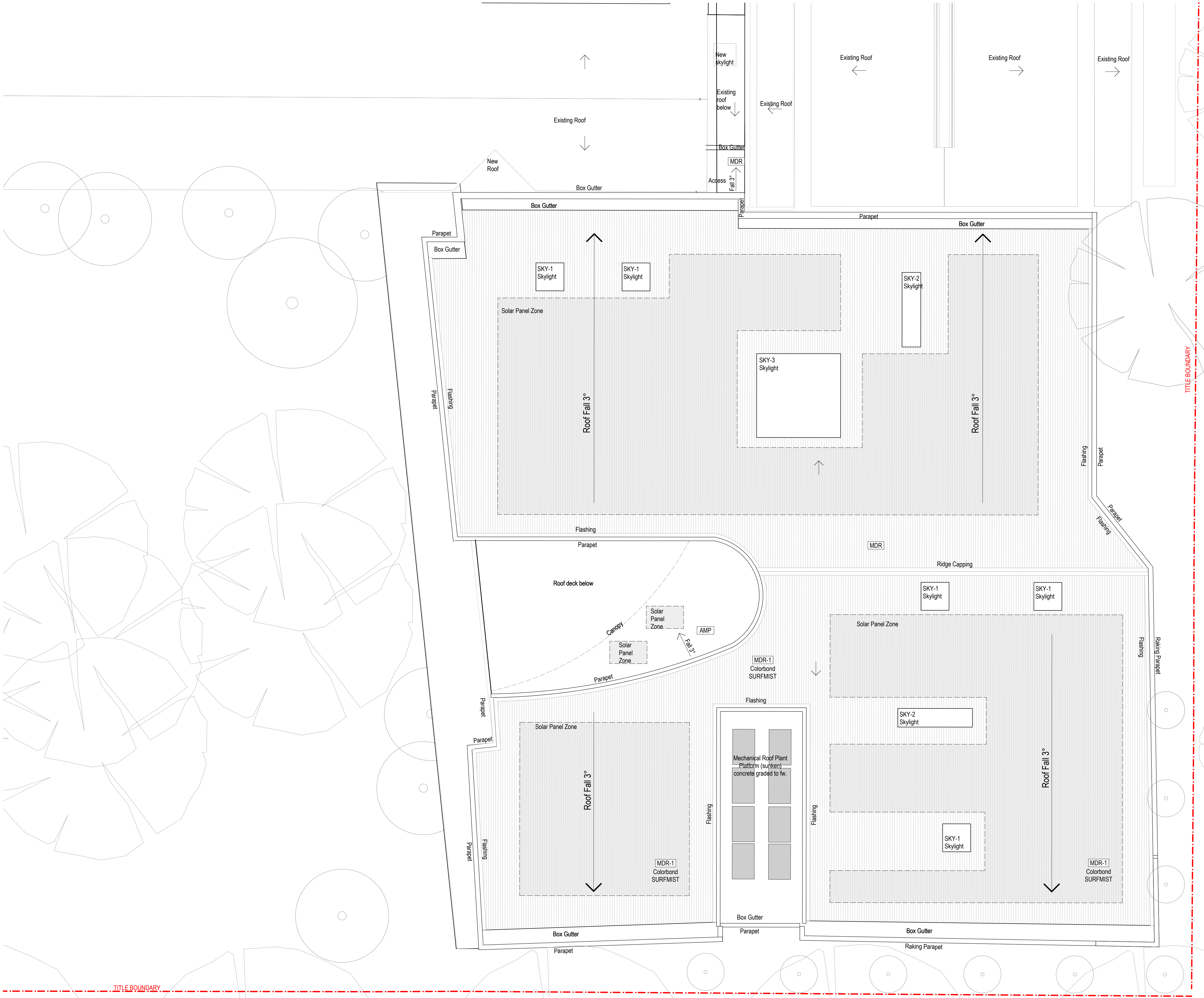
L E G E N D			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Canopy Roof

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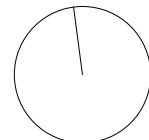




L E G E N D	
	Roof - Colourbond surfmist or similar
	College Title Boundary
	Solar Panels Roof - 68kW <sub>peak</sub> Solar Panels Canopy - 2kW <sub>peak</sub>
	Existing Trees
	New Trees

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**LEGEND**

	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Cannon Roof

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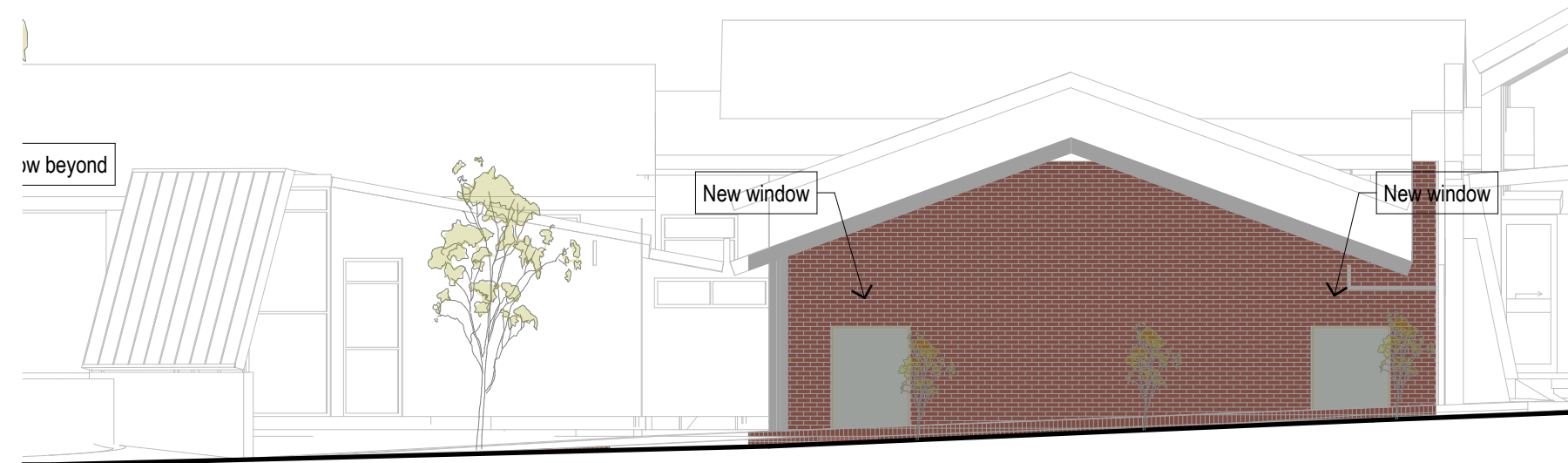
East Learning Area Elevation - Proposed 1:100



Remove sign

Existing East Admin Wall

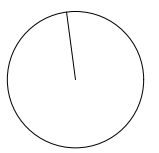
ADVERTISED PLAN



South Learning Area Elevation - Proposed 1:100



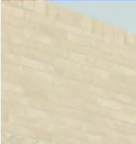


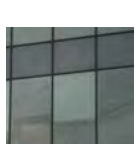






Existing South Admin Wall





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L E G E N D	
	BR-1 Brick Cladding, Running bond pattern Colour: Cream / Light Brown
	BR-2 Brick Cladding, Herringbone pattern Colour: Cream / Light Brown
	GL-1 Clear glazing
	GL-2 Clear glazing with spandrel top and bottom. Full floor height
	CCS-1 Vitra Panel - dark grey
	CCS-2 Vitra Panel - light green
	TIL-1 Bluestone tile Colour: Dark Grey
	TIM-1 Timber panel to underside canopy
	AL-1 Aluminium cladding to canopy
	SC-1 Screen - perforated aluminium powdercoated shading screen. Light green to match CCS-2

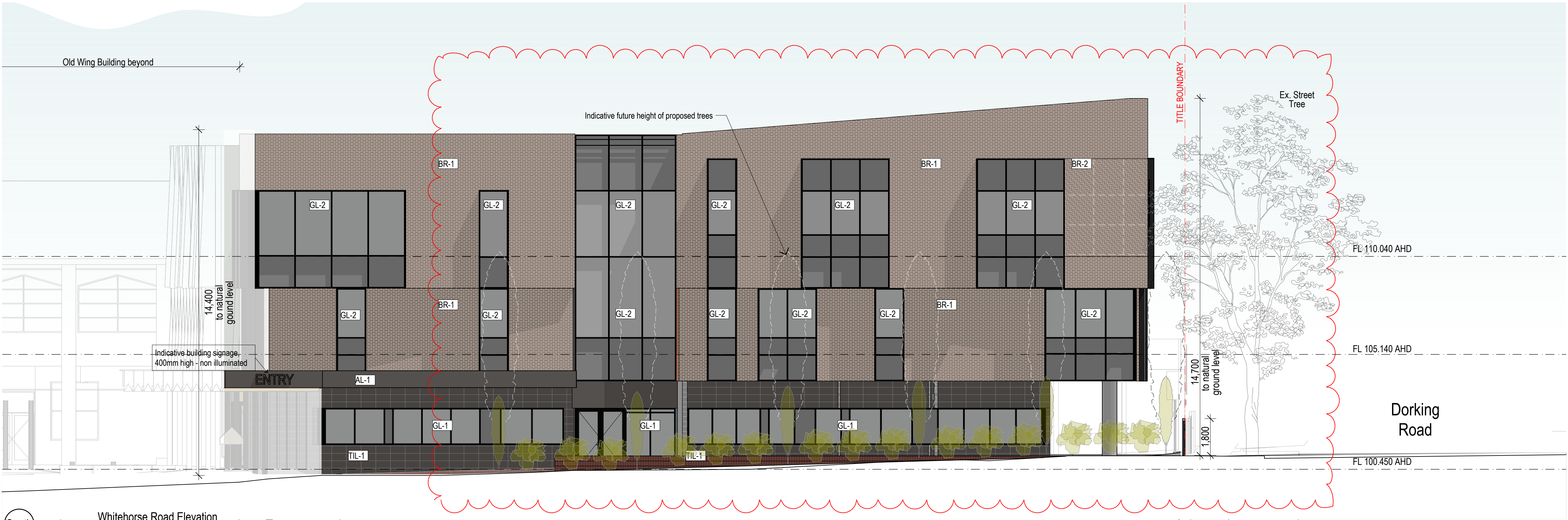
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East  
Dorking Road Elevation  
1:100  
Refer TP07 for Street Fence Elevation

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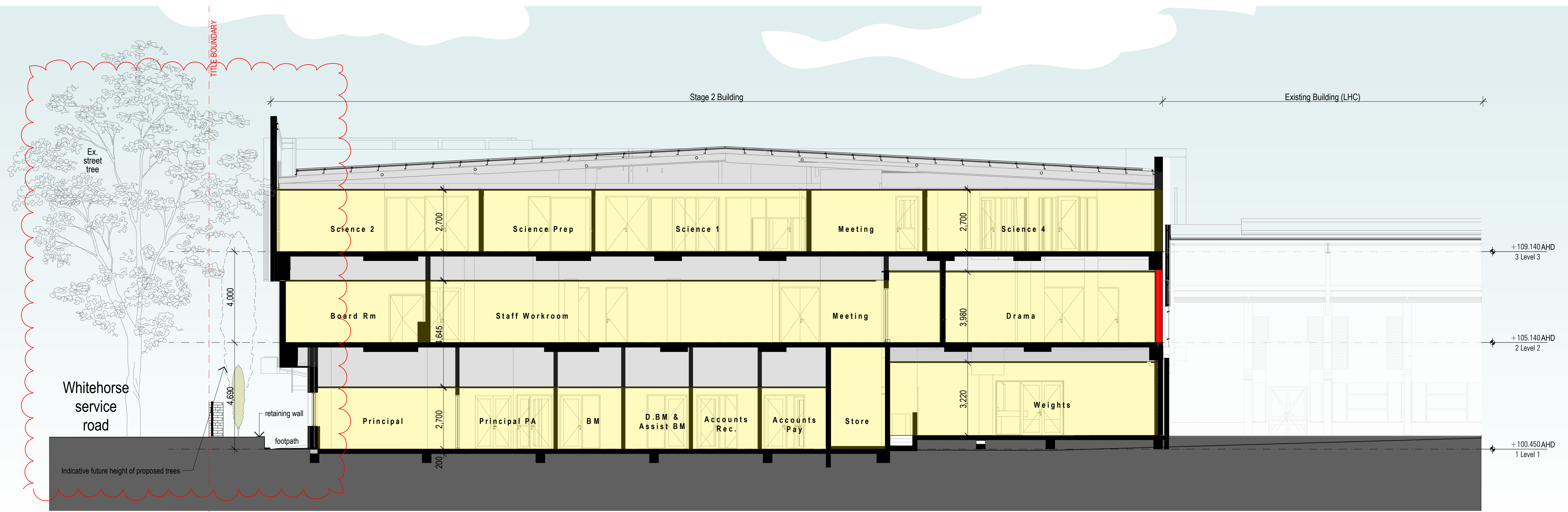


South  
Whitehorse Road Elevation  
1:100

LEGEND	
	BR-1 Brick Cladding, Running bond pattern Colour: Cream / Light Brown
	BR-2 Brick Cladding, Herringbone pattern Colour: Cream / Light Brown
	GL-1 Clear glazing
	GL-2 Clear glazing with spandrel top and bottom. Full floor height
	CCS-1 Vitra Panel - dark grey
	CCS-2 Vitra Panel - light green
	TIL-1 Bluestone tile Colour: Dark Grey
	TIM-1 Timber panel to underside canopy
	AL-1 Aluminium cladding to canopy
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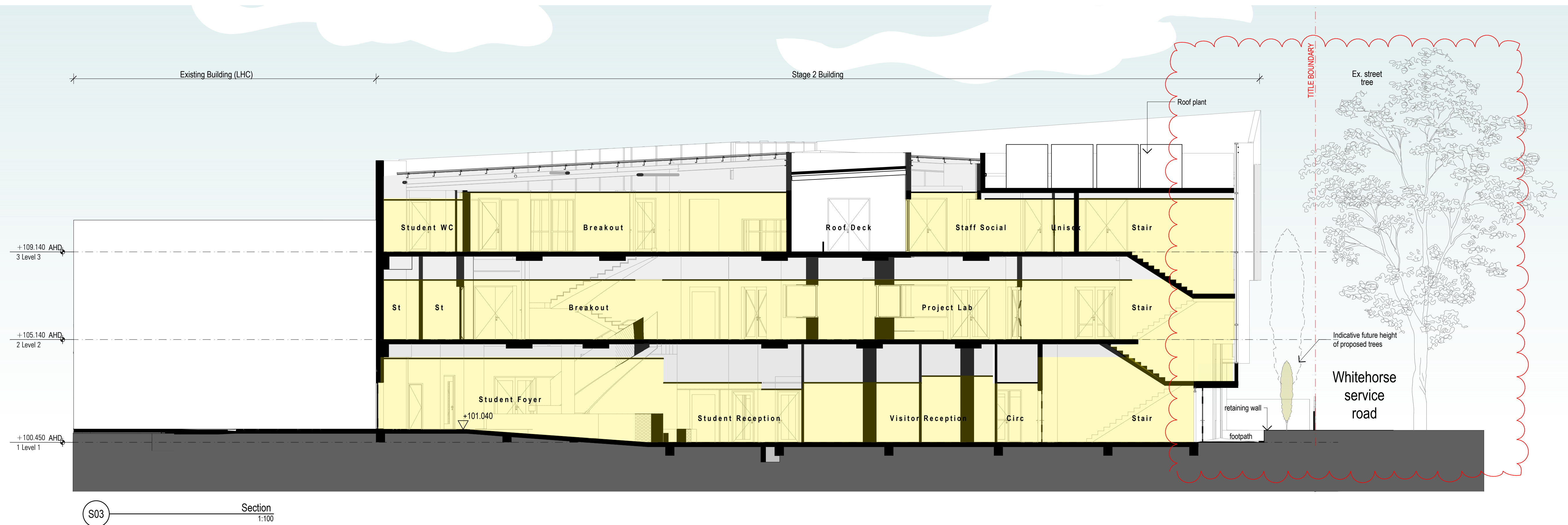
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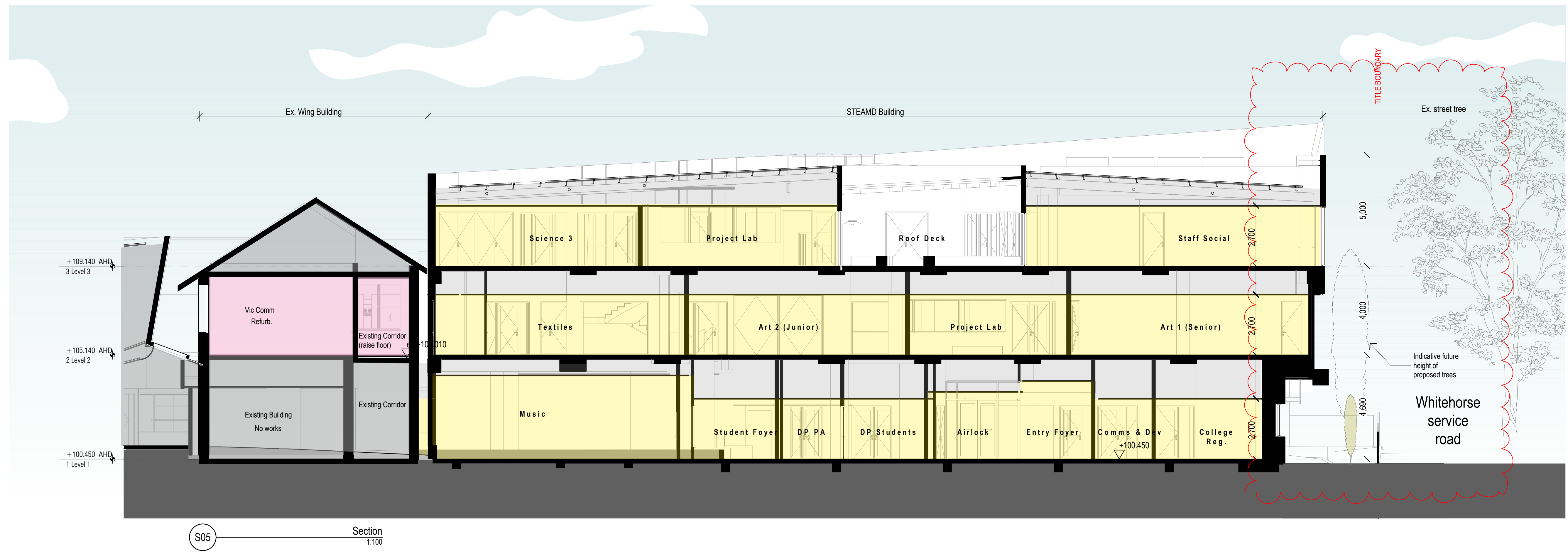



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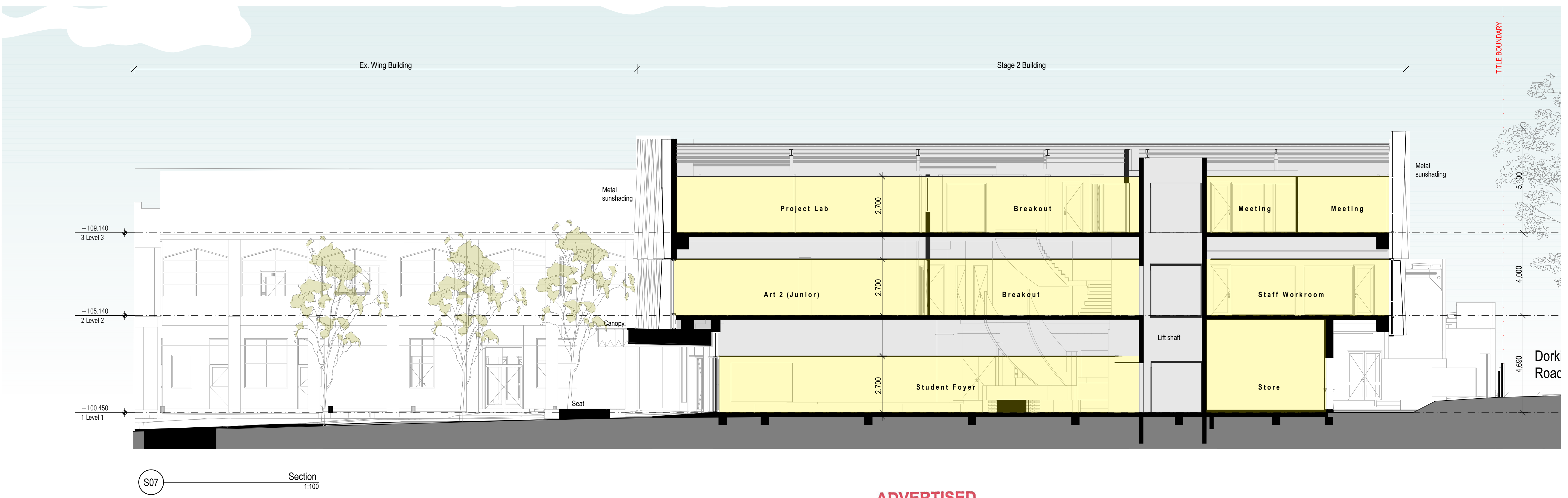
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View from the corner of Dorking and Whitehorse Roads  
Updated Image with Ornamental Pear trees at 8m height

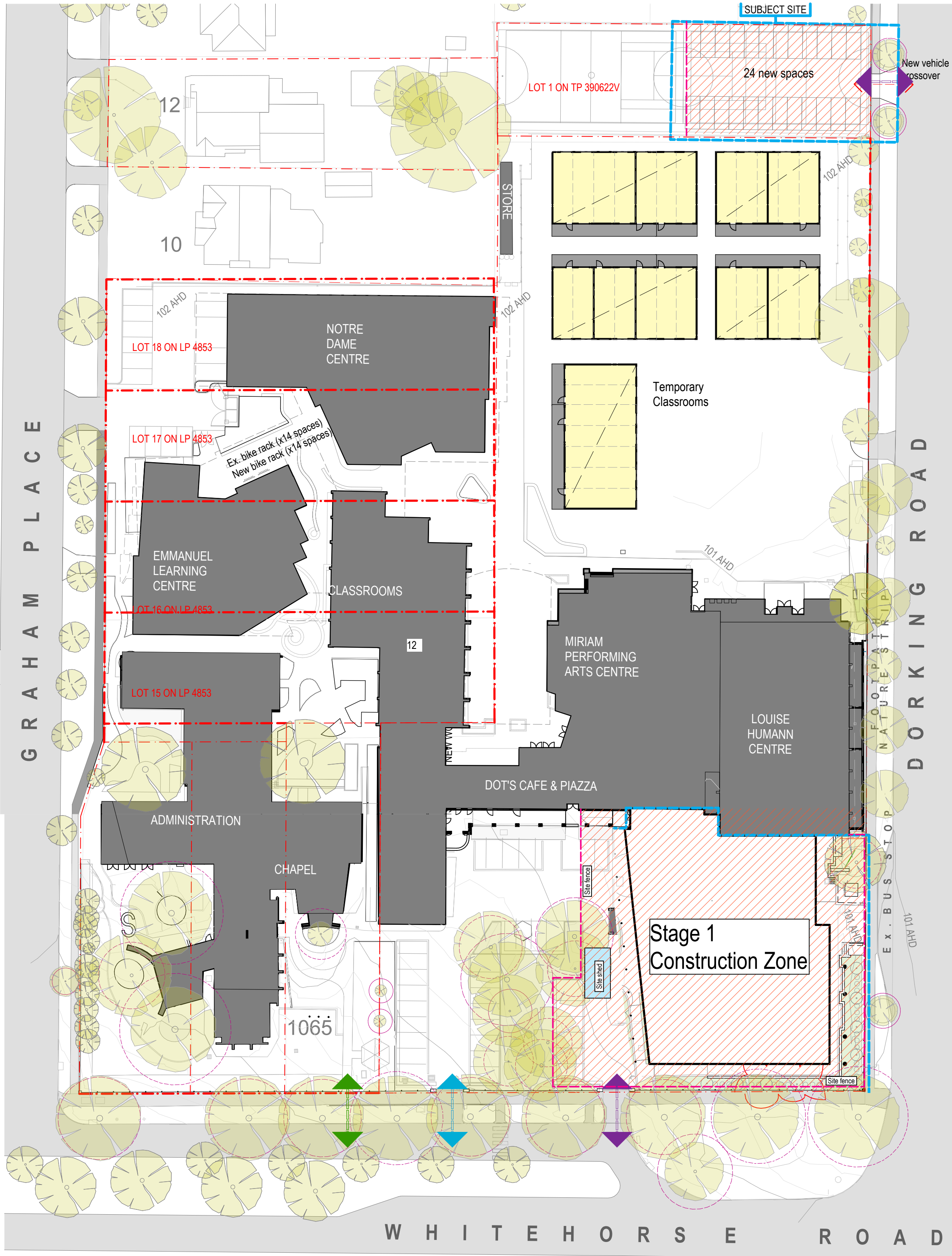


View from the courtyard

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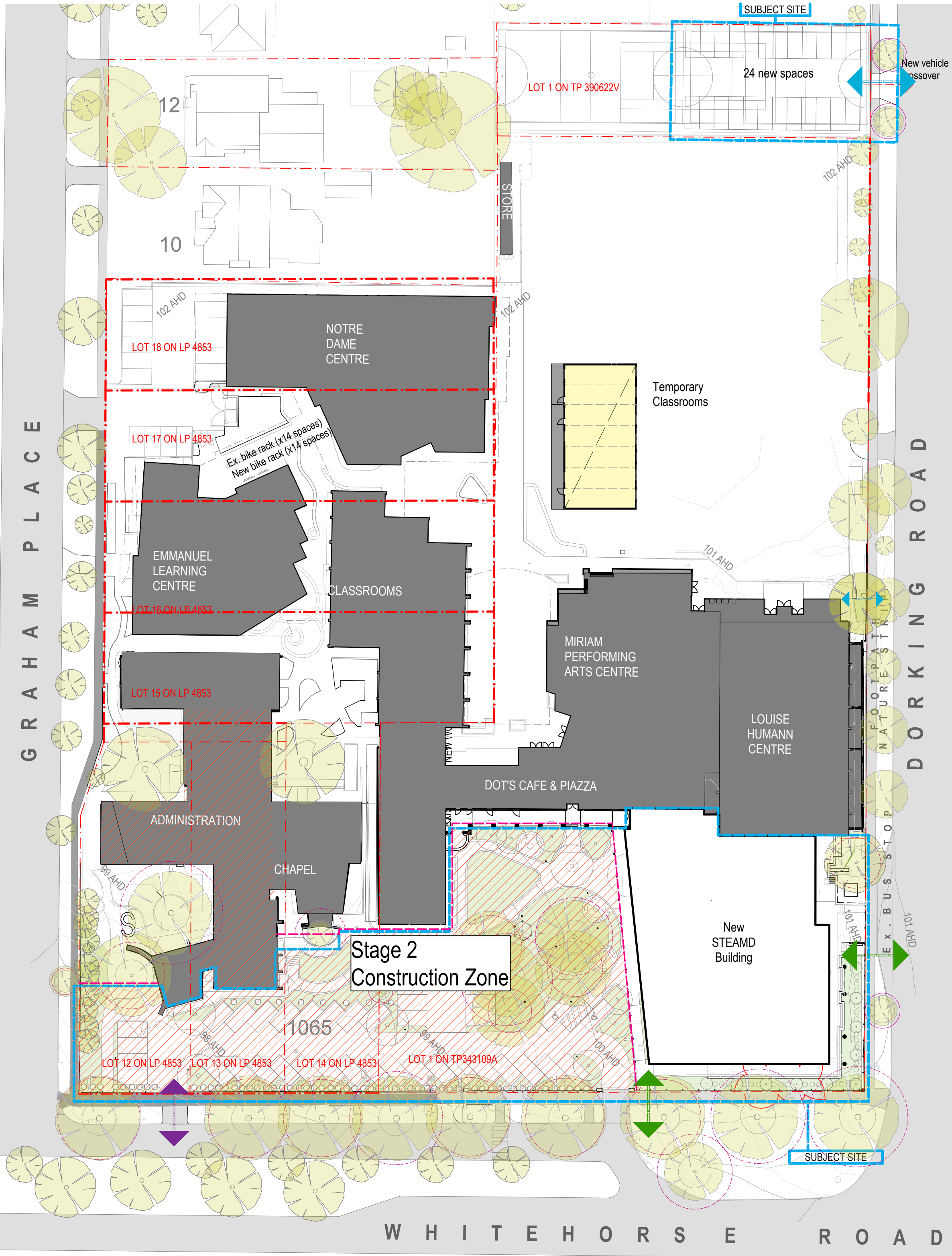



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**STAGE PLAN 1**  
- Demolition LRC Building  
- Construction STEAMD Building  
- Add linemarking to north car park

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**STAGE 2**  
- Renovate Admin Building  
- Construct New South Carpark

L E G E N D			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees & TPZ
	Subject Site		New Trees
	Site Sheds		Construction Zone
	Builder Access		Vehicle Entry
	Pedestrian Entry		Site fence