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Heritage Impact Statement

Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses, HO1162 – Stage 2

2-50 Elizabeth Street, Kensington, 3031

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Figure 1, Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162, Elizabeth Street (2020)

Michael Taylor Architecture & Heritage
Level 6, 443 Little Collins Street Melbourne Vic 3000

5 March 2021

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1. **Heritage Impact Statement for:**

Former Younghusband Wool Stores Complex - Goldsborough and Co. later Younghusband P/L Wool and Grain Warehouses – Wool Store no.3 (Tallow Store) and Wool Store no. 5

2-50 Elizabeth Street, Kensington 3031.

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Figure 2, Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162, Site Plan (Woods Bagot May 2020)

2. **Prepared for:**

This report has been prepared for Impact Investment Group.

3. **Prepared by:**

Michael Taylor Architecture & Heritage.
Level 6, 443 Little Collins Street Melbourne.

4. **Date:** 5 March 2021

5. **The Statement forms part of an application for:**

Planning permit application for the proposed development of the former Younghusband Wool Stores Complex – Wool Store no.3 and the demolition of Wool Store no.5 to be replaced by an eight storey building on the site.

This document is to be read in conjunction with the drawings by Woods Bagot Architects.

6. **Heritage Listings**

The whole site is zoned with site-specific Heritage Overlay HO1162 within the Melbourne City Council (MCC). Under the MCC Planning Scheme *Heritage Places Inventory February 2020 Part B*, the Complex has a “B1” grading on Elizabeth Street (2-50 Young Husband Ltd). The HO applies to the building exterior and land only, there are no interior controls.

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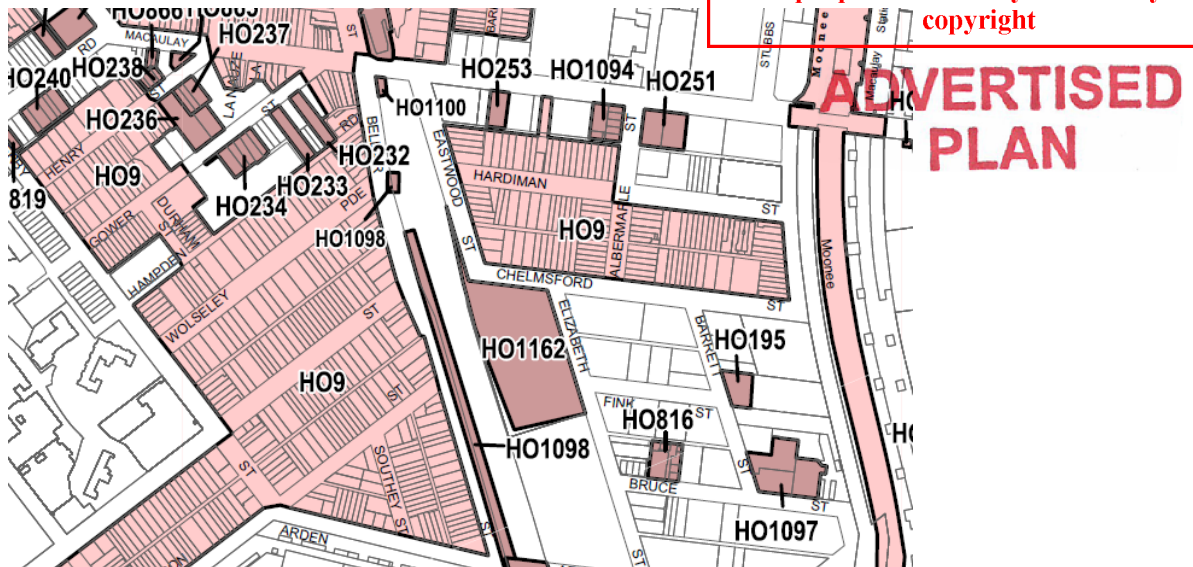


Figure 3, Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162, MCC Heritage Overlay Map No. 4HO

The Amendment C207 Arden Macaulay Heritage Review 2012 identifies the contributory parts of the complex as follows.

- Wool Store no.1 (1900-3, 1906, 1917)
- Wool Store no.2 (1928-1932)
- Wool Store no.3 (Tallow Store, 1917, 1923)
 - ground level as the first stage 1917;
 - two additional floors, 1923;
 - all with rectangular window openings and multi-pane glazing;
 - an east elevation expressing the sawtooth profile roof unlike the other stores facing streets, and
 - a corbelled brick capping on the raking parapet.
 - Some ground level openings have changed.

Wool Store no. 5 (1957) is not considered contributory and has been deliberately excluded from the Statement of Significance, based on the results of the Arden Macaulay Heritage Review 2012. The study found that Wool Store no.5 does not share the same heritage values as the rest of the site to warrant its inclusion in the overall complex.

MCC Planning Scheme Relevant Policies

- 22.05 Heritage Places outside the Capital City Zone
- 43.01 Schedule to the Heritage Overlay

The Planning Scheme's Clause 22.05 *Heritage Places outside the capital city zone* provides policy basis, objectives and performance criteria for the assessment of applications. The broad policy is to preserve, enhance and sympathetically develop places of heritage significance. This report has been prepared following the gazettal of Amendment C258 to the Melbourne Planning Scheme in July 2020 which amended Clause 22.05 to include Parts A & B. Part B of the policy applies to the Younghusband complex.

A tabulated assessment against Part B of Clause 22.05 Heritage Places outside the Capital City Zone is attached

7. Why is the place of heritage significance?

The *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses* are of historic and aesthetic significance to Kensington, the City of Melbourne and Victoria. The site's cultural heritage significance is described by MCC's citation.

The Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses are significant historically:

- *as highly indicative of the important role of Kensington and North & West Melbourne for industrial and mercantile activities including those related to wool, grain and livestock (tanneries, abattoirs, flour mills); for its siting and design allowing the complex to demonstrate the importance of rail transport;*
- *for the juxtaposition of this large-scale industrial complex with modest workers housing to its north reflects important aspects of the worker and workplace relationships and living conditions in the local area, particularly within the Victorian and Edwardian-eras;*
- *for helping in the understanding of the design context of wool stores and warehouses in Australia and thus can be related to examples both within Victoria and further afield. The siting of the complex, its local context and design demonstrates the key characteristics of wool stores in Australia; and*
- *the Younghusband complex is one of the relatively few substantial and well-preserved wool store complexes to survive, and stands as an important example in a metropolitan context and is broadly comparable to the wool stores on the waterfront at Geelong (Criterion A)*

Associations

For the association with Goldsbrough, Younghusband & Row, major wool and produce brokers, and stock and station agents (Criterion H); and

Aesthetically

Considered in the context of other surviving wool stores, the Kensington complex stands as a key metropolitan example and one that is distinct from other wool stores in the region. It represents a later phase of wool store design when compared with the city wool stores, both of which are of far more modest scale overall and much less intact and differs from the later 1940s West Footscray examples, both of which adopt a more massive, austere and monumental quality in terms of their scale and architectural qualities, and do not have the evolved character of the Kensington complex and its ability to demonstrate aspects of industrial architecture over a 50 year period;

For the physically and aesthetically powerful imagery of the complex, with its larger scale relative to adjacent residential development; and

For the overall high consistency of scale, architectural expression, form and materiality (of the buildings constructed between 1900 and 1932). These qualities combine to give the complex an imposing quality; and visual prominence, particularly when viewed from the railway line and in views from the north, northwest and to a lesser extent, the elevated views from the west (Criterion E)

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8. Current use of the place.

The Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162 complex has recently been used as a variety of small-scale workshops, commercial, offices and studios.

9. Existing Condition of the place

The proposed works subject to this application are to Wool Store no.3 and Wool Store no.5, located within the *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses* HO1162 Complex. The site is bordered to the west by the railway line and to the south by the Allied Flour Mills. The site contains four red brick wool stores of various construction dates from the 1900s.

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Wool Store no.3

Wool Store no. 3 the former Tallow Store, constructed between 1917 and 1923. It is located on the south end of the complex. The principal facade to Elizabeth Street is three storeys high of sheer walls. Constructed in English Bond red brick, the facade is divided into six bays with two cement rendered bands and a saw tooth parapet. A painted sign below the upper rendered band identifies the building as a Tallow Store. The saw tooth roof is clad in galvanised corrugated metal with south facing clerestory windows.

The building's windows have been largely adapted over time with some windows infilled with brick and others with hoppers installed. The windows are mostly steel framed except for the northern most bay which has three timber framed double hung sash windows on the second floor, which match the windows of Wool Store no.1 adjacent. These windows are a later addition and obstruct the wording of the original painted signage. Original doors have also been removed and adapted into a truck loading bay and a new entry has been installed on the Elizabeth Street frontage.

The building envelope is intact, but is aged and requires maintenance to roofs, gutters, rainwater goods, parapet cappings, brick walls, pointing, steel and timber framed windows and doors.

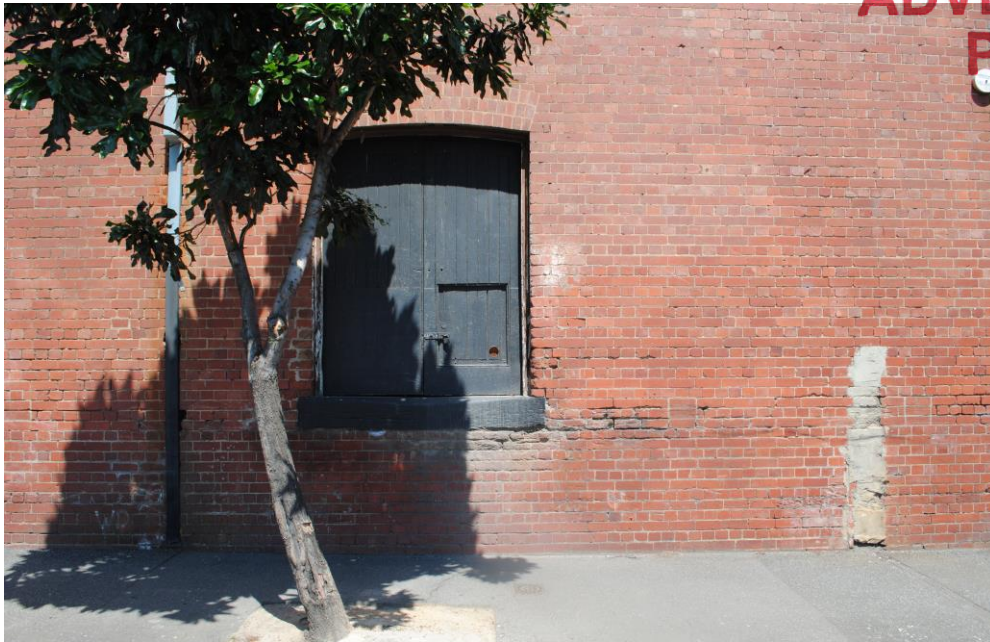
The interior remains largely intact with minor alterations.



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Figure 4, *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162,* Wool Store no.3 – Tallow Store, Elizabeth Street facade. (2020)



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Figure 5, *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162,* Wool Store no.3 – Tallow Store, Elizabeth Street facade loading bay door. (2020)

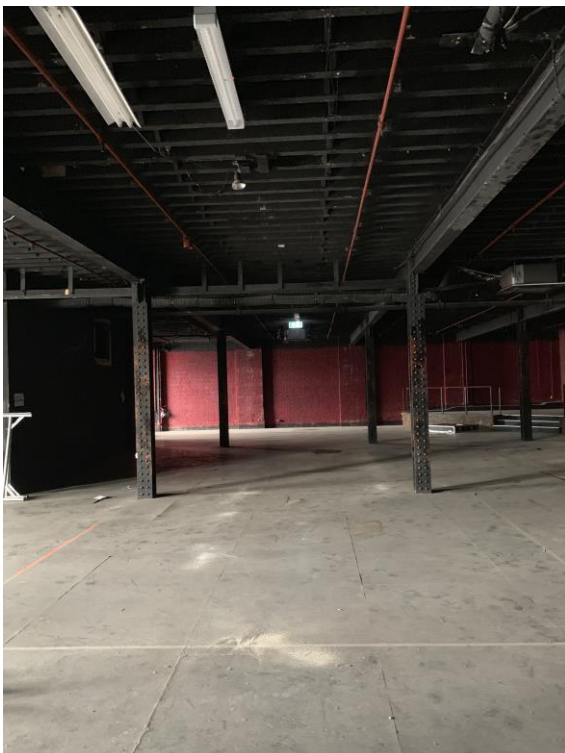


Figure 5, *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162,* Wool Store no.3 – Tallow Store, interior. (2019)



Figure 6, *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162,* Wool Store no.3 – Tallow Store, interior. (2019)

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Wool Store no.5

Wool Store no.5 is located on the railway side of the south end of the complex. It is a two storey warehouse with a brick base and sheet cladding to the upper level. It like the other buildings has a saw tooth profile roof, clad in corrugated iron.

The heritage value of Wool Store no.5 was assessed as part of the independent Panel appointed to consider submissions for Amendment C207 to the Melbourne Planning Scheme. Whilst Wool Store no.5 is included in the extents of HO1162, Wool Store no.5 is not contributory.



Figure 7, Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162, Wool Store no.5 -, railway facade (2020)

10. Background to the proposed works

The proposed development of Wool Stores no. 3 and no. 5 is part of the larger Younghusband complex development. A planning permit has previously issued for works to Wool Stores no.1 and no. 2. The scope of this current application needs to be understood and assessed as part of a whole-of-site development.

The project brief is achievement of a community-focused, sustainable development which will act as a laboratory for models of community use. The architect's approach to the previous stage has been one of minimal physical intervention with the historic fabric. Stage 2 partly adopts this approach to the main facade of Wool Store no.3, but with a much heavier level of intervention to roof, interior and rear walls; and demolition of Wool Store no.5. The architect's General Design Statement for Stage 1 and Stage 2:

It is proposed to build upon, rather than replace the existing community on site. The masterplan will add new uses to the existing community mix with the aim of creating a more

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holistic and sustainable community focused development. With a collection of building program that centres around Food, Education, The Arts, Technology, Co-working and Wellness, there are a number of both strong inter-relationships that exist on site, and a synergy of programmatic diversity. This we hope will promote organic growth within the buildings, and support the community on site and beyond its boundaries.

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The concept of the village is central to the design direction that the master plan has taken. It is a collection of parts that are both separate and distinct, however part of the communal whole.

Communal open space is the heart of the master plan. The town square is the focal point at which people will enter the precinct and then disperse from. It is a place to gather, and to stop and chat. It is a place to meet others that are part of the community, and is a space where both planned and informal events can occur. From the town square, laneways branch off and connect the uses of the site. The laneways serve a dual function creating room for movement that also introduce light into spaces that previously had none.¹

11. Scope of proposed works

Wool Store no.3

- Demolition of the roof, west wall; parts of the north and south walls, and the whole interior.
- Construction of a six storey mixed use office building behind the retained facade.
- Alterations to Elizabeth Street facade including new openings and fire booster cabinet.
- Restoration of the facade including doors and windows.

Wool Store no.5

- Demolition of Wool Store no.5.
- Construction of a new eight storey mixed use building.



¹ Woods Bagot Design Statement

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Figure 8, Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162, hatch indicates area of Stage 2 works (Woods Bagot June 2020)

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12. What physical and/or cultural visual impacts will result from the proposed works? i. e. what will be the affect on the cultural heritage significance of the place?
Physical Impacts-Demolition

Wool Store no.3

The Elizabeth Street and south facade to the Allied Mill site are identified by the *Amendment C207 Arden Macaulay Heritage Review 2012* as being of most significance, requiring their retention. The other facades are of a lesser importance, due to their limited visibility and low integrity due to alterations. The proposed demolition and that of the roof will have high impact on the building's physical integrity. But this is balanced by the full retention of Wool Stores no.1 & no.2.

The MCC schedule to the heritage overlay does not include internal controls of Wool Store no. 3.

Elizabeth Street facade alterations

Under the proposed development the Elizabeth Street facade will be physically altered to accommodate new and adapted openings. It is proposed that a number of new openings be made in the Elizabeth Street facade to create windows along the second floor. These windows will align with the structural bays and those already existing on the facade, they will integrate with the facade's composition so as not to draw undue attention or be out of step with the building's structural grid. The new openings will contain contemporary window frames to differentiate between old and new fabric. The proposed new openings will not unduly change the facades appearance and will be respectfully integrated with the existing facade.

Two existing windows on the ground floor will be partially bricked in and adapted into doorways. This work retains the pattern of fenestration of the facade to no detriment to the facade's visual appearance or its aesthetic significance.



Figure 9, Elizabeth Street facade proposed
window alteration (2020)

Wool Store no. 5

It is proposed that Wool Store No. 5 be fully demolished. While the land occupied by Wool Store no. 5 is included in the Heritage Overlay, the building was removed from the list of contributory buildings by the *C207 Arden Macaulay Heritage Review 2012*.

Visual Impacts

Wool Store no. 3 –

Facade restoration

The proposed development of Wool Store no.3 will include the restoration of the Elizabeth Street facade. Original windows on the first floor which had previously been bricked up will be reinstated, restoring the original symmetry of the facade. The original bricks and windows will also be retained and restored as part of the works to the benefit of the building's visual appearance and to retain significant heritage fabric. The restorative works will contribute to the ongoing conservation of the significant heritage facade.



Figure 10, proposed Wool Store no. 3 & 5 in the Elizabeth Street, streetscape. (Woods Bagot 2020)

Fire Booster Cabinet

A fire booster cabinet is required by the Fire Rescue Victoria. The cabinet will be located under two existing windows on the Elizabeth Street facade. Its integration into the facade is unavoidable given the MFB requirements. The cabinet has been scaled to align with the window reveals to minimise its appearance on the facade.

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Upper level development

The proposed new building located within the retained facade of Wool Store no.3 will extend an additional two storeys with an open terrace above the existing facade's saw tooth parapet. The additional levels will be set back from the Elizabeth Street facade as to reduce their visibility from street level. As indicated in sightline diagrams the proposed development will be partially obscured by the highest points of the saw tooth parapet. The light weight material palette of glazing on the Elizabeth Street facade further reduces the visual bulk of the upper level development, maintaining the primacy of the heritage facade in front. This upper addition is well set back, is a contemporary style building which adopts an orderly regular orthogonal curtain wall, facade, with a limited material palette, in the Modernist tradition. These upper levels will effectively read from the street as a contemporary neighboring building to Wool Store no.3's facade.

The upper level development will contain a plant room, café and roof top terrace on the roof. The structures for both the plant room and rooftop terrace will be further setback from Elizabeth Street, obscuring it from view from the street below. The terrace development will be visually reductive and be of no detriment to the retained heritage facade below.

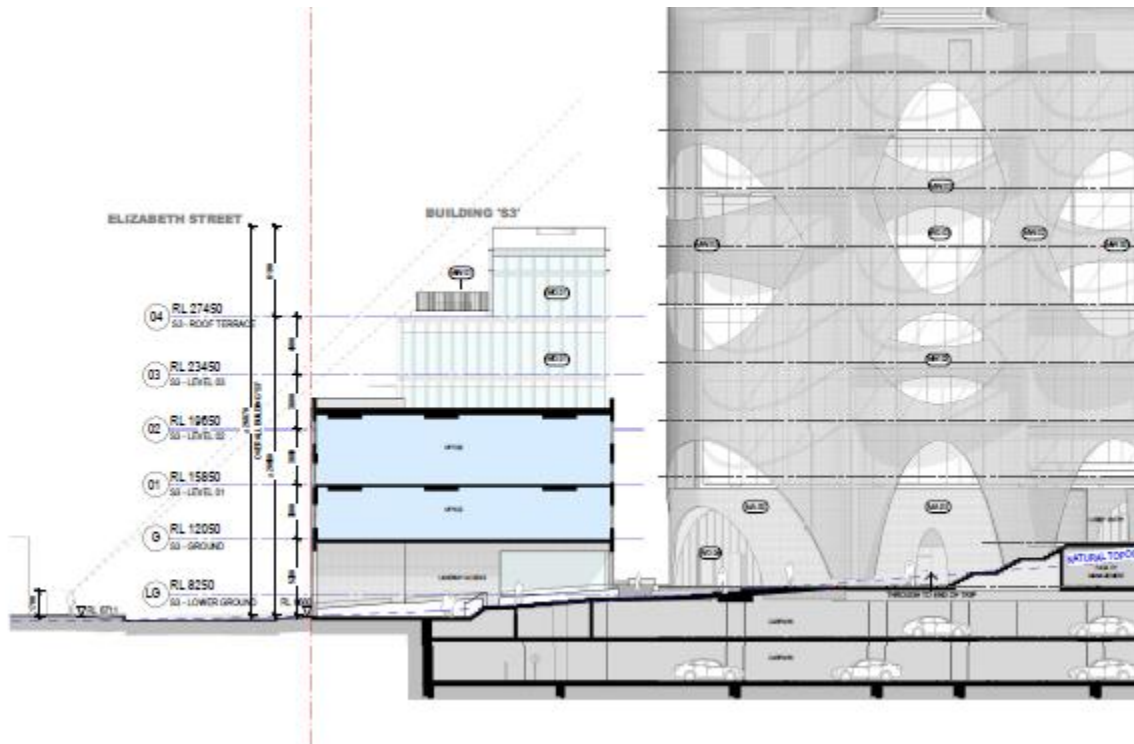


Figure 11, Sight line diagram from Elizabeth Street, showing setback of upper development with limited visibility from the street level (Woods Bagot 2020)

Wool Store no.5 –

Siting

Located on the former site of Wool Store no.5 at the southern end of the site, the new development will be physically separated from the significant heritage buildings of Wool Stores no.1, no.2 and no.3 mitigating any impact on these significant buildings. Although included in the land of the Heritage Overlay the existing building is not contributory to the

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complex. The new development will be located well within the extent of the former Wool Store no.5, conforming to the predominant setbacks and orientation of the complex.

The site is adjacent to the railway line, which serves as a buffer between the proposed development and other Heritage Overlays adjacent.

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Architecture

The proposed new building on the former Wool Store no.5 site will be clearly contemporary in design to differentiate it from the significant heritage buildings of the wool store complex.

The new building although taller than the wool stores within the complex, will sit at a similar height to that of the grain silos of the neighboring Allied Flour Mills site. Visually integrating the building with the industrial context of the area.

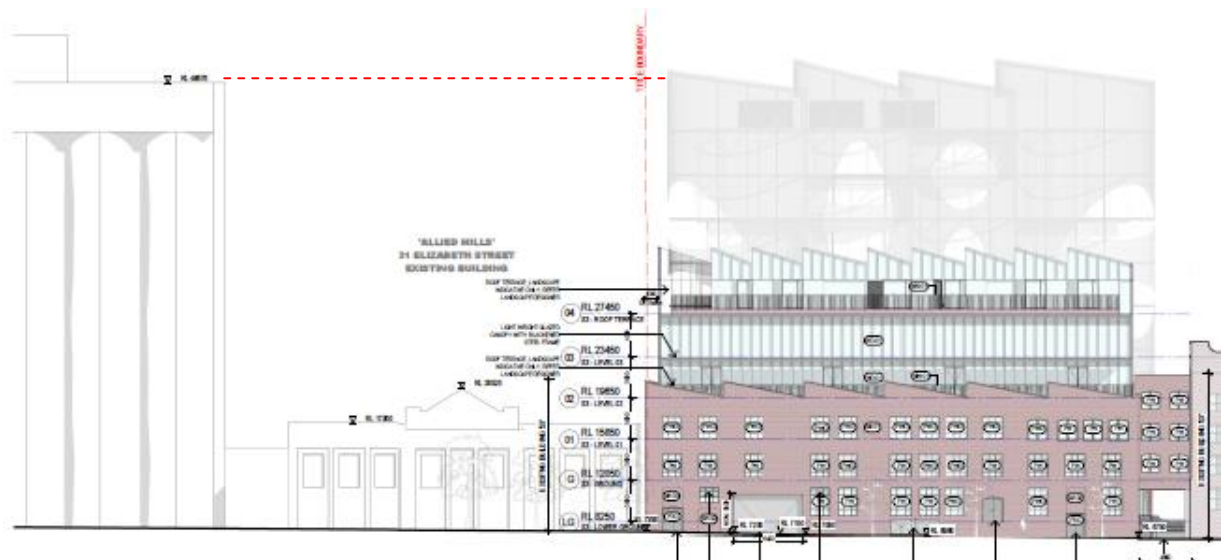


Figure 12, Elizabeth Street, East Elevation Stage 2 proposed development showing consistent height to grain silo (Woods Bagot June 2020)

Given the setback and west location of the development the additional height of the building will not visually dominate or obscure historic views or sight lines to the existing heritage buildings in front. Rather their heavier brick materiality and saw tooth roofs will dominate in the forefront of the site.

The building adopts a grain silo theme with the rounded articulation of the building will further reduce the visual bulk of the building, while clearly drawing inspiration from the form of the neighboring grain silos. This reference ensures the new building relates to its industrial heritage context, in respect to the cultural heritage significance of the place.

The new building is a compatible addition to the site. It will not overwhelm the contributory heritage buildings on the site and will be of no detriment to the cultural heritage significance of *Goldsborough and Co. later Younghusband P/L Wool and Grain warehouses HO1162*.

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Material Palette

The industrial material palette of the proposed building uses the existing heritage listed buildings as reference. The industrial palette of metals and recycled brick is in keeping with the predominantly brick construction of the Younghusband Wool Stores Complex and allows the proposed building to read as a complementary addition to the site.

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Contemporary materials such as off-form concrete, glazing and perforated metal screens are also used. Although new materials they are sympathetic to the significance of the historic complex. The use of light materials such as glazing and perforated metal screens reduces the visual bulk of the upper levels of the building, reducing the visual impact of its height behind the original Wool Stores.

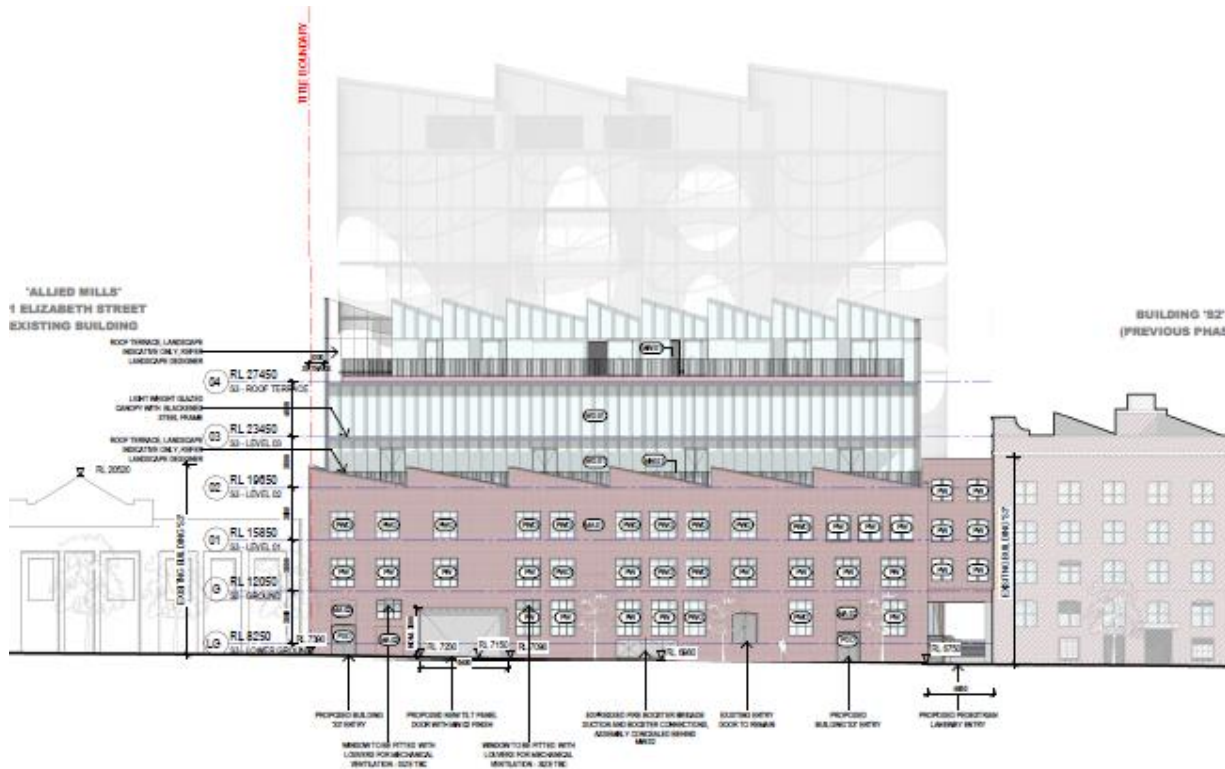


Figure 13, East elevation, Elizabeth Street (Woods Bagot June 2020)

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13. Conclusions

Significance

- *The Goldsbrough Row and Co., late Younghusband, Row & Company Pty Ltd. Complex* HO1162 is significant historically and aesthetically to Kensington, the City of Melbourne and Victoria.
- Wool Store no.3 is graded as contributory.
- The Wool Store no.5 building is non-contributory.
- The overall site retains Wool Store no.1 and no. 2 virtually intact and minimally adapted. The most significant part of Wool Store no. 3, the Elizabeth Street facade of this industrial citadel complex is retained to present the extent and character of the original complex.

Demolition

- Proposed demolition is limited to the roof, interior, west and a section of the north facade of the Wool Store no.3. This building has no internal controls, permitting interior demolition and the west facade is obscured from all principal views mitigating any visual impact due to its removal.
- Wool Store no. 5, is identified as a noncontributory building within the boundary of the Complex, subsequently is proposed full demolition is suitable.

Wool Store 3

- The most significant facade of Wool Store no.3 will be retained and conserved.
- The upper level development will extend two levels above the existing Elizabeth Street facade, it will be setback from the parapet to obscure it from sight lines from street level.

Wool Store no. 5

- The proposed development at Wool Store no.5 will be sympathetic to the existing heritage context.
- The siting scale and material palate of the new building will be visually reductive to the rest of the wool store complex.

Impact on the cultural heritage significance of the place.

- The proposed Stage 2 development of Wool Store no.3 and Wool Store no.5 is measured and will not impact upon the broader cultural heritage significance of *The Goldsbrough Row and Co., late Younghusband, Row & Company Pty Ltd. Complex* HO1162.

APPENDIX: A

Goldsborough and Co. later Younghusband P/L Wools and Grain Warehouses Complex HO1162

2-50 Elizabeth Street Kensington

Assessment against Melbourne Planning Scheme Objectives & Policies - 22.05 HERITAGE PLACES OUTSIDE THE CAPITAL CITY ZONE Part B

This Part of the policy applies to properties graded A to D within the Heritage Places Inventory February 2020 Part B, and those properties within the suburb of Melbourne that are referred to in the Central City Heritage Study Review, 1993 and not categorised significant or contributory by an incorporated document to this Scheme.

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Flemington & Kensington		CITY OF MELBOURNE HERITAGE GRADINGS	
Street	Number	Building Grading	Streetscape Grading
Chelmsford Street	Younghusband Ltd	B	3
Elizabeth Street	2-50 Younghusband Ltd	B	1

Melbourne Planning Scheme Policy Objective	Proposed Works, Assessment against Policy & Comments
22.05 HERITAGE PLACES OUTSIDE THE CAPITAL CITY ZONE	
Demolition	
<ul style="list-style-type: none"> Demolishing or removing original parts of buildings, as well as complete buildings, will not normally be permitted in the case of 'A' and 'B', the front part of 'C' and many 'D' graded buildings. The front part of a building is generally considered to be the front two rooms in depth. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> The Elizabeth Street and south facade to the Allied Mill site are identified by the Amendment C207 Arden Macaulay Heritage Review 2012 as being of contributory significance, requiring their retention. The other facades are of a lesser importance, due to their limited visibility and low integrity due to alterations. The proposed demolition and that of the roof will have high impact on the building's physical integrity. But this is balanced by the full retention of Wool Stores no.1 & no.2. The MCC 43.01 Schedule to the Heritage Overlay does not include internal controls of Wool Store no. 3, therefore internal demolition is suitable in regards to the Heritage policy. <p>Wool Store no. 5</p> <ul style="list-style-type: none"> It is proposed that Wool Store No. 5 be fully demolished. While the land occupied by Wool Store no. 5 is included in the Heritage Overlay, the building was removed from the list of contributory buildings by the C207 Arden Macaulay Heritage Review 2012.
Renovating Graded Buildings	
<ul style="list-style-type: none"> Intact significant external fabric on any part of an outstanding building, and on any visible part of a contributory building, should be preserved. Guidelines on what should be preserved are included in Urban Conservation in the City of Melbourne. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> The external fabric of the North South and East walls of Wool Store no.3 will be preserved and conservation works undertaken. The retained east and south walls have been identified as contributing the most to the significance of Wool Store no.3 The western wall has been identified as being of less significance due to its limited visibility and low integrity due to previous alterations. Its proposed demolition is balanced by the retention of the three other walls maintaining the three dimensionality of the heritage building.
<ul style="list-style-type: none"> Where there is evidence of what a building originally looked like, renovation of any part of an outstanding building, or any visible part of a contributory building, should form part of an authentic restoration or reconstruction process, or should not preclude it at a future date. Evidence of what a building used to look like might include other parts of the building or early photographs and plans. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> It is not in the proposed scope of works to reconstruct the facade of Wool Store no.3 to the original. The whole site has a history of stage development and alterations. Wool Store no.3 was constructed between 1917 and 1923 and has had a number of additions and alterations to the building. Given this varied development and its context within the Wool Store complex it would not be appropriate to restore the building to the original 1917 extents. Under the proposed development the retained exterior walls of Wool Store no.3 will be restored to conserve the remaining significant heritage fabric.

<ul style="list-style-type: none"> Where there is no evidence of what a building originally looked like, renovations should preferably be respectful of an interpretive modern design, rather than "guesswork" reconstruction or any other form of reproduction design. 	<ul style="list-style-type: none"> The proposed renovations/development is clearly contemporary in architecture, with architectural character of the Wool Stores through the modular form and use of the typology of the saw tooth form which is evident throughout the whole Goldsborough and Co. later Younghusband P/L Wool Store and Grain Warehouses Complex HO1162 site.
<ul style="list-style-type: none"> Sandblasting and Painting of Previously Unpainted Surfaces 	<ul style="list-style-type: none"> N/A sandblasting is not included in the scope of proposed works
<ul style="list-style-type: none"> Sandblasting of render, masonry or timber surfaces and painting of previously unpainted surfaces will not normally be permitted. 	<ul style="list-style-type: none"> N/A sandblasting is not included in the scope of proposed works
<p>Designing New Buildings and Works or Additions to Existing Buildings</p>	
<p>Form</p>	
<ul style="list-style-type: none"> The external shape of a new building, and of an addition to an existing building, should be respectful in a Level 1 or 2 streetscape, or interpretive in a Level 3 streetscape. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> The upper addition to Wool Store no.3 will be respectful in the level 1 streetscape of Elizabeth Street through the interpretive form of the proposed upper level development taking on a contextually appropriate saw tooth form. The upper addition will be set back from the Elizabeth Street facade as to reduce its visibility of the street level. As indicated in the attached sightline diagrams the proposed development will be partially obscured by the highest points of the Wool Store no.3's retained saw tooth parapet. <p>Wool Store no.5</p> <ul style="list-style-type: none"> The setback location of Wool Store no.5s within the site means it is not visible nor contributes to the Level 1 Streetscape of Elizabeth Street. The proposed form of the new building on the site is round and articulated to be interpretive of the adjacent grain silo.
<p>Facade Pattern and Colours</p>	
<ul style="list-style-type: none"> The facade pattern and colours of a new building, and of an addition or alteration to an existing building, should be respectful where visible in a Level 1 streetscape, and interpretive elsewhere. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> While the upper level development will not be visible from the Elizabeth Street facade (Level 1 Streetscape) the proposed developments facade is modest with simple pattern of glass fade as to not detract from the retained significant Elizabeth Street facade below. <p>Wool Store no.5</p> <ul style="list-style-type: none"> The facade pattern of the proposed new building on the site of the former Wool Store no.5 will be a combination of facade glazing and a corrugated and perforated metal screen with a transparency of 40-60%. This facade pattern and materiality is reserved and provides a high level of transparency to visually reduce the bulk of the proposed new building, setback behind the heavier materiality of brick expressed in the retained Wool Stores on the site.
<p>Materials</p>	
<ul style="list-style-type: none"> The surface materials of a new building, and of an addition or alteration to an existing building, should always be respectful. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> The proposed materiality of the upper level development of Wool Store no.3 is lightweight glazing. The transparency of this materiality is modest and respectful to the retained facade of Wool Store no.3 as well as the other two retained Wool Stores on site no.1 and no.2.
<p>Details</p>	
<ul style="list-style-type: none"> The details (including verandahs, ornaments, windows and doors, fences, shopfronts and advertisements) of a new building, and of an addition or alteration to an existing building, should preferably be interpretive, that is, a simplified modern interpretation of the historic form rather than a direct reproduction. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> Detailing such as upper level canopies and roof terrace railings will be contemporary and modest as to not detract from the significant retained facade of Wool Store no.3.
<p>Concealment of Higher Rear Parts (Including Additions)</p>	
<ul style="list-style-type: none"> Higher rear parts of a new building, and of an addition to an existing graded building, should be concealed in a Level 1 streetscape, and partly concealed in a Level 2 and 3 streetscape. Also, additions to outstanding buildings ('A' and 'B' graded buildings anywhere in the municipality) should always be concealed. In most instances, setting back a second-storey addition to a single-storey building, at least 8 metres behind the front facade will achieve concealment. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> The upper level development will be setback from the Elizabeth Street facade and the south extents of the building concealing the higher parts of the building from the Level 1 Streetscape below as well as concealed on the 'B' graded Wool Store no.3 building in front, as indicated in the sight line diagrams of the attached drawing set.

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<p>Facade Height and Setback (New Buildings)</p> <ul style="list-style-type: none"> The facade height and position should not dominate an adjoining outstanding building in any streetscape, or an adjoining contributory building in a Level 1 or 2 streetscape. Generally, this means that the building should neither exceed in height, nor be positioned forward of, the specified adjoining building. Conversely, the height of the facade should not be significantly lower than typical heights in the streetscape. The facade should also not be set back significantly behind typical building lines in the streetscape. 	<p>Wool Store no.5</p> <ul style="list-style-type: none"> The proposed facade height of the new building on the site of Wool Store no.5 will not dominate the adjacent buildings in the Level 1 Streetscape, given its physical separation from Elizabeth Street, due to its south west location on the site. The proposed building is set well behind all the retained significant Wool Stores on the <i>Goldsborough and Co. later Younghusband P/L Wools and Grain Warehouses Complex</i> HO1162 as well as the adjacent mill and grain silos, which all retain their primacy in the Elizabeth Street streetscape.
<p>Building Height</p> <ul style="list-style-type: none"> The height of a building should respect the character and scale of adjoining buildings and the streetscape. New buildings or additions within residential areas consisting of predominantly single and two-storey terrace houses should be respectful and interpretive. 	<p>Wool Store no.3</p> <ul style="list-style-type: none"> The additional building height of the upper level development of Wool Store no.3 maintains a suitable setback on two sides to respect the scale of the retained Wool Store no.3 as well as the adjoining Wool Store no.2. The addition only extends two levels taller than that of the existing Wool Store no.3 and one and a half storeys above the top of the parapet of the adjoining Wool Store no.2. <p>Wool Store no.5</p> <ul style="list-style-type: none"> The proposed new building is respectful and interpretive of the existing character and scale of the adjoining buildings in the Level 1 streetscape of Elizabeth Street. The rounded articulation in interpretive of the adjacent mill sites grain silos and are of a similar height as to not dominant this character. Although taller than the existing wool stores on the <i>Goldsborough and Co. later Younghusband P/L Wools and Grain Warehouses Complex</i> HO1162, the robust architecture of the Wool Stores retain their dominance within the complex and are suitably removed and setback from the new building.
<p>Archaeological Sites</p> <ul style="list-style-type: none"> Proposed development must not impact adversely on the aboriginal cultural heritage values, as indicated in an archaeologist's report, for any site known to contain aboriginal archaeological relics. 	<ul style="list-style-type: none"> N/A the site is not located within an area of Aboriginal cultural heritage significance.
<p>Sites of Historic or Social Significance</p> <ul style="list-style-type: none"> An assessment of a planning application should take into account all aspects of the significance of the place. Consideration should be given to the degree to which the existing fabric demonstrates the historic and social significance of the place, and how the proposal will affect this significance. Particular care should be taken in the assessment of cases where the diminished architectural condition of the place is outweighed by its historic or social value. 	<ul style="list-style-type: none"> The historic and social significance of the site <i>Goldsborough and Co. later Younghusband P/L Wools and Grain Warehouses Complex</i> HO1162 has been taken into account in the planning of the proposed development evident through the retention of the significant front facades of Wool Store no.3 as to continue to reflect the historical and social significance of the Wool Stores.. The degree in which the existing fabric of Wool Store no.5 demonstrates the historic and social significance of the place has already been assessed in the document <i>Amendment C207 Arden Macaulay Heritage Review 2012</i>.