

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



OUR LADY OF SION COLLEGE
STEAMD AND ADMINISTRATION CENTRE TOWN PLANNING APPLICATION

Layout ID	Layout Name	TP10	STEAMD & Administration L2 Floor Plan
TP	Cover	TP11	STEAMD & Administration L3 Floor Plan
TP00A	Design Response	TP12	STEAMD & Administration Roof Plan
TP01	Location Plan	TP13	Learning Area Refurbishment Plans & Elevations
TP02	Existing Site Plan	TP14A	STEAMD & Administration Elevations
TP03	Existing / Demolition Ground Floor	TP15A	STEAMD & Administration Elevations
TP04	Existing / Demolition First Floor	TP16A	STEAMD & Administration Sections
TP05	Existing / Demolition Elevations	TP17A	STEAMD & Administration Sections
TP06A	Proposed Overall Site Plan	TP18A	Artists Impressions
TP07A	Proposed Site Elevations	TP19	Construction Management Plan
TP08A	Proposed Site Plan		
TP09A	STEAMD & Administration L1 Floor Plan		

Proposal Description

STEAMD & Administration Building Summary

Level 1: 1195m². Administration, Music and Weights

Level 2: 1415m² Arts Rooms, Project Lab, Arts Equipment Hub, Drama, Staff Workroom

Level 3: 1317m² (plus 104m² roof deck) Science Laboratories, Project Lab, Staff Social Space, Rooftop Garden

Student and Staff Numbers

2015 Student Numbers - 907
2015 Staff Numbers - 85

2022 Student Numbers - 978
2022 Staff Numbers - 111

On-Site Car Parking

Pre-development - 95, including parking at 1 Graham Place

Post-development - 119 spaces, including parking at 1 Graham Place

**ADVERTISED
PLAN**

Urban Design Response

Built Form

The new facility addresses Whitehorse Road and Dorking Road corner strongly with a contemporary, high quality architectural expression and an emphasis on a green, landscaped base.

This corner is characterised by the two existing education facilities either side, providing a gateway to the residential areas beyond. Each of these education facilities have double storey facilities addressing the street in this location.

Along the Whitehorse Road service road immediately to the east, St Francis Xavier Primary School has older, 2-storey brick buildings with high floor-to-floor heights. The proposed new facility at OLSC talks to these facilities, presenting a similarly strong presentation to the street, with a modern architectural expression, use of brickwork and garden base.

Urban Landscape

The existing, tree-lined street provides a strong, shaded, green frontage along the Whitehorse Road service road.

The new OLSC facility sits behind that treed frontage, with a new layer of greenery along the school boundary and fence-line.

The new street-level landscape and high-quality architectural expression to Dorking Road improves the visual appearance of the College on the corner, and therefore the street.

The urban response acknowledges its location in the Garden Suburban Precinct 10, retaining the street trees and reinforcing the greenery through a steel picket fence and new low-level planting that improves the pedestrian experience at street level. However the proposal must be acknowledged as an educational facility on a main road rather than a dwelling in a garden setting.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Materials, Sustainability and Landscape

Facade Articulation

The predominant facade material is proposed to be brick, using the same tone as the recently constructed extension to the existing sports hall facing Dorking Road. This will provide a consistent College facade presentation to the street.

The brickwork is proposed to have elements of feature herringbone patterning to provide a high-quality, textural appearance to the facade.

Feature sun-shading shrouds to the windows on the upper facades provide further articulation to the facade with shadows and depth. The larger windows will have a soft, green perforated screening in front. The soft green colour is found elsewhere on the site and ties into the campus aesthetic.

The ground floor base of the building is set further back from the upper floors, providing shelter and greater space for landscape along the boundaries.

The upper floors are further articulated by a 'slipping' of the floor plates to break up the vertically of the building with shadowing created across the facades.

A roof deck addresses the College courtyard to the west, facing the established canopy trees. Landscaping and trees on the roof deck will break up the building massing on that side, connecting the green courtyard to the greenery of the building.

Sustainability

The facility has been designed with best practice environmental sustainable principles as detailed in the BESS Report.

End-of-trip Facilities

End-of-trip facilities have been included in accordance with Clause 52.34 of the planning scheme. 14 new spaces have been added to the existing 14 spaces in the north-west corner of the site (refer TP06 for location). Staff showers are noted as sufficient in the Sustainability report, however the new facility will have new staff accessible showers on Level 2 and Level 3 adjacent the Staff Workroom and the Staff Social space with lockers.

Landscape

Moving car parking from within the College courtyard improves student safety, separates vehicle and pedestrian movements and provides the opportunity for a new, green courtyard for students.

The landscape design has focussed on creating greater green space for students and enhancing the beautiful landscape character of the school. This includes the extension of the existing high quality steel picket fence with buffer planting to the corner and along Dorking Road.

Retention of as many established trees as possible has occurred, along with the proposed preservation and relocation of the rose bushes, as described in the next section.

The retaining wall to the south and east boundaries is a 350mm wide low brick wall with the footing designed to face towards the building (under the path) to maximise the potential for tree growth and soil depth. Please refer the detail section in the Landscape package.

Existing Trees

Tree removal is required to primarily to accommodate on-site parking needs and improved curriculum activity in the form of the new building

Nine (9) trees are proposed for removal. These include:
- five (5) exotic deciduous species (trees 12, 15, 16, 17 and 28),
- three (3) Australian native species (trees 23, 24 and 27) and
- one (1) Victorian native species (tree 25).

Of the trees remaining close to construction zones, incursion into Tree Protection Zones is no greater than 10% and in some cases, particularly for trees 18-22, avoided through the reclamation of existing pavement areas by soft landscaping. This will significantly benefit the health of existing trees with reduced compaction and higher soil infiltration capacity.

TPZ incursion to existing street trees 1 and 2 by the retaining wall is 1% and 5.24% respectively. Further detail has been included in the arborist report.

The existing roses will be transplanted to an off-site nursery during construction for care and maintenance, and then returned back to site at the appropriate time for re-planting. This is in keeping with the traditional garden theme and welcoming landscape upon arrival.

New Tree Planting

The nine trees removed will be offset by 22 new trees, six of which are Australian natives and remainder Exotic deciduous trees combined to integrate into the garden suburban neighbourhood character of Precinct 10.

Install height of tree planting to the south-east corner of the site has been increased to increase the presence of greenery. Refer to the plant schedule

Ground storey planting will comprise a mix of hardy, drought tolerant species of both native and exotic origin in keeping with the garden suburban character

The landscape will be irrigated with harvested roof rainwater and backed up with potable water. Currently there is no irrigation system.

The car park will be repaved with existing brick pavers reclaimed from site laid on a permeable setting bed and crushed rock base. Waste minimisation will be key.

References should be made to the ESD report for other WSUD initiatives.



Street Context



Massing Model



Existing sports court extension - brickwork colour and detail and climber detail to be replicated in the proposal



Perforated sunshades to glazing



Feature brickwork



Window shrouds



LEGEND			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees
	Civil and Landscape works		Subject Site
	Car park linework works		



A Whitehorse Road - St Peters Church



B Whitehorse Road - Apartments



C Whitehorse Road / Linsley Street - MFB Station



D Whitehorse Road - St Francis Xavier Primary School



E Whitehorse Road - Apartments



F Bluecross - Aged Care



G Bluecross - Aged Care

ADVERTISED PLAN

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



LEGEND			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees
	Civil and Landscape works		Subject Site
	Car park linework works		



A Dorking Road - Existing College Courts



B Existing College Courts - view from oval



C Existing Dorking Road view - Resource Centre



D Existing Dorking Road view to corner

ADVERTISED PLAN

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Existing Site Plan 1:500

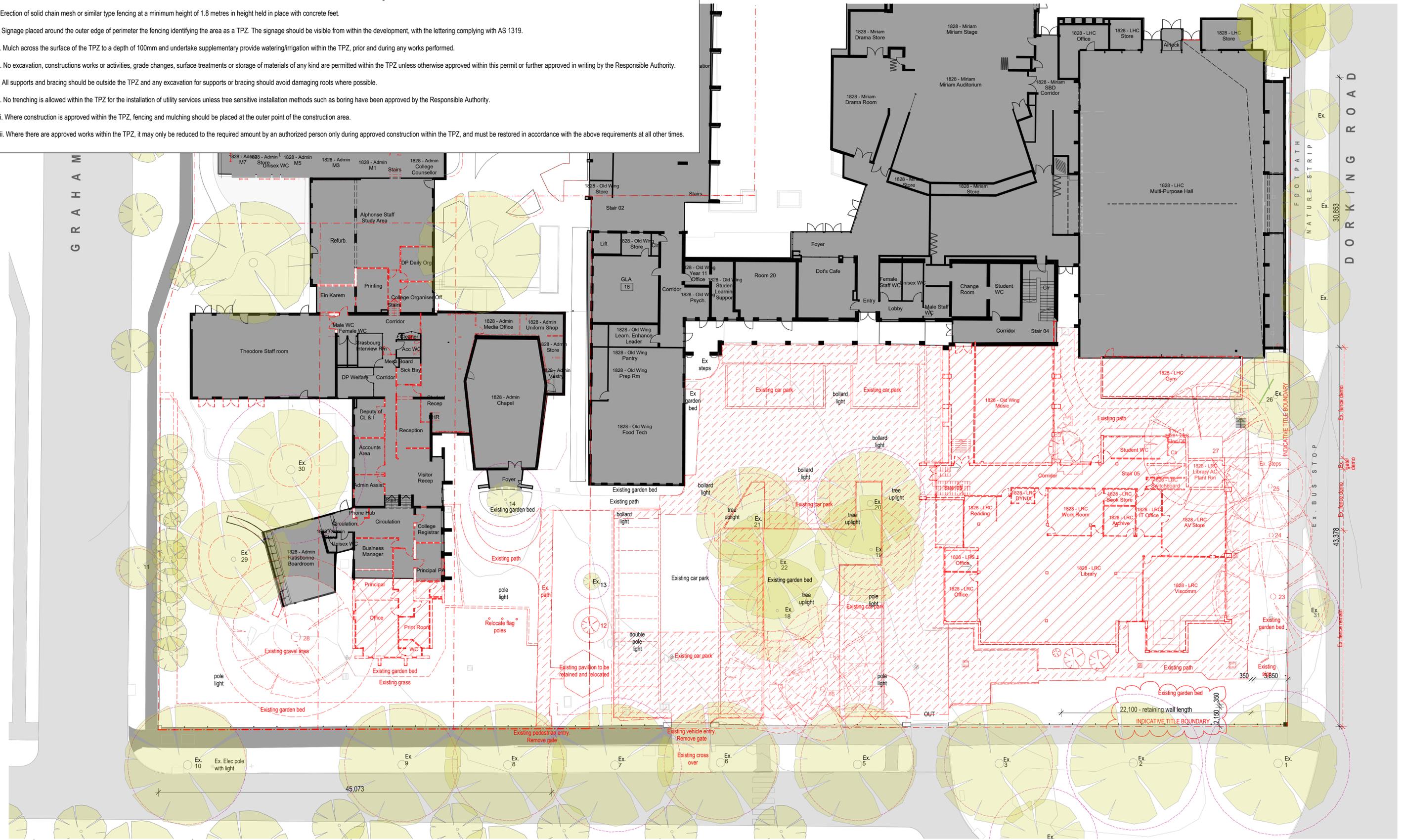


Whitehorse Road Street Frontage Photos



Tree Protection Zone measures are to be established in accordance with Australian Standard 4970-2009 and are to include the following:

- i. Erection of solid chain mesh or similar type fencing at a minimum height of 1.8 metres in height held in place with concrete feet.
- ii. Signage placed around the outer edge of perimeter the fencing identifying the area as a TPZ. The signage should be visible from within the development, with the lettering complying with AS 1319.
- iii. Mulch across the surface of the TPZ to a depth of 100mm and undertake supplementary provide watering/irrigation within the TPZ, prior and during any works performed.
- iv. No excavation, constructions works or activities, grade changes, surface treatments or storage of materials of any kind are permitted within the TPZ unless otherwise approved within this permit or further approved in writing by the Responsible Authority.
- v. All supports and bracing should be outside the TPZ and any excavation for supports or bracing should avoid damaging roots where possible.
- vi. No trenching is allowed within the TPZ for the installation of utility services unless tree sensitive installation methods such as boring have been approved by the Responsible Authority.
- vii. Where construction is approved within the TPZ, fencing and mulching should be placed at the outer point of the construction area.
- viii. Where there are approved works within the TPZ, it may only be reduced to the required amount by an authorized person only during approved construction within the TPZ, and must be restored in accordance with the above requirements at all other times.



LEGEND

- Demolition Works - Building
- Existing Buildings
- Trees to be demolished
- College Title Boundary
- Existing Trees & TPZ. Refer Arborist report.
- Demolition Works - Paving

ADVERTISED PLAN

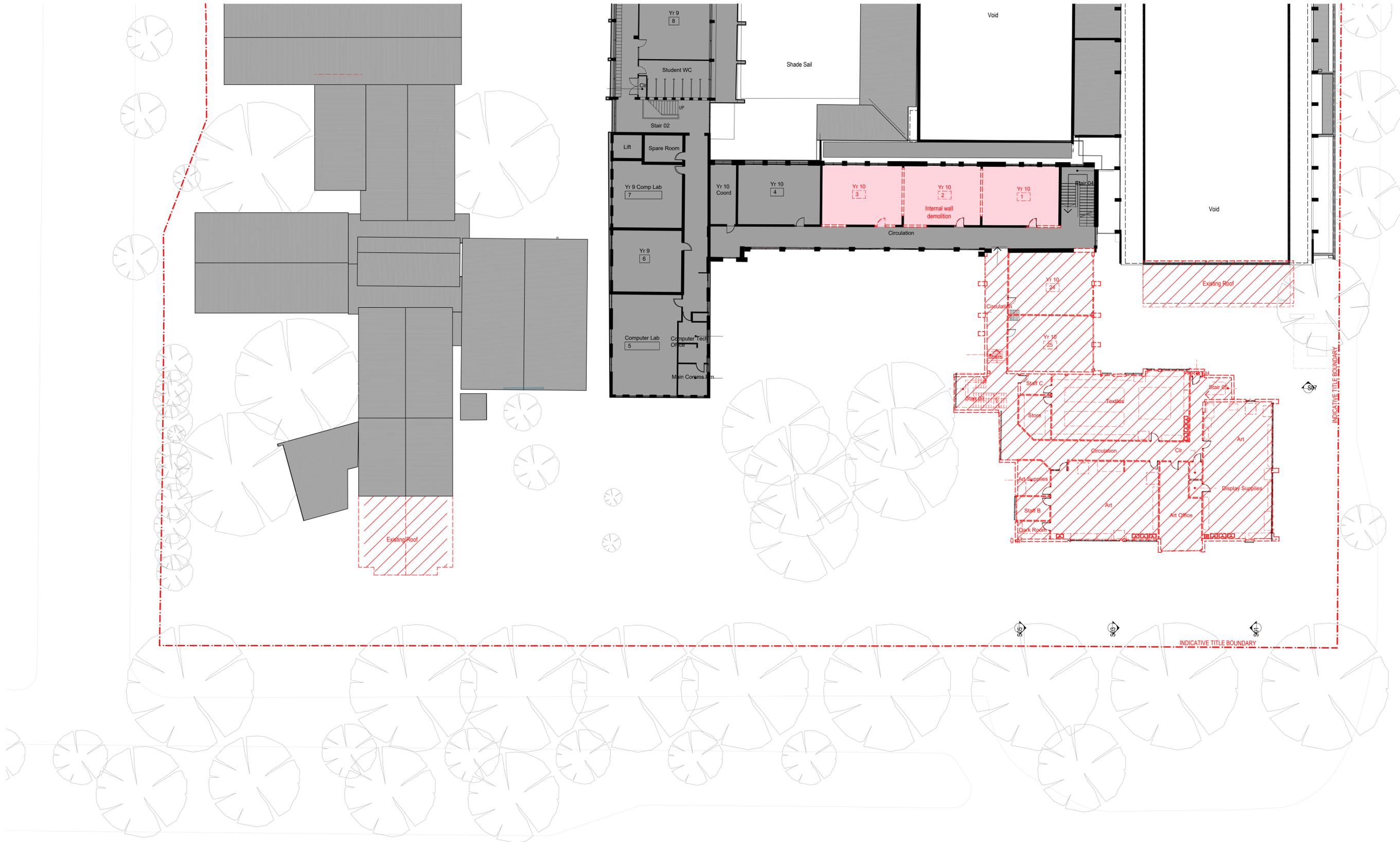
This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



OLSC STEAM D & Administration Centre

Existing / Demolition
Ground Floor

MARCH 2022
1:200, 1:1
2107
TP03



This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED PLAN

LEGEND			
	Demolition Works - Building		Existing Buildings
	Demolition Works - Paving		College Title Boundary
	Trees to be demolished		Existing Trees & TPZ. Refer Arborist report.



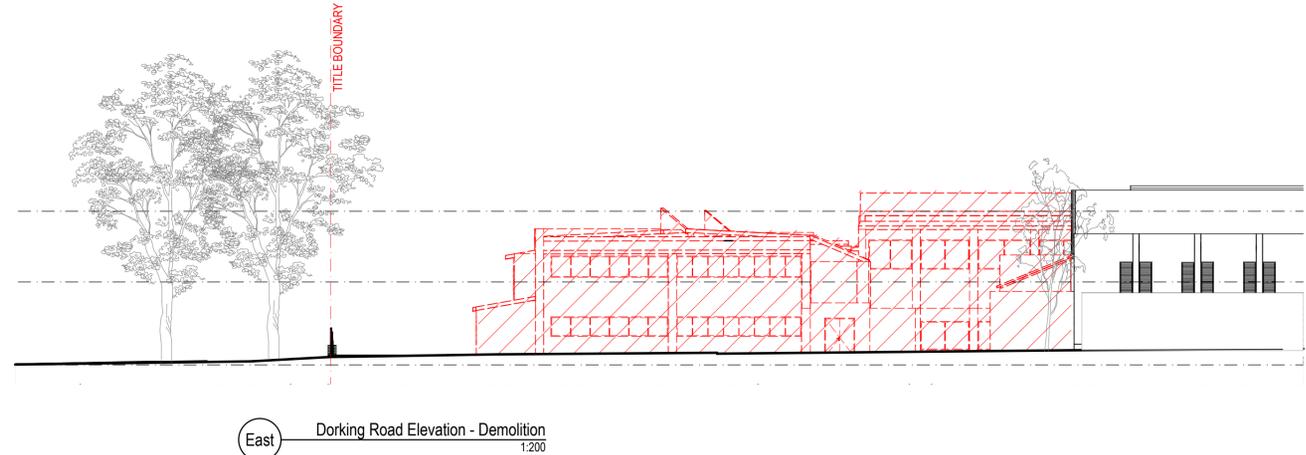
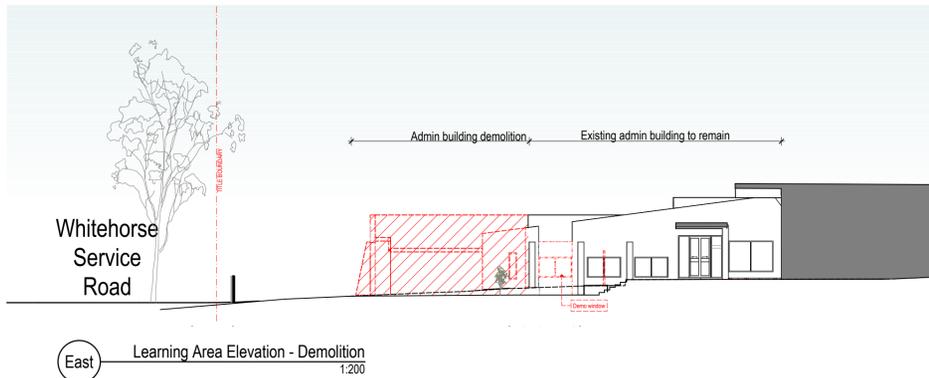
OLSC STEAM D & Administration Centre

Existing / Demolition First Floor

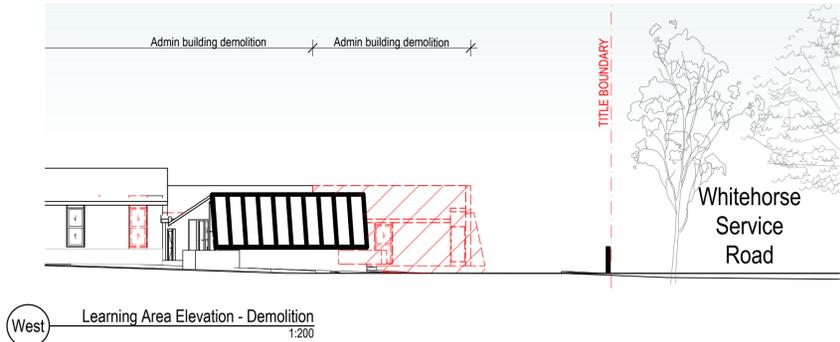
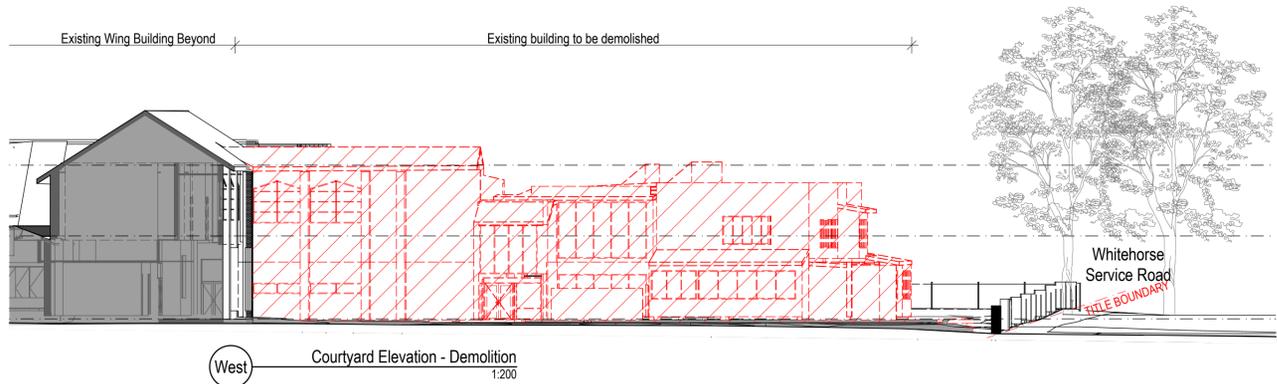


MARCH 2022
1:200, 1:1
2107
TP04

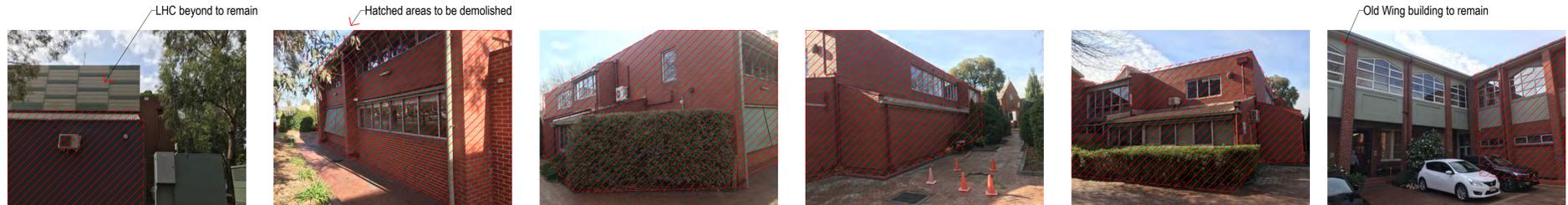
**ADVERTISED
PLAN**



This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any covenant.

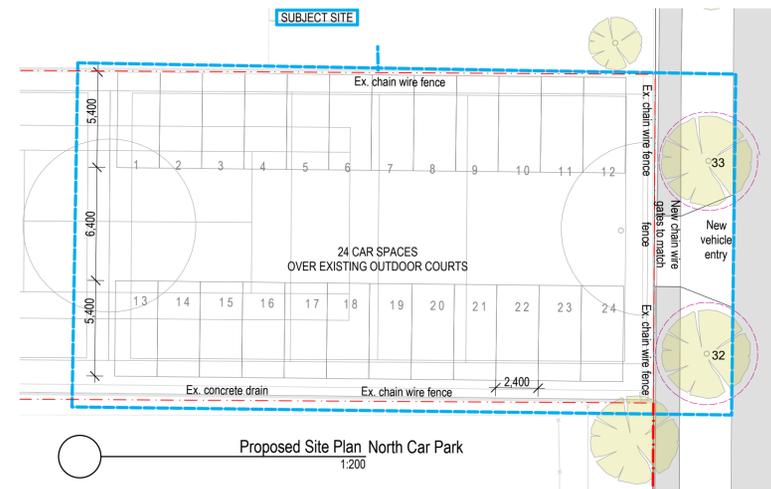


Photos of end of old Admin building on corner of Graham Place and Whitehorse Rd To Be Demolished



Photos of Building on corner of Dorking and Whitehorse Rds To Be Demolished





LEGEND

	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees & TPZ
	Subject Site		New Trees
	Temporary Classrooms		

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED PLAN

Proposed Overall Site Plan 1:500

A 14/06/2022 RFI Response - spot levels added

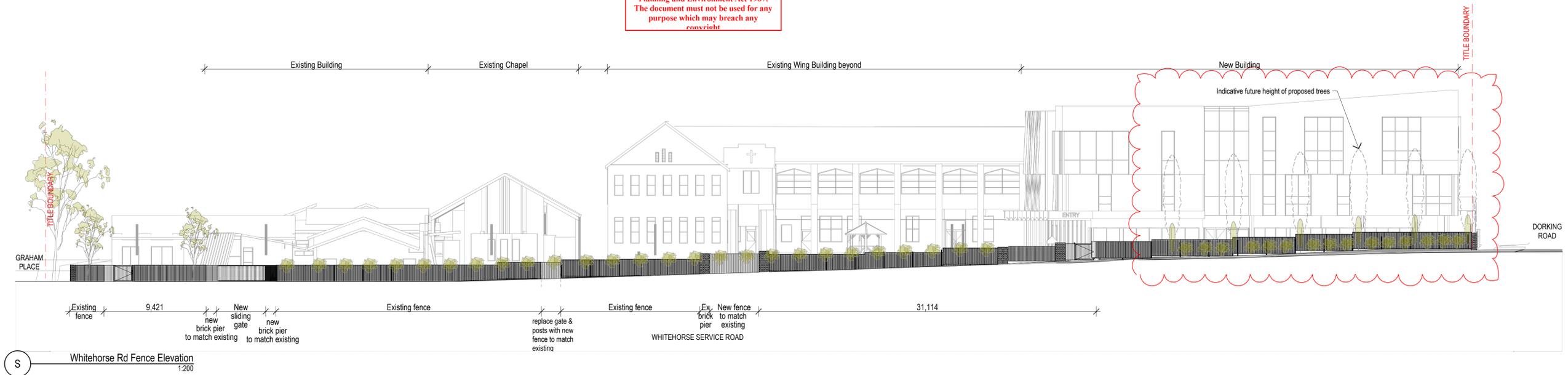


OLSC STEAMD & Administration Centre

Proposed Overall Site Plan

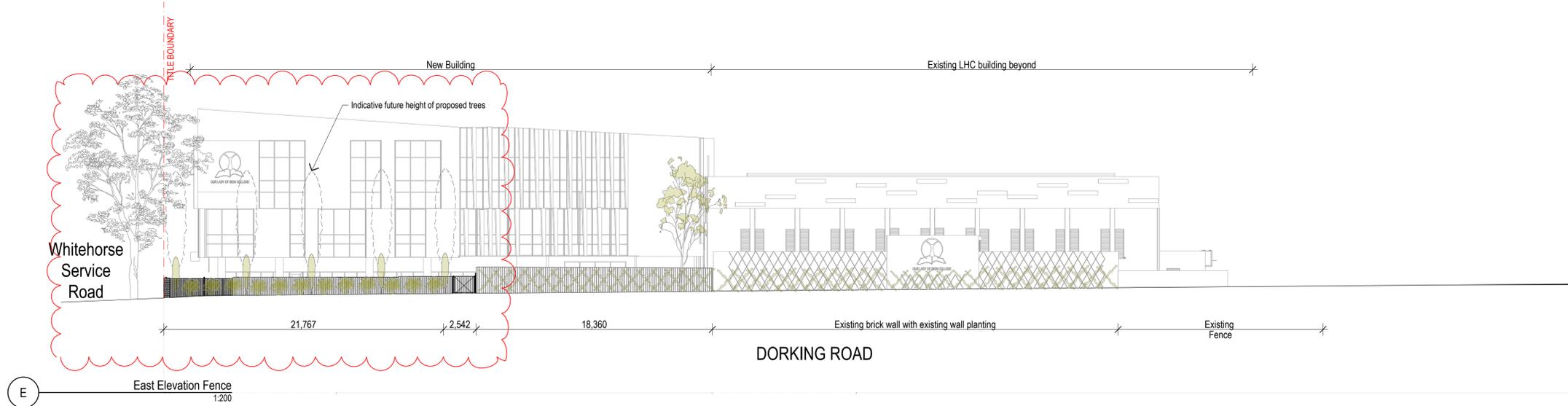
MARCH 2022
1:500, 1:1, 1:200
2107
TP06A

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



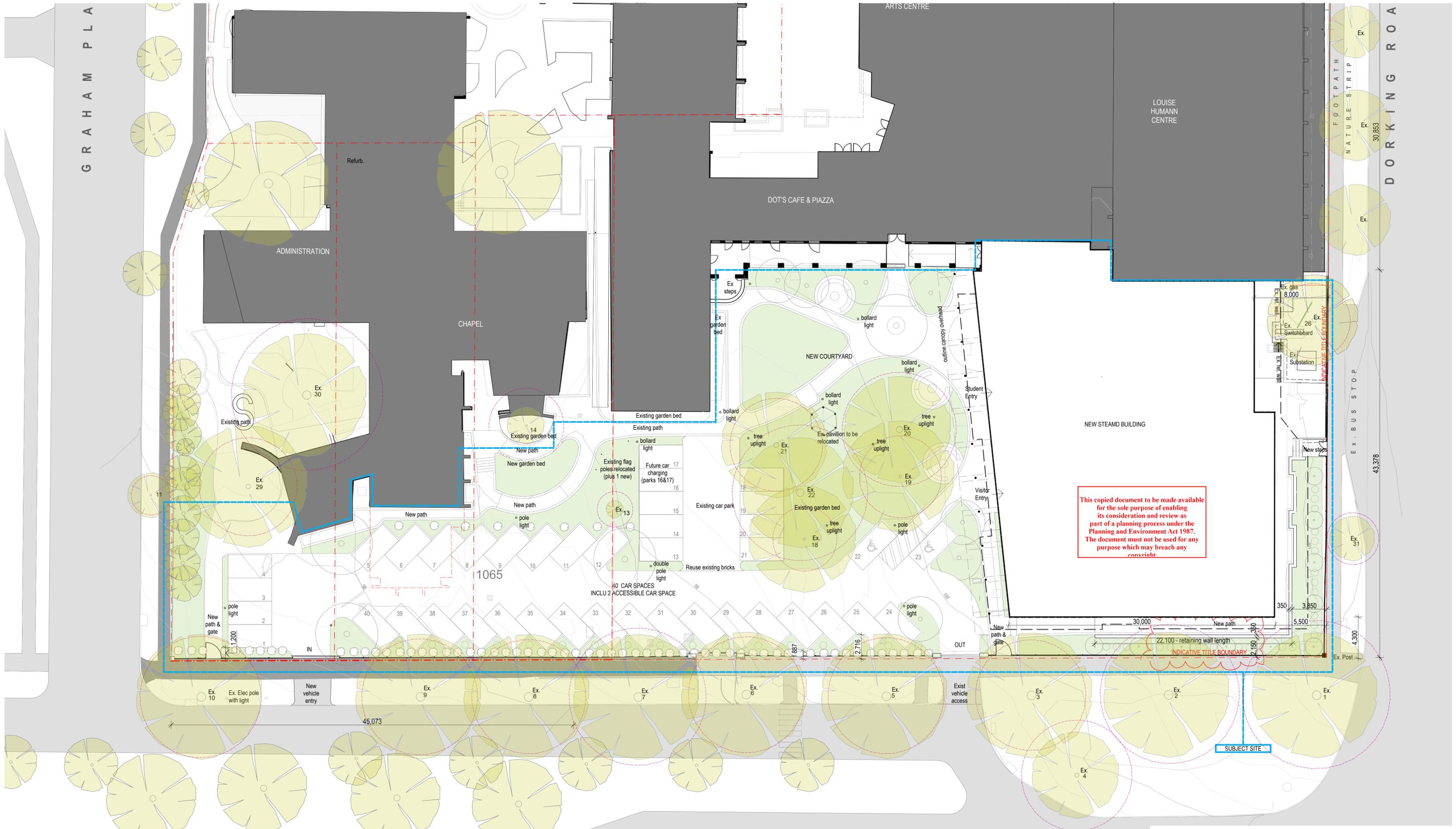
Whitehorse Road Street Frontage Photos

ADVERTISED PLAN



Dorking Road Street Frontage Photos

ADVERTISED PLAN



This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

LEGEND	
	New building extension over multiple levels
	Existing Buildings
	Subject Site
	College Title Boundary
	Existing Trees & TPZ
	New Trees



LEGEND

	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Canopy Roof

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED PLAN

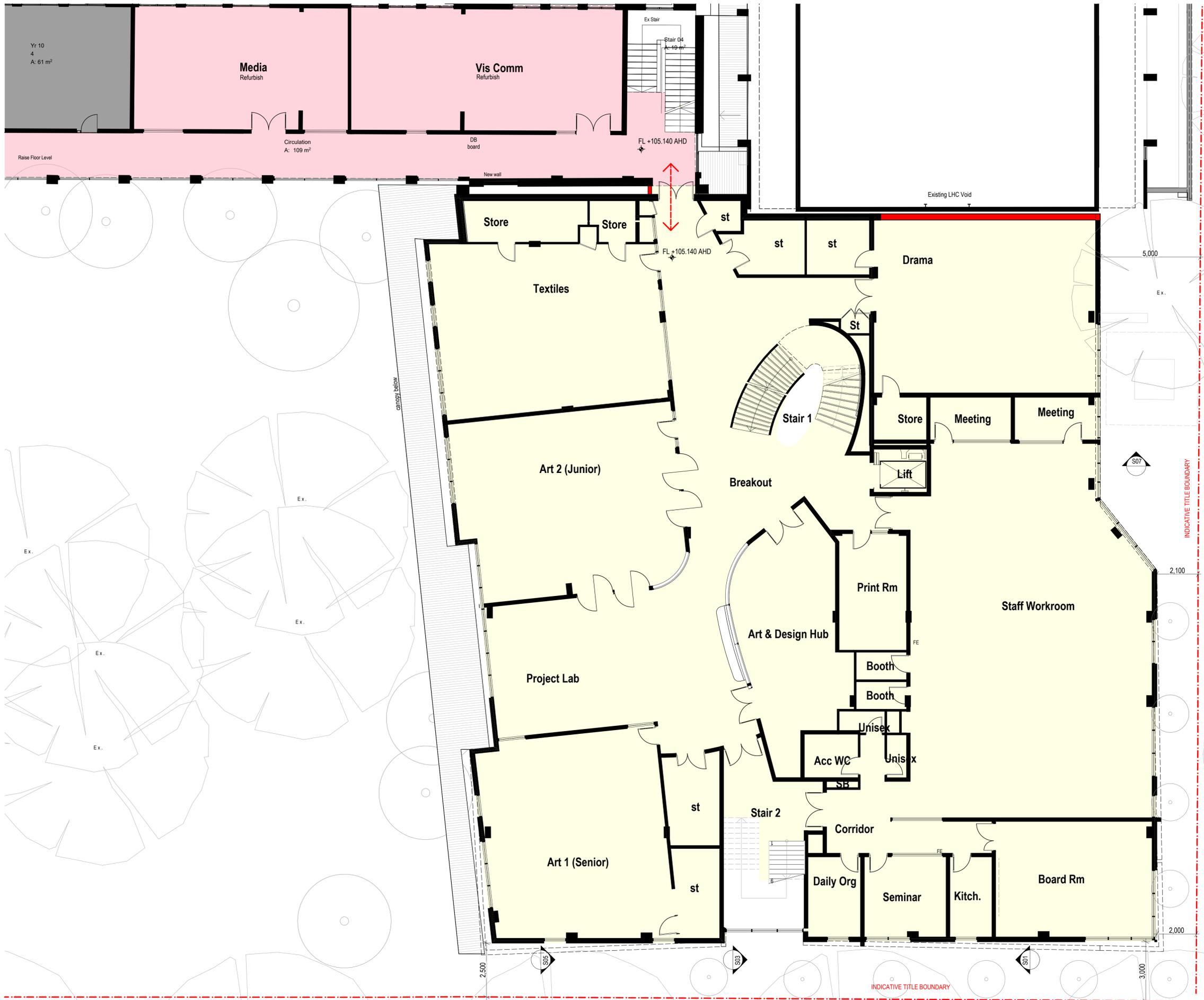


OLSC STEAMD & Administration Centre

**STEAMD & Administration
L1 Floor Plan**

MARCH 2022
1:100, 1:1
2107
TP09A

A 14/06/2022 RFI Response



LEGEND

	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Canopy Roof

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED PLAN



LEGEND

	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Canopy Roof

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED PLAN

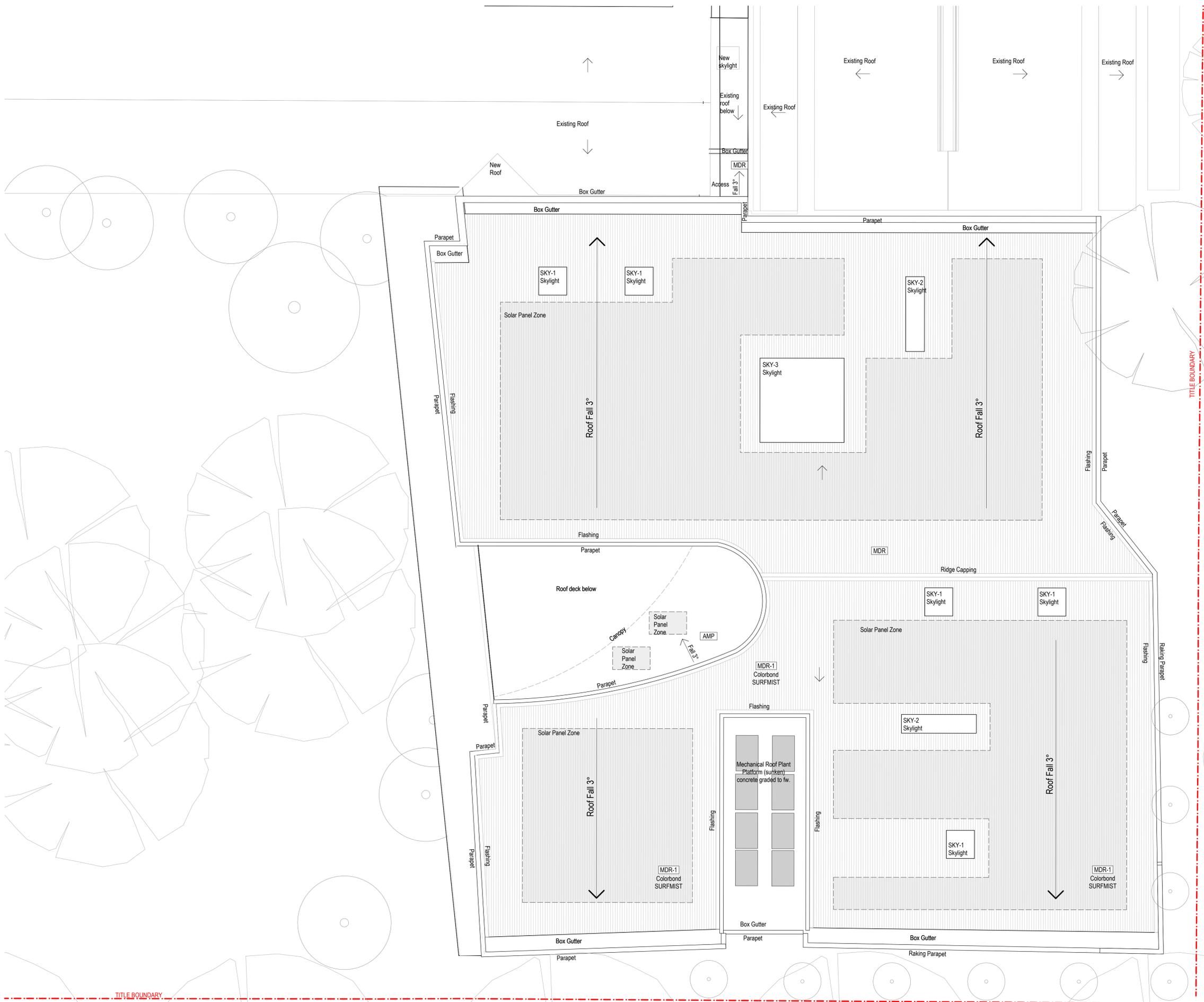


OLSC STEAMD & Administration Centre

**STEAMD & Administration
L3 Floor Plan**



MARCH 2022
1:100, 1:1
2107
TP11



LEGEND	
	Roof - Colourbond surfmist or similar
	College Title Boundary
	Solar Panels Roof - 68kW _{peak} Solar Panels Canopy - 2kW _{peak}
	Existing Trees
	New Trees

ADVERTISED PLAN

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any covenant.



OLSC STEAMD & Administration Centre

**STEAMD & Administration
Roof Plan**



MARCH 2022
1:100, 1:1
2107
TP12



LEGEND

	New building extension over multiple levels		College Title Boundary
	Existing Buildings No New Works		Existing Trees
	Refurbish works		New Trees
	Temporary Classrooms		Canopy Roof

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



East Learning Area Elevation - Proposed 1:100



Existing East Admin Wall

ADVERTISED PLAN



South Learning Area Elevation - Proposed 1:100



Existing South Admin Wall





LEGEND

-  BR-1 Brick Cladding, Running bond pattern
Colour: Cream / Light Brown
-  BR-2 Brick Cladding, Herringbone pattern
Colour: Cream / Light Brown
-  GL-1 Clear glazing
-  GL-2 Clear glazing with spandrel top and bottom. Full floor height
-  CCS-1 Vitra Panel - dark grey
-  CCS-2 Vitra Panel - light green
-  TIL-1 Bluestone tile
Colour: Dark Grey
-  TIM-1 Timber panel to underside canopy
-  AL-1 Aluminium cladding to canopy
-  SC-1 Screen - perforated aluminium powdercoated shading screen. Light green to match CCS-2

ADVERTISED PLAN

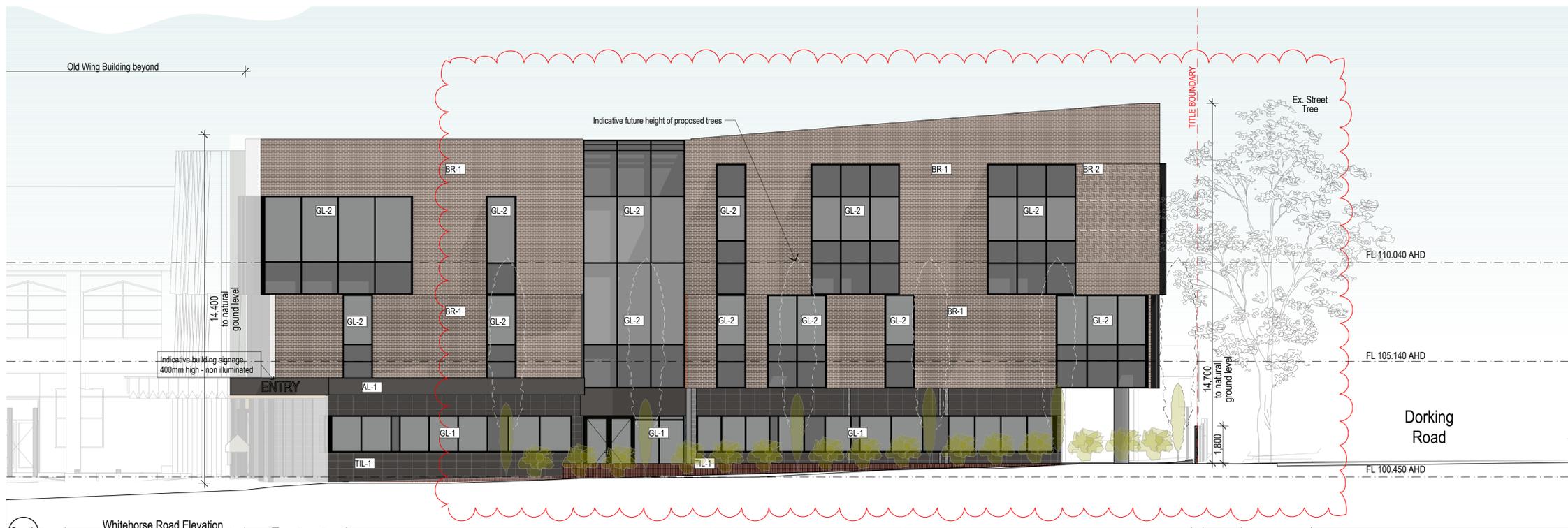
This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



East Dorking Road Elevation 1:100 Refer TP07 for Street Fence Elevation

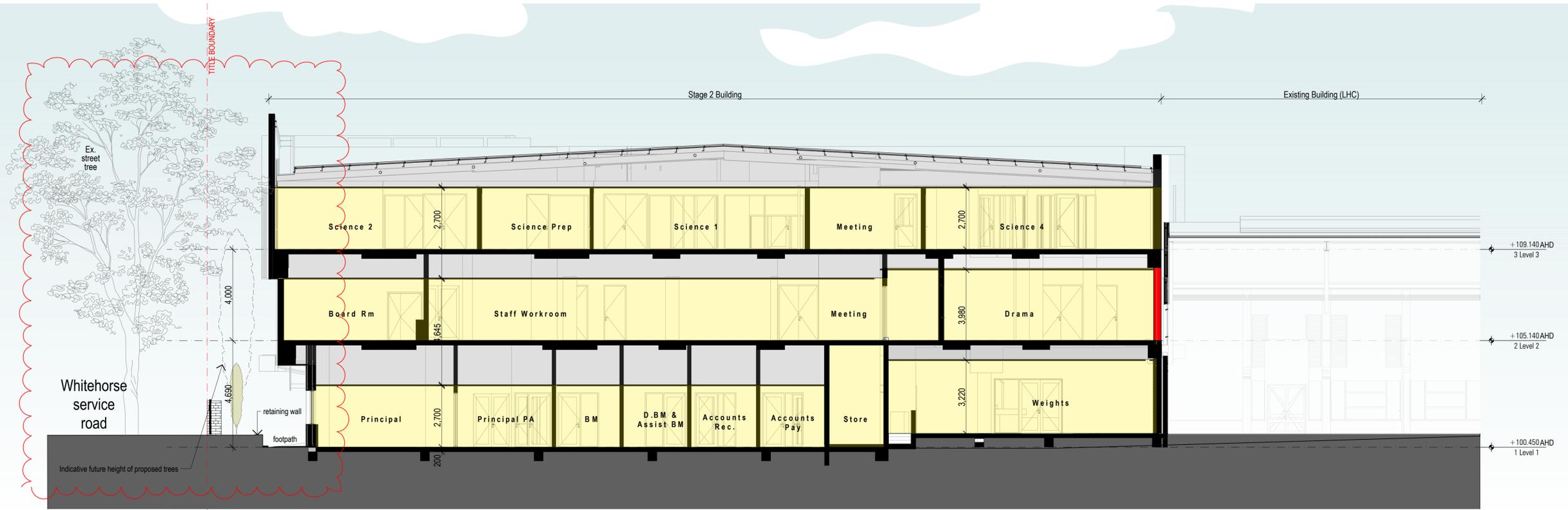
ADVERTISED PLAN

LEGEND	
	BR-1 Brick Cladding, Running bond pattern Colour: Cream / Light Brown
	BR-2 Brick Cladding, Herringbone pattern Colour: Cream / Light Brown
	GL-1 Clear glazing
	GL-2 Clear glazing with spandrel top and bottom. Full floor height
	CCS-1 Vitra Panel - dark grey
	CCS-2 Vitra Panel - light green
	TIL-1 Bluestone tile Colour: Dark Grey
	TIM-1 Timber panel to underside canopy
	AL-1 Aluminium cladding to canopy
	SC-1 Screen - perforated aluminium powdercoated shading screen. Light green to match CCS-2



South Whitehorse Road Elevation 1:100

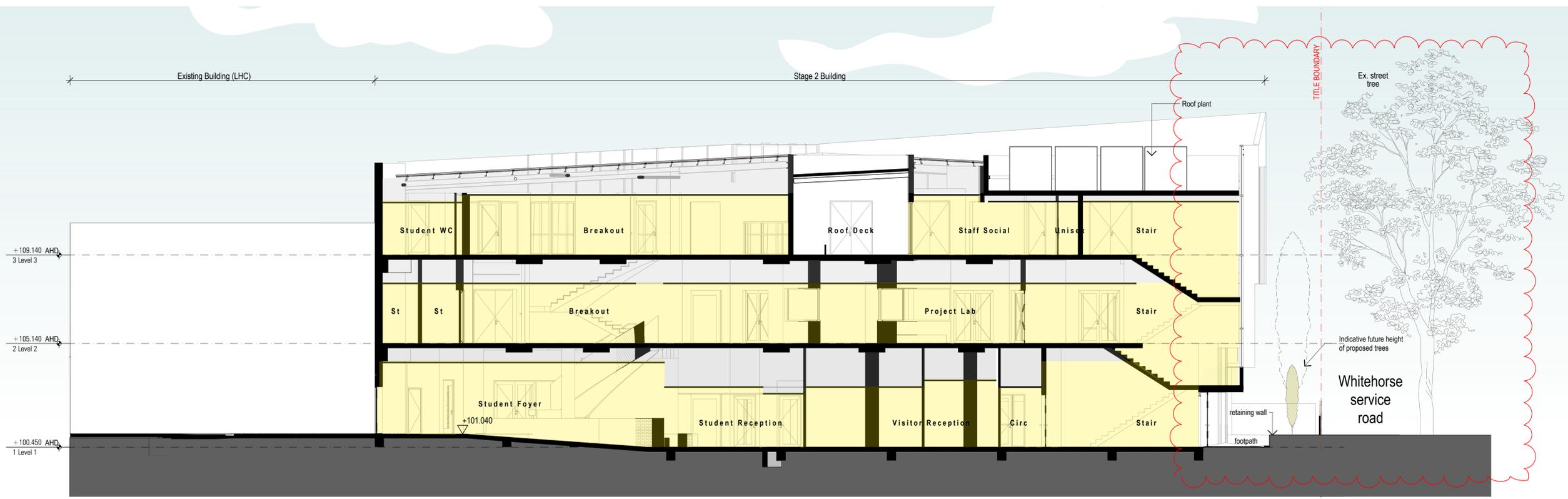
This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



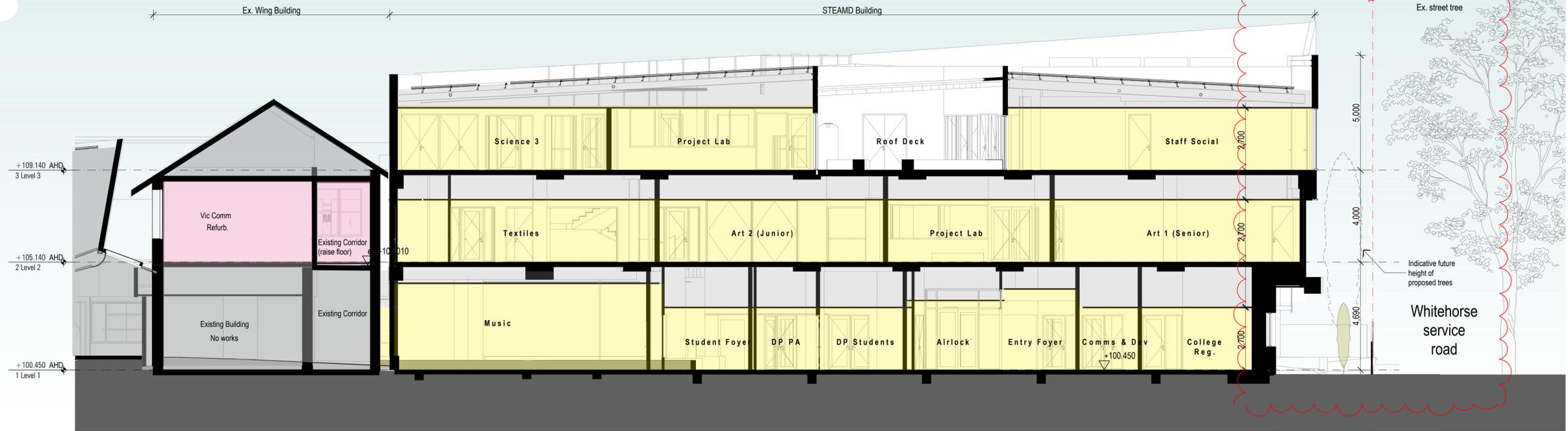
S01 Section 1:100

ADVERTISED PLAN

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any covenant.

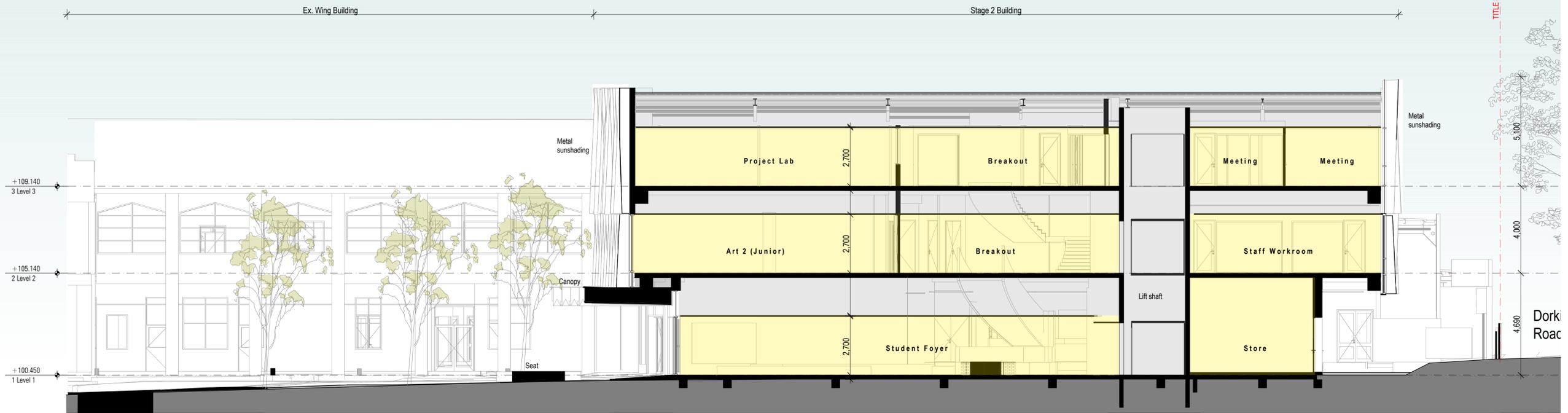


S03 Section 1:100



S05 Section 1:100

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



S07 Section 1:100

ADVERTISED PLAN

ADVERTISED
PLAN



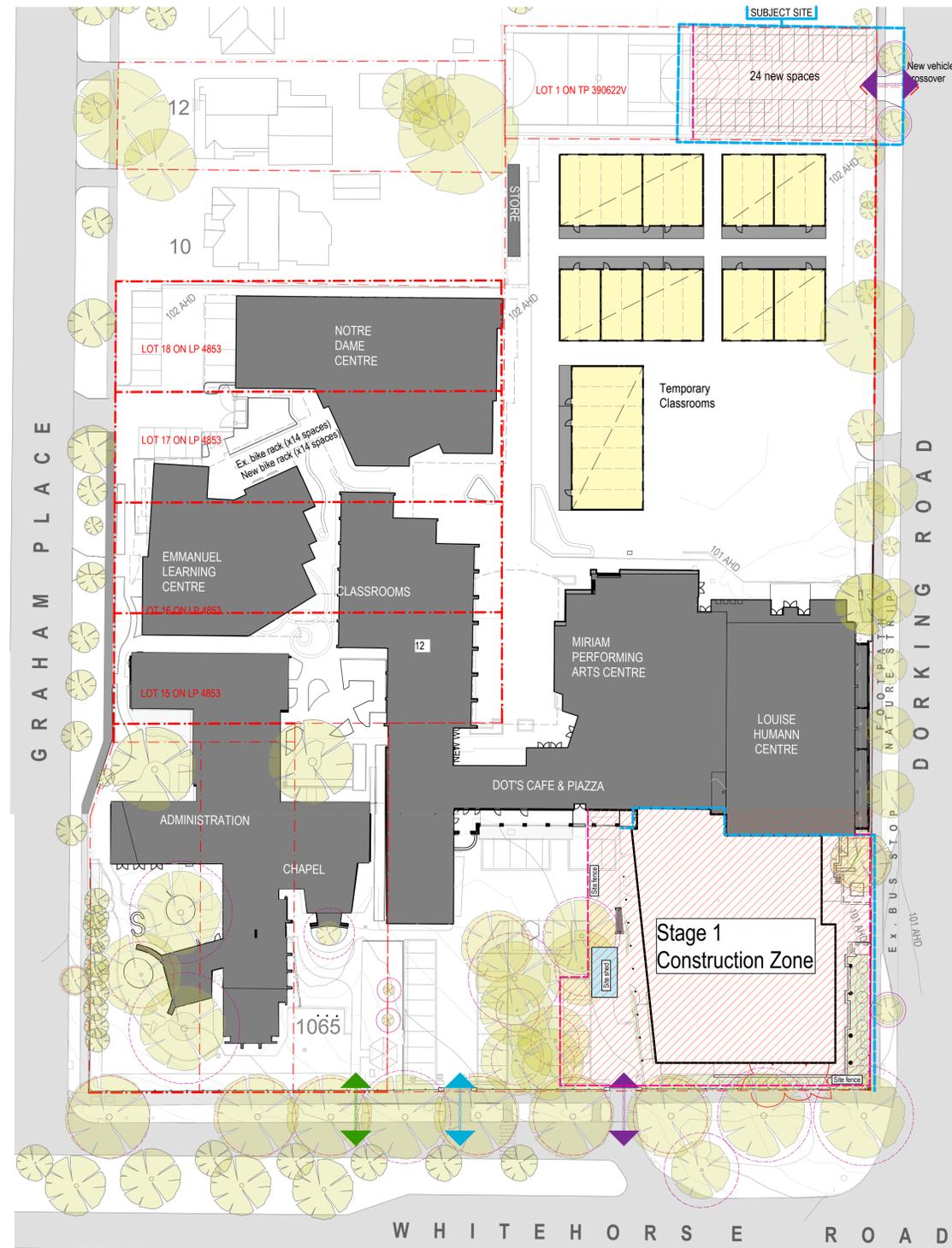
View from the corner of Dorking and Whitehorse Roads
Updated Image with Ornamental Pear trees at 8m height



View from the courtyard

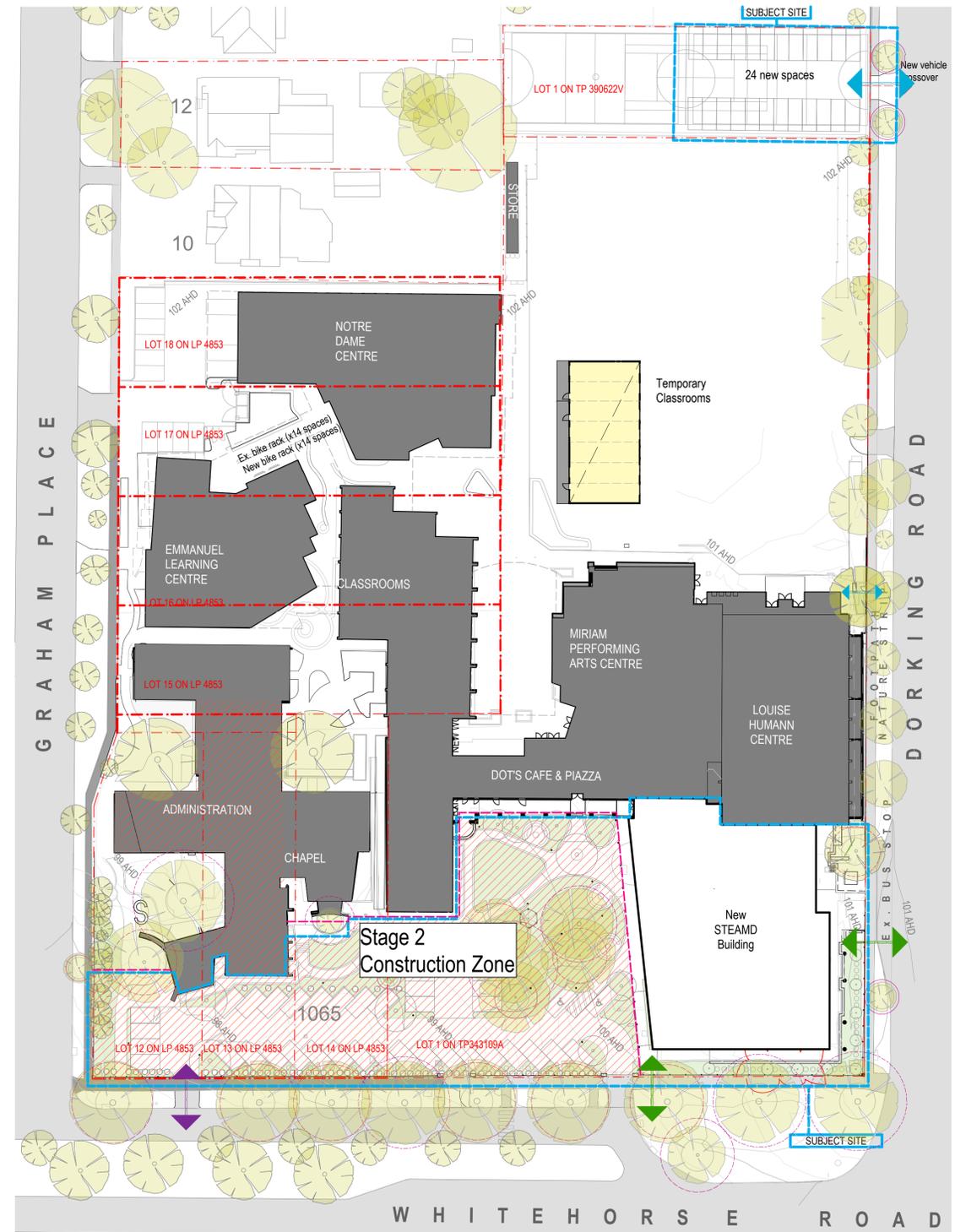
This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED PLAN



STAGE PLAN 1
 - Demolition LRC Building
 - Construction STEAMD Building
 - Add linemarking to north car park

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



STAGE 2
 - Renovate Admin Building
 - Construct New South Carpark

LEGEND			
	New building extension over multiple levels		College Title Boundary
	Existing Buildings		Existing Trees & TPZ
	Subject Site		New Trees
	Site Sheds		Construction Zone
	Builder Access		Vehicle Entry
	Pedestrian Entry		Site fence