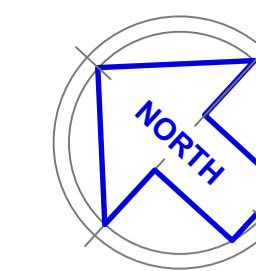


# 58 Princes Hwy, Dandenong

Proposed 5 storey 15 Apartment Building and Ground Level Carparking

## Site Description Plan



### Site Context Legend -

- The Locality -**
1. Approx. within 700m from Dandenong Town Centre
- Public Transport -**
2. Bus service in Cleeland & Herbert St. (Bus stop within 250m of site)
  3. Dandenong train station 1km South.
  4. Princes Hwy connection. Provides access to Sth Gippsland Fwy & Monash Fwy.
- Public Open Space -**
5. Dandenong Park with walking Trail & BBQ facilities 1.2km South.
  6. Mills Reserve, child's play equipment, Oval & Hockey fields 1.1km North.
  7. John Hemmings Memorial Park 250m West.
- Shops -**
8. Dandenong Market 400m South/East of site.
  9. Dandenong Plaza 900m South/East of site.
  10. Lonsdale St shopping strip 500m South of site.
- Schools -**
11. Market St. Child Care centre 500m east of site.
  12. Dandenong North primary school 600m North.
  13. Dandenong High School & Cleeland Secondary College 300m North.
- Public Buildings -**
14. Dandenong & District Hospital 900m North of site.
  15. Dandenong Library 700m South/East of site.
  16. Chisolm Institute of Tafe (Dandenong) 800m, North.
  17. Oasis Indoor Heated swimming pool 1.3km, North.
  18. Dandenong Basketball Stadium 2.3km North.
- General -**
19. The subject site has a slight fall from South/West street front high side to Rear North/East. Approximately 500mm.
  20. North orientation to the internal corner of the site.
  21. Existing crossover on the North/West corner of site.
  22. Minimal existing vegetation on site.
  23. No vegetation to the the nature strip at the front of site.
  24. Some street front assets are located within nature strip which should be noted.
  25. Streetfront setback average is 8.6m.
  26. Note location of existing fences generally in favour of existing title boundaries.

ADVERTISED PLAN

HENTY STREET

- Amendment C : 23/10/23**
- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
  - Separate Entry to foyer from Carpark
  - Internal windows to provide view lines along foyer corridor
  - Additional communal open space to rear of the site
  - Storage calculations for each Apt listed.
  - 1 Bed - 10m<sup>3</sup> with 6m<sup>3</sup> min. internal.
  - 2 Bed - 14m<sup>3</sup> with 9m<sup>3</sup> min. internal
  - Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
  - June 22 Shadow Diagrams included
  - Screening added to Level 3 N/W windows & communal open space
- Amendment B : 23/08/23**
- Re-design building from 5 levels to 4
  - Apartment reduced from 15 to 14
  - Double car stacking design included to Ground Floor level parking
- Amendment A : 28/02/23**
- Amended Ground Floor layout.
  - Entry foyer widened to South/East boundary.
  - Inclusion of windows to the GF facade to soften the interface.
  - Storage sheds bought toward the front of the Carpark.
  - Bin location moved internally.
  - Dedicated pedestrian path along the internal driveway.
  - Increased Communal Open Space to the rear
  - Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
  - Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvres fixed to the facade
  - Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
  - Internal storage calculations nominated
  - Cross flow ventilation paths demonstrated on floor plans

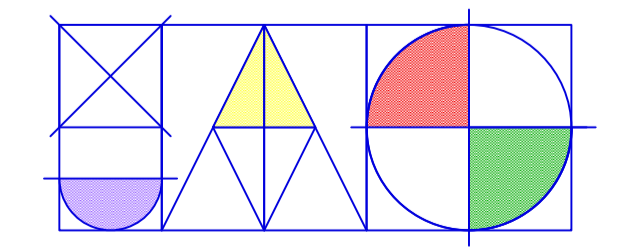
Drg No. PA TP1(C)

Project : **Apartment Building**

Proprietor : **Aaron Zhou**

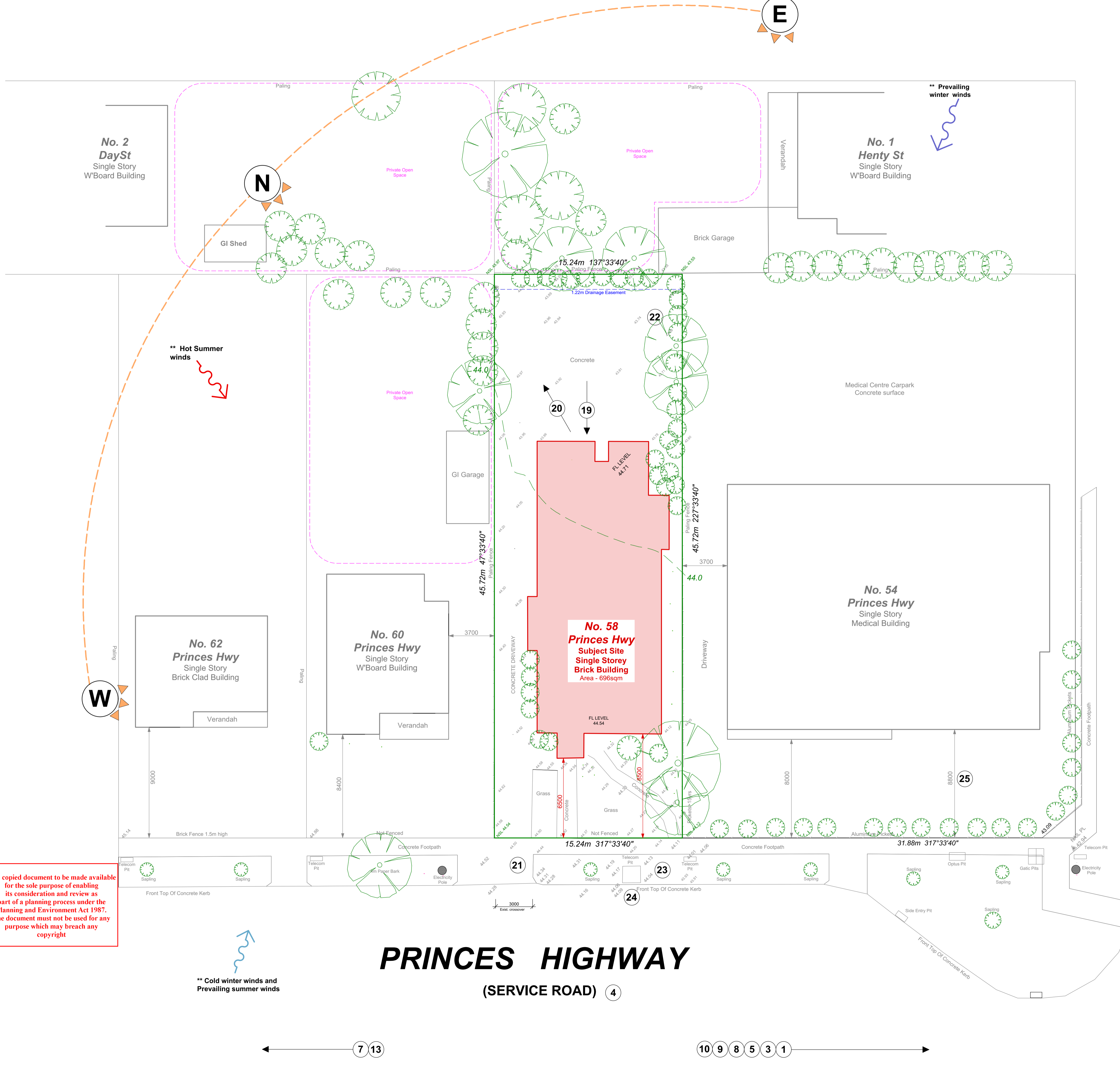
Job Location : **58 Princes Hwy, Dandenong**

Drawn By : **J.A.G, A.G** Date : **23/10/23**  
 Mel. Ref. : **90 B6** Job No. : **22-000**  
 Sheet No. : **1 OF 7(C)** Scale. : **1:150**



**JOHN ANTHONY GAROFALO**  
 BUILDING DESIGN CONSULTANTS  
 REGISTERED BUILDING PRACTITIONER DP - 1815  
 23 Nirvana Avenue, Malvern East, 3145  
 PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

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## PRINCES HIGHWAY (SERVICE ROAD) ④

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\*\* Cold winter winds and Prevailing summer winds

# 58 Princes Hwy, Dandenong

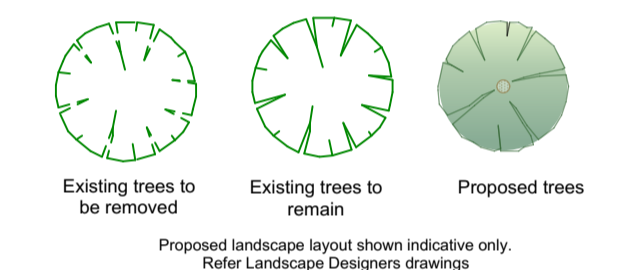
Proposed 4 Storey 14 Apartment Building & Ground Level Carparking

## Design Response Ground Floor Plan

### SITE STATISTICS

Site Area	- 696.8sqm
Building Area	- 488.1sqm (Ground Floor incl. Carpark)
Site Coverage %	- 70.0%
Building & Hard Surface Area	- 521.2sqm (Incls. Driveway & paths)
Site Coverage %	- 74.8%
No. of Units	- 14 x Apartments 11 x 2 Bed 3 x 1 Bed
Density	- 1:49sqm
No. of Carspaces	- 14 Total 1 per Apt, carstacker No Visitors spaces

### LEGEND



### APT. STORAGE

Apt 1	
2.0sqm	Kitchen
5.3sqm	Bed Robes
1.3sqm	Bath/L'dry
9.2sqm	Total Int.
5.0m3	Total Ext.

### KEY ESD INITIATIVES

- Utility Meters for each Apartment
- Common areas to be sub-metered
- All external area lighting to be controlled through motion/daylight sensor
- 10,000ltr rainwater tank for toilet flushing & irrigation
- Water efficient fittings
  - Toilets min. 4 star WELS rated
  - Taps min. 5 star WELS rated
  - Shrs min. 4 star WELS rated (max. 7.5ltr/min)
- Water efficient appliances (3 star D/washer)
- 15kW Solar PV system
- Heat pump hot water system
- High efficiency air conditioning systems (Heating 4 star. Cooling 4 star)
- Efficient lighting (LED) - 4w/sqm to all habitable areas
- High performance glazing to all windows (Double glazing)
- Natural ventilation to dwellings (Refer to cross flow diagrams)
- Excellent daylight to habitable spaces
- Low VOC paints to improve indoor environment quality for residents
- Sustainable timber
- Water efficient landscaping
- 5 Electric car charging point within carpark (32amp Min.)
- 4 Bicycle spaces

### Amendment C : 23/10/23

- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
- Separate Entry to foyer from Carpark
- Internal windows to provide view lines along foyer corridor
- Additional communal open space to rear of the site
- Bed 1 of Apts 4,9,6,11 & 14 min. 3.4m deep
- Storage calculations for each Apt listed.
  - 1 Bed - 10m3 with 6m3 min. internal
  - 2 Bed - 14m3 with 9m3 min. internal
- Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
- June 22 Shadow Diagrams included
- Screening added to Level 3 NW windows & communal open space

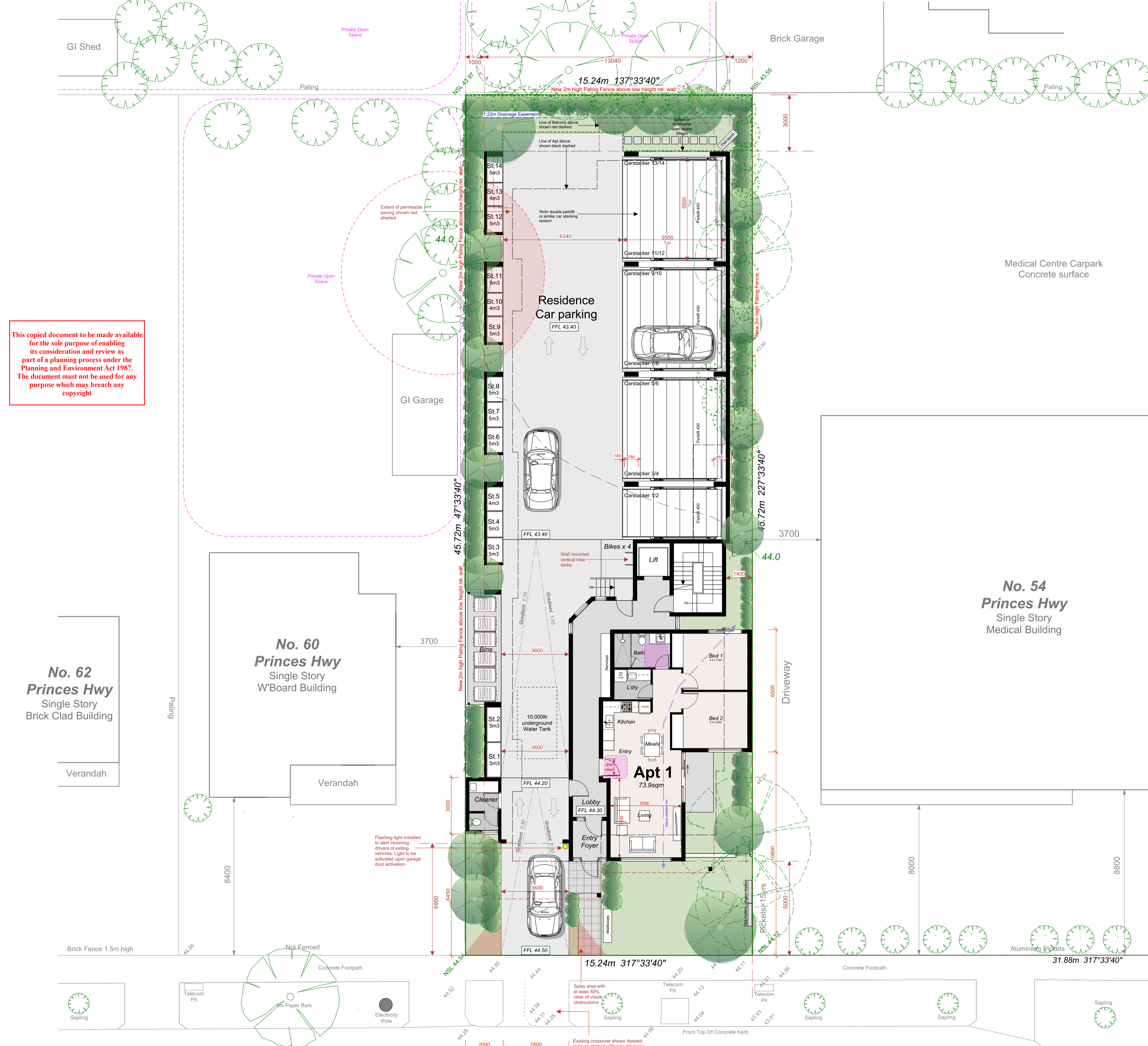
### Amendment B : 23/08/23

- Re-design building from 5 levels to 4
- Apartment reduced from 15 to 14
- Double car stacking design included to Ground Floor level parking

### Amendment A : 28/02/23

- Amended Ground Floor layout.
- Entry foyer widened to South/East boundary.
- Inclusion of windows to the GF facade to soften the interface.
- Storage sheds bought toward the front of the Carpark.
- Bin location moved internally.
- Dedicated pedestrian path along the internal driveway.
- Increased Communal Open Space to the rear
- Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
- Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvers fixed to the facade
- Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
- Internal storage calculations nominated
- Cross flow ventilation paths demonstrated on floor plans

ADVERTISED PLAN



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### Drg No. PA TP2(C)

Project :  
**Apartment Building**  
Proprietor :  
**Aaron Zhou**  
Job Location :  
**58 Princes Hwy, Dandenong**  
Drawn By. : **J.A.G. A.G** Date : **23/10/23**  
Mel. Ref. : **90 B6** Job No. : **22-000**  
Sheet No. : **2 OF 7(C)** Scale : **1:100**

**JOHN ANTHONY GAROFALO**  
BUILDING DESIGN CONSULTANTS  
REGISTERED BUILDING PRACTITIONER DP - 1815  
23 Nirvana Avenue, Malvern East. 3145  
PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

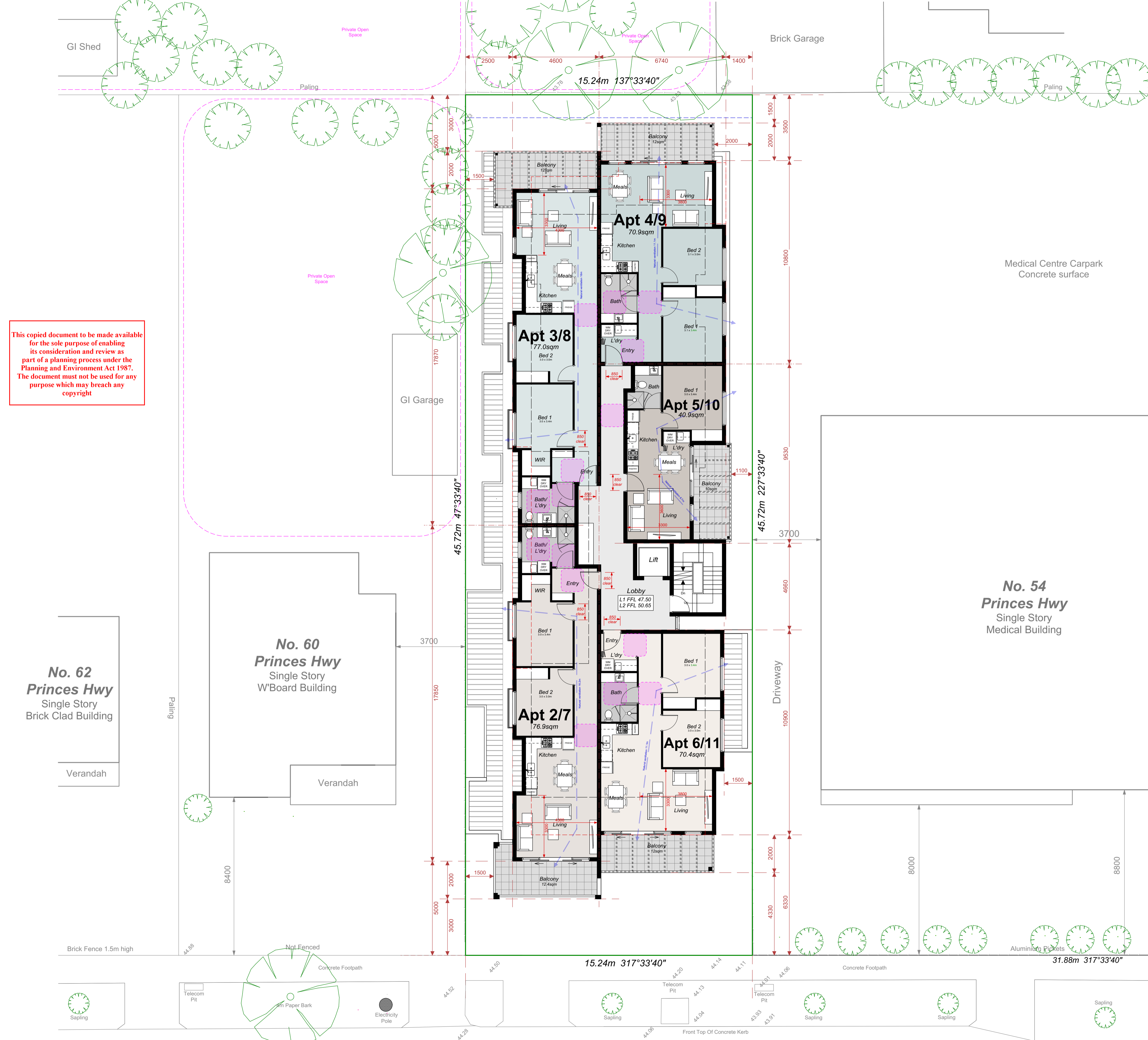
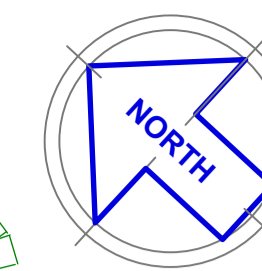
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# PRINCES HIGHWAY

# 58 Princes Hwy, Dandenong

Proposed 4 Storey 14 Apartment Building & Ground Level Carparking

## Design Response Levels 1 & 2 Plan



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### LEGEND

- Denotes 1.2 x 1.2m circulation space (Any door within this space to have readily removable hinges)
- Denotes Natural cross flow ventilation path

### APT. STORAGE

Apts 2/7	
2.1sqm	Kitchen
5.7sqm	Bed Robes/WIR
1.2sqm	Linen
0.65sqm	Bath/L'dry
9.65sqm	Total Int.
5.0m3	Total Ext.
Apts 3/8	
2.1sqm	Kitchen
5.7sqm	Bed Robes/WIR
1.2sqm	Linen
0.65sqm	Bath/L'dry
9.65sqm	Total Int.
5.0m3	Total Ext.
Apts 4/9	
2.4sqm	Kitchen
4.9sqm	Bed Robes
1.8sqm	Bath/L'dry
9.1sqm	Total Int.
5.0m3	Total Ext.
Apts 5/10	
2.3sqm	Kitchen
2.6sqm	Bed Robe
1.2sqm	Bath/L'dry
6.1sqm	Total Int.
4.0m3	Total Ext.
Apts 6/11	
2.4sqm	Kitchen
4.9sqm	Bed Robes
1.8sqm	Bath/L'dry
9.1sqm	Total Int.
5.0m3	Total Ext.

ADVERTISED PLAN

### Amendment C : 23/10/23

- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
- Separate Entry to foyer from Carpark
- Internal windows to provide view lines along foyer corridor
- Additional communal open space to rear of the site
- Storage calculations for each Apt listed.
- Bed 1 of Apts 4,9,6,11 & 14 min. 3.4m deep
- 1 Bed - 10m3 with 6m3 min. internal.
- 2 Bed - 14m3 with 9m3 min. internal
- Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
- June 22 Shadow Diagrams included
- Screening added to Level 3 NW windows & communal open space

### Amendment B : 23/08/23

- Re-design building from 5 levels to 4
- Apartment reduced from 15 to 14
- Double car stacking design included to Ground Floor level parking

### Amendment A : 28/02/23

- Amended Ground Floor layout
- Entry foyer widened to South/East boundary.
- Inclusion of windows to the GF facade to soften the interface. Storage sheds bought toward the front of the Carpark.
- Bin location moved internally.
- Dedicated pedestrian path along the internal driveway.
- Increased Communal Open Space to the rear
- Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
- Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvers fixed to the facade
- Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
- Internal storage calculations nominated
- Cross flow ventilation paths demonstrated on floor plans

No. 54 Princes Hwy Single Story Medical Building

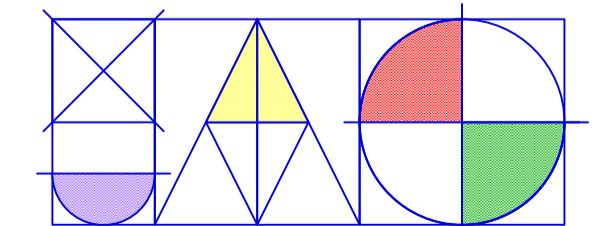
No. 60 Princes Hwy Single Story W'Board Building

No. 62 Princes Hwy Single Story Brick Clad Building

### Drg No. PA TP3(C)

Project : Apartment Building  
Proprietor : Aaron Zhou  
Job Location : 58 Princes Hwy, Dandenong

Drawn By : J.A.G, A.G Date : 23/10/23  
Mel. Ref. : 90 B6 Job No. : 22-000  
Sheet No. : 3 OF 7(C) Scale : 1:100



**JOHN ANTHONY GAROFALO**  
BUILDING DESIGN CONSULTANTS  
REGISTERED BUILDING PRACTITIONER DP - 1815  
23 Nirvana Avenue, Malvern East. 3145  
PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

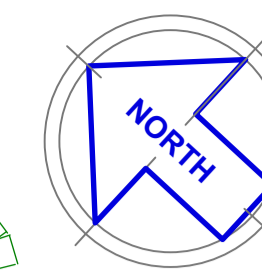
## PRINCES HIGHWAY

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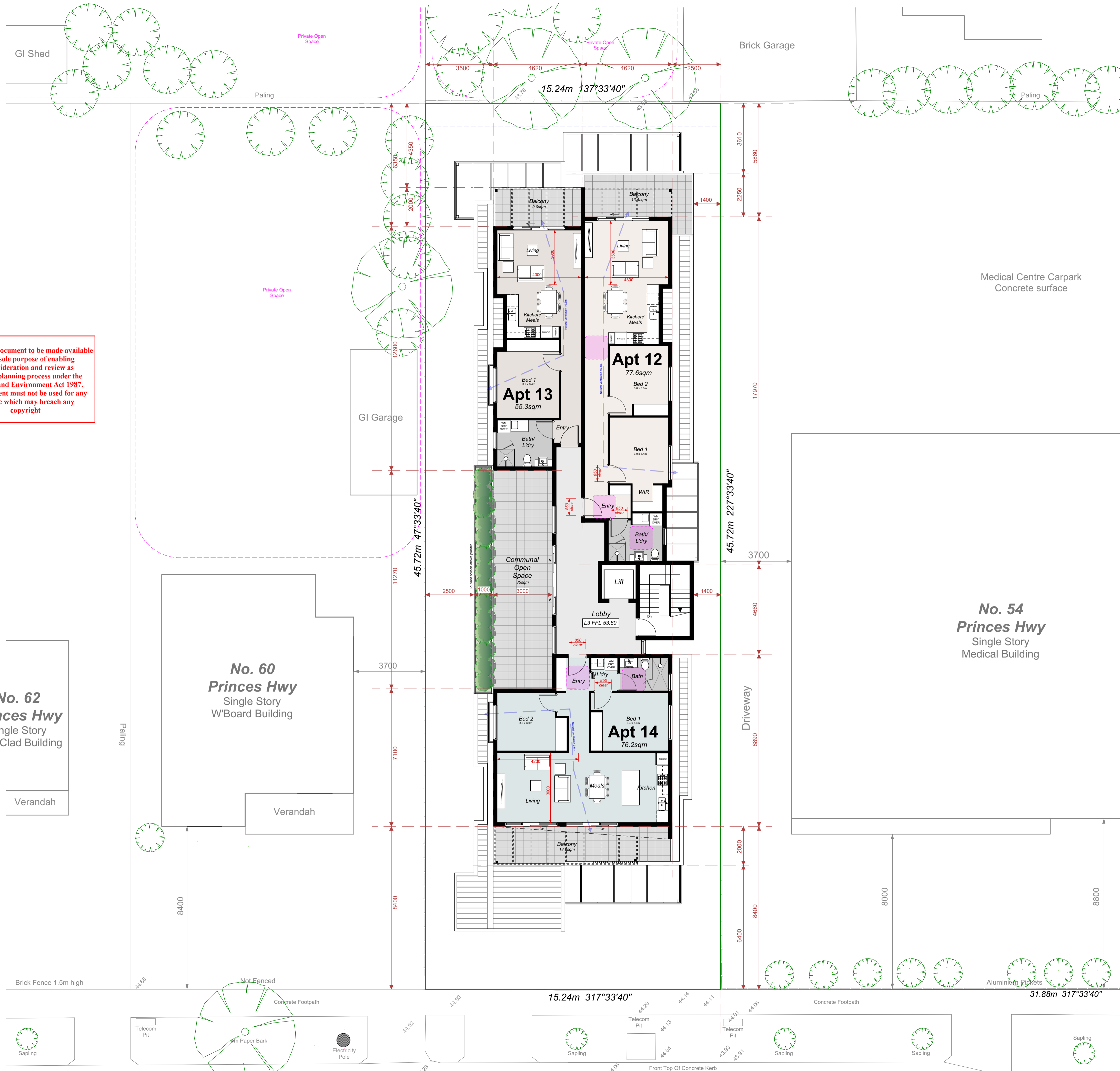
# 58 Princes Hwy, Dandenong

Proposed 4 Storey 14 Apartment Building & Ground Level Carparking

## Design Response Level 3 Plan



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### LEGEND

- Denotes 1.2 x 1.2m circulation space (Any door within this space to have readily removable hinges)
- Denotes Natural cross flow ventilation path

### APT. STORAGE

- Apt 12**
- 2.1sqm Kitchen
  - 5.6sqm Bed Robes/WIR
  - 1.2sqm Linen
  - 0.65sqm Bath/L'dry
  - 9.55sqm Total Int.
  - 5.0m3 Total Ext.
- Apt 13**
- 1.8sqm Kitchen
  - 4.0sqm Bed Robe
  - 0.5sqm Bath/L'dry
  - 6.3sqm Total Int.
  - 4.0m3 Total Ext.
- Apt 14**
- 2.2sqm Kitchen
  - 5.9sqm Bed Robes
  - 3.1sqm Bath/L'dry/Entry
  - 11.2sqm Total Int.
  - 5.0m3 Total Ext.

### Amendment C : 23/10/23

- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
- Separate Entry to foyer from Carpark
- Internal windows to provide view lines along foyer corridor
- Additional communal open space to rear of the site
- Bed 1 of Apts 4,9,6,11 & 14 min. 3.4m deep
- Storage calculations for each Apt listed.
  - 1 Bed - 10m3 with 6m3 min. internal
  - 2 Bed - 14m3 with 9m3 min. internal
- Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
- June 22 Shadow Diagrams included
- Screening added to Level 3 N/W windows & communal open space

### Amendment B : 23/08/23

- Re-design building from 5 levels to 4
- Apartment reduced from 15 to 14
- Double car stacking design included to Ground Floor level parking

### Amendment A : 28/02/23

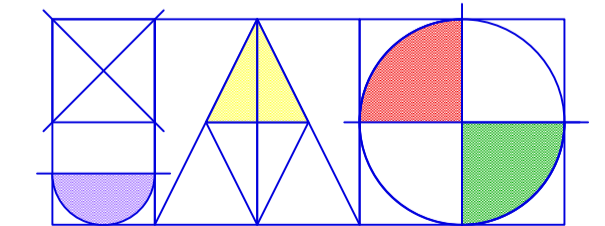
- Amended Ground Floor layout
- Entry foyer widened to South/East boundary
- Inclusion of windows to the GF facade to soften the interface
- Storage sheds bought toward the front of the Carpark
- Bin location moved internally
- Dedicated pedestrian path along the internal driveway
- Increased Communal Open Space to the rear
- Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
- Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvres fixed to the facade
- Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
- Internal storage calculations nominated
- Cross flow ventilation paths demonstrated on floor plans

ADVERTISED PLAN

### Drg No. PA TP4(C)

Project : Apartment Building  
 Proprietor : Aaron Zhou  
 Job Location : 58 Princes Hwy, Dandenong

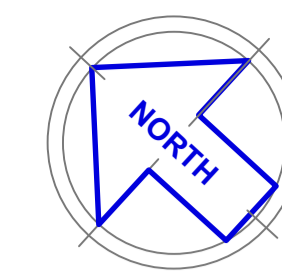
Drawn By. : J.A.G, A.G Date : 23/10/23  
 Mel. Ref. : 90 B6 Job No. : 22-000  
 Sheet No. : 4 OF 7(C) Scale : 1:100



**JOHN ANTHONY GAROFALO**  
 BUILDING DESIGN CONSULTANTS  
 REGISTERED BUILDING PRACTITIONER DP - 1815  
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 PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

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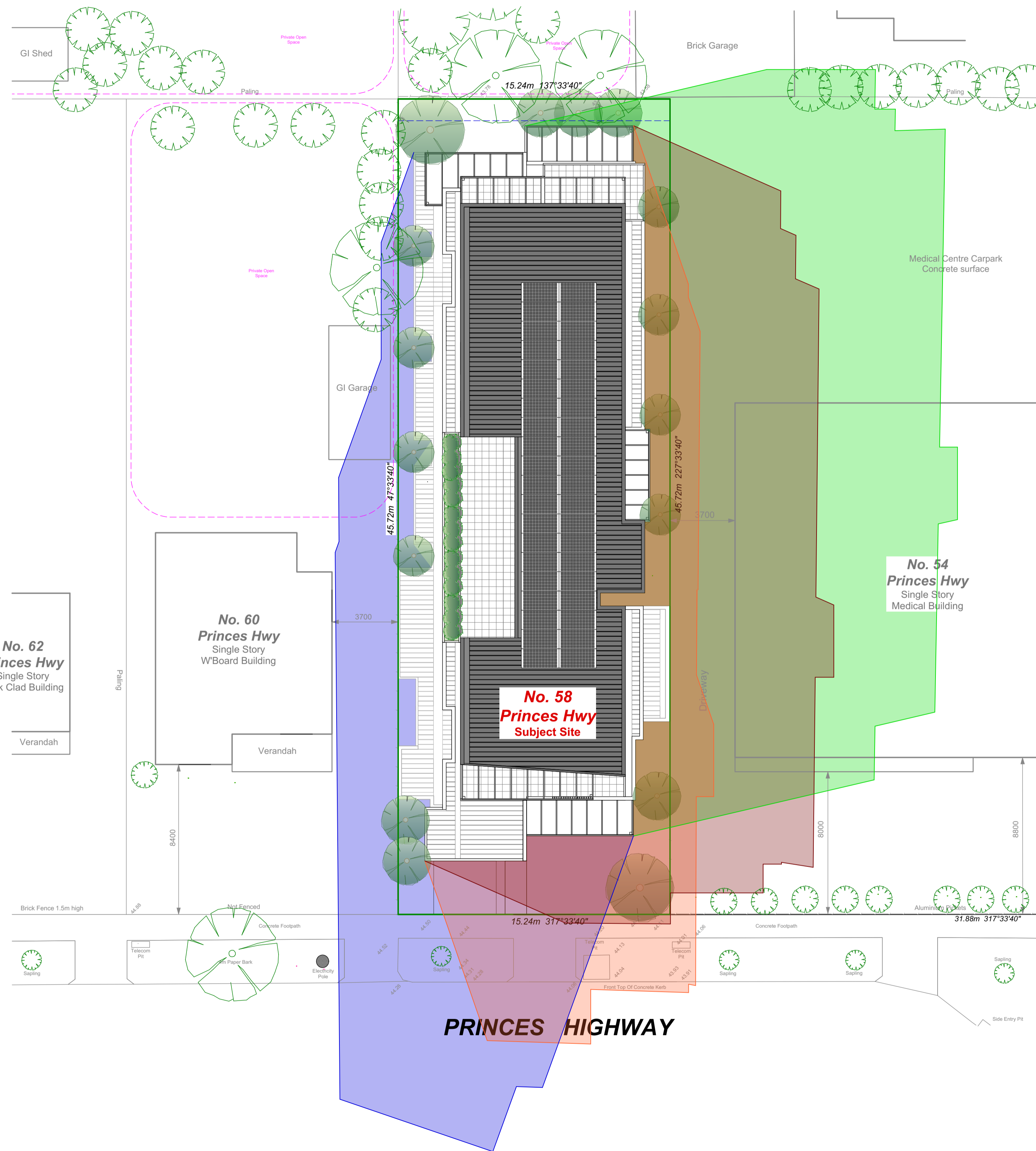
# PRINCES HIGHWAY



# 58 Princes Hwy, Dandenong

Proposed 4 Storey 14 Apartment  
Building & Ground Level Carparking

## Shadow Diagrams - September 22



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PLAN

### SHADOW DIAGRAM 9am Shadow Diagram for Sept 22nd Equinox.

Shaded area denotes extent of overshadowing on Sept. 22nd. at 9:00 am.

### SHADOW DIAGRAM 11am Shadow Diagram for Sept 22nd Equinox.

Shaded area denotes extent of overshadowing on Sept. 22nd. at 11:00 am.

### SHADOW DIAGRAM 1pm Shadow Diagram for Sept 22nd Equinox.

Shaded area denotes extent of overshadowing on Sept. 22nd. at 1:00 pm.

### SHADOW DIAGRAM 3pm Shadow Diagram for Sept 22nd Equinox.

Shaded area denotes extent of overshadowing on Sept. 22nd. at 3:00 pm.

(Source shadowdraw 2D shadow calculation)

Denotes Photovoltaic Panel

### Amendment C : 23/10/23

- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
- Internal windows to provide view lines along foyer corridor
- Additional communal open space to rear of the site
- Bed 1 of Apts 4,9,8,11 & 14 min. 3.4m deep
- Storage calculations for each Apt listed.
  - 1 Bed - 10m<sup>3</sup> with 6m<sup>3</sup> min. internal.
  - 2 Bed - 14m<sup>3</sup> with 9m<sup>3</sup> min. internal.
- Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
- June 22 Shadow Diagrams included
- Screening added to Level 3 N/W windows & communal open space

### Amendment B : 23/08/23

- Re-design building from 5 levels to 4
- Apartment reduced from 15 to 14
- Double car stacking design included to Ground Floor level parking

### Amendment A : 28/02/23

- Amended Ground Floor layout.
- Entry foyer widened to South/East boundary.
- Inclusion of windows to the GF facade to soften the interface.
- Storage sheds bought toward the front of the Carpark.
- Bin location moved internally.
- Dedicated pedestrian path along the internal driveway.
- Increased Communal Open Space to the rear
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- Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvers fixed to the facade
- Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
- Internal storage calculations nominated
- Cross flow ventilation paths demonstrated on floor plans

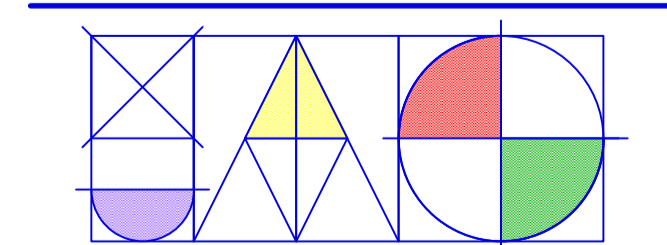
Drg No. PA TP5(C)

Project :  
Apartment Building

Proprietor :  
Aaron Zhou

Job Location :  
58 Princes Hwy, Dandenong

Drawn By : J.A.G, A.G Date : 23/10/23  
Mel. Ref. : 90 B6 Job No. : 22-000  
Sheet No. : 5 OF 7(C) Scale. : 1:150

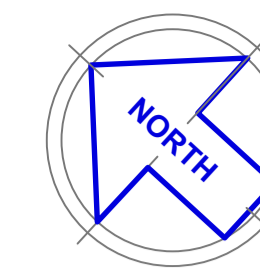


JOHN ANTHONY GAROFALO

BUILDING DESIGN CONSULTANTS

REGISTERED BUILDING PRACTITIONER DP - 1815  
23 Nirvana Avenue, Malvern East. 3145  
PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

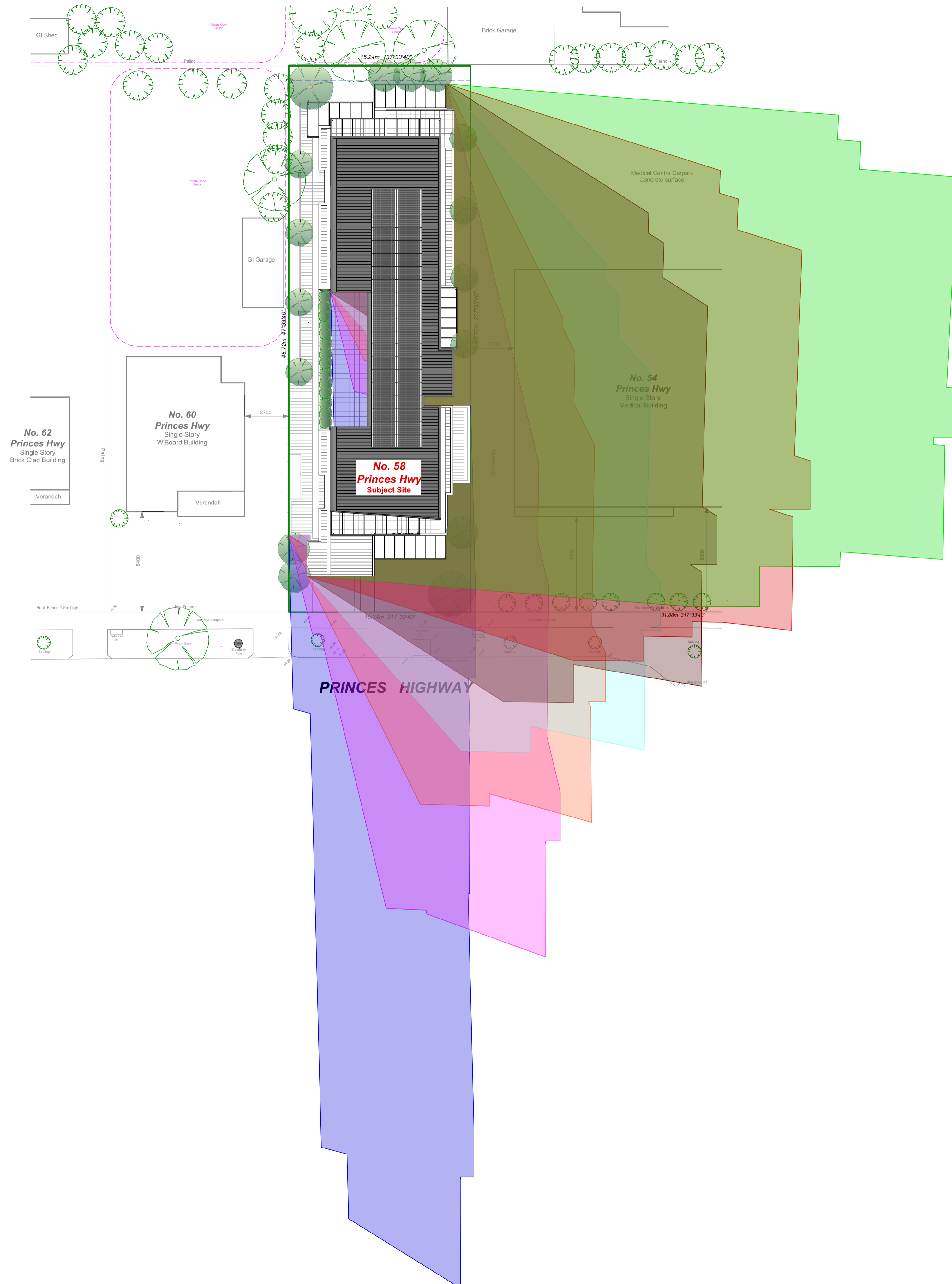
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# 58 Princes Hwy, Dandenong

Proposed 4 Storey 14 Apartment  
Building & Ground Level Carparking

## Shadow Diagrams - June 22



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PLAN**

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### SHADOW DIAGRAM 9am Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 9:00 am.

### SHADOW DIAGRAM 10am Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 11:00 am.

### SHADOW DIAGRAM 11am Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 11:00 am.

### SHADOW DIAGRAM 12noon Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 12:00 noon.

### SHADOW DIAGRAM 1pm Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 1:00 pm.

### SHADOW DIAGRAM 2pm Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 2:00 pm.

### SHADOW DIAGRAM 3pm Shadow Diagram for June 22nd Equinox.

Shaded area denotes extent of overshadowing on: June 22nd, at 3:00 pm.

(Source shadowdraw 2D shadow calculation)

 Denotes Photovoltaic Panel

### Amendment C : 23/10/23

- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
- Separate Entry to foyer from Carpark
- Internal windows to provide view lines along foyer corridor
- Additional communal open space to rear of the site
- Bed 1 of Apts 4,9,6,11 & 14 min. 3.4m deep
- Storage calculations for each Apt listed.
- 1 Bed - 10m<sup>3</sup> with 9m<sup>3</sup> min. internal.
- 2 Bed - 14m<sup>3</sup> with 9m<sup>3</sup> min. internal
- Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
- June 22 Shadow Diagrams included
- Screening added to Level 3 N/W windows & communal open space

### Amendment B : 23/08/23

- Re-design building from 5 levels to 4
- Apartment reduced from 15 to 14
- Double car stacking design included to Ground Floor level parking

### Amendment A : 28/02/23

- Amended Ground Floor layout.
- Entry foyer widened to South/East boundary.
- Inclusion of windows to the GF facade to soften the interface.
- Storage sheds bought toward the front of the Carpark.
- Bin location moved internally.
- Dedicated pedestrian path along the internal driveway.
- Increased Communal Open Space to the rear
- Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
- Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvres fixed to the facade
- Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
- Internal storage calculations nominated
- Cross flow ventilation paths demonstrated on floor plans

Drg No. PA TP6(C)

Project :

**Apartment Building**

Proprietor :

**Aaron Zhou**

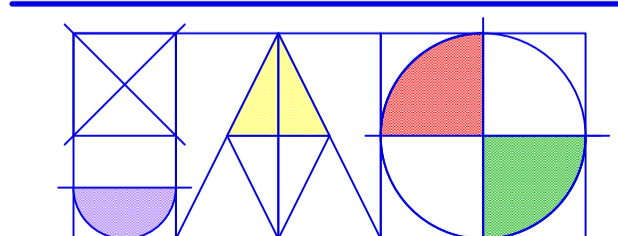
Job Location :

**58 Princes Hwy, Dandenong**

Drawn By. : **J.A.G, A.G** Date : **23/10/23**

Mel. Ref. : **90 B6** Job No. : **22-000**

Sheet No. : **6 OF 7(C)** Scale. : **1:200**



**JOHN ANTHONY GAROFALO**

**BUILDING DESIGN CONSULTANTS**

REGISTERED BUILDING PRACTITIONER DP - 1815

23 Nirvana Avenue, Malvern East. 3145

PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

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# 58 Princes Hwy, Dandenong

Proposed 4 Storey 14 Apartment Building & Ground Level Carparking

## Streetscapes & Elevations

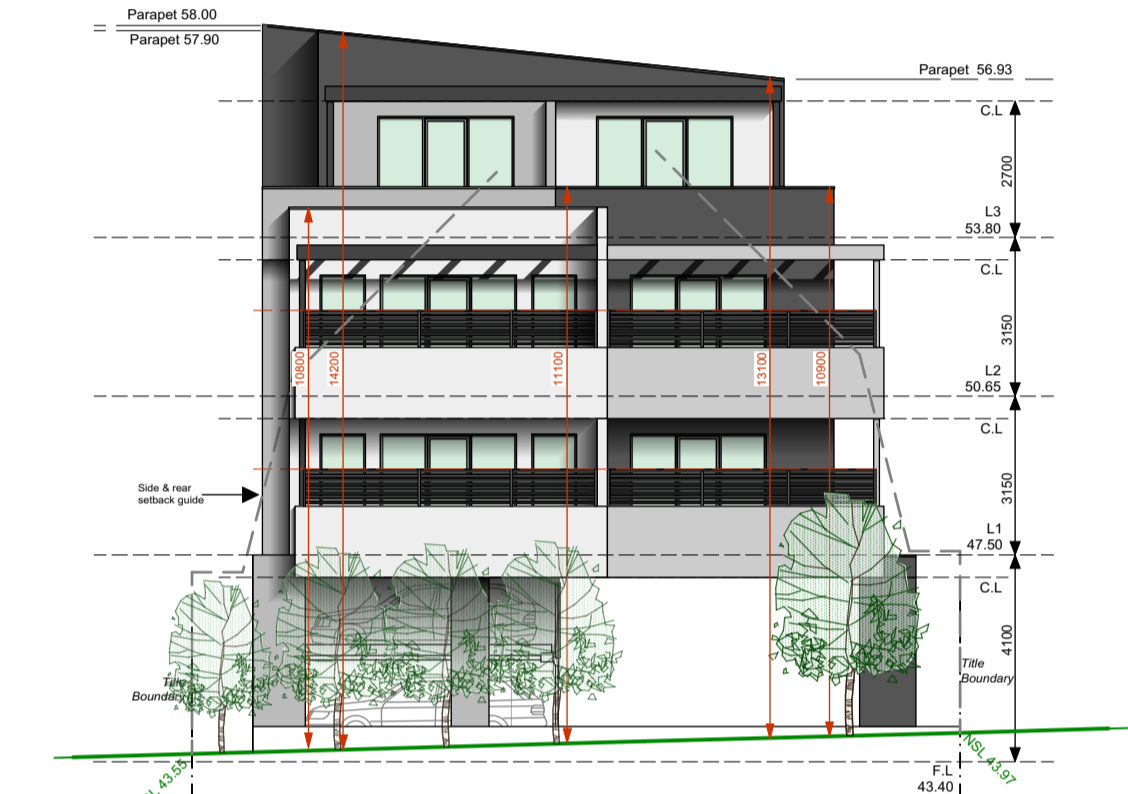


South/West Elevation Princes Hwy Streetscape



North/West Elevation

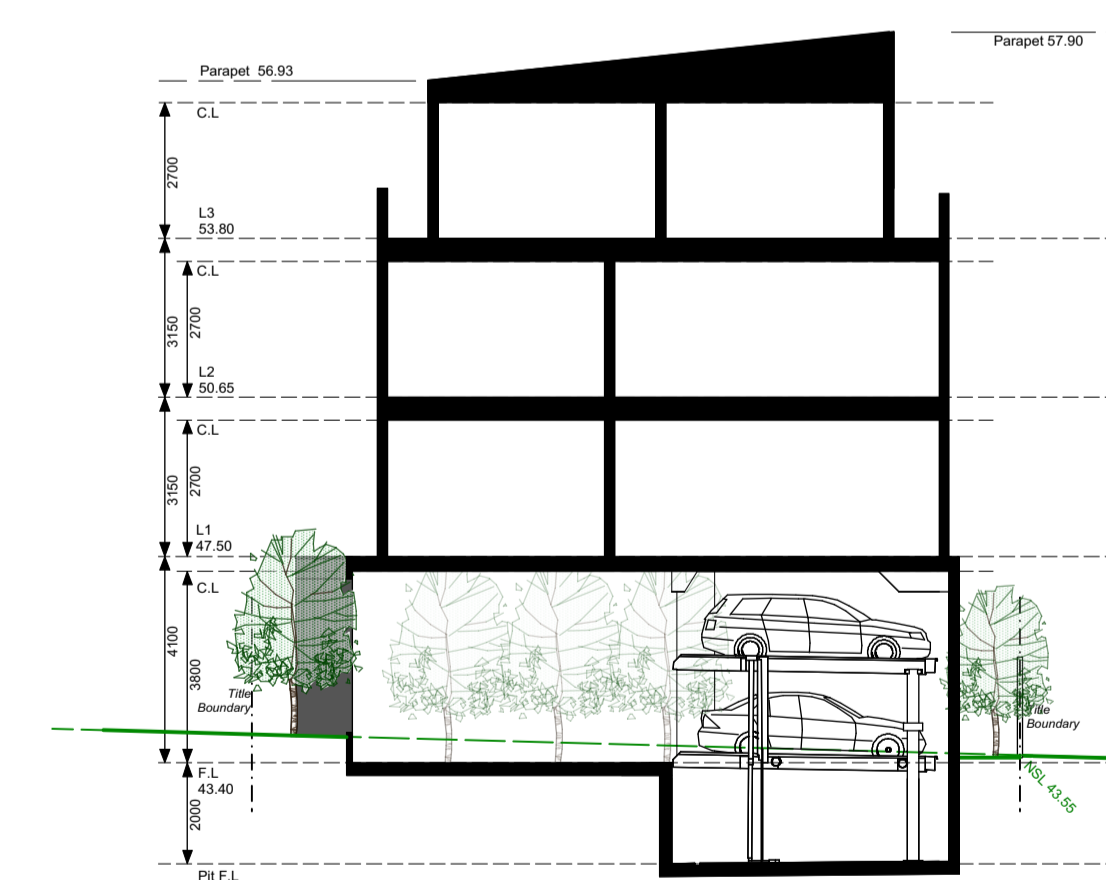
ADVERTISED PLAN



North/East Elevation



South/East Elevation



Cross Section

### FINISHES SCHEDULE

CLADDING	FINISH
CLADDING	Acrylic rendered/paint finish to walls/balustrades
CLADDING	Acrylic rendered/paint finish to walls/balustrades
CLADDING	Acrylic rendered/paint finish to walls
CLADDING	Acrylic rendered/paint finish to walls
CLADDING	Standing seam cladding Colorbond Monument
CLADDING	Acrylic paint finish to Horizontal cladding
CLADDING	Acrylic paint finish to Horizontal timber look cladding
ROOF	Standing seam Roof cladding Colorbond Monument
WINDOW SCREENING	Powdercoated aluminium horizontal slat
WINDOW SCREENING	Powdercoated Black aluminium vertical slat
WINDOW SCREENING	Powdercoated aluminium
INTERIOR SCREENING	Timber Paling fence

### Amendment B : 23/08/23

- Re-design building from 5 levels to 4
- Apartment reduced from 15 to 14
- Double car stacking design included to Ground Floor level parking

### Amendment A : 28/02/23

- Amended Ground Floor layout.
- Entry foyer widened to South/East boundary.
- Inclusion of windows to the GF facade to soften the interface.
- Storage sheds bought toward the front of the Carpark.
- Bin location moved internally.
- Dedicated pedestrian path along the internal driveway.
- Increased Communal Open Space to the rear
- Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
- Screening to the Bedroom windows to the North/West altered from opaque glass to fixed horizontal louvers fixed to the facade
- Apts 1,2,5,6,9,10,14,15 modified to ensure Standard D18 Accessibility compliant
- Internal storage calculations nominated
- Cross flow ventilation paths demonstrated on floor plans

Drg No. PA TP7(C)

Project : Apartment Building

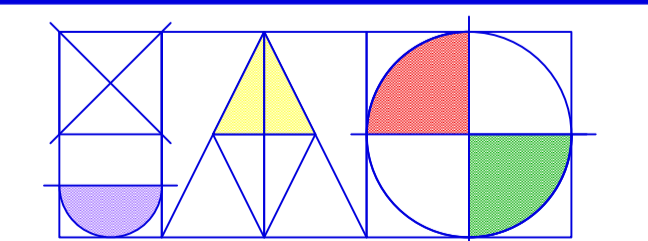
Proprietor : Aaron Zhou

Job Location : 58 Princes Hwy, Dandenong

Drawn By : J.A.G, A.G Date : 23/10/23

Mel. Ref. : 90 B6 Job No. : 22-000

Sheet No. : 7 OF 7(C) Scale. : 1:150



JOHN ANTHONY GAROFALO

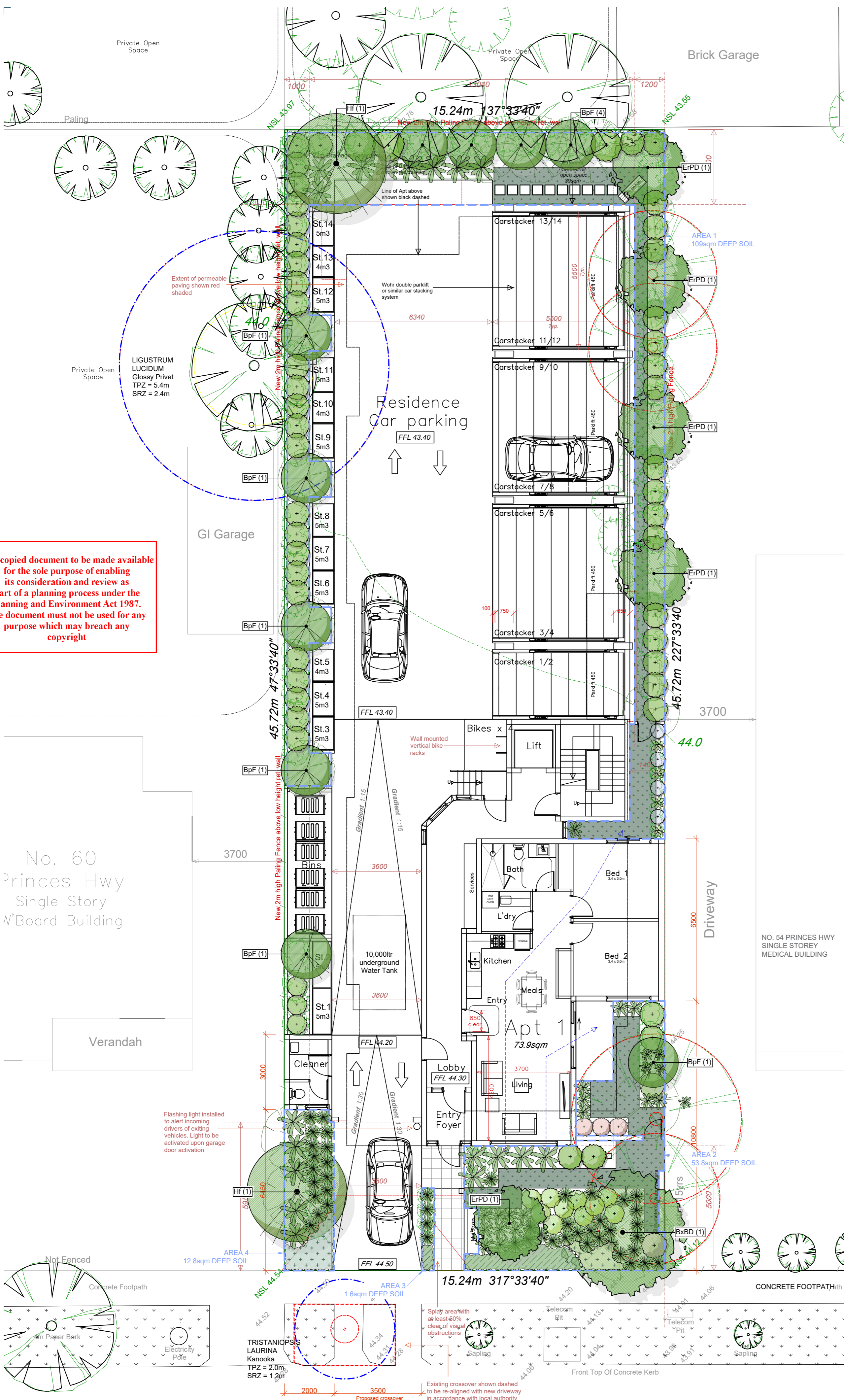
BUILDING DESIGN CONSULTANTS

REGISTERED BUILDING PRACTITIONER DP - 1815  
23 Nirvana Avenue, Malvern East. 3145  
PHONE & FAX : 9572 0601 MOBILE : 0407 351 543

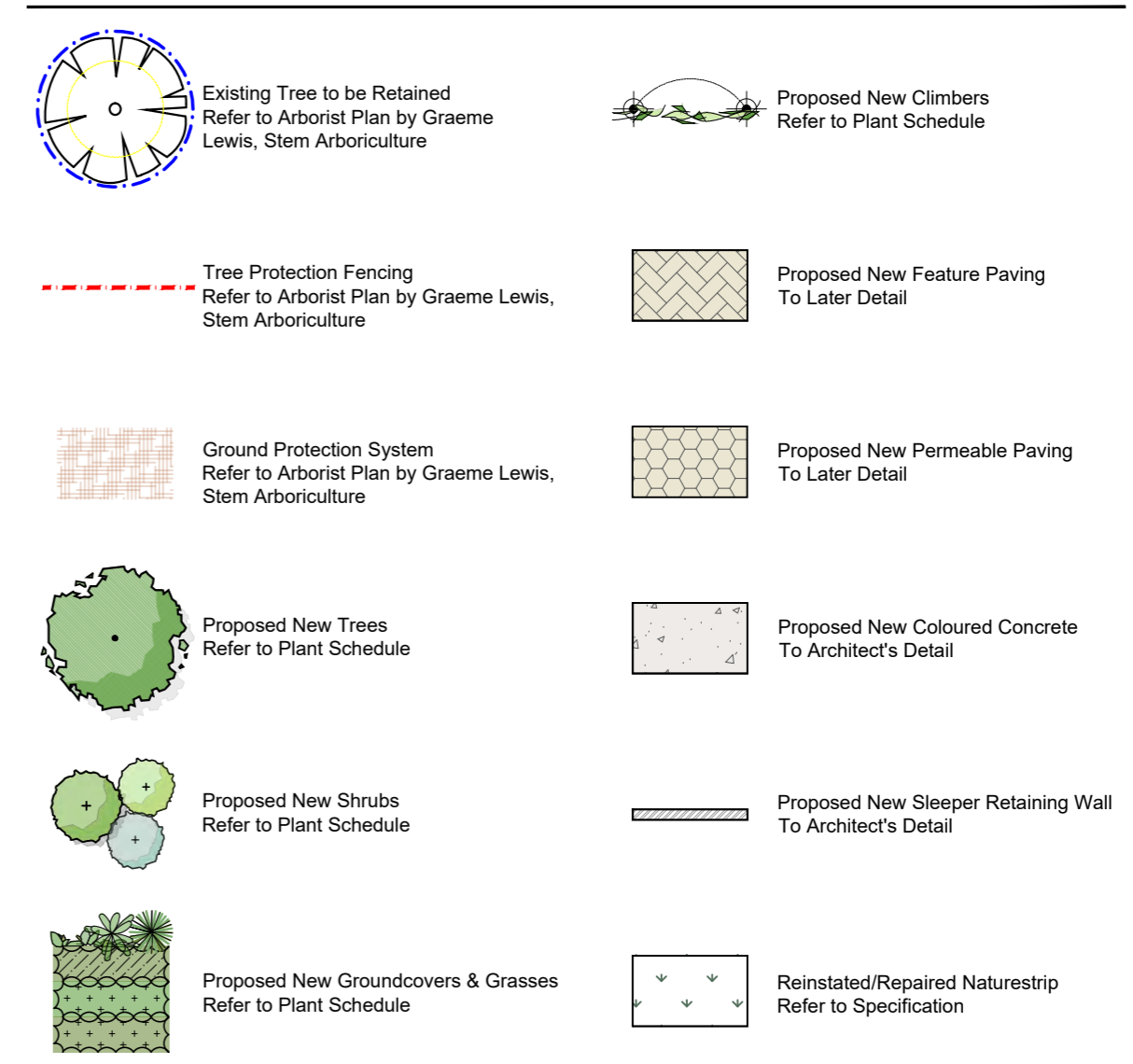
### Amendment C : 23/10/23

- Car stacker platform depth 5.5m. Ground Floor eastern setback reduced to 1.2m
- Separate Entry to foyer from Carpark
- Internal windows to provide view lines along foyer corridor
- Additional communal open space to rear of the site
- Bed 1 of Apts 4,9,6,11 & 14 min. 3.4m deep
- Storage calculations for each Apt listed.
- 1 Bed - 10m3 with 6m3 min. internal.
- 2 Bed - 14m3 with 9m3 min. internal
- Balcony balustrade to Princes Hwy frontage modified to be open metal vertical slat
- June 22 Shadow Diagrams included
- Screening added to Level 3 N/W windows & communal open space

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**LEGEND**



**DEEP SOIL AREAS FOR TREE PLANTING**

AREA #	DEEP SOIL SQM	TREE SPECIES	SIZE	SMALL / MED / LARGE	QTY
AREA 1	109m <sup>2</sup>	<i>Elaeocarpus reticulatus</i> 'Prima Donna'	6 x 3m	Small	4
		<i>Betula pendula</i> 'Fastigiata'	7 x 2m	Small	9
		<i>Hymenosporum flavum</i>	8 x 4m	Medium	1
AREA 2	53.8m <sup>2</sup>	<i>Brachycton acerifolius</i> x <i>populneus</i> 'Bella Donna'	6 x 4m	Small	1
		<i>Elaeocarpus reticulatus</i> 'Prima Donna'	6 x 3m	Small	1
		<i>Betula pendula</i> 'Fastigiata'	7 x 2m	Small	1
AREA 3	1.6m <sup>2</sup>				0
AREA 4	12.8m <sup>2</sup>	<i>Hymenosporum flavum</i>	8 x 4m	Medium	1
<b>TOTAL</b>	<b>177.2m<sup>2</sup></b>				<b>18</b>

**PLANT SCHEDULE**

SYM	BOTANICAL NAME	COMMON NAME	DENEX*	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
<b>TREES</b>						
BxBD	<i>Brachycton acerifolius</i> x <i>populneus</i> 'Bella Donna'	Bella Donna Brachycton	EN	6 x 4m	50cm/2.0mH	10
BpF	<i>Betula pendula</i> 'Fastigiata'	Cut-Leaf Birch	DEX	7 x 2m	50cm/2.0mH	1
EPD	<i>Elaeocarpus reticulatus</i> 'Prima Donna'	Pink Flowering Blueberry As	EN	6 x 3m	50cm/2.0mH	5
Hf	<i>Hymenosporum flavum</i>	Native Frangipani	EN	8 x 4m	50cm/2.0mH	2
		<b>TOTAL</b>				<b>18</b>
<b>SHRUBS</b>						
De	<i>Dorothy's excelsa</i>	Gymea Lily	EN	2.5 x 1.5m	200mm pot	
RCP	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	EX	1 x 1m	200mm pot	
NiMB	<i>Nandina domestica</i> 'Moon Bay'	Moon Bay Sacred Bamboo	EX	0.75 x 0.75m	200mm pot	
SaBC	<i>Syzygium australe</i> 'Bush Christmas'	Bush Christmas Lilly-pilly	EN	2 x 1m clipped	200mm pot	
		<b>TOTAL</b>				
<b>GROUNDCOVERS</b>						
AcMB	<i>Arthropodium cirratum</i> 'Metapouri Bay'	Renga Lily	EX	0.6 x 0.6m	140mm pot	
Bn	<i>Blechnum nudum</i>	Fishbone Water-fern	EN	0.6 x 0.6m	140mm pot	
Om	<i>Clivia miniata</i>	Clivia	EX	0.6 x 0.6m	140mm pot	
LMA	<i>Liriope muscari</i> 'Amethyst'	Amethyst Lily-turf	EX	0.4 x 0.4m	140mm pot	
LIT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat-rush	EN	0.6 x 0.6m	140mm pot	
Rh	<i>Ruscus hypoglossum</i>	Butcher's Broom	EX	0.5 x 0.6m	140mm pot	
TaFM	<i>Trachelospermum asiaticum</i> 'Flat Mat'	Yellow Star Jasmine	EX	0.4 x 3m	140mm pot	
		<b>TOTAL</b>				
<b>CLIMBERS</b>						
Fp	<i>Ficus pumila</i>	Climbing Fig	EX	Self-clinging Climber	140mm pot	
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	EX	Twining Climber	140mm pot	
		<b>TOTAL</b>				

\*DE = Deciduous/Evergreen NEX = Native/Exotic

**SPECIFICATION NOTES**

**Soil Preparation**  
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-attached trees. All trees to be removed shall be stump ground and all rubbish/vegetative spoil is to be removed from site. Existing top soil in planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Any imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large rocks) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

Imported top soil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas and 300mm on excavated planting beds.

**Weed Removal**  
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

**Planting**  
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2-3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of rootball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

**Wire Vine Support**  
The landscape contractor shall supply and install stainless steel wire cable support for Botanical Name & Botanical Name on the boundary fences as indicated on the Landscape Plan.

Run the cable horizontally along the length of the paling fence for the required length as indicated on the Landscape Plan. Space the cable evenly at 400mm centres - attach with galvanised or sis eyes - tension cable with stainless steel turnbuckles to achieve the required tension.

**Mulch**  
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped pine bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

**Irrigation**  
An approved drip irrigation system is to be supplied to all planter boxes & garden beds. An approved pop-up spray system is to be supplied to all lawn areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturer's specifications. The system is to be connected to mains supply and include a rain-shut off device. All dripline is to be buried with approx. 50mm of topsoil cover and shall be anchored at regular intervals to ensure the tubing cannot be dislodged.

**Repair/Restoration of damaged Nature-strips**  
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

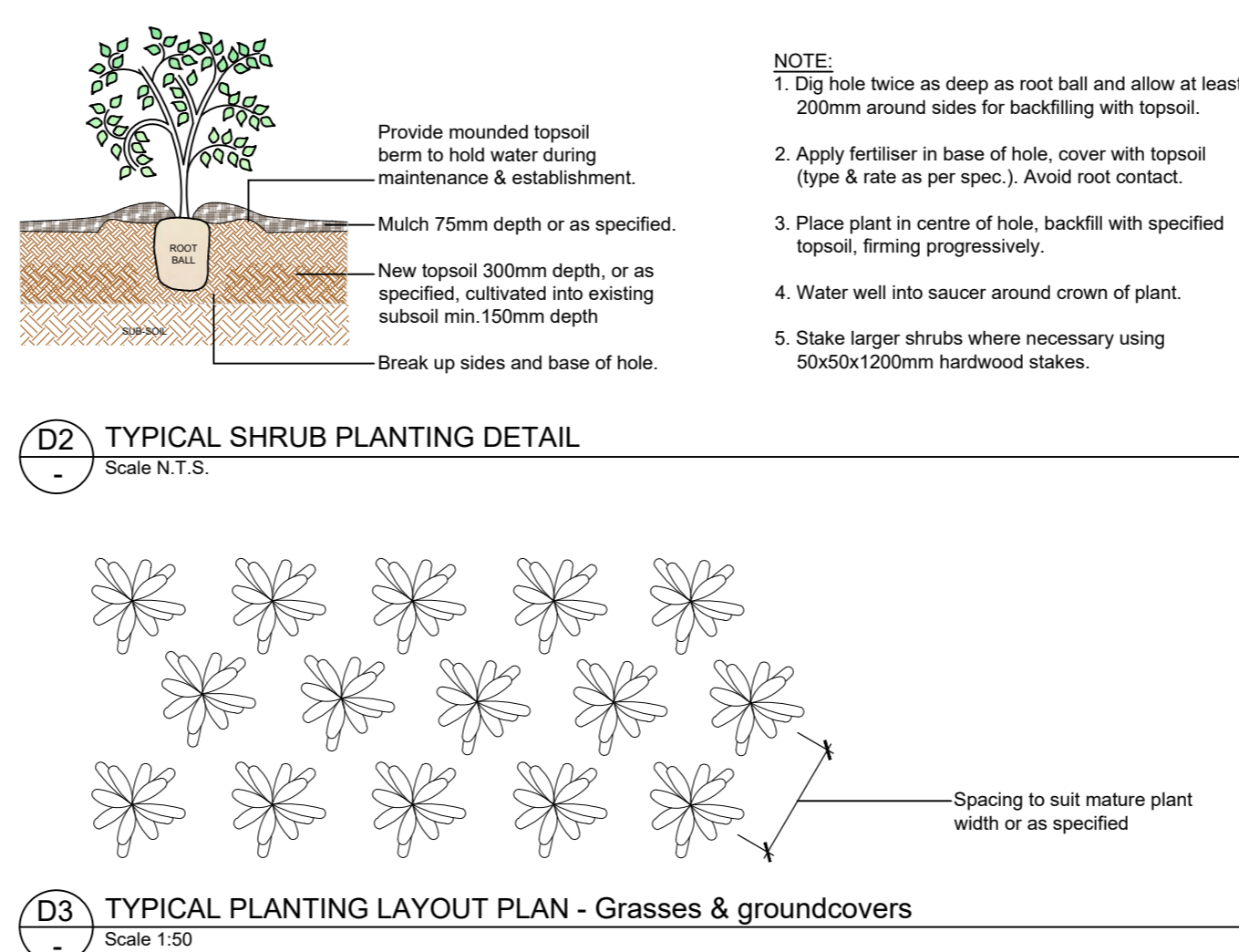
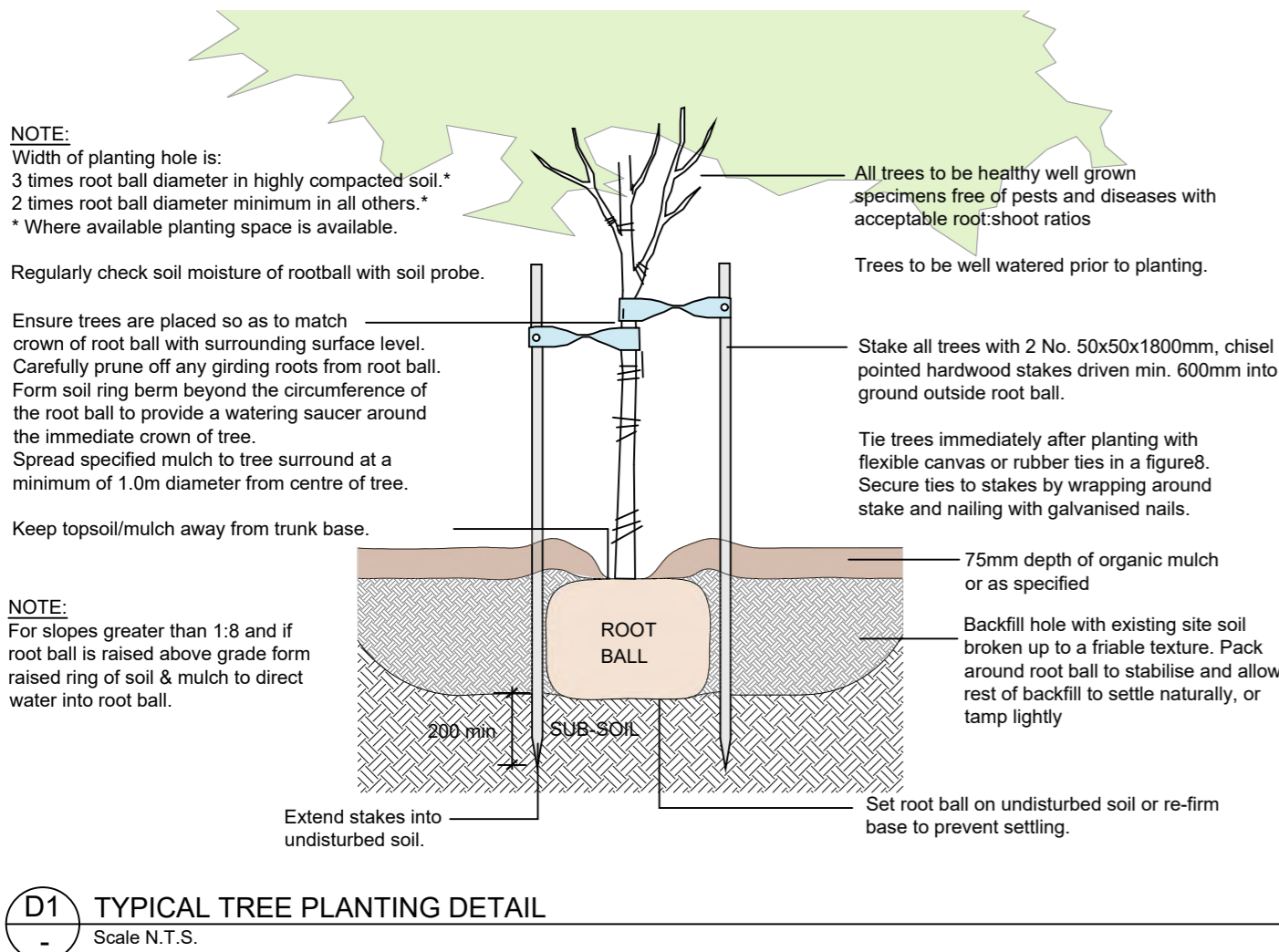
Any areas of lawn which have failed to germinate (achieve an evenly green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

**Plant Establishment Period**  
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

**ADVERTISED PLAN**

**PRINCES HIGHWAY**

**TYPICAL DETAILS**





# 58 Princes Hwy, Dandenong

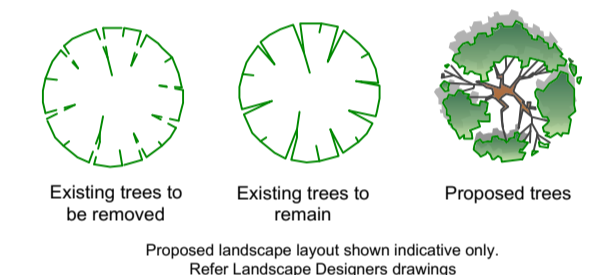
Proposed 5 Storey 15 Apartment Building & Ground Level Carparking

## Design Response Ground Floor Plan

### SITE STATISTICS

Site Area	- 696.8sqm
Building Area (Ground Floor)	- 438.2sqm
Site Coverage %	- 62.9%
Building & Hard Surface Area (Incls. Driveway & paths)	- 583.8sqm
Site Coverage %	- 83.8%
No. of Units	- 15 x Apartments 13 x 2 Bed 2 x 1 Bed
Density	- 1:46sqm
No. of Carspaces	- 15 Total 1 per Apt. No Visitors spaces

### LEGEND



### KEY ESD INITIATIVES

- Utility Meters for each Apartment
- Common areas to be sub-metered
- All external area lighting to be controlled through motion/daylight sensor
- 10,000ltr rainwater tank for toilet flushing & irrigation
- Water efficient fittings
- Toilets min. 4 star WELS rated
- Taps min. 5 star WELS rated
- Shrs min. 4 star WELS rated (max. 7.5ltr/min)
- Water efficient appliances (3 star D/washer)
- 7.3 star average energy rating
- 15kW Solar PV system
- Heat pump hot water system
- High efficiency air conditioning systems (Heating 4 star. Cooling 4 star)
- Efficient lighting (LED) - 4w/sqm to all habitable areas
- High performance glazing to all windows (Double glazing)
- Natural ventilation to dwellings (Refer to cross flow diagrams)
- Excellent daylight to habitable spaces
- Low VOC paints to improve indoor environment quality for residents
- Sustainable timber
- Water efficient landscaping
- 5 Electric car charging point within carpark (32amp Min.)
- 4 Bicycle spaces

**ADVERTISED PLAN**

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Drg No. PA TP2(A)

Project : Apartment Building

Proprietor :

Aaron Zhou

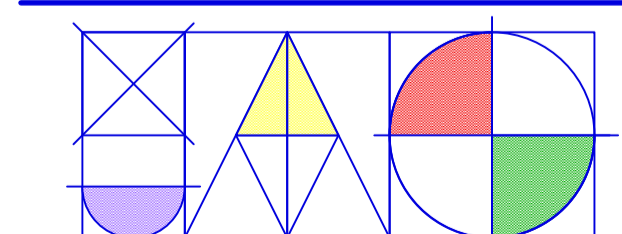
Job Location :

58 Princes Hwy, Dandenong

Drawn By. : J.A.G. A.G Date : 28/02/23

Mel. Ref. : 90 B6 Job No. : 22-000

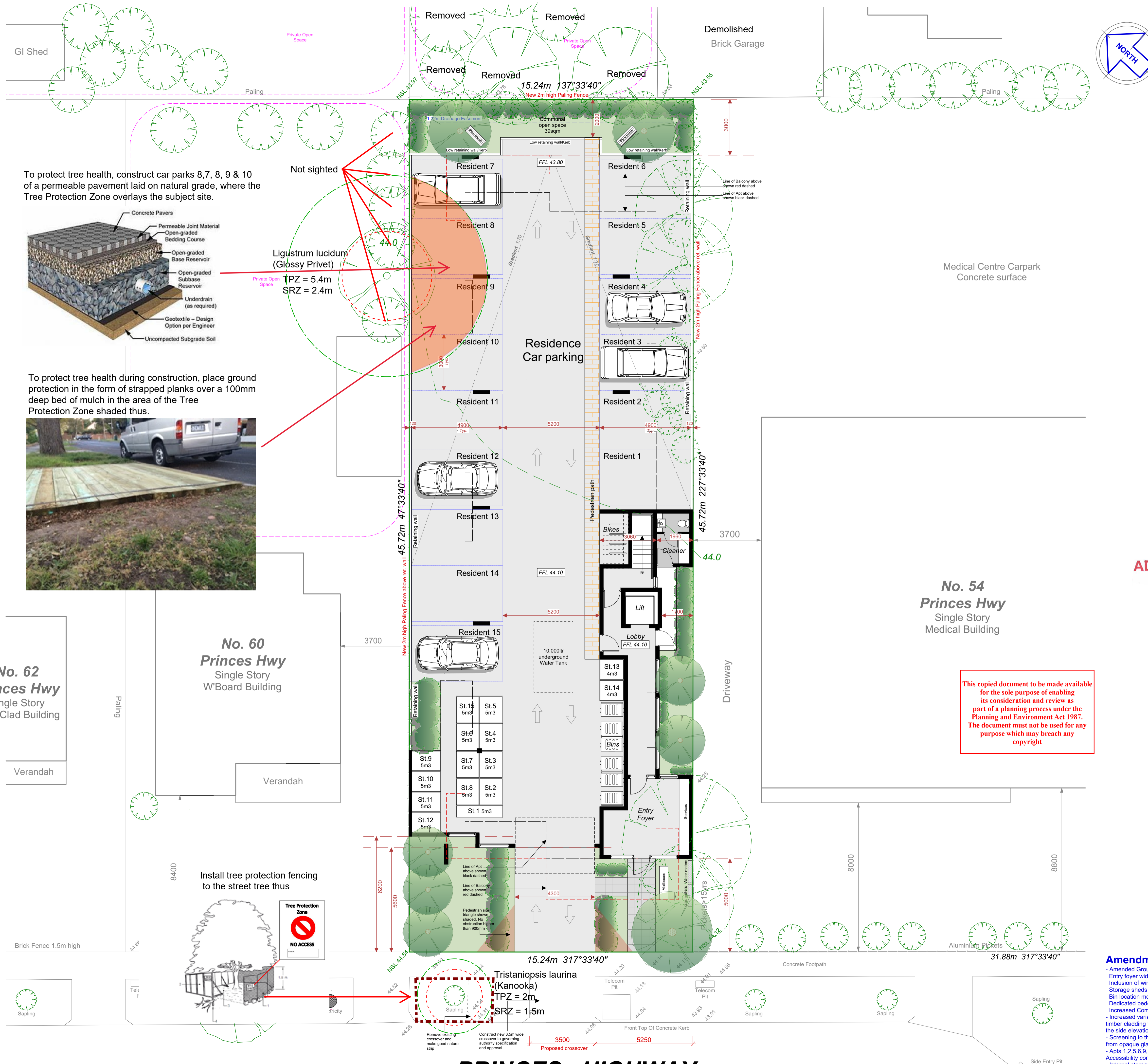
Sheet No. : 2 OF 6(A) Scale. : 1:100



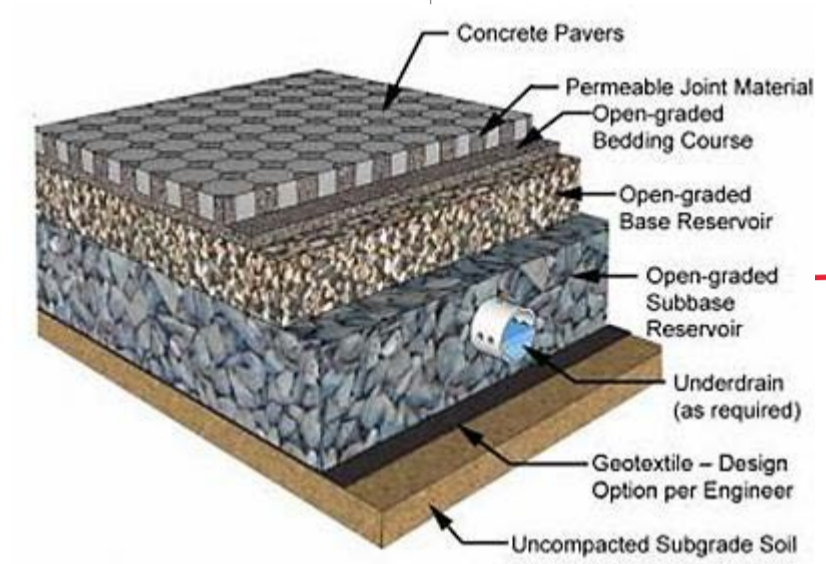
**JOHN ANTHONY GAROFALO**  
BUILDING DESIGN CONSULTANTS

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To protect tree health, construct car parks 8, 7, 8, 9 & 10 of a permeable pavement laid on natural grade, where the Tree Protection Zone overlays the subject site.



To protect tree health during construction, place ground protection in the form of strapped planks over a 100mm deep bed of mulch in the area of the Tree Protection Zone shaded thus.

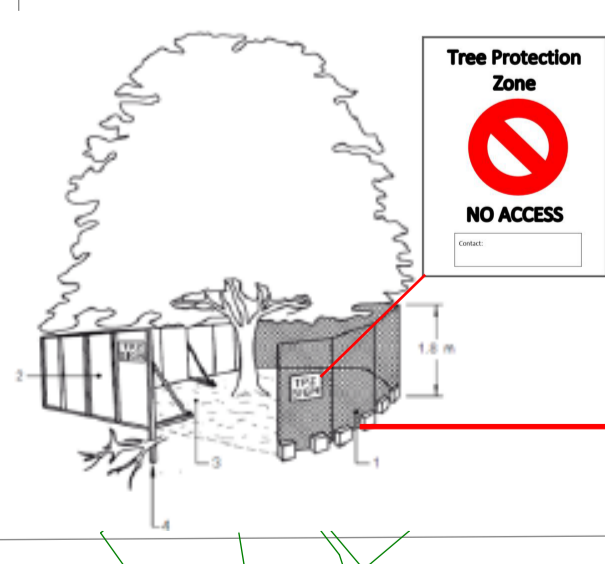


No. 60 Princes Hwy Single Story W'Board Building

No. 62 Princes Hwy Single Story Brick Clad Building

No. 54 Princes Hwy Single Story Medical Building

Install tree protection fencing to the street tree thus



## PRINCES HIGHWAY

### Amendment A : 28/02/23

- Amended Ground Floor layout.
- Entry foyer widened to South/East boundary.
- Inclusion of windows to the GF facade to soften the interface.
- Storage sheds bought toward the front of the Carpark.
- Bin location moved internally.
- Dedicated pedestrian path along the internal driveway.
- Increased variation to the facade including the use of dark timber cladding to front balustrades & colour tone variation to the side elevations
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- Cross flow ventilation paths demonstrated on floor plans