





# DESIGN VISION

- Sympathetic to **Bunurong** Landscape
- A rich and **holistic expression** of Gippsland
- True to existing **heritage**
- Differentiated** in quality & experience
- Flexible & adaptable spaces**
- Ability to **stage & phase**
- Efficient** construction & delivery



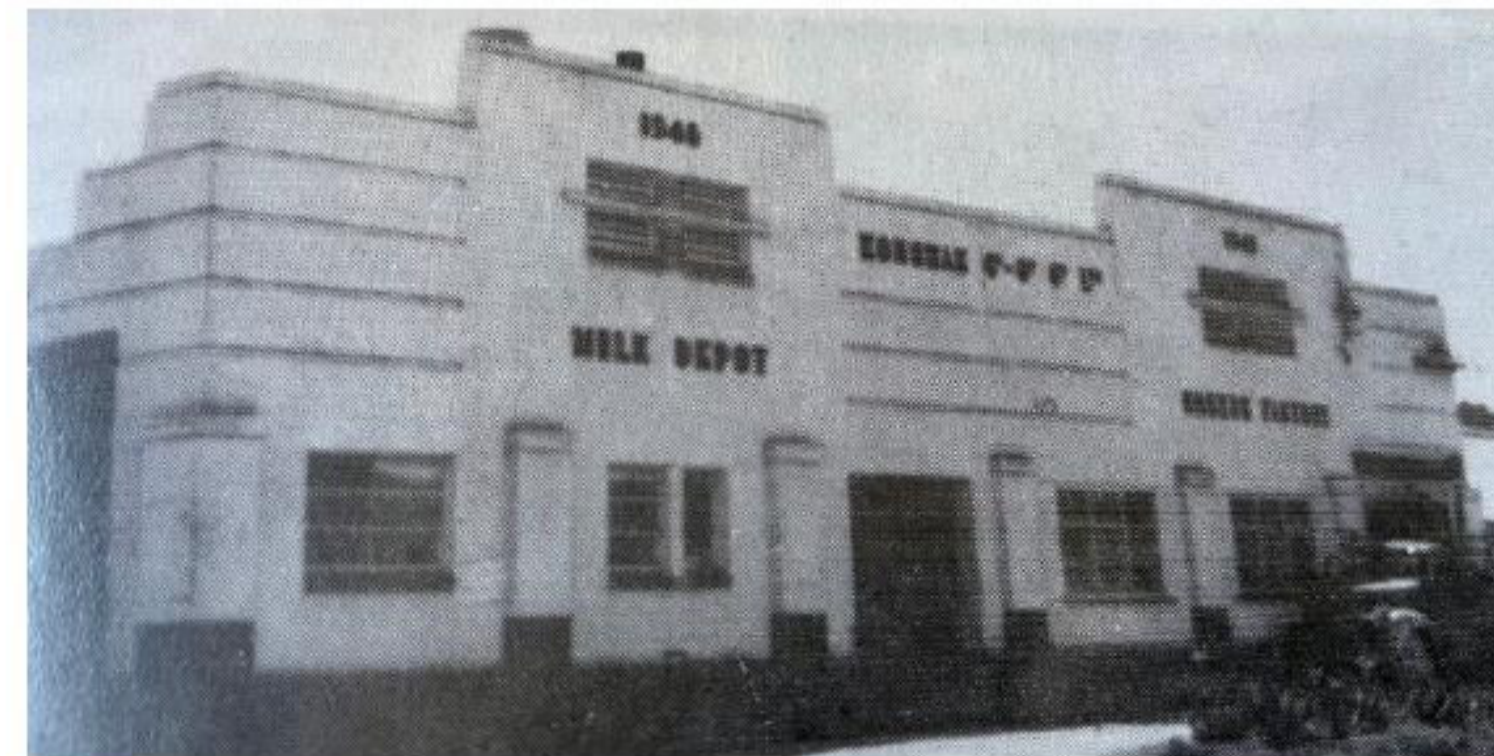
A LANDSCAPE APPROACH THAT ACKNOWLEDGES THE PAST AND BUILDS UPON THE FUTURE



A VILLAGE OF ARTICULATED BUILDINGS IN A LANDSCAPE



## ADVERTISED PLAN



RESTORE THE CHEESE FACTORY



RESTORE THE BUTTER FACTORY



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B		DRAFT ISSUE - FOR INFORMATION ONLY	23/05/2023	CL
C	All	DRAFT ISSUE - FOR INFORMATION ONLY	29/05/2023	CL
D		DRAFT ISSUE - FOR INFORMATION ONLY	16/06/2023	CL
E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
F		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

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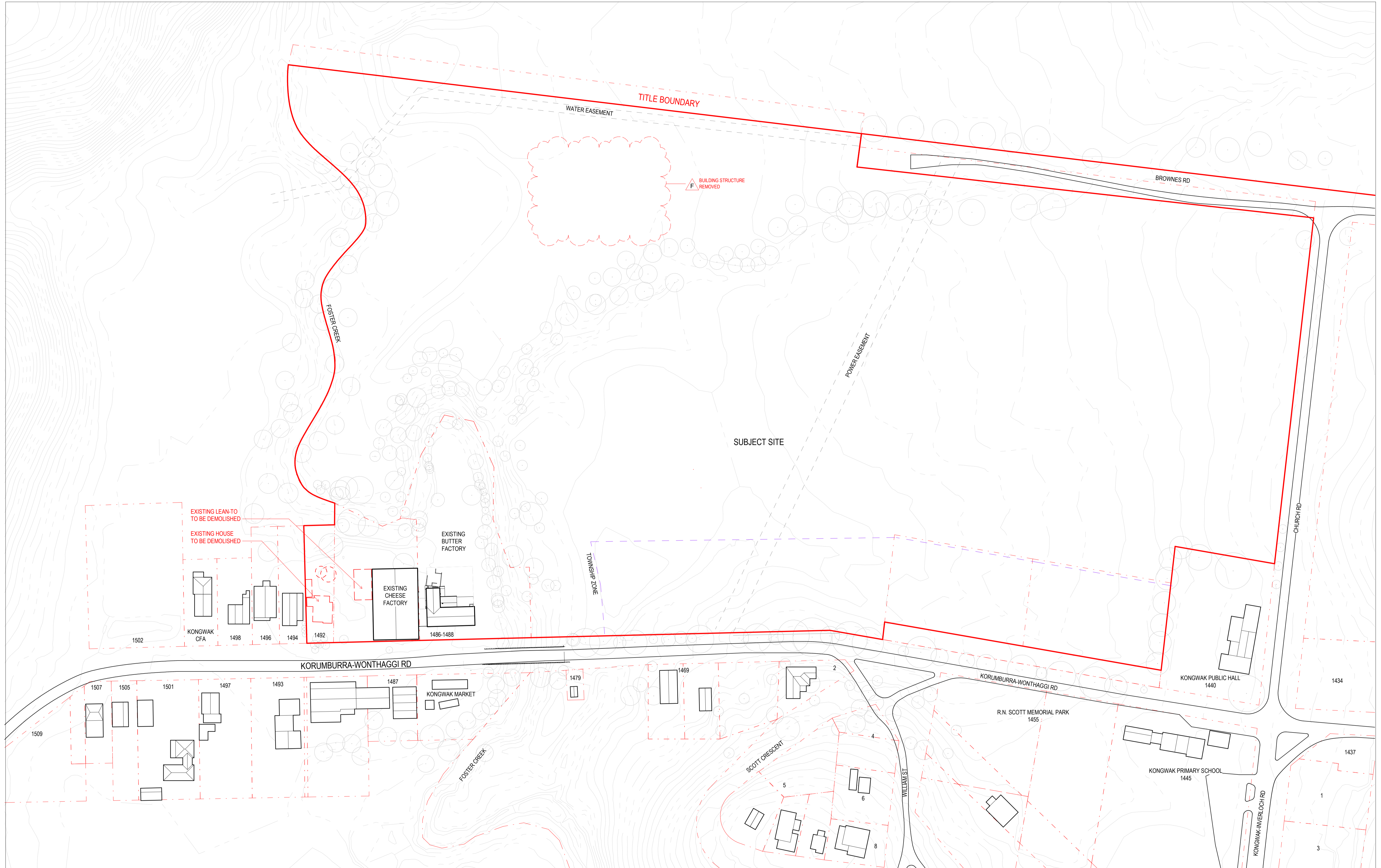
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Client	Damien Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	DESIGN VISION

Project No.	2248	Scale @ A1
Date	March 2023	Co-Ord JL
Drwn	AB	Chck CL
Drawing Status	Preliminary	
Drawing No.	TP 0001	Revision F



THE DISTANCE BETWEEN THESE MARKS SHOULD MEASURE AS 100mm WHEN SHEET IS PRINTED TO SCALE AS INDICATED



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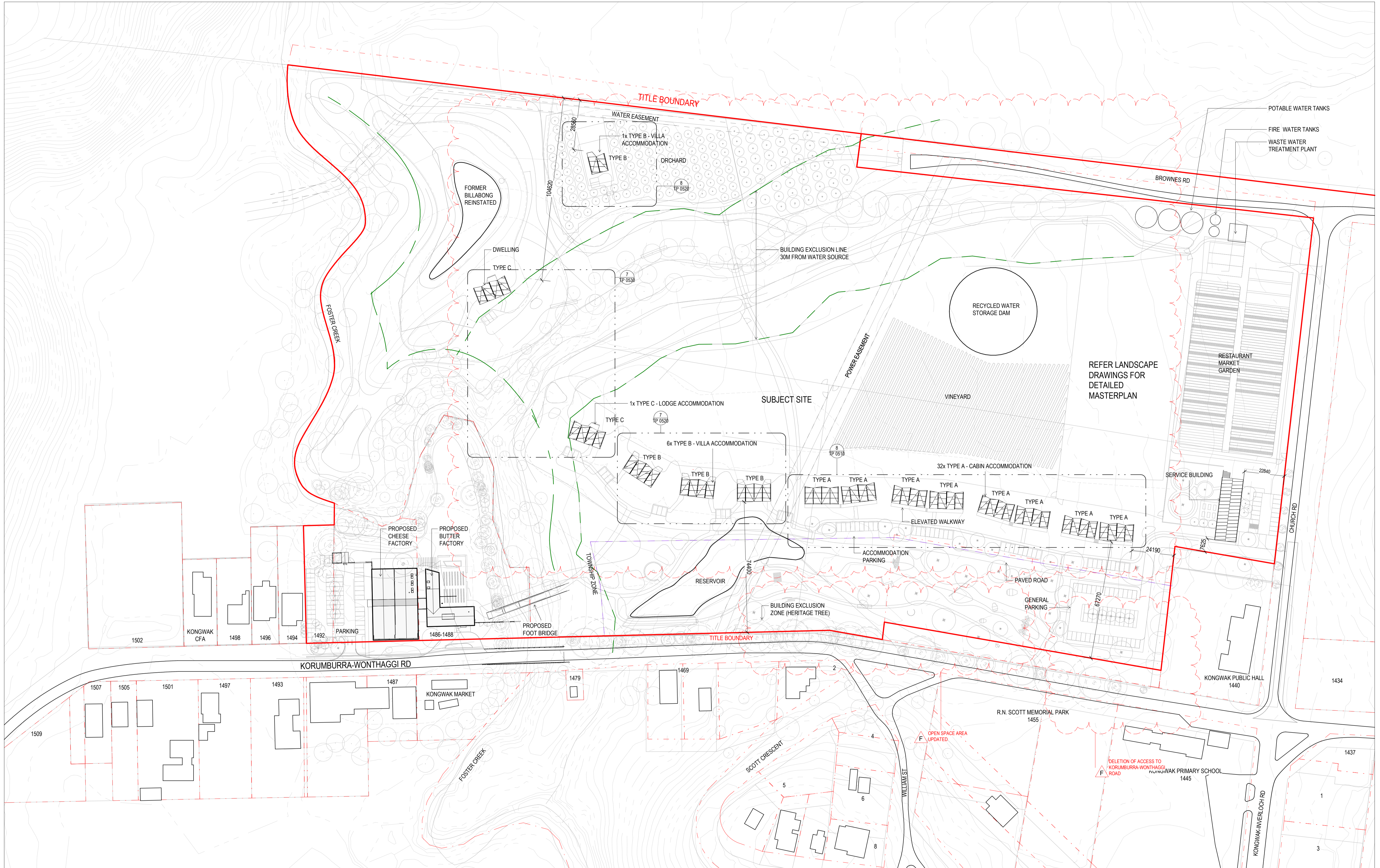
Client	Damen Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	SITE PLAN EXISTING

	Project No.	2248	Scale @ A1	1 : 1000	
	Date	March 2023	Co-Ord	JL	
Drawing Status	Preliminary	Drwn	AB	Chk	CL
Drawing No.	TP 0100	Revision	F		

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F	ISSUE FOR TOWN PLANNING - RFI RESPONSE		17/05/2024	CL

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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	SITE PLAN PROPOSED

Project No.	2248	Scale @ A1	1 : 1000
Date	March 2023	Co-Ord	JL
Drwn	AB	Check	CL
Drawing Status	Preliminary	Drawing No.	TP 0110
Revision	F		

ADVERTISED PLAN

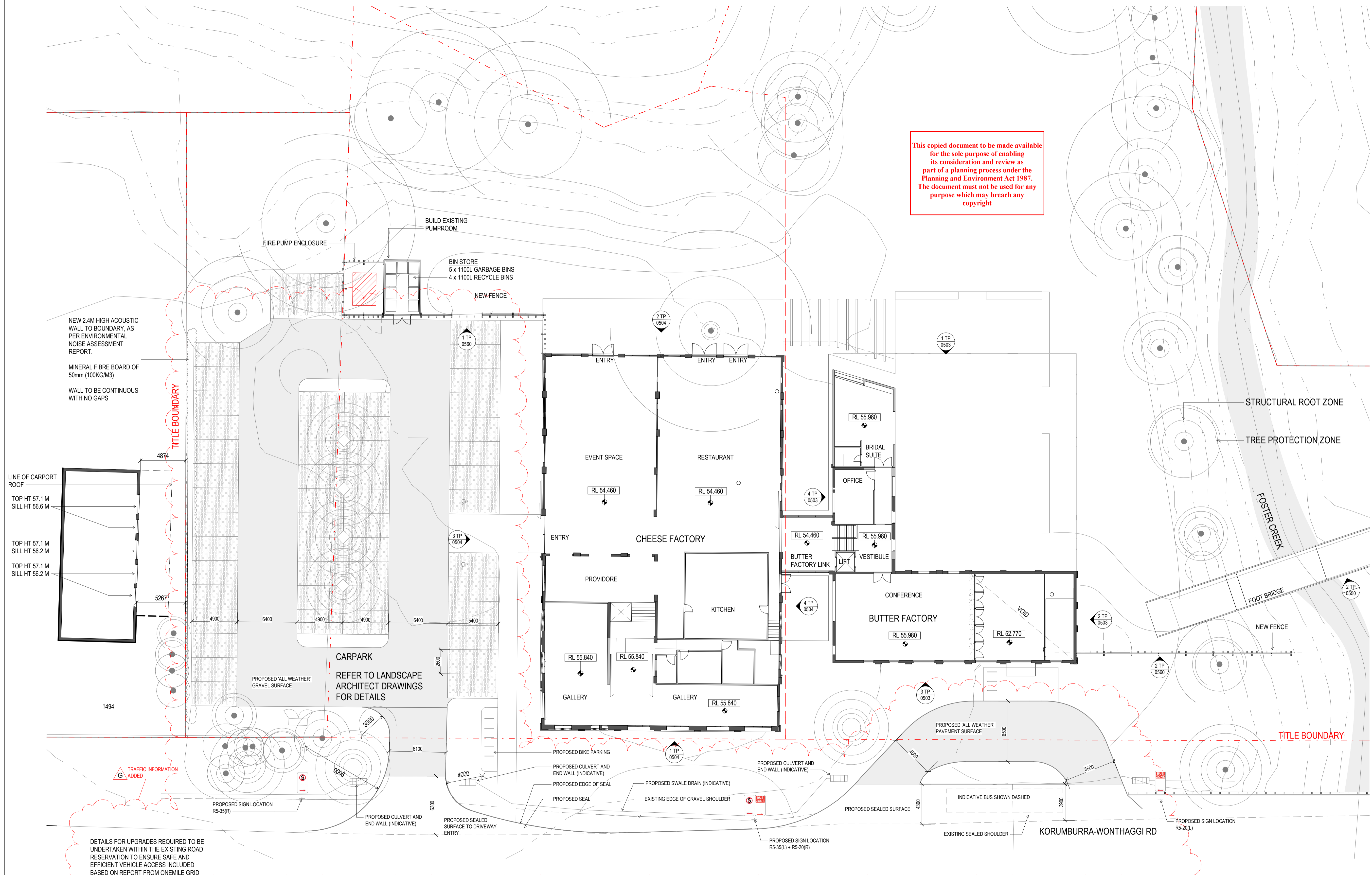
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NEW 2.4M HIGH ACOUSTIC WALL TO BOUNDARY, AS PER ENVIRONMENTAL NOISE ASSESSMENT REPORT.  
MINERAL FIBRE BOARD OF 50mm (100KG/M3)  
WALL TO BE CONTINUOUS WITH NO GAPS

LINE OF CARPORT ROOF  
TOP HT 57.1 M  
SILL HT 56.6 M  
TOP HT 57.1 M  
SILL HT 56.2 M  
TOP HT 57.1 M  
SILL HT 56.2 M

CARPARK  
REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS

DETAILS FOR UPGRADES REQUIRED TO BE UNDERTAKEN WITHIN THE EXISTING ROAD RESERVATION TO ENSURE SAFE AND EFFICIENT VEHICLE ACCESS INCLUDED BASED ON REPORT FROM ONEMILE GRID

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E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
F		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL
G		ISSUE FOR TOWN PLANNING	19.07.2024	CL

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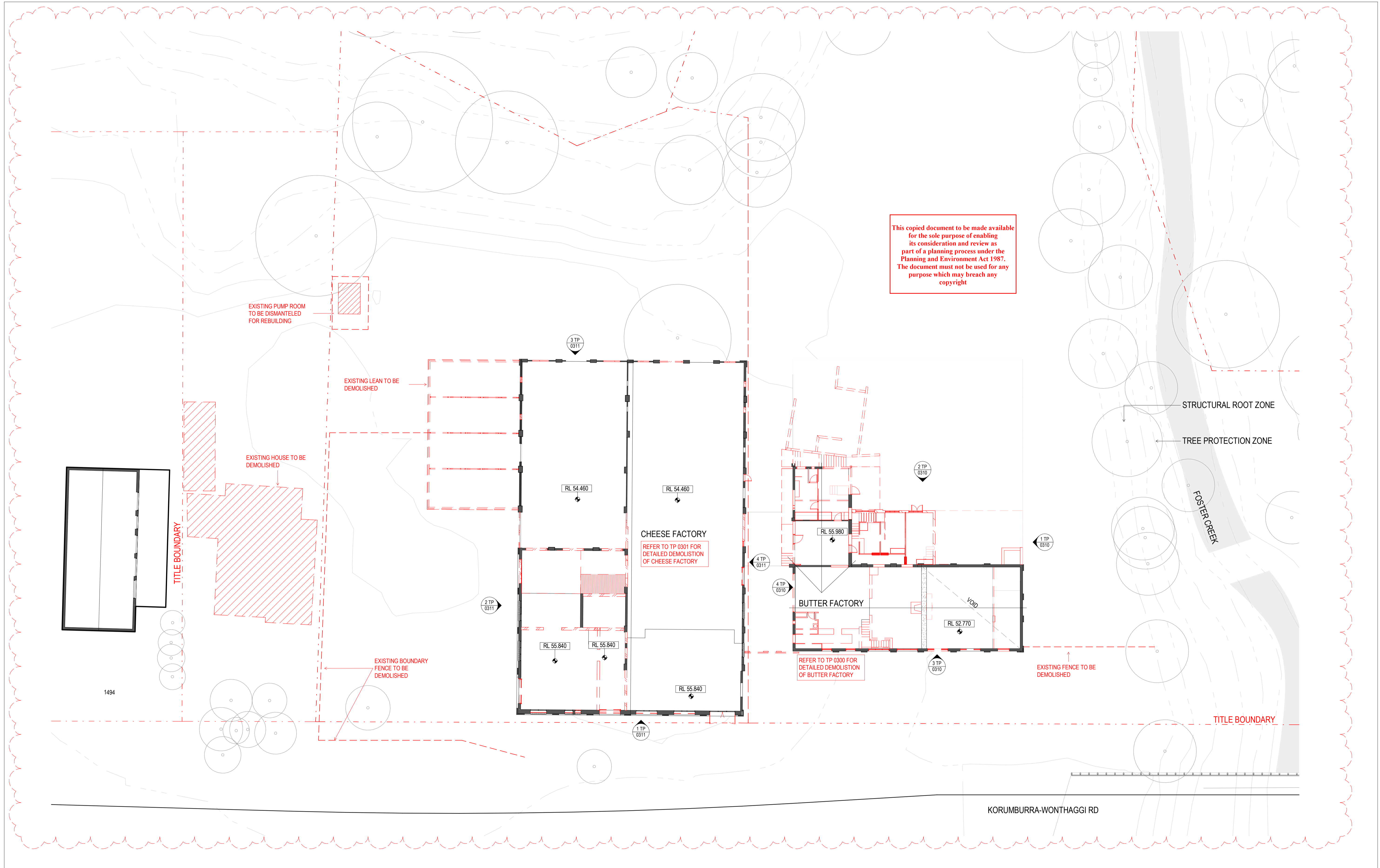
Project **Kongwak Butter and Cheese**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Title **CHEESE AND BUTTER FACTORY  
PROPOSED PLAN**

	Project No.	2248	Scale @ A1	1 : 200
	Date	May 2023	Co-Ord	JL
Drawing Status	Preliminary		Drwn	AB
Drawing No.	TP 0111	Check	CL	Revision
				G

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FILE: C:\Users\John.Wardle\Documents\2248\_Kongwak\_Masterplan\_R02\_cheeseandbut.pdf





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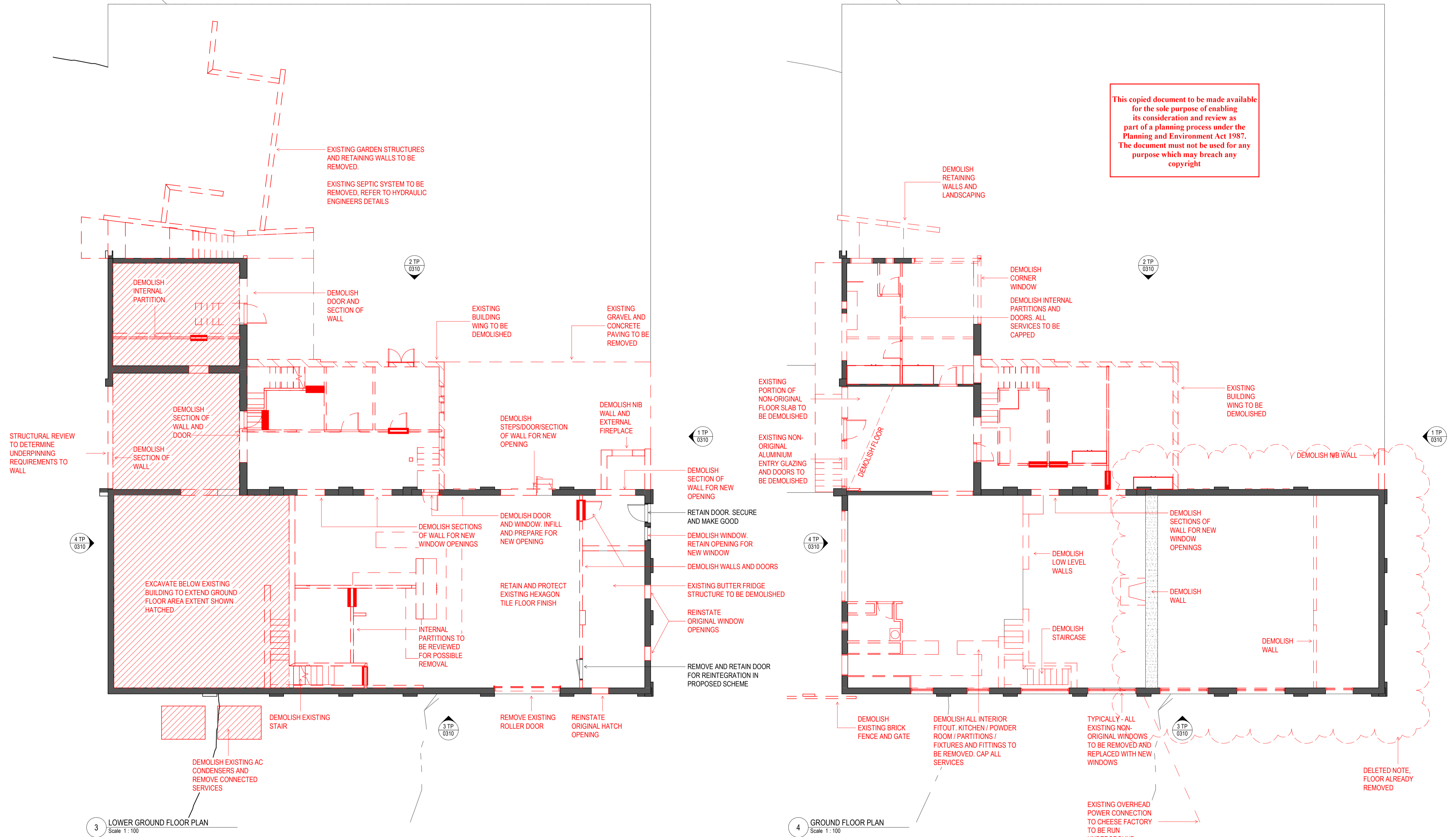
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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	CHEESE AND BUTTER FACTORY EXISTING AND DEMOLITION PLAN

	Project No.	2248	Scale @ A1	1 : 200	
	Date	May 2023	Co-Ord	JL	
Drawing Status	Preliminary	Drwn	AB	Check	CL
Drawing No.	TP 0112	Revision	A		



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**General Notes**

**SUMMARY OF PROPOSED WORKS TO BUTTER AND CHEESE FACTORIES**

REINSTATING ORIGINAL OPENINGS TO WALLS AND ROOFS AS NOTED.

TYPICALLY - ALL EXISTING NON-ORIGINAL WINDOWS TO BE REMOVED AND REPLACED WITH NEW WINDOWS TO MATCH ORIGINAL.

RETAIN EXISTING SLABS AND REVIEW FOR USE AS PROPOSED FLOOR FINISH.

NEW ELECTRICAL / MECHANICAL SYSTEMS THROUGHOUT.

RETENTION AND/OR REPLACEMENT OF LINTELS WHERE ORIGINAL OPENINGS ARE UTILISED OR MODIFIED.

EXCAVATION BELOW PROPOSED LINK BETWEEN BUILDINGS, AND UNDERPINNING BENEATH DWARF WALLS BELOW EXISTING CONCRETE FLOORS.

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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951		
Title	BUTTER FACTORY EXISTING AND DEMOLITION PLANS		

	Project No.	2248	Scale @ A1	1 : 100
	Date	March 2023	Co-Ord	JL
Drawing Status	Drwn	AB	Check	CL
Drawing No.	TP 0300		Revision	F

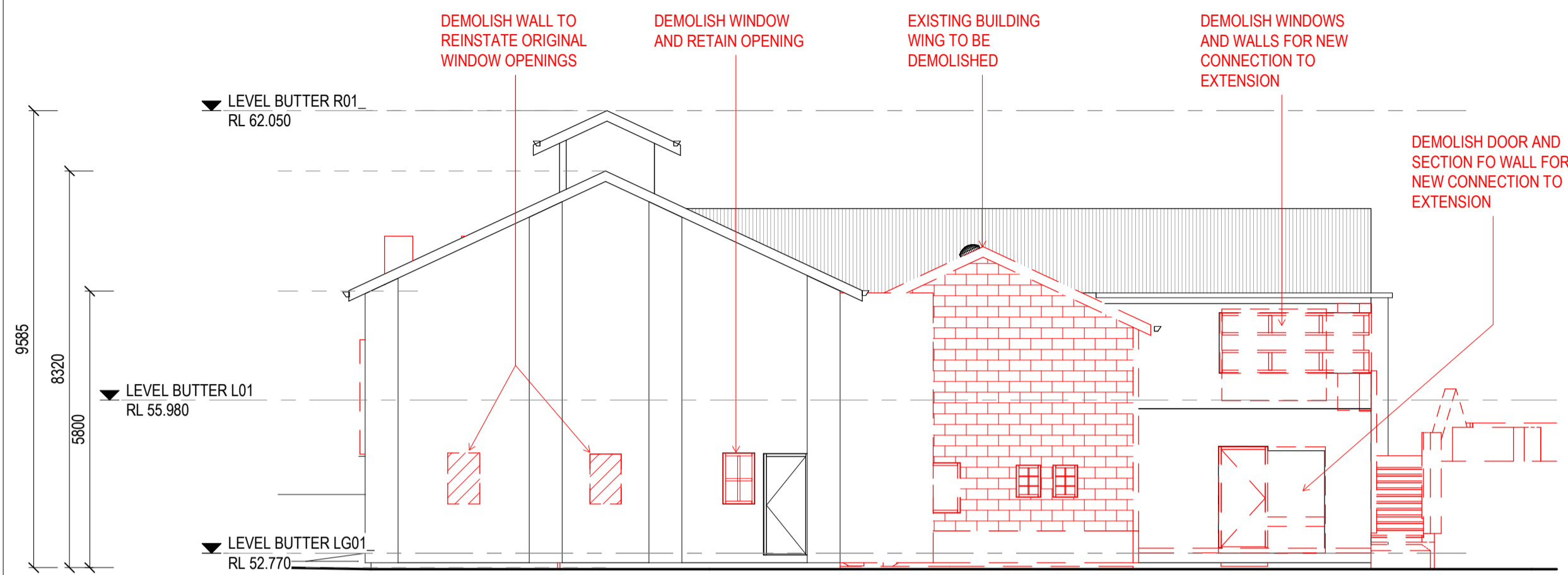




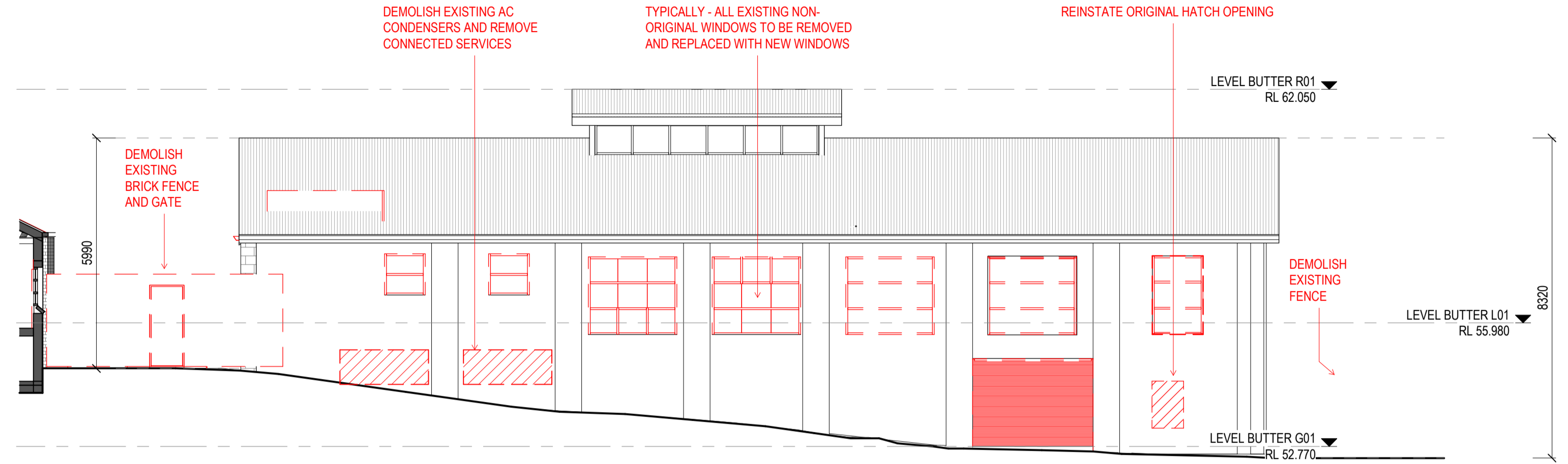


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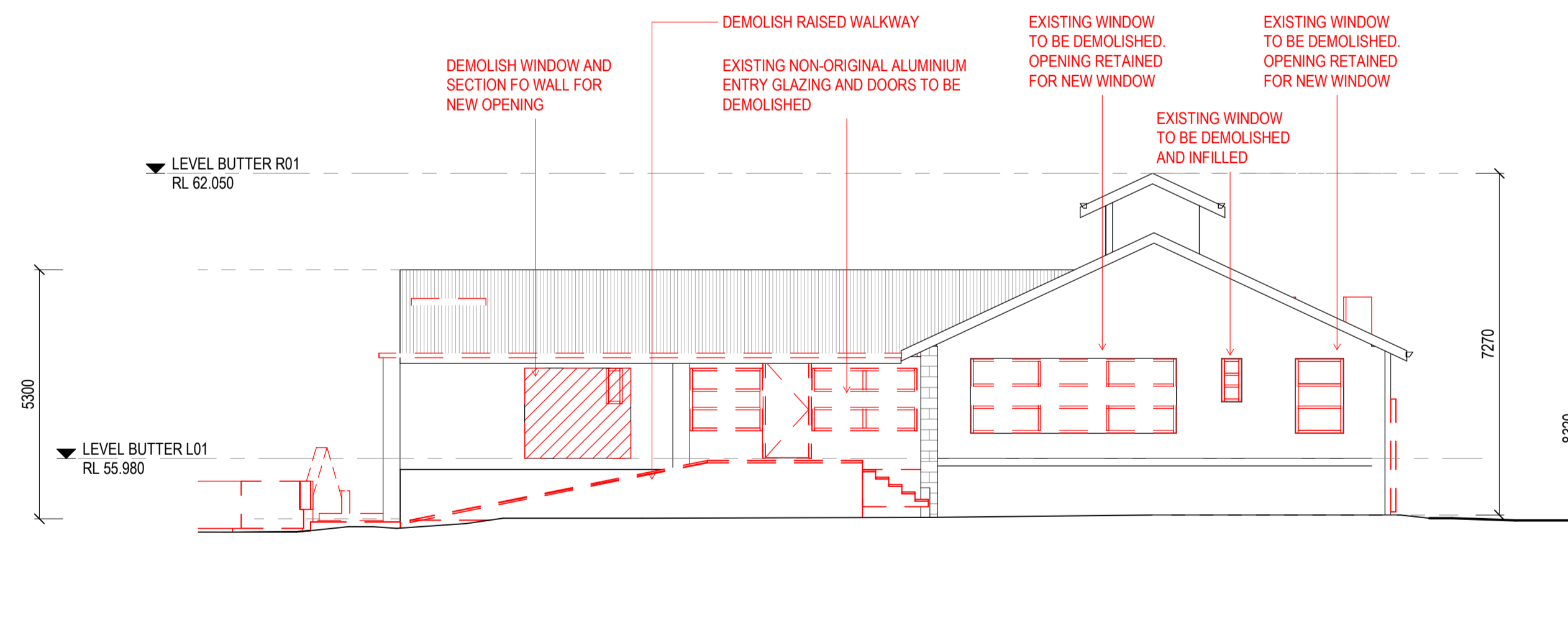


1 BUTTER FACTORY - DEMOLITION EAST ELEVATION  
 Scale 1:100

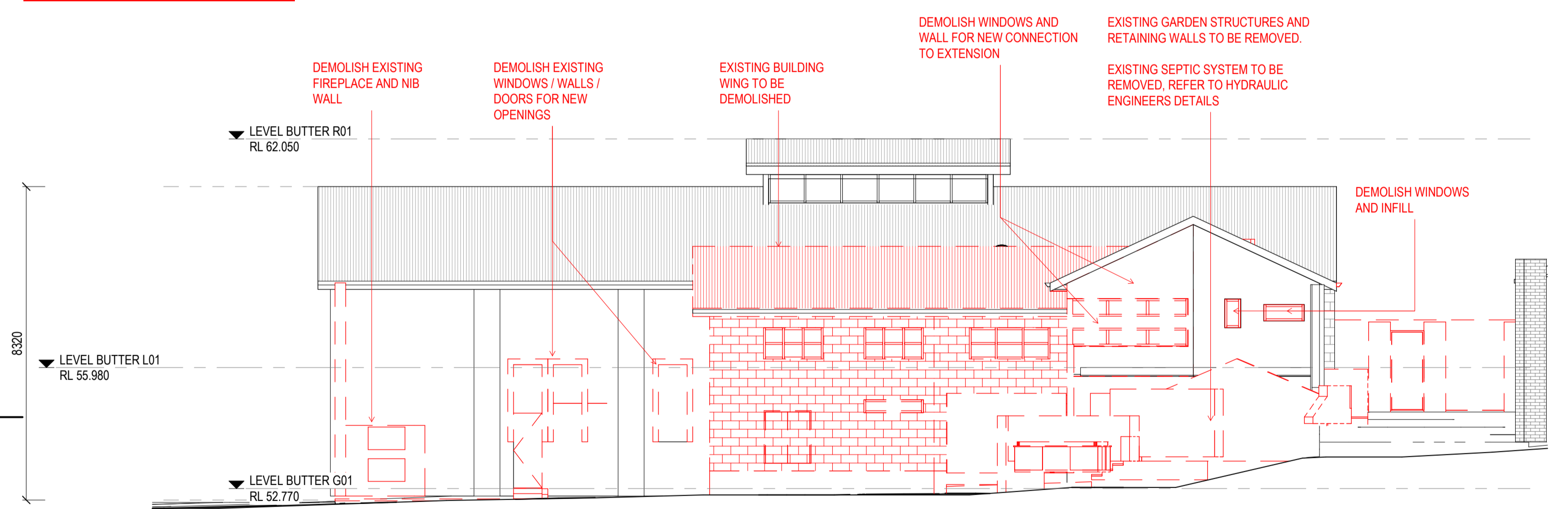


3 BUTTER FACTORY - DEMOLITION SOUTH ELEVATION  
 Scale 1:100

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4 BUTTER FACTORY - DEMOLITION WEST ELEVATION  
 Scale 1:100



2 BUTTER FACTORY - DEMOLITION NORTH ELEVATION  
 Scale 1:100

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E	ISSUE	ISSUE FOR TOWN PLANNING	31/07/2023	CL
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G	ISSUE	ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

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Project **Kongwak Butter and Cheese**  
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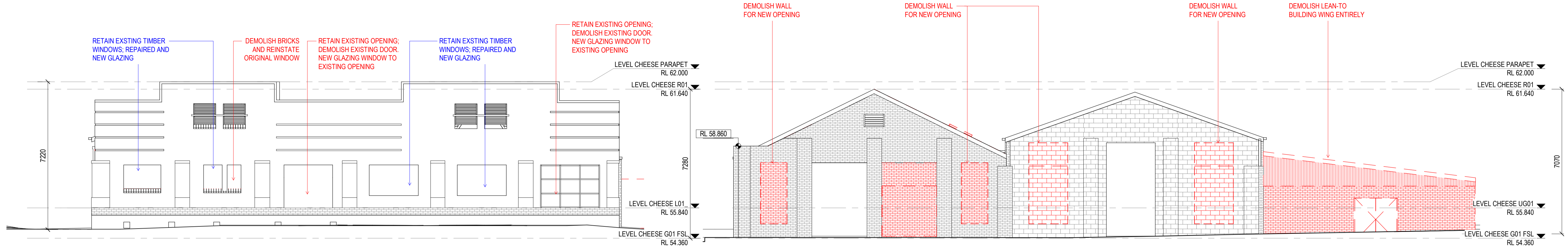
Title **BUTTER FACTORY**  
 DEMOLITION ELEVATIONS - BUTTER FACTORY

Project No.	2248	Scale @ A1	1:100
Date	March 2023	Co-Ord	JL
Drwn	AB	Chck	CL
Drawing Status	Preliminary		
Drawing No.	TP 0310	Revision	G

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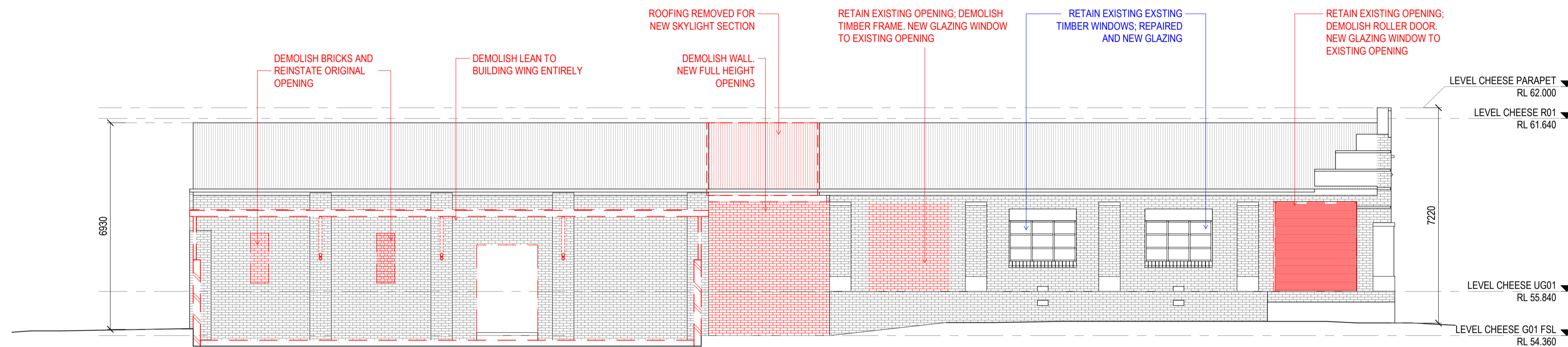


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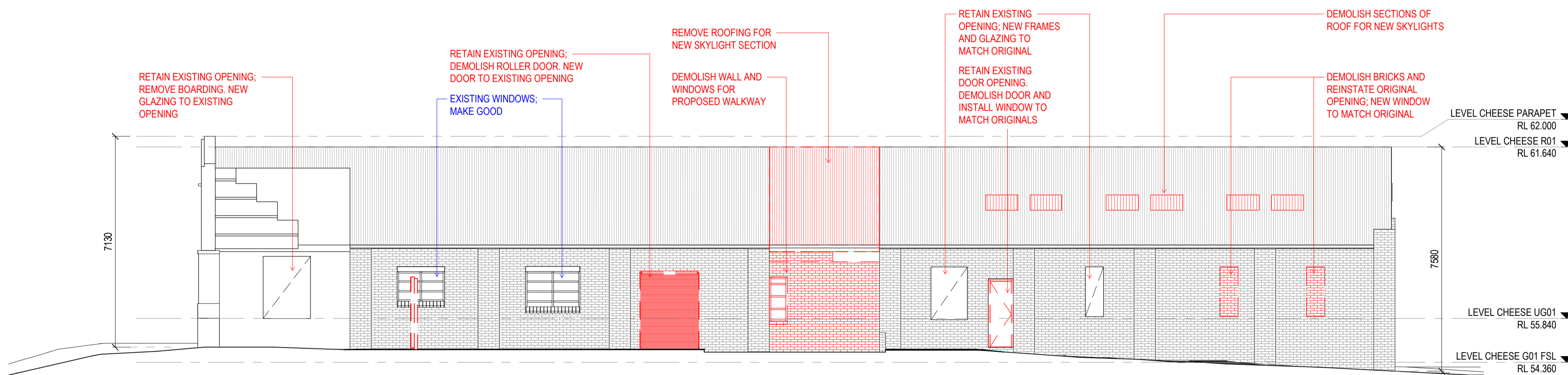


1 SOUTH ELEVATION  
Scale 1:100

3 NORTH ELEVATION  
Scale 1:100



2 WEST ELEVATION  
Scale 1:100



4 EAST ELEVATION  
Scale 1:100

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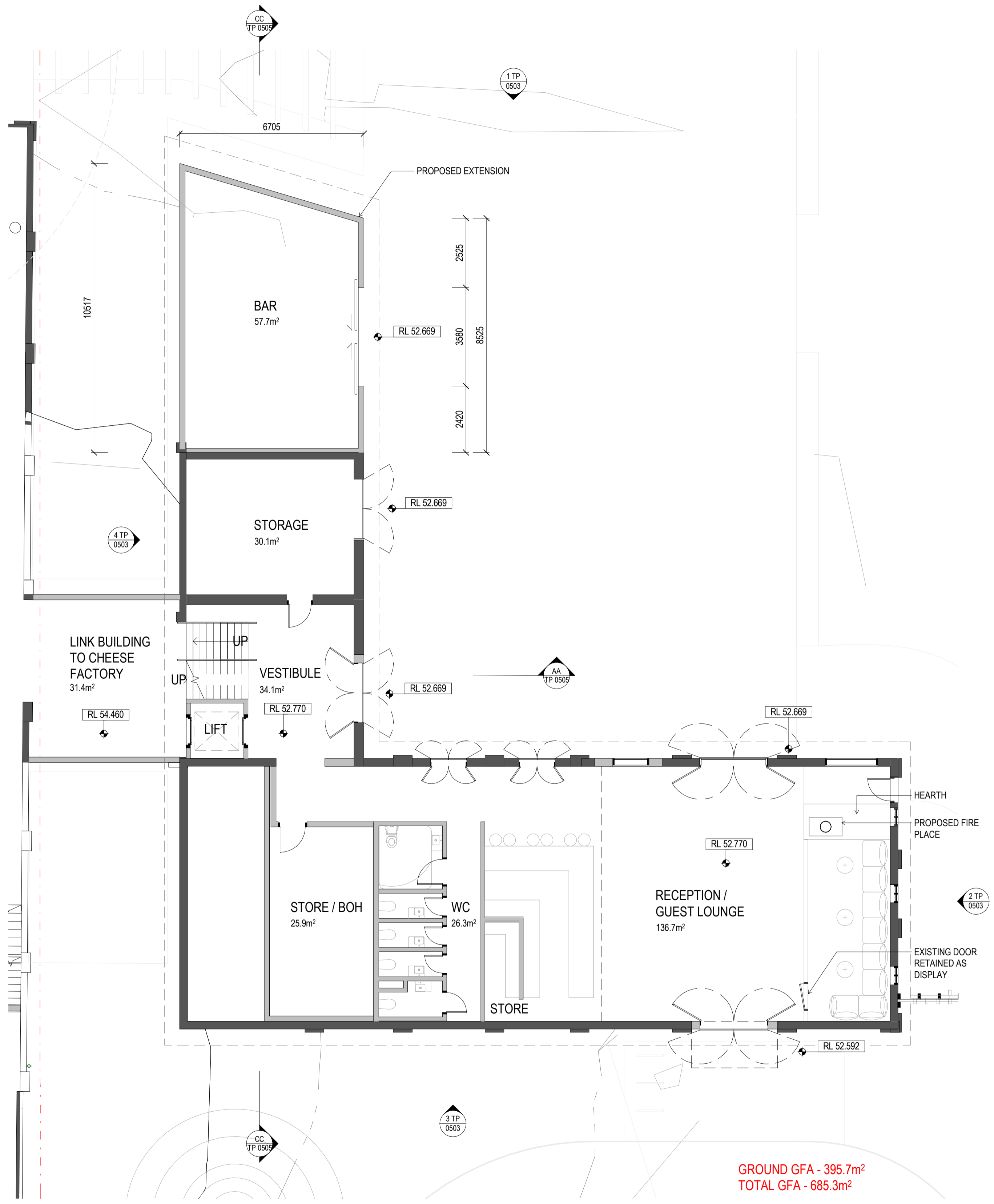
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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	CHEESE FACTORY DEMOLITION ELEVATIONS - CHEESE FACTORY

Project No.	2248	Scale @ A1	1:100
Date	March 2023	Co-Ord	JL
Drwn	AB	Chck	CL
Drawing Status	Preliminary		
Drawing No.	TP 0311	Revision	G



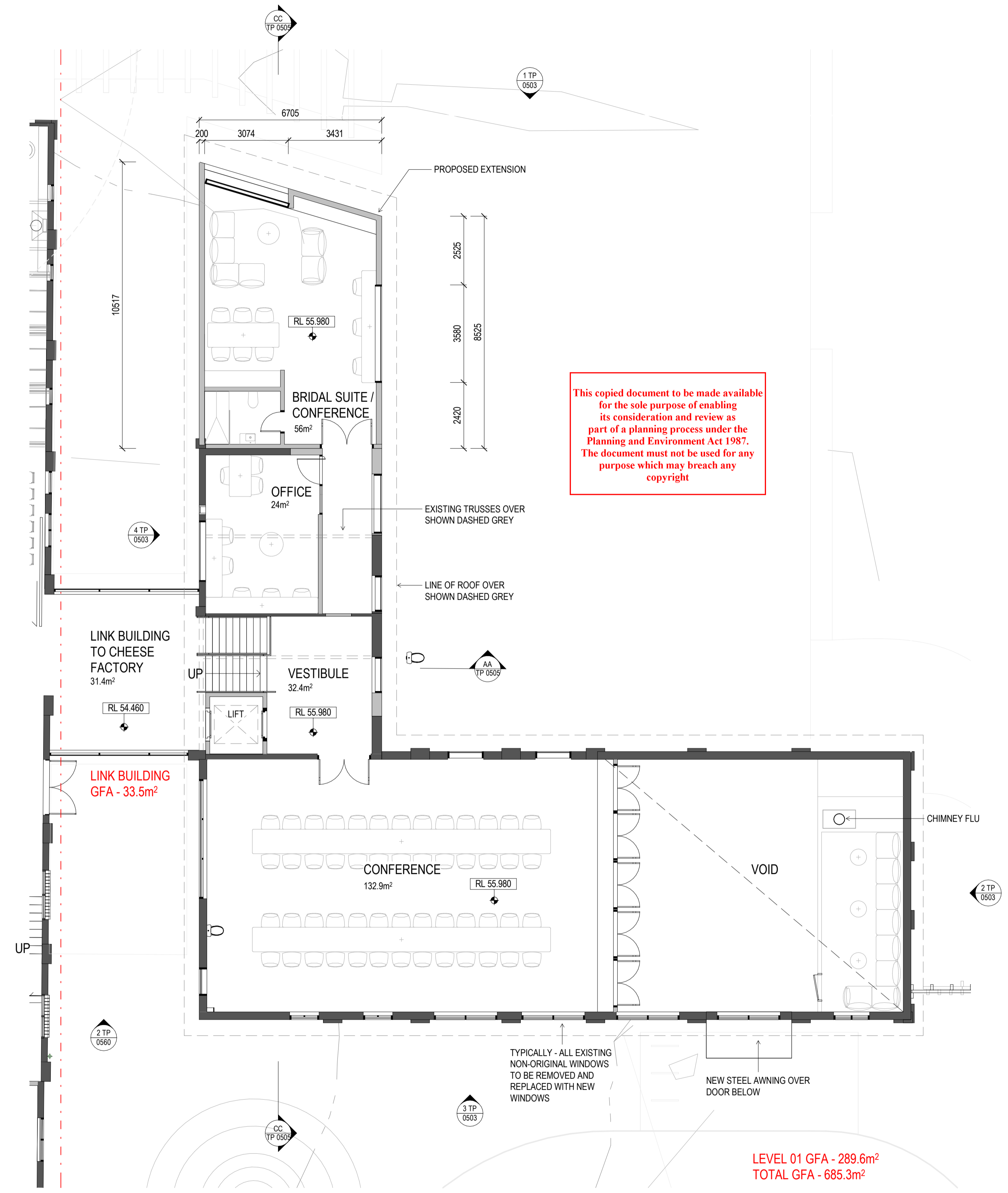
THE DISTANCE BETWEEN THESE MARKS SHOULD MEASURE AS 100mm WHEN SHEET IS PRINTED TO SCALE AS INDICATED

**ADVERTISED PLAN**



GROUND GFA - 395.7m²  
TOTAL GFA - 685.3m²

3 LOWER GROUND FLOOR PLAN  
Scale 1:100



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LEVEL 01 GFA - 289.6m²  
TOTAL GFA - 685.3m²

4 GROUND FLOOR PLAN  
Scale 1:100

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D		DRAFT ISSUE - FOR INFORMATION ONLY	16/06/2023	CL
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F		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

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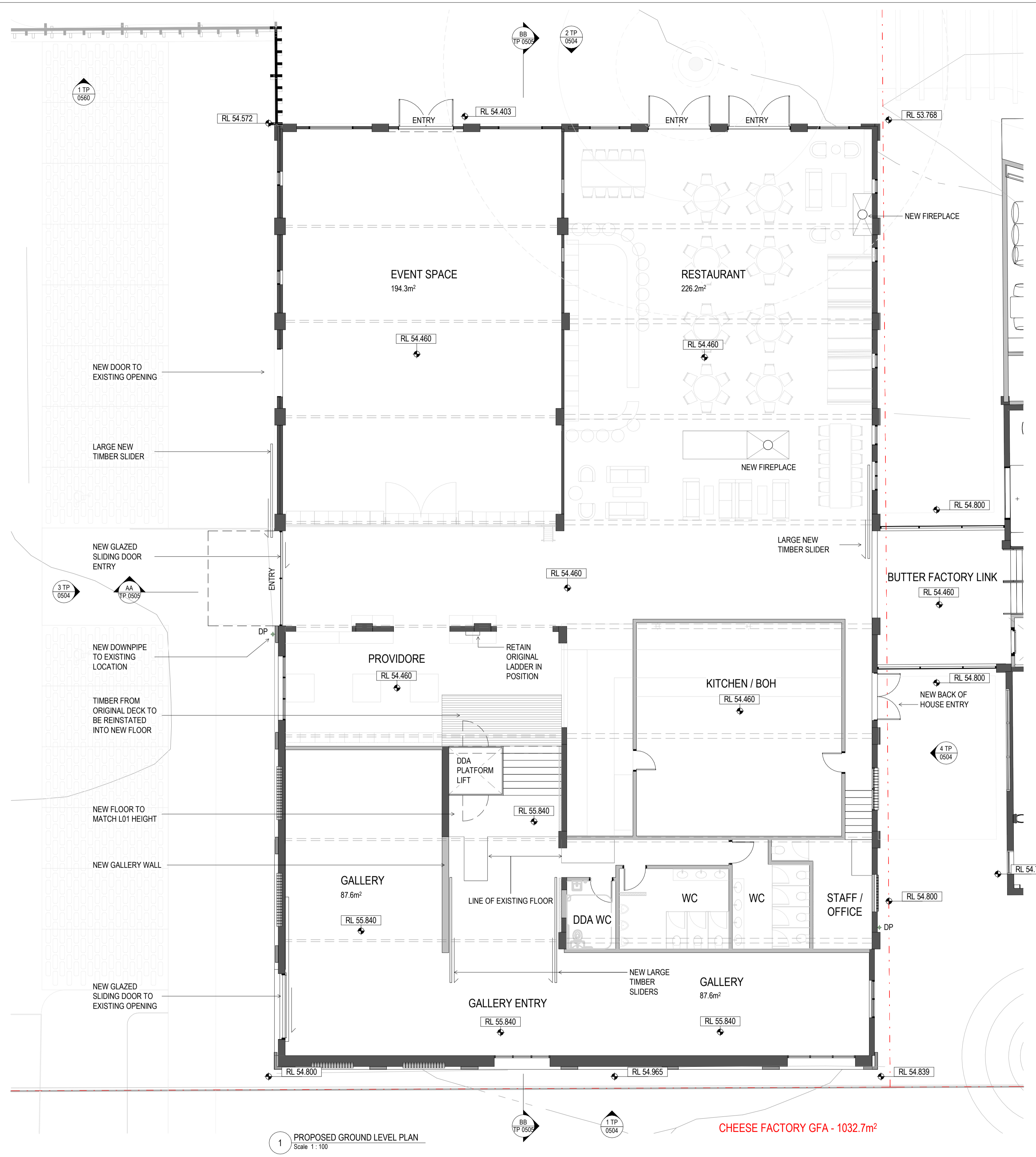
Client	Damien Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	BUTTER FACTORY PROPOSED PLANS - BUTTER FACTORY

Project No.	2248	Scale @ A1	1:100		
	Date		March 2023	Co-Ord	JL
Drawing Status	Preliminary	Drwn	AB	Chk	CL
Drawing No.	TP 0500	Revision	F		

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THE DISTANCE BETWEEN THESE MARKS SHOULD MEASURE AS 100mm WHEN SHEET IS PRINTED TO SCALE AS INDICATED



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1 PROPOSED GROUND LEVEL PLAN  
Scale 1:100

CHEESE FACTORY GFA - 1032.7m²

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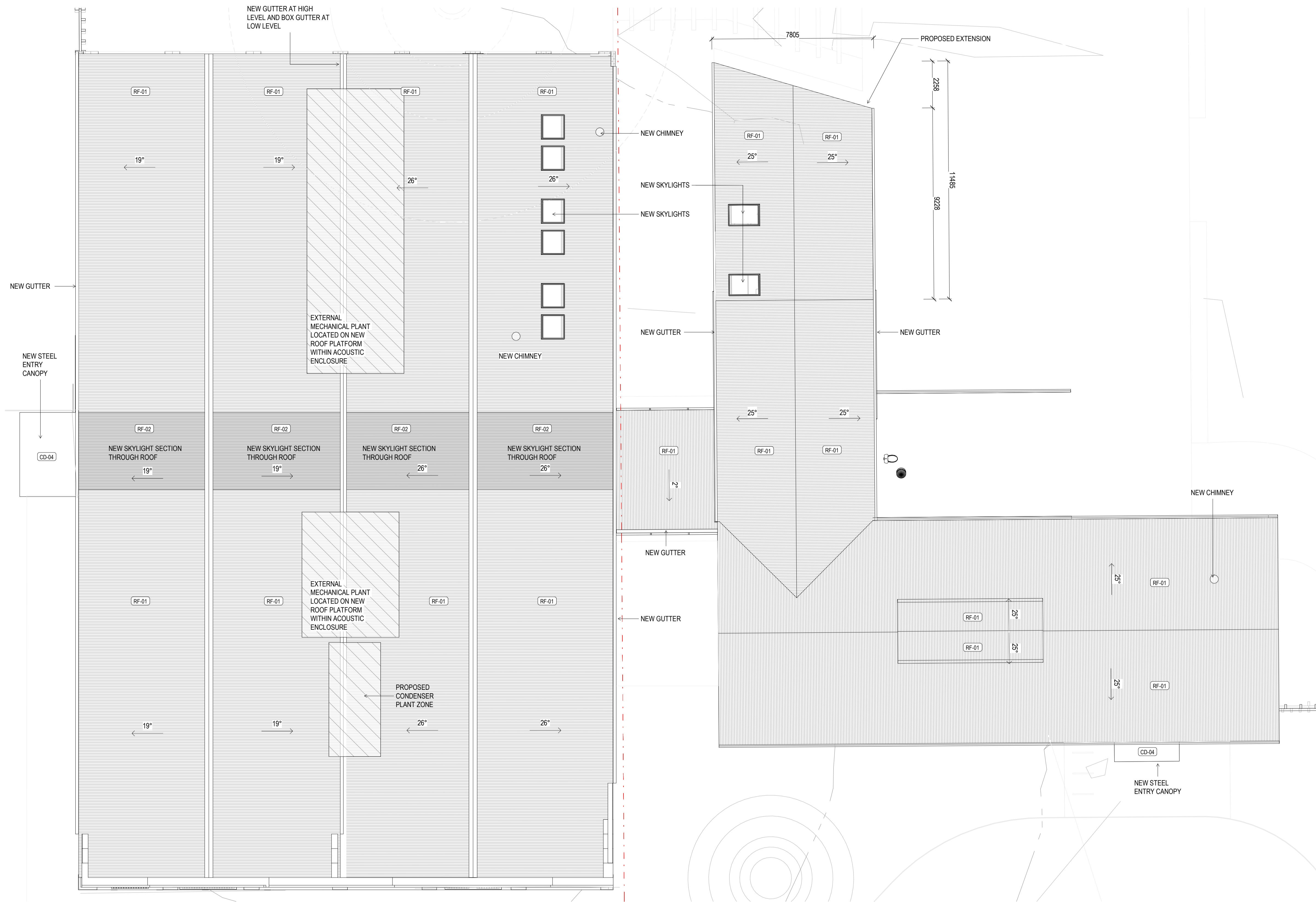
Client	Damien Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951		
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951		
Title	CHEESE FACTORY PROPOSED PLANS - CHEESE FACTORY		

	Project No.	2248	Scale @ A1	1:100
	Date	March 2023	Co-Ord	JL
Drawing Status	Drwn	AB	Check	CL
Drawing No.	Preliminary		Revision	F
	TP 0501			

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PROPOSED ROOF PLAN - CHEESE FACTORY  
Scale 1:100

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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	BUTTER FACTORY PROPOSED ROOF PLANS

	Project No.	2248	Scale @ A1	1 : 100	
	Date	March 2023	Co-Ord	JL	
Drawing Status	Preliminary	Drwn	AB	Chk	CL
Drawing No.	TP 0502	Revision	E		

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1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Project **Kongwak Butter and Cheese**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

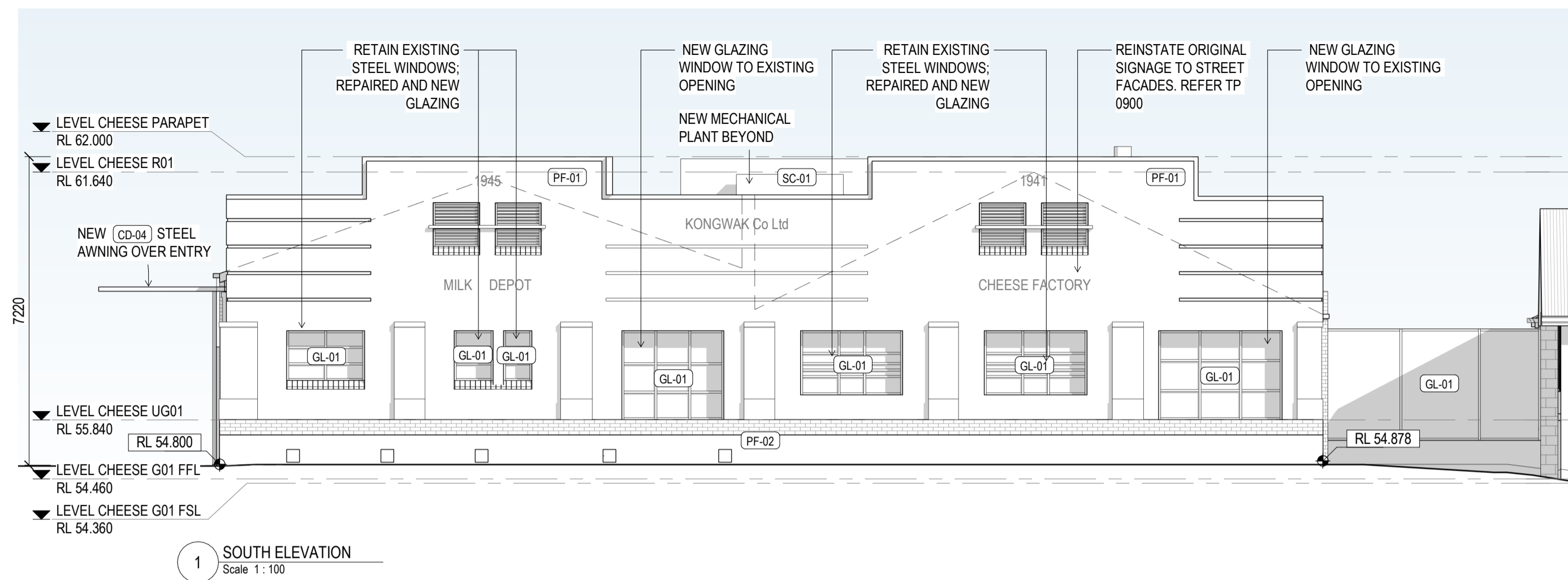
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**PROPOSED ELEVATIONS - BUTTER FACTORY**

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Date	March 2023	Co-Ord	JL
Drwn	AB	Chck	CL
Drawing Status	Preliminary		
Drawing No.	TP 0503	Revision	G

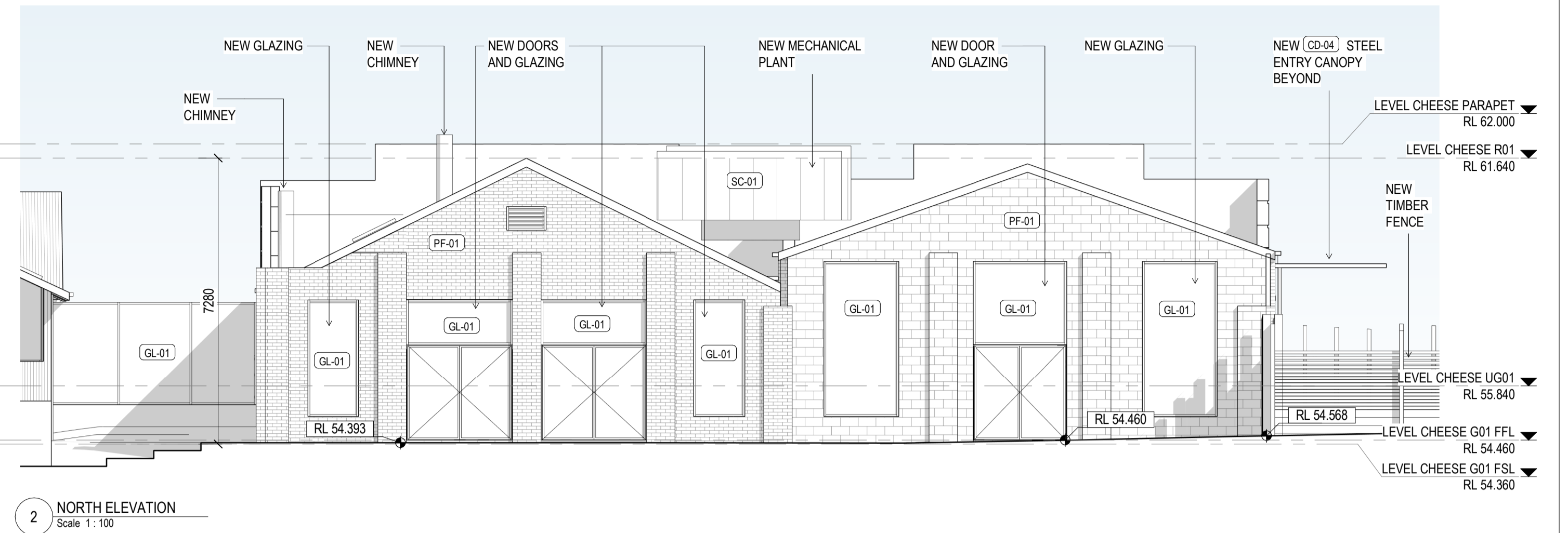
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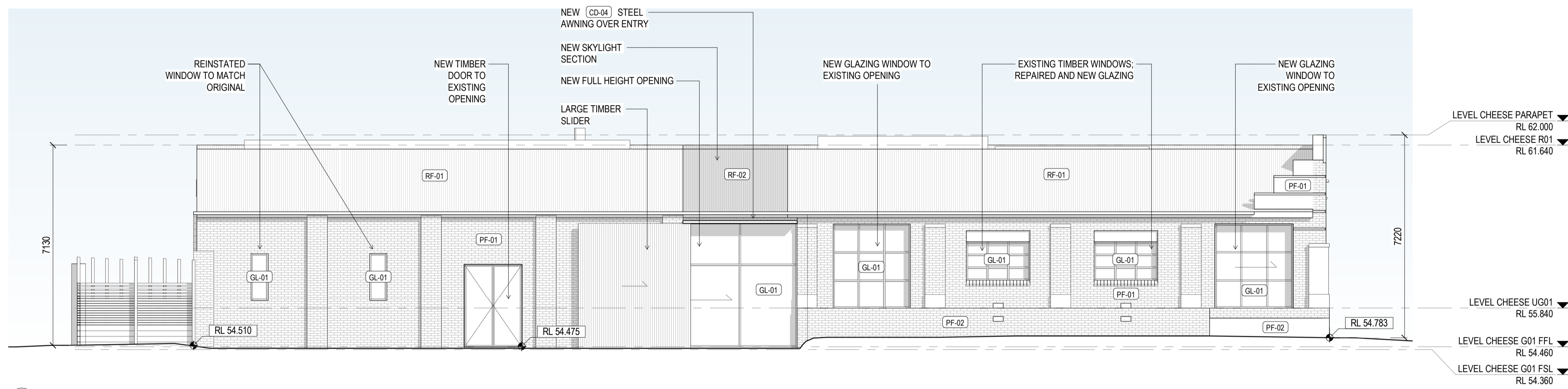
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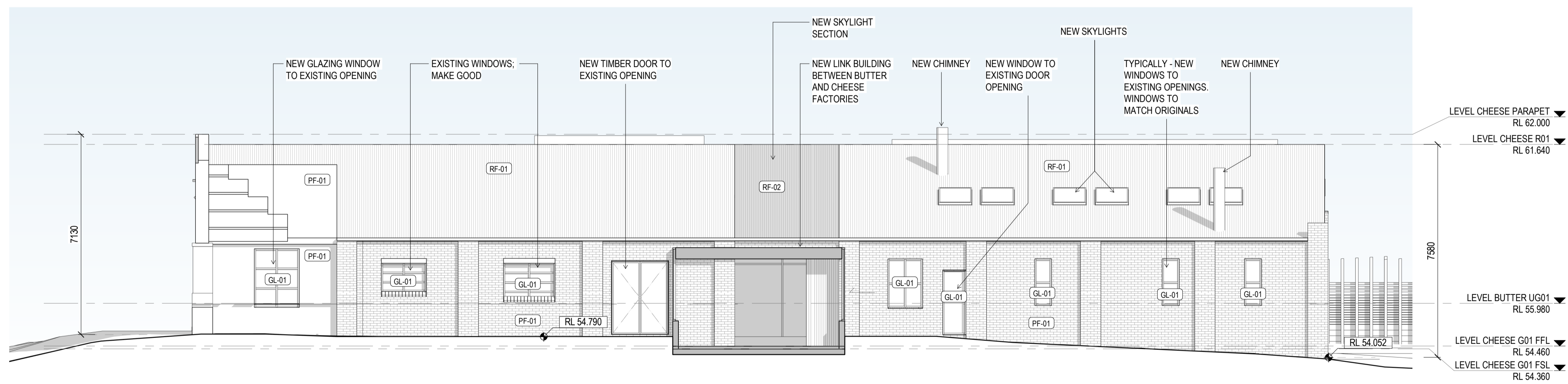
1 SOUTH ELEVATION  
Scale 1:100



2 NORTH ELEVATION  
Scale 1:100



3 WEST ELEVATION  
Scale 1:100



4 EAST ELEVATION  
Scale 1:100

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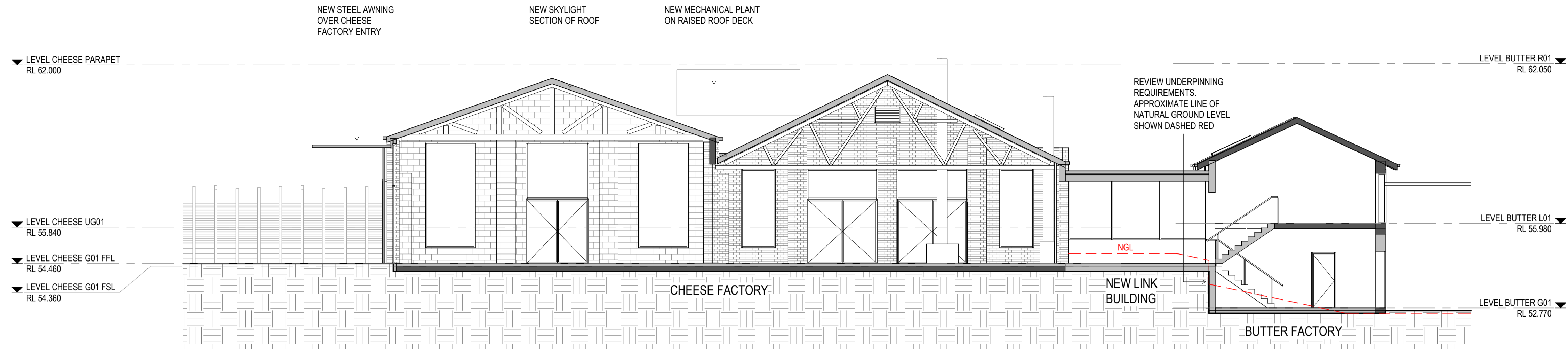
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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	CHEESE FACTORY PROPOSED ELEVATIONS - CHEESE FACTORY

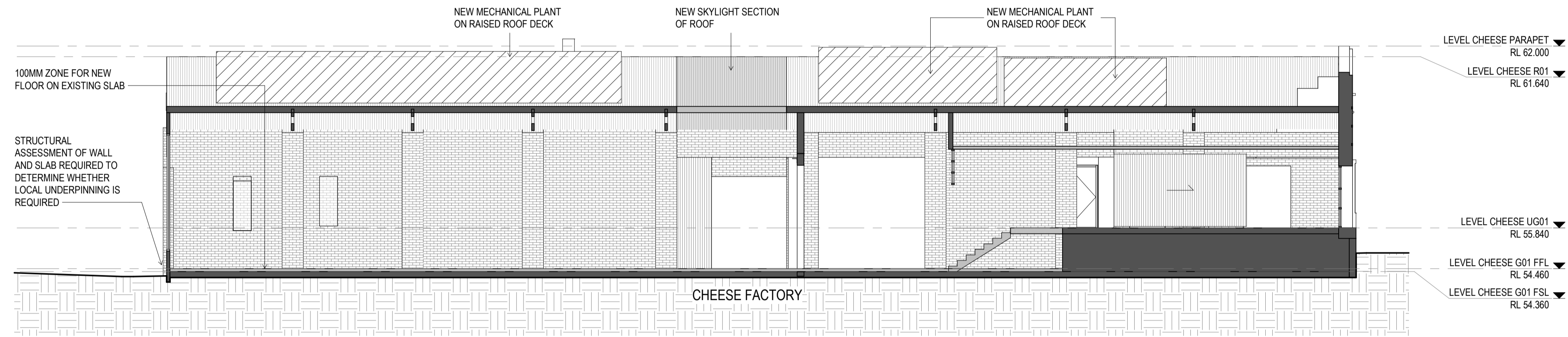
Project No.	2248	Scale @ A1	1:100
Date	May 2023	Co-Ord	JL
Drwn	AB	Check	CL
Drawing Status	Preliminary	Drawing No.	TP 0504
Revision	G		



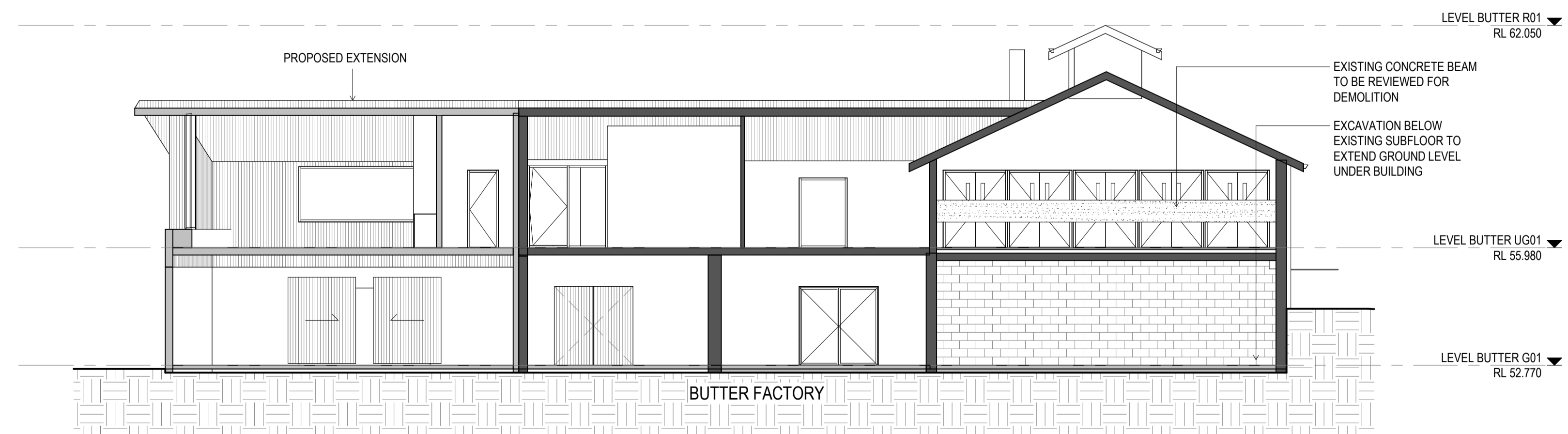
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AA CHEESE FACTORY - SECTION AA  
Scale 1:100



BB CHEESE FACTORY - SECTION BB  
Scale 1:100



CC BUTTER FACTORY - SECTION CC  
Scale 1:100

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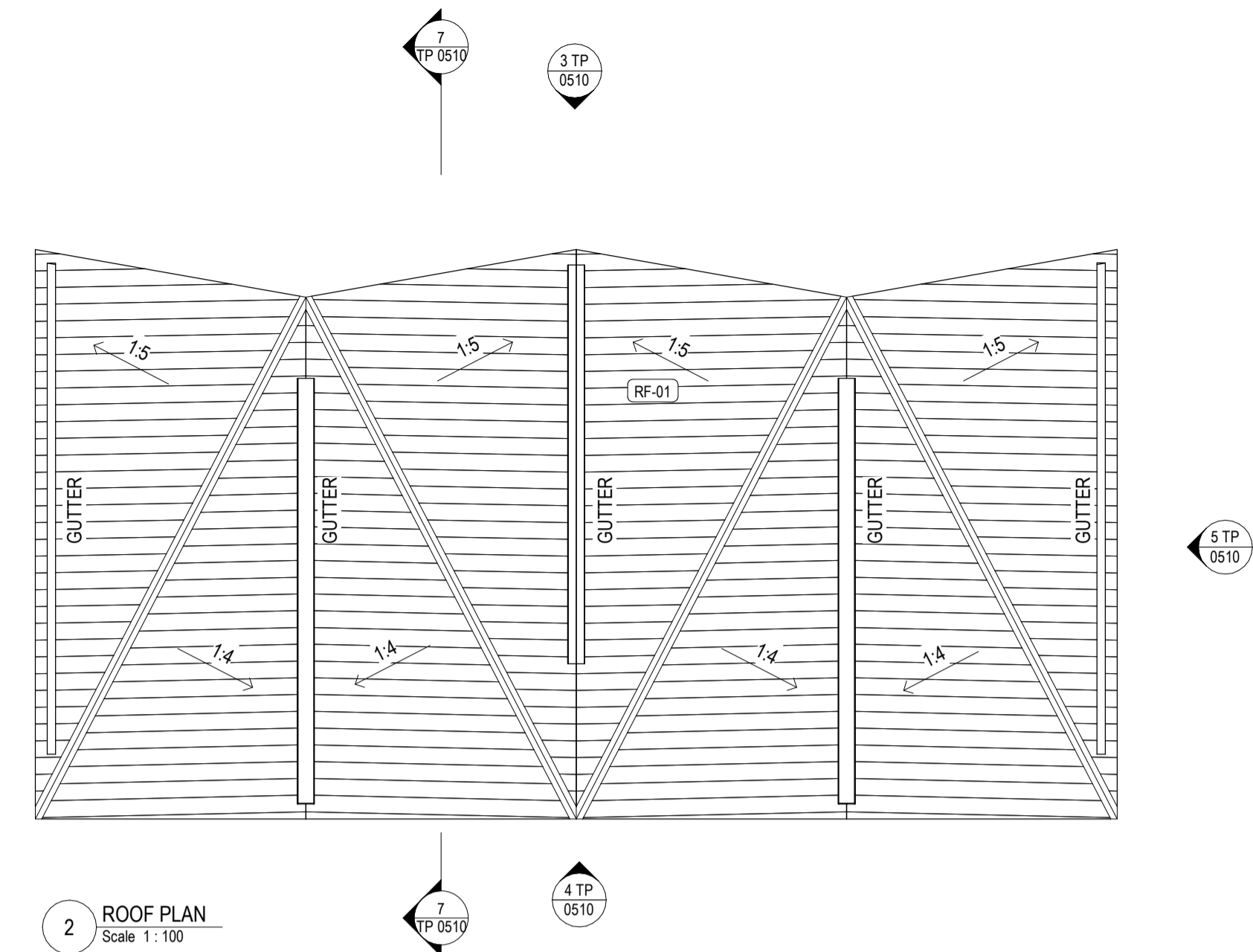
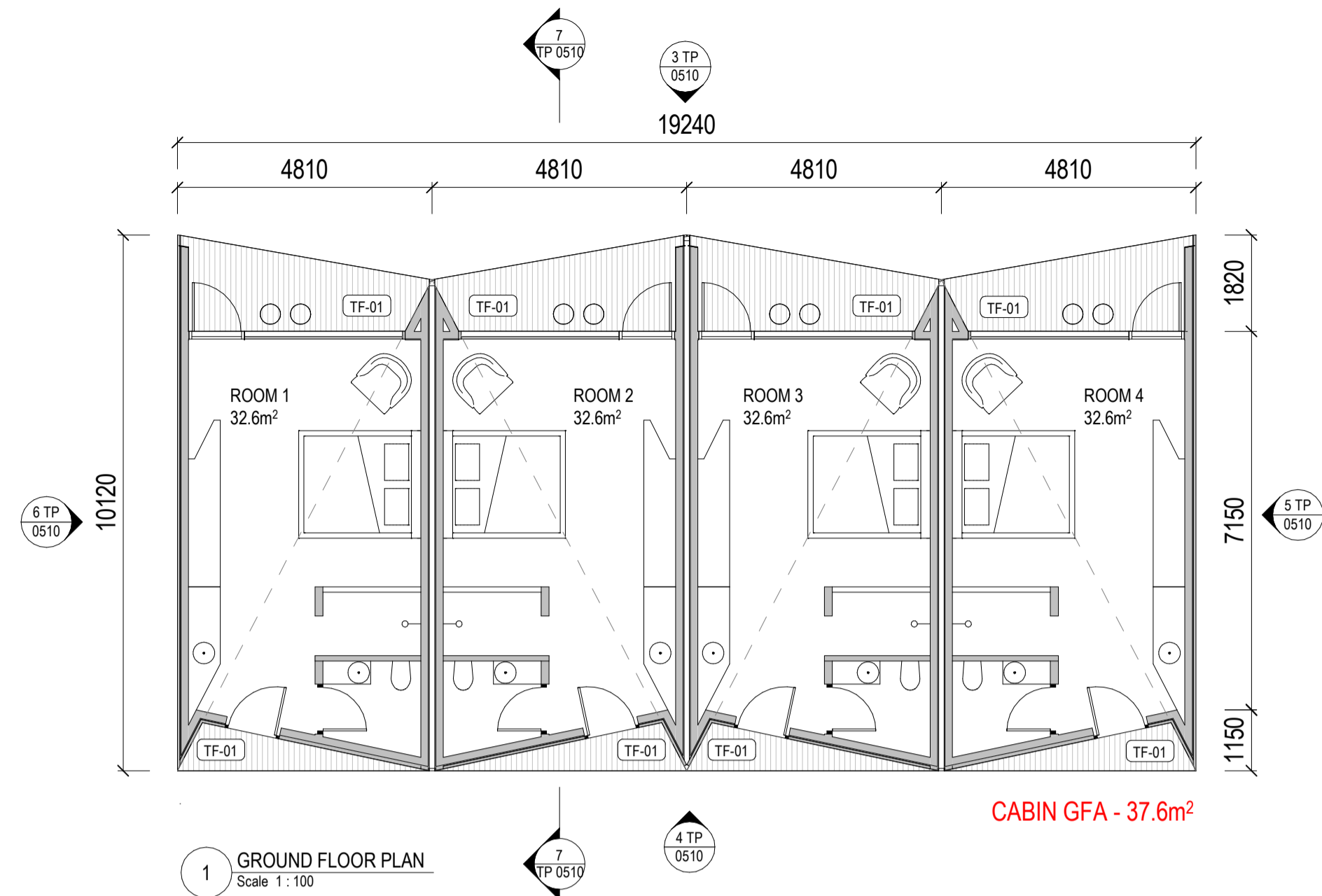
Project **Kongwak Butter and Cheese**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Title **CHEESE FACTORY  
PROPOSED SECTIONS**

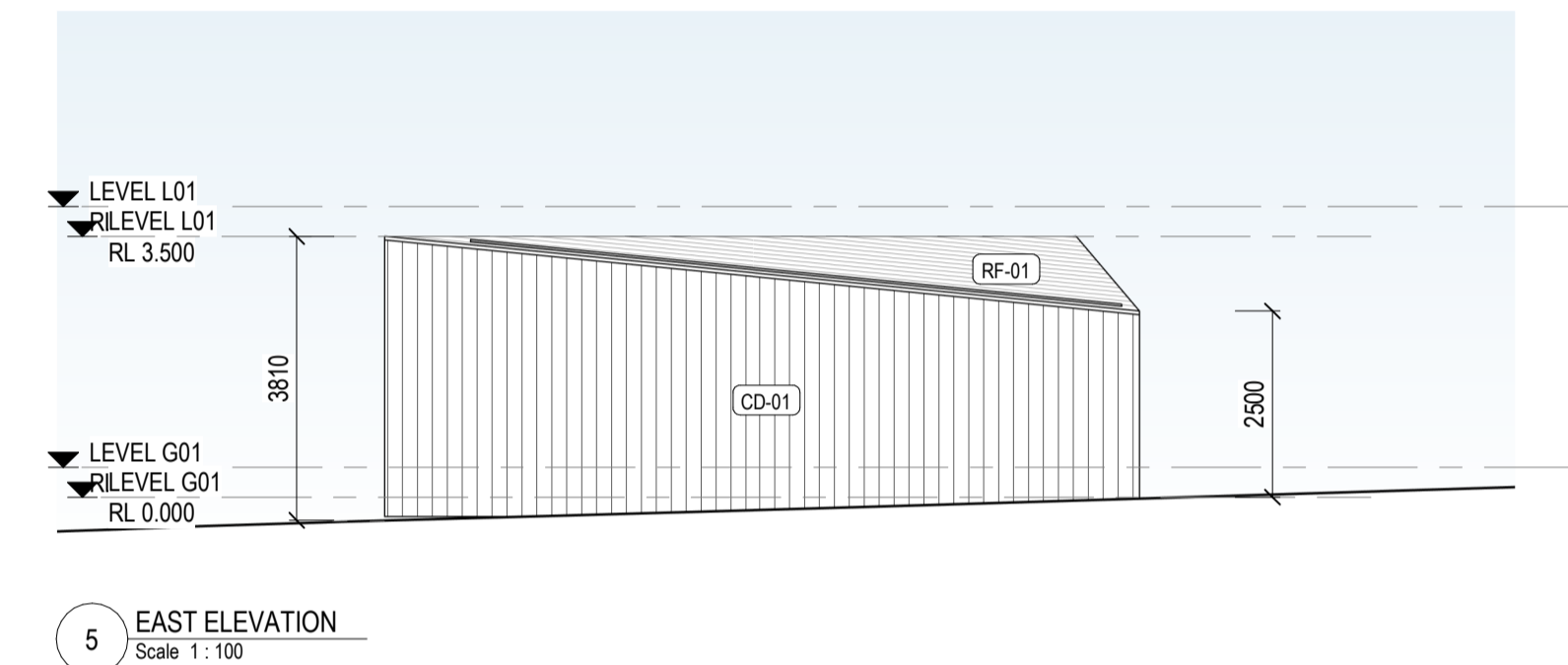
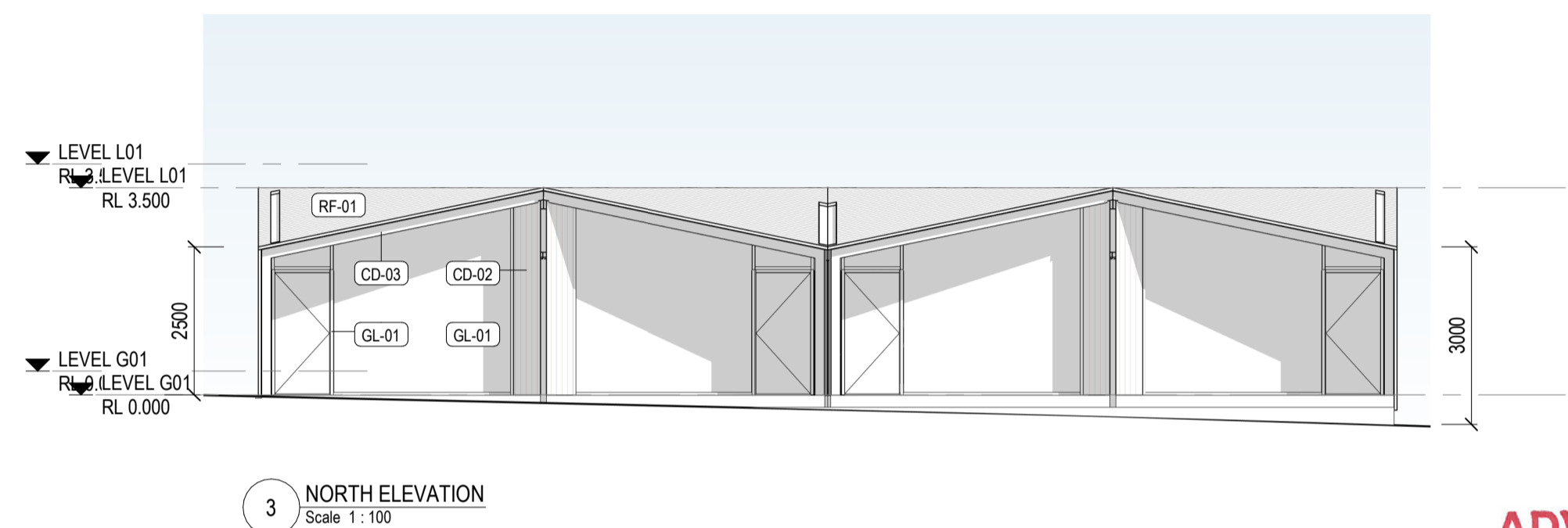
Project No.	2248	Scale @ A1	1:100
Date	May 2023	Co-Ord	JL
Drwn	AB	Chck	CL
Drawing Status	Preliminary		
Drawing No.	TP 0505	Revision	C

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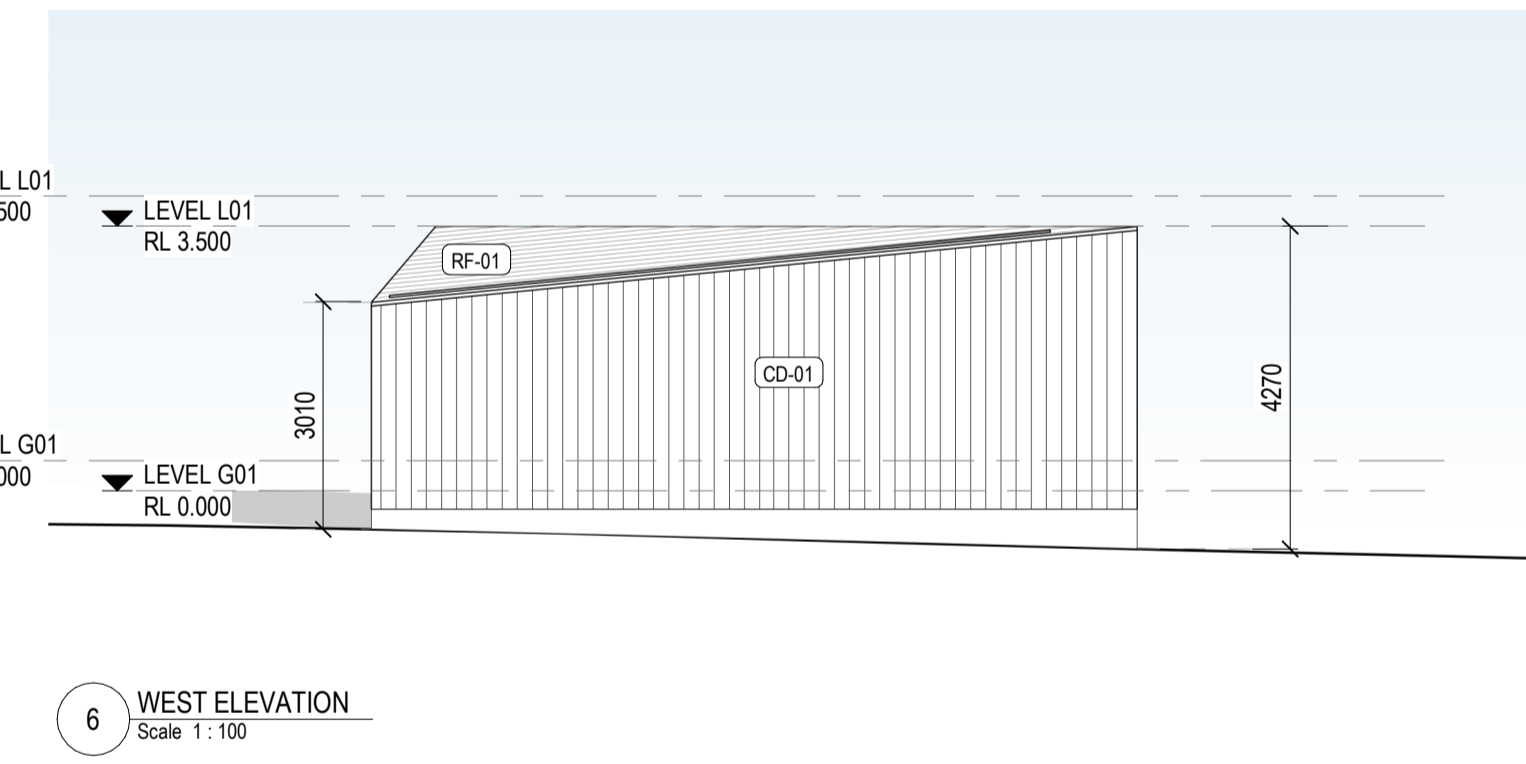
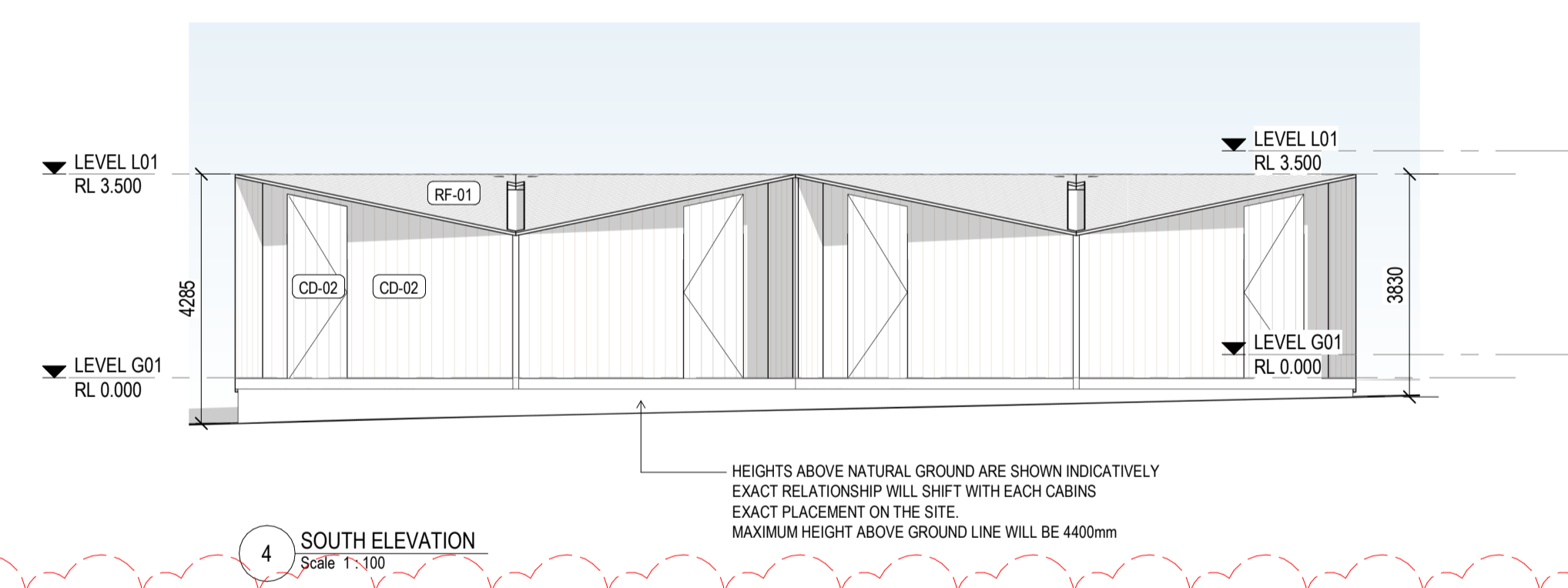




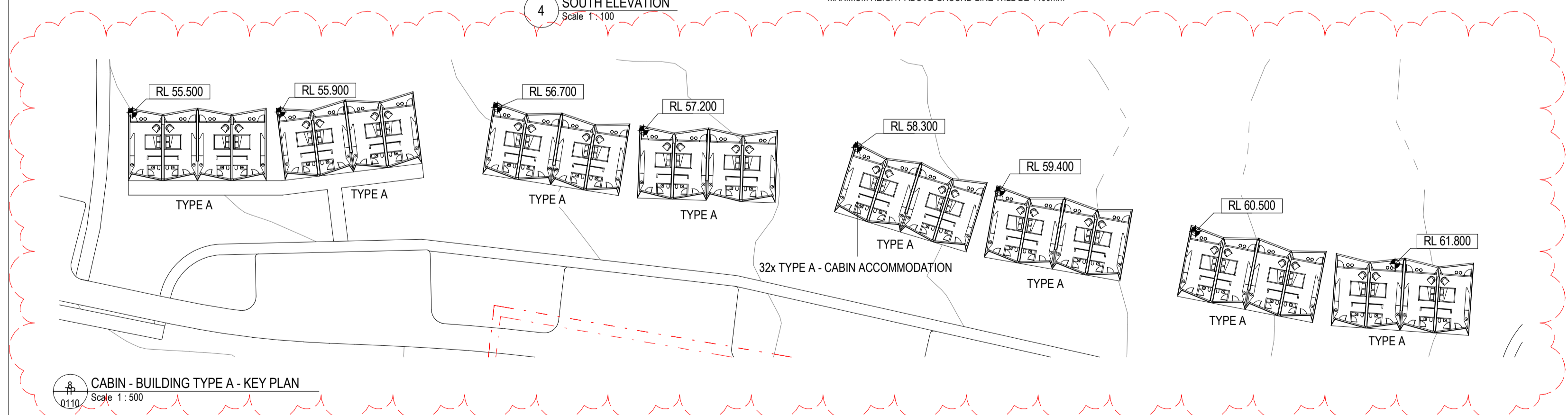
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ADVERTISED PLAN



- RF-01 Corrugated Sheet Galvanised Steel
- CD-01 Corrugated Sheet Galvanised Steel
- CD-02 Timber Cladding
- TF-01 Timber Deck
- GL-01 Windows Double Glazing



CABIN - BUILDING TYPE A - KEY PLAN Scale 1:500

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F		ISSUE FOR TOWN PLANNING	03/10/2023	CL
G		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

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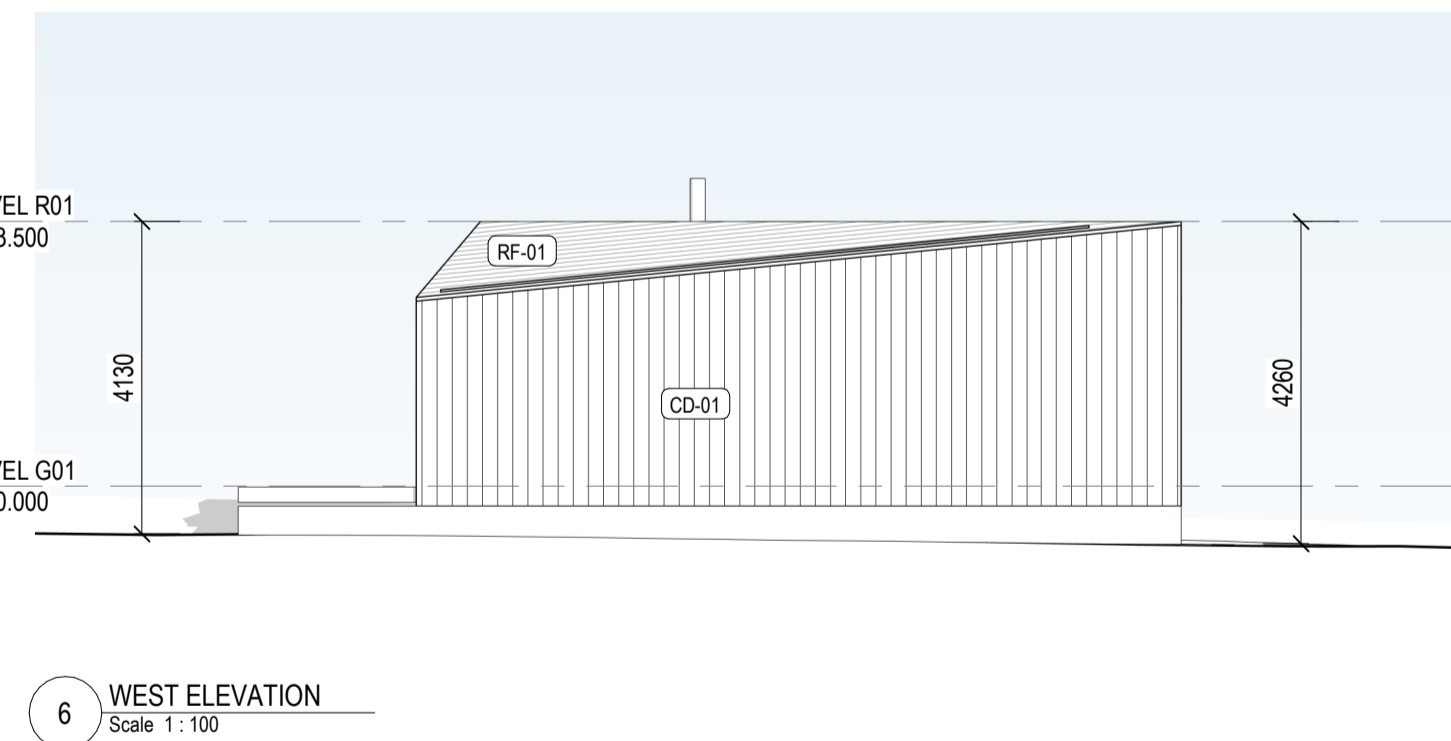
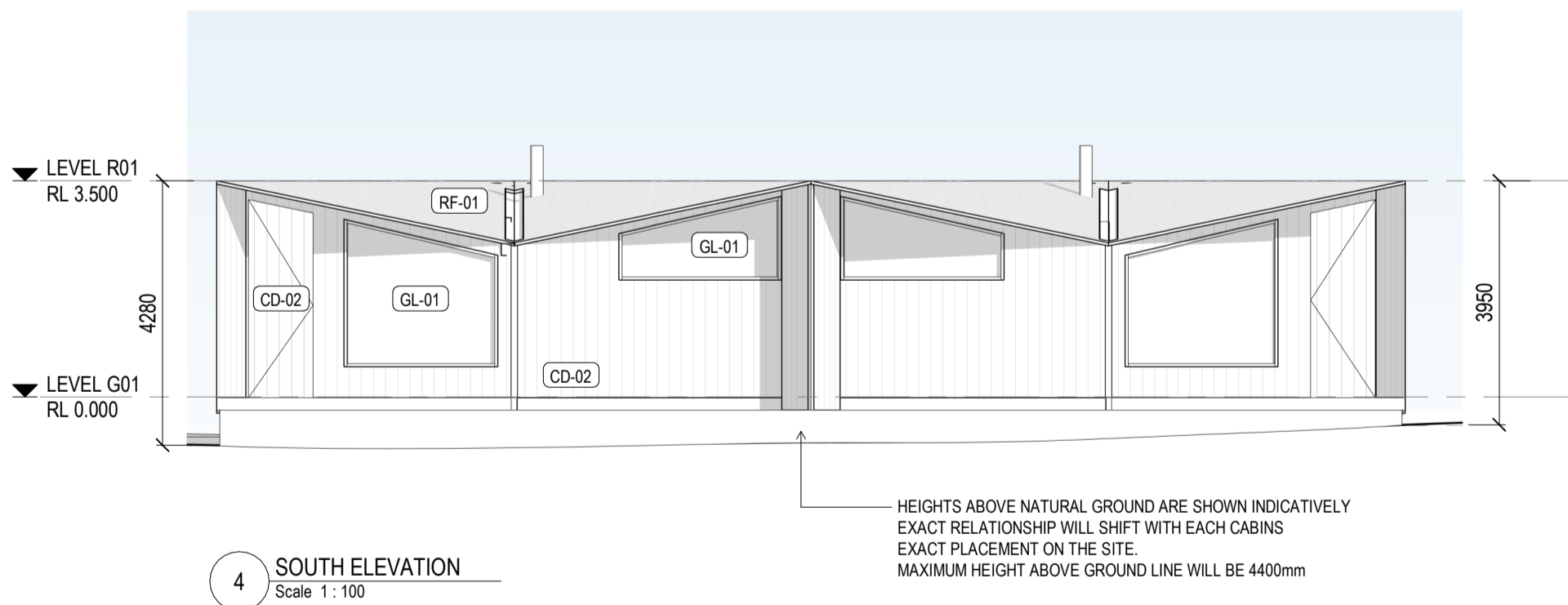
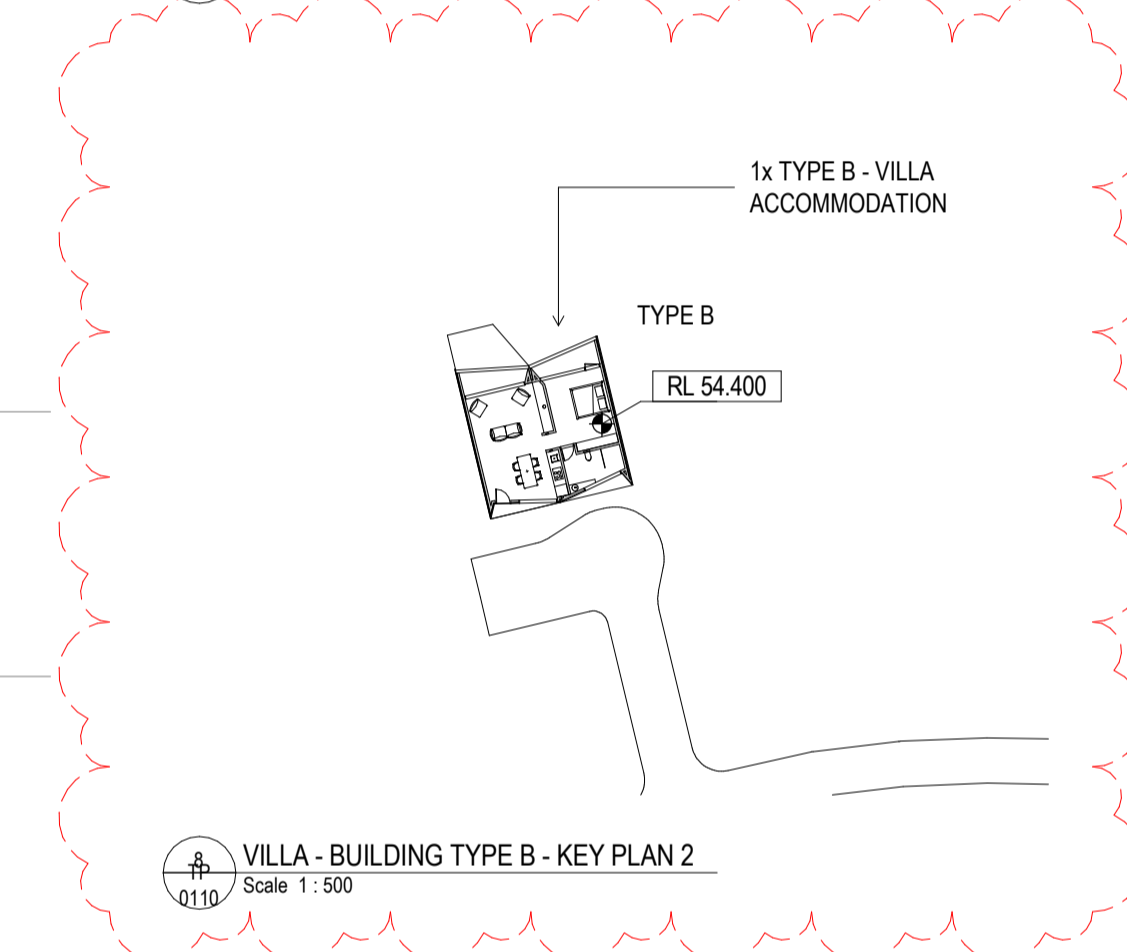
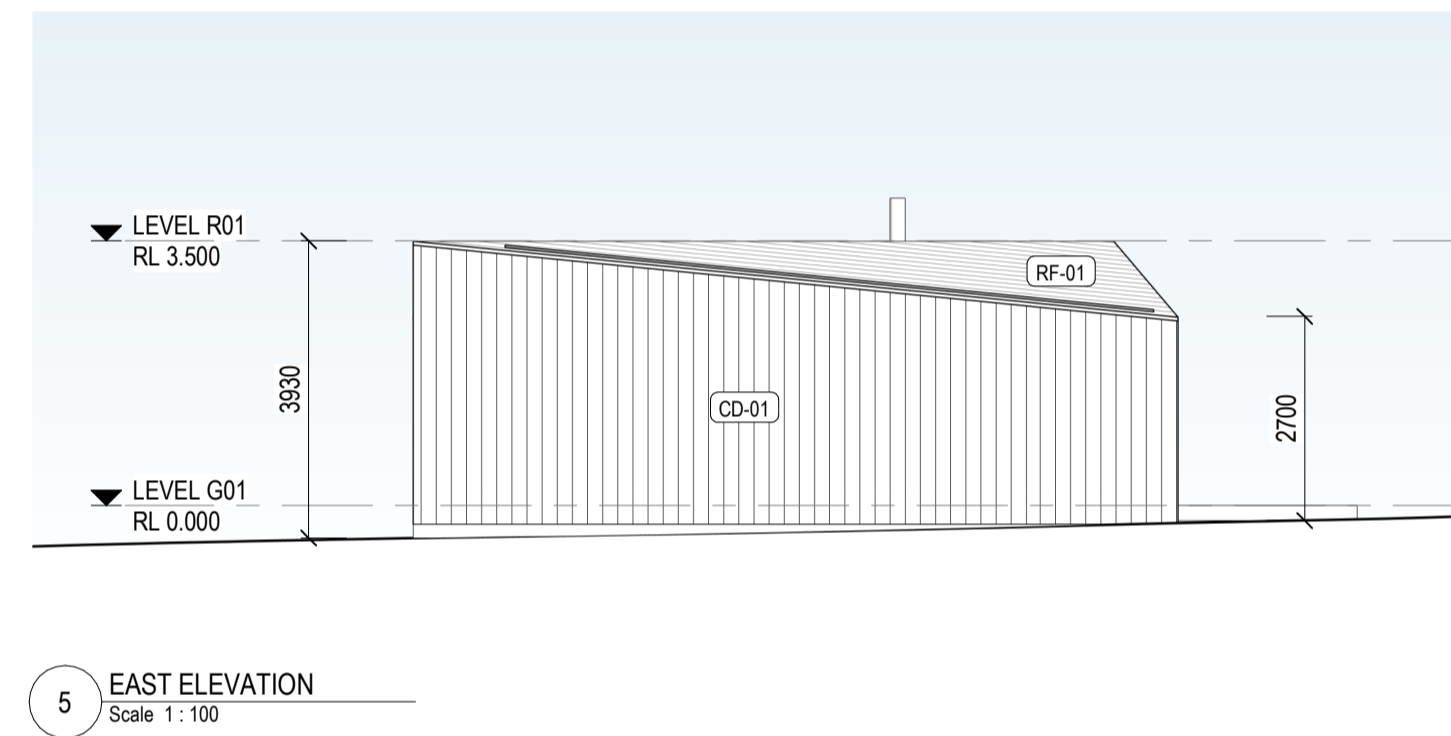
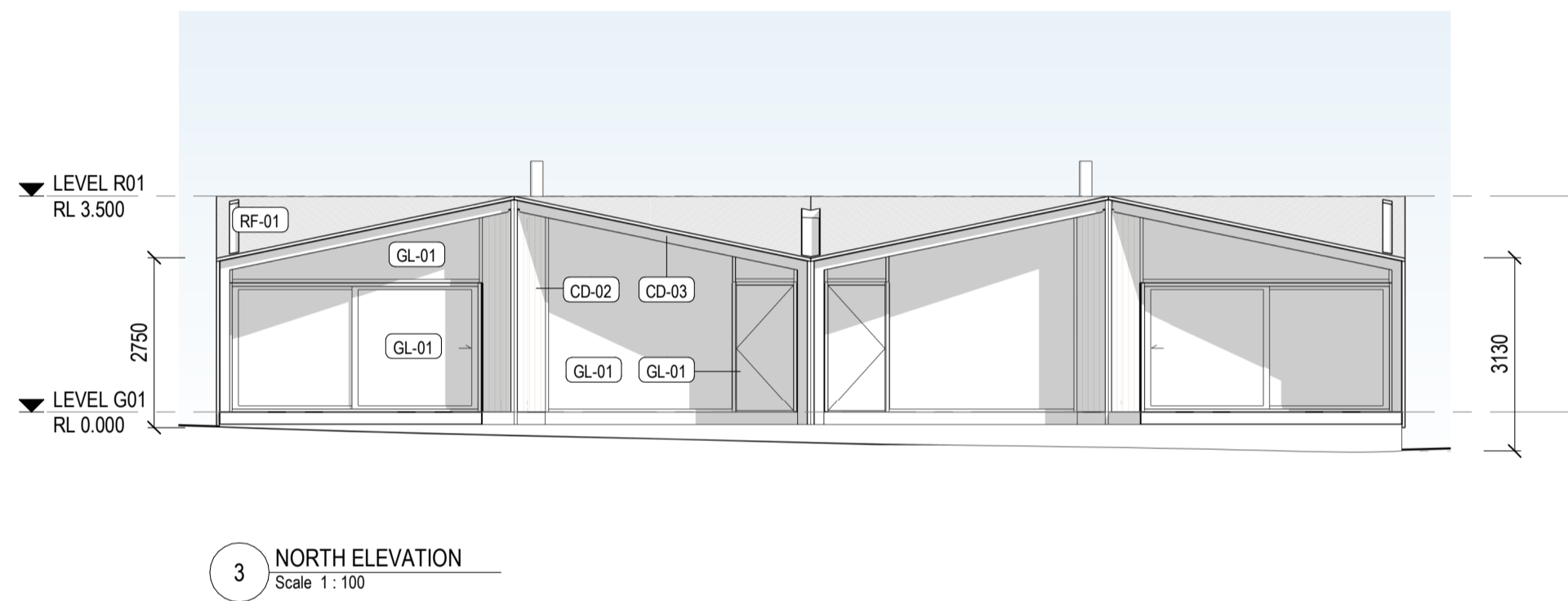
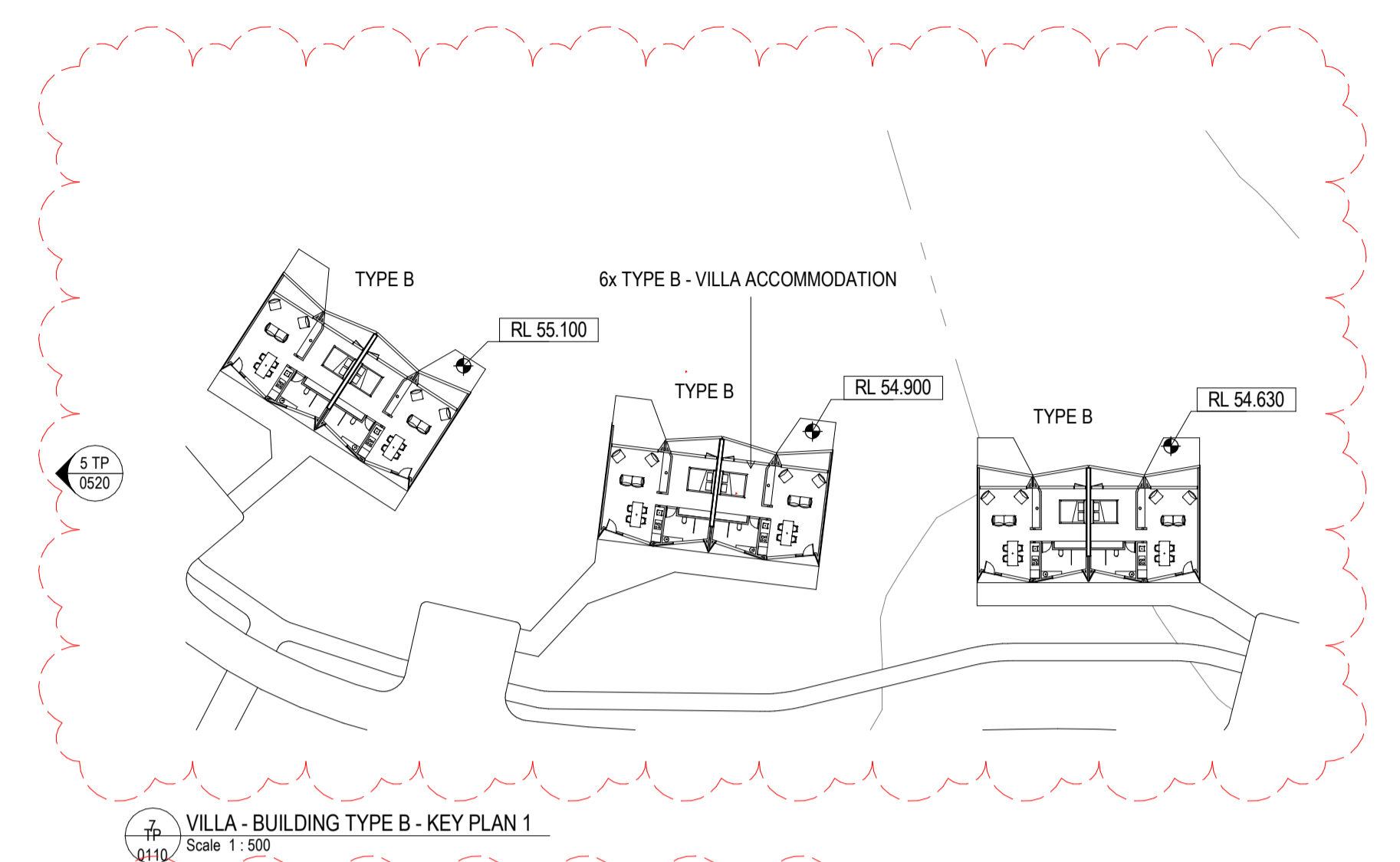
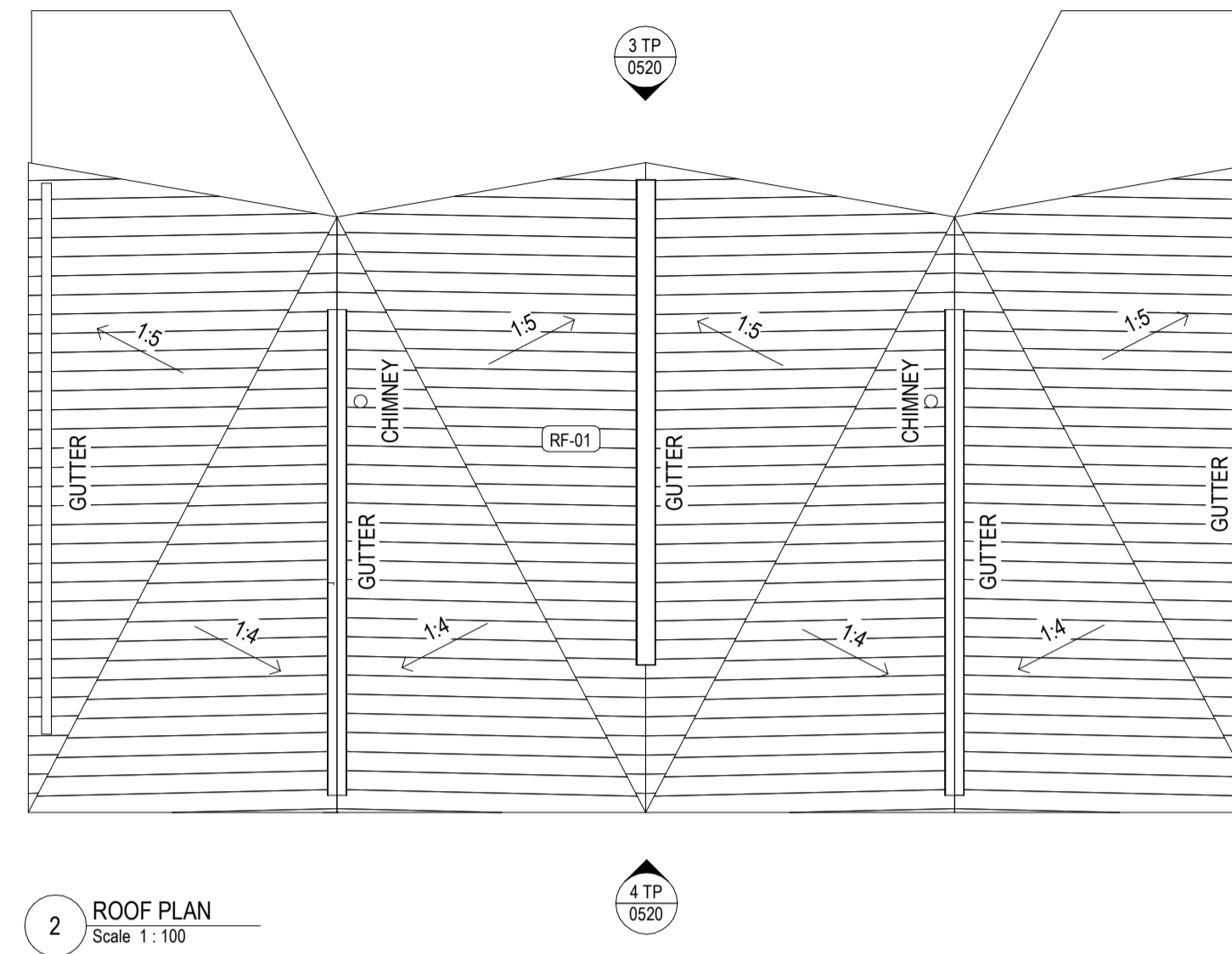
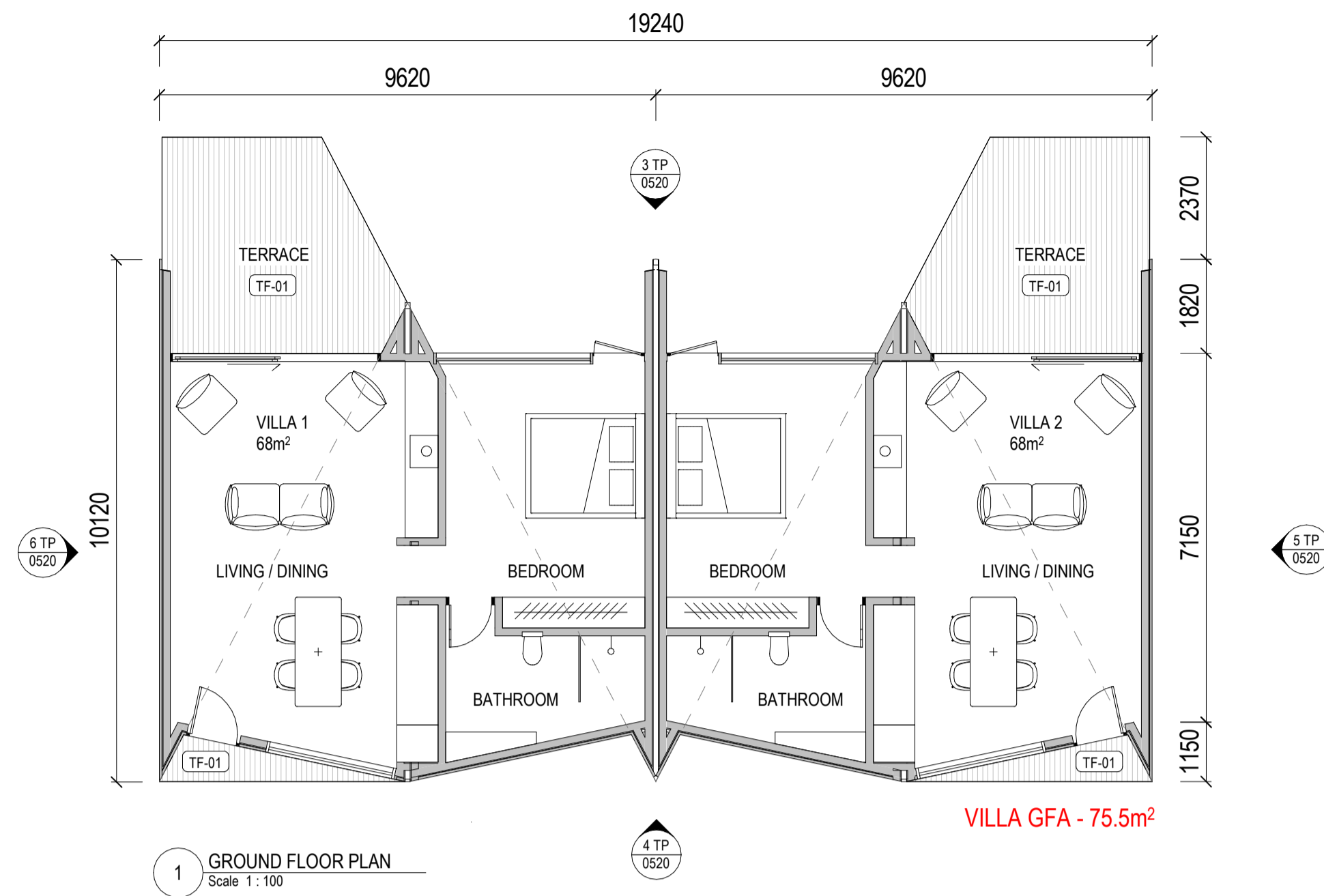
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Client	Damen Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	PROPOSED FLOOR PLANS & ELEVATIONS CABIN - BUILDING TYPE A

Project No.	2248	Scale @ A1	As indicated
	Date		March 2023
Drawing Status	Preliminary	Drawing No.	TP 0510
	Revision		G



THE DISTANCE BETWEEN THESE MARKS SHOULD MEASURE AS 100mm WHEN SHEET IS PRINTED TO SCALE AS INDICATED



HEIGHTS ABOVE NATURAL GROUND ARE SHOWN INDICATIVELY  
EXACT RELATIONSHIP WILL SHIFT WITH EACH CABINS  
EXACT PLACEMENT ON THE SITE.  
MAXIMUM HEIGHT ABOVE GROUND LINE WILL BE 4400mm

- RF-01**  
Corrugated Sheet  
Galvanised Steel
- CD-01**  
Corrugated Sheet  
Galvanised Steel
- CD-02**  
Timber Cladding
- TF-01**  
Timber Deck
- GL-01**  
Windows  
Double Glazing

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B		DRAFT ISSUE - FOR INFORMATION ONLY	23/05/2023	CL
C	All	DRAFT ISSUE - FOR INFORMATION ONLY	29/05/2023	CL
D		DRAFT ISSUE - FOR INFORMATION ONLY	16/06/2023	CL
E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
F		ISSUE FOR TOWN PLANNING	03/10/2023	CL
G		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

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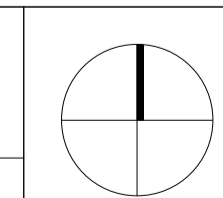
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Client **Damien Backholer & Gemma Cosgriff**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Project **Kongwak Butter and Cheese**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Title **PROPOSED FLOOR PLANS & ELEVATIONS**  
VILLA - BUILDING TYPE B



Project No.	<b>2248</b>	Scale @ A1	<b>As indicated</b>
Date	March 2023	Co-Ord	JL
Drwn	AB	Chck	CL

Drawing Status **Preliminary**

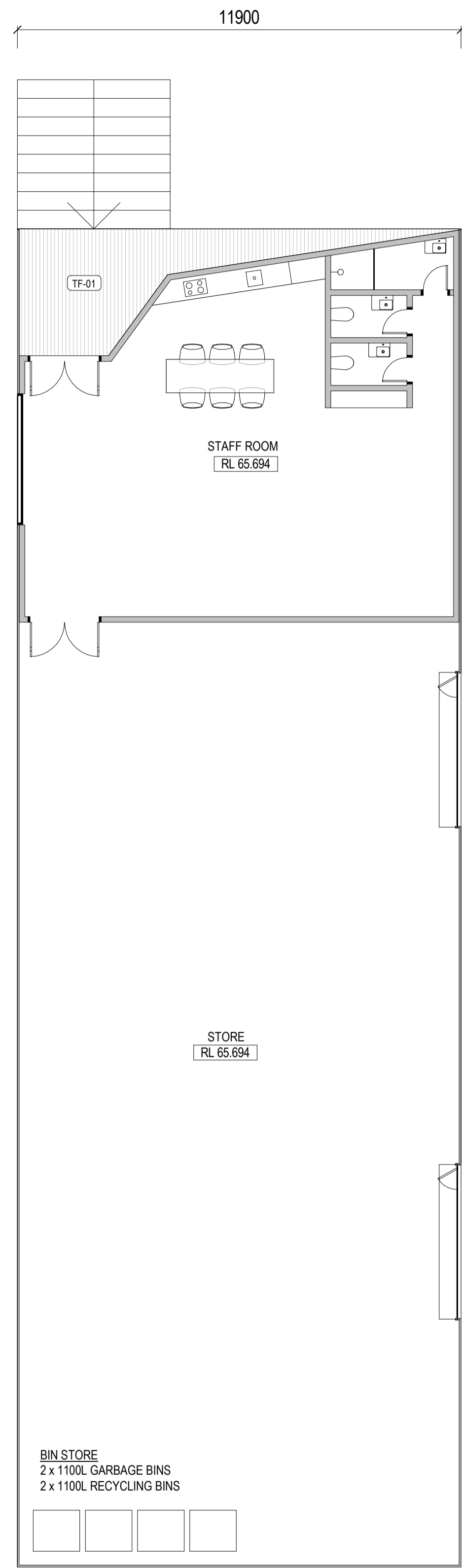
Drawing No.	<b>TP 0520</b>	Revision	<b>G</b>
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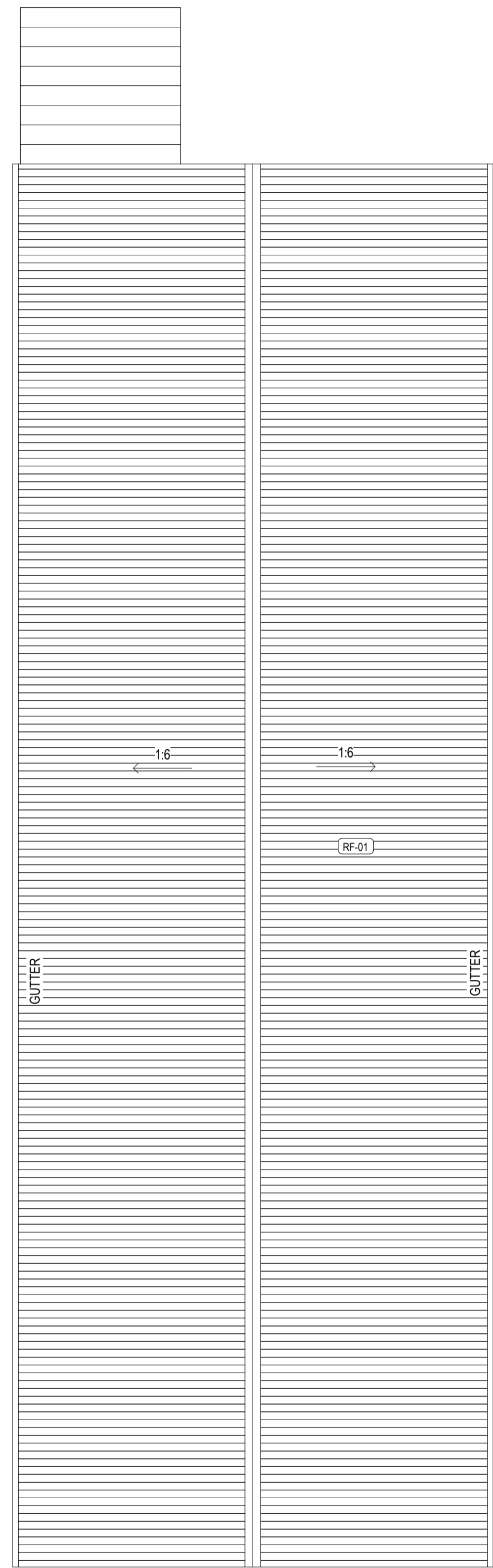




THE DISTANCE BETWEEN THESE MARKS SHOULD MEASURE AS 100mm WHEN SHEET IS PRINTED TO SCALE AS INDICATED

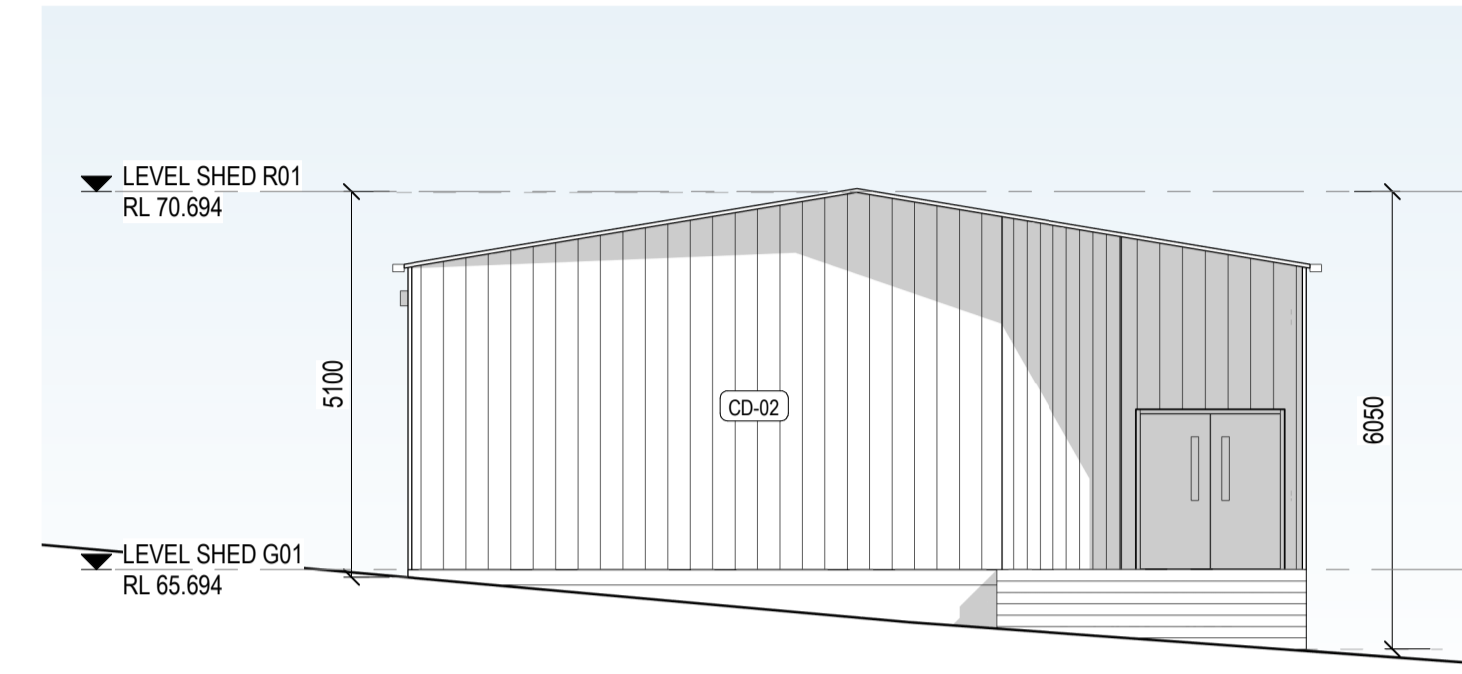


1 GROUND FLOOR PLAN  
Scale 1:100

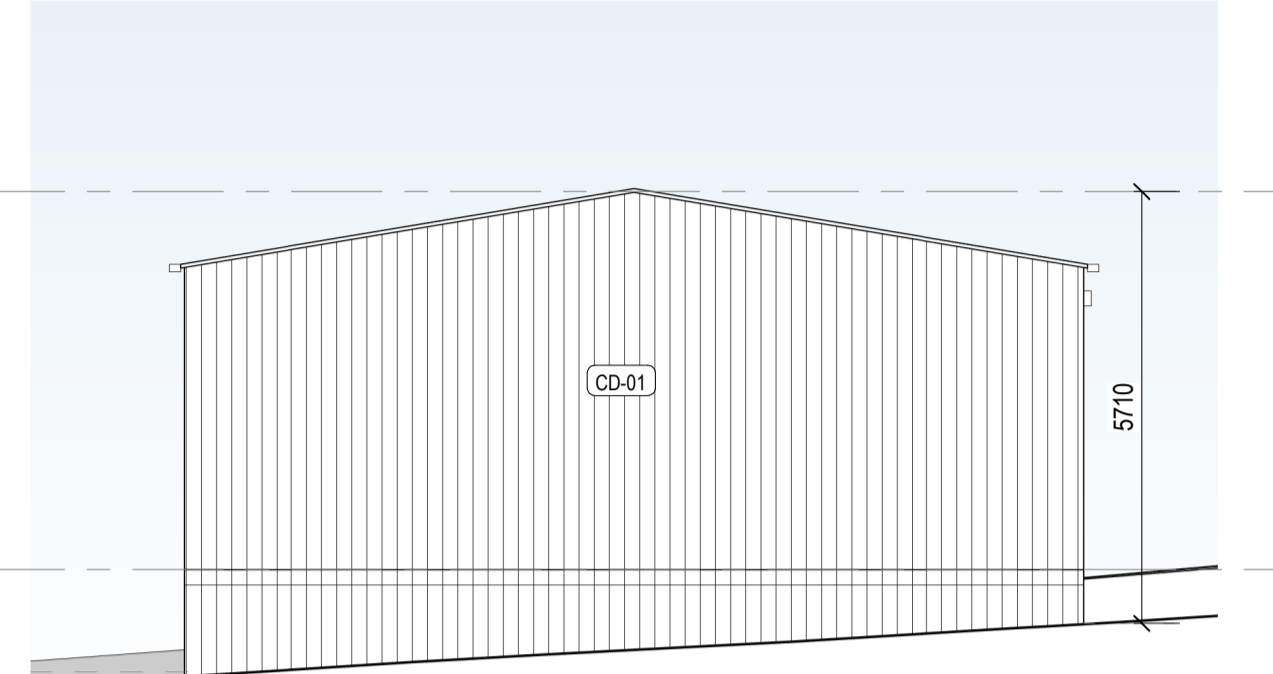


6 ROOF PLAN  
Scale 1:100

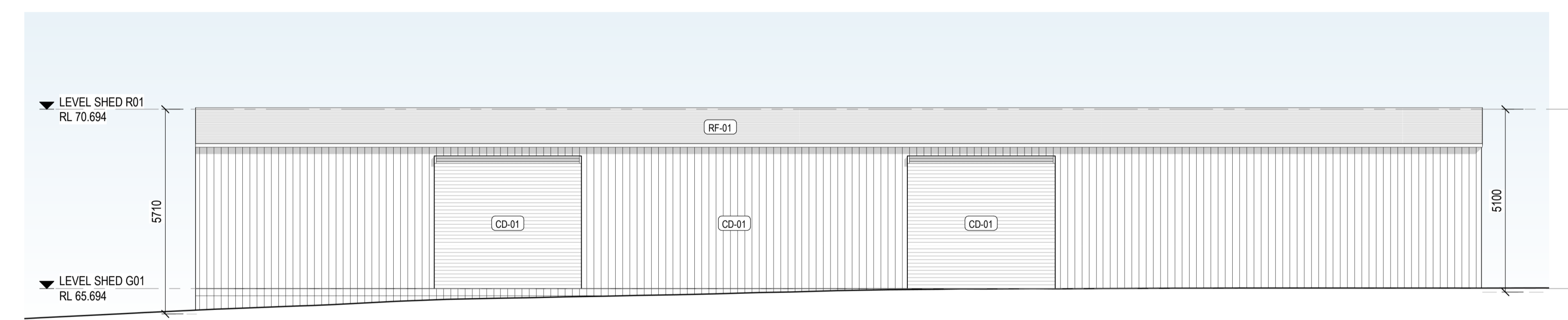
**RF-01** Corrugated Sheet Galvanised Steel  
**CD-01** Corrugated Sheet Galvanised Steel  
**CD-02** Timber Cladding  
**TF-01** Timber Deck  
**GL-01** Windows Double Glazing



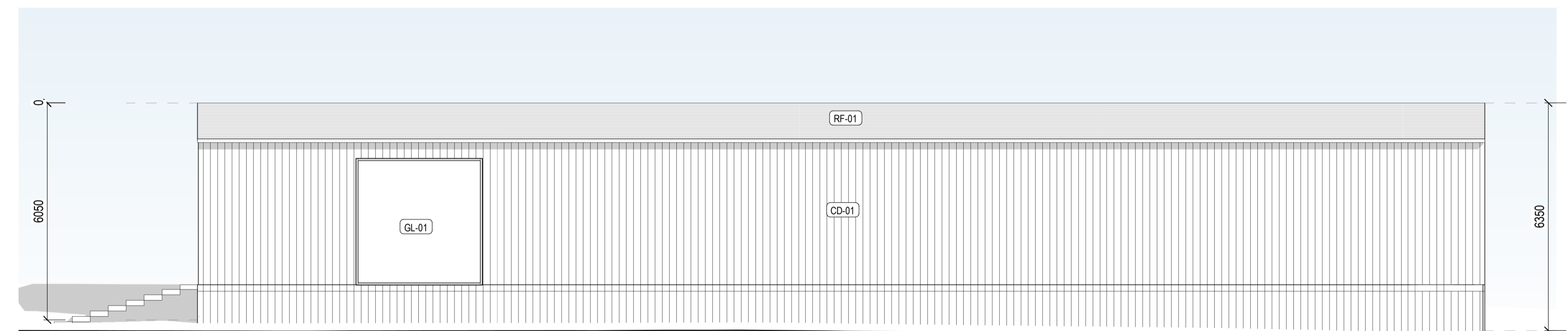
3 NORTH ELEVATION  
Scale 1:100



4 SOUTH ELEVATION  
Scale 1:100



2 EAST ELEVATION  
Scale 1:100



5 WEST ELEVATION  
Scale 1:100

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D	DRAFT ISSUE - FOR INFORMATION ONLY		16/06/2023	CL
E	ISSUE FOR TOWN PLANNING		31/07/2023	CL
F	ISSUE FOR TOWN PLANNING		03/10/2023	CL
G	ISSUE FOR TOWN PLANNING - RFI RESPONSE		17/05/2024	CL

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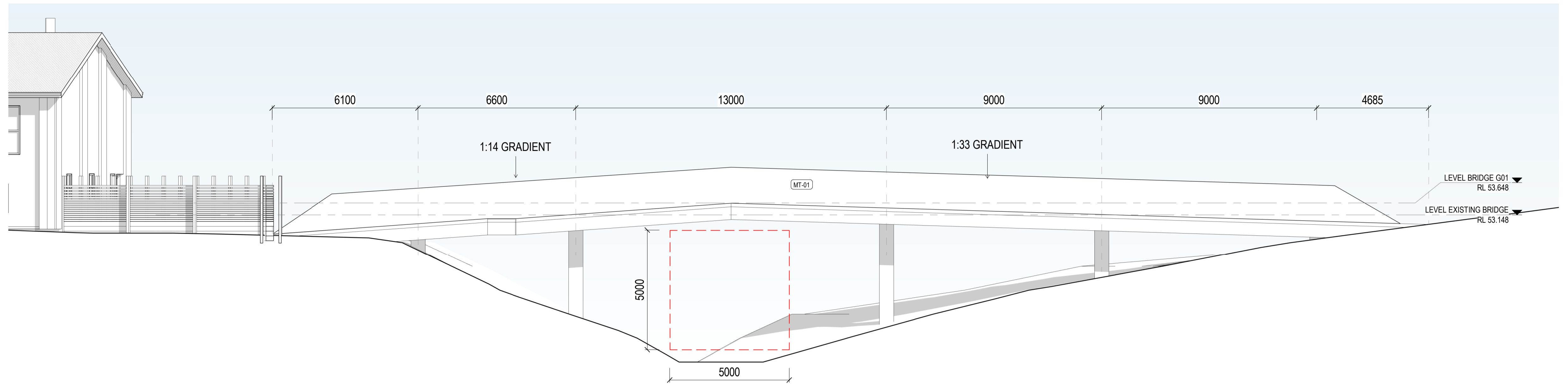
Client	Damien Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	PROPOSED FLOOR PLANS & ELEVATIONS SHED

Project No.	2248	Scale @ A1	1:100
Date	March 2023	Co-Ord	JL
Drwn	AB	Chk	CL
Drawing Status	Preliminary		
Drawing No.	TP 0540	Revision	G

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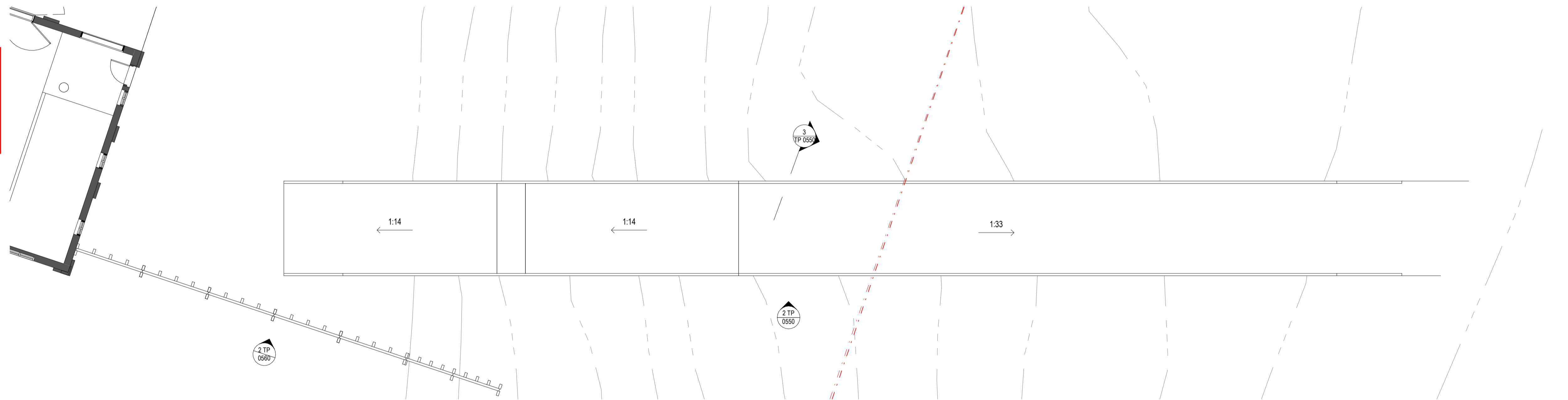


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TP - BRIDGE - SOUTH ELEVATION  
Scale 1:100

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BRIDGE PLAN  
Scale 1:100

**ADVERTISED PLAN**



BRIDGE SECTION  
Scale 1:100

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E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
F		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

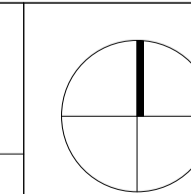
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1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Project **Kongwak Butter and Cheese**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

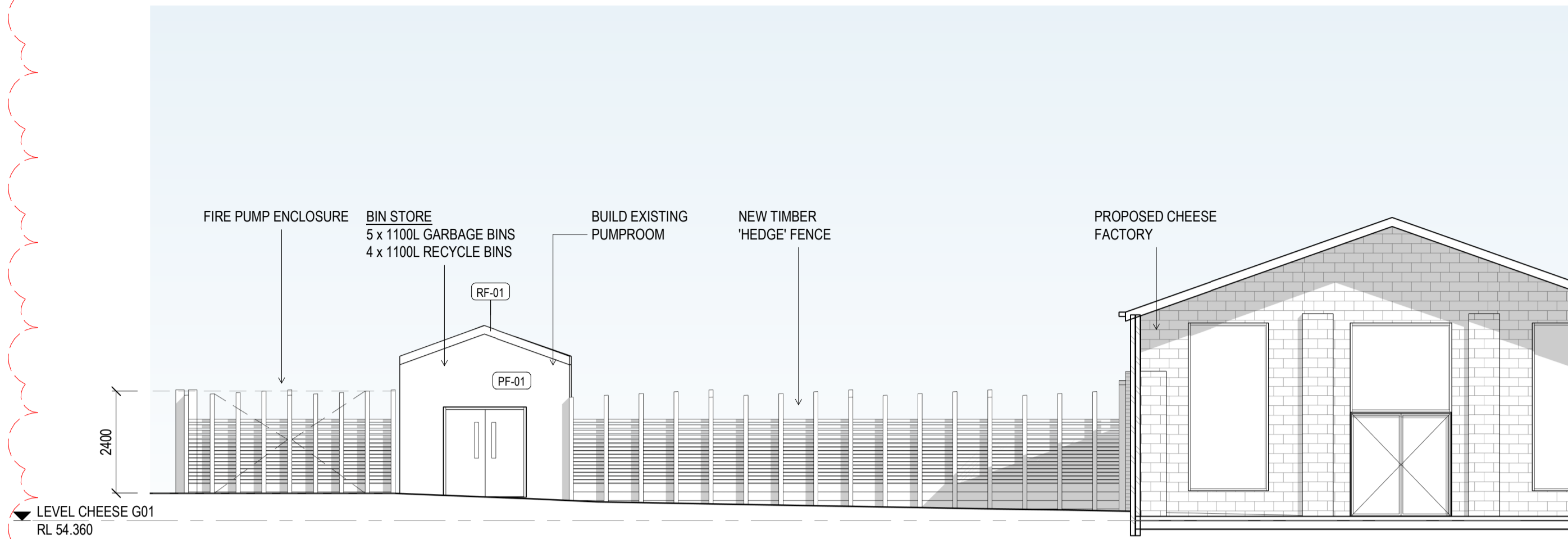
Title **PROPOSED FLOOR PLANS & ELEVATIONS  
BRIDGE**



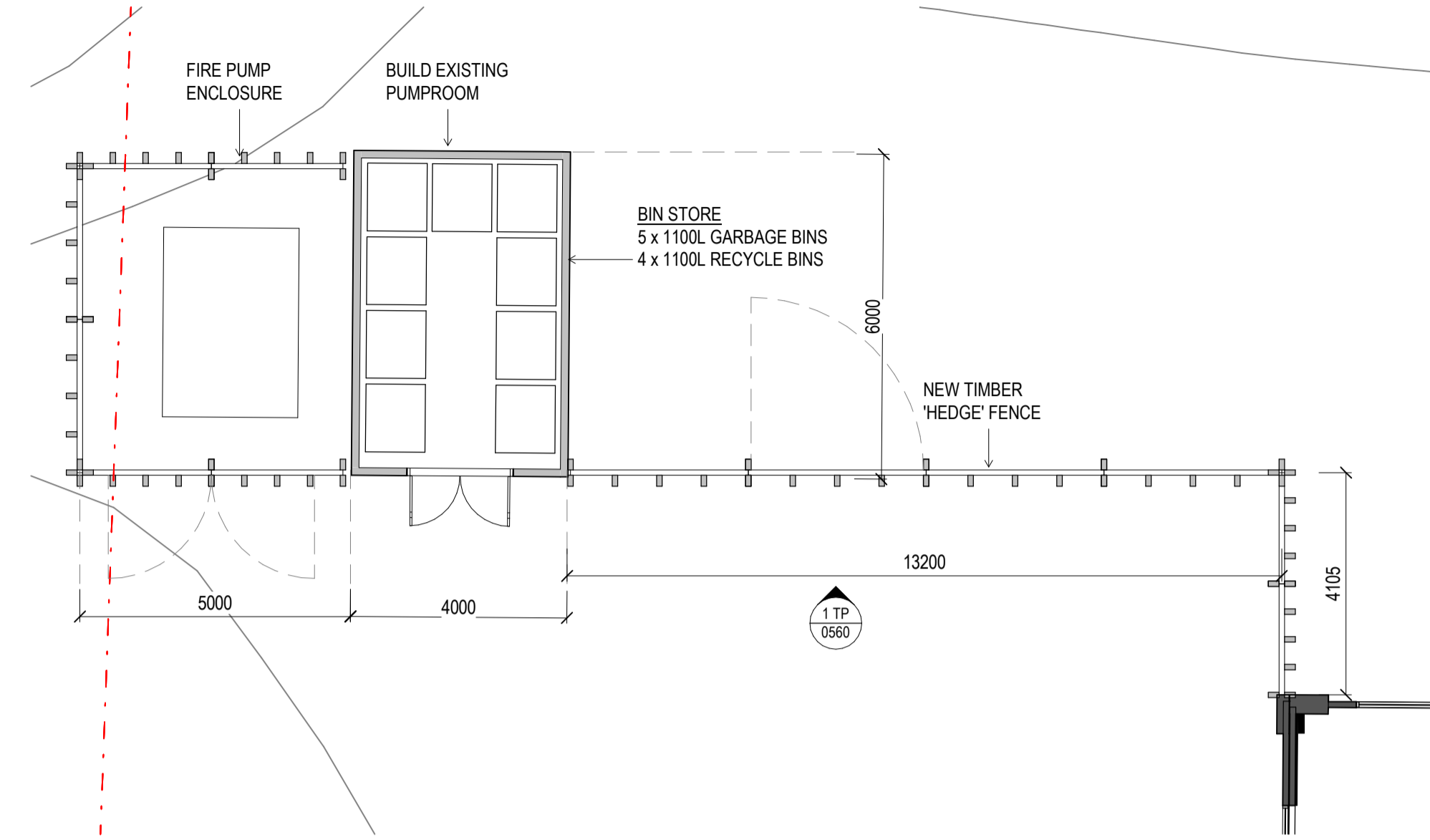
Project No.	<b>2248</b>	Scale @ A1	<b>1:100</b>
Date	March 2023	Co-Ord	JL
Drwn	AB	Chck	CL
Drawing Status	<b>Preliminary</b>		
Drawing No.	<b>TP 0550</b>	Revision	<b>F</b>

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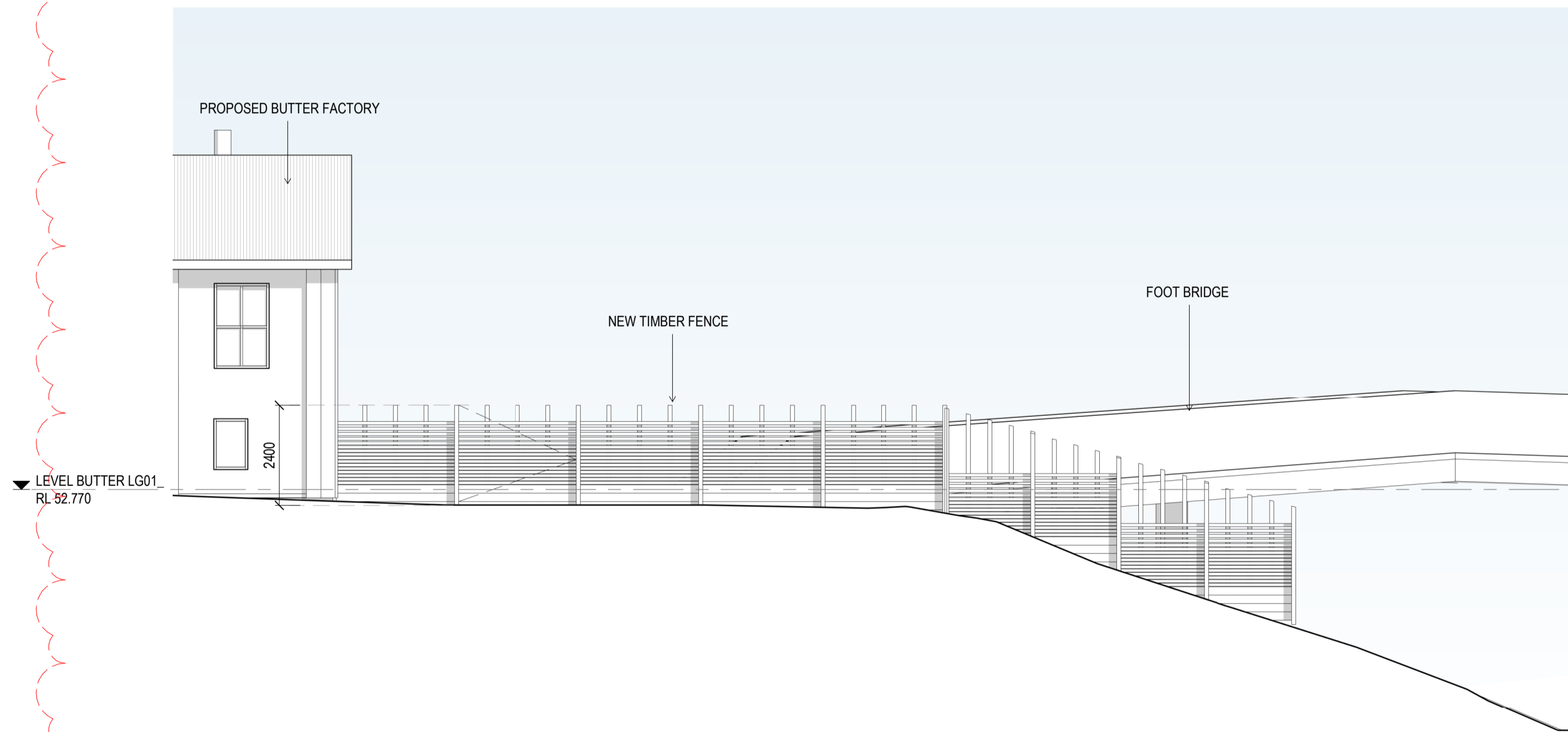
1 TP - FENCE AND BIN PUMP ENCLOSURE - NORTH ELEVATION  
Scale 1:100



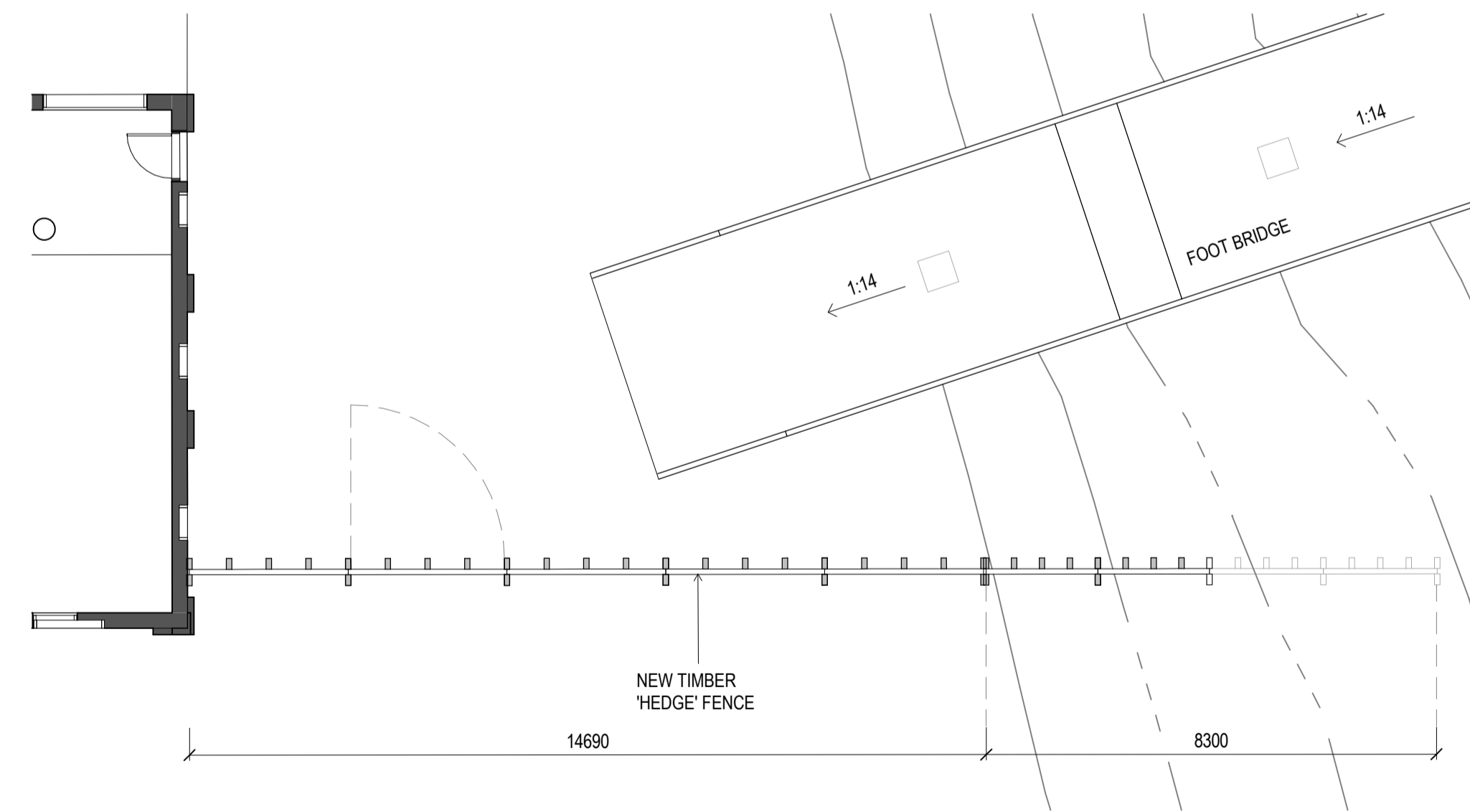
TP FENCE AND BIN ENCLOSURE PLAN  
Scale 1:100

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**ADVERTISED PLAN**



2 TP - FENCE - NORTH ELEVATION  
Scale 1:100



FENCE PLAN  
Scale 1:100

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A		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

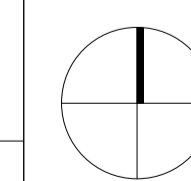
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1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Project **Kongwak Butter and Cheese**  
1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951

Title **PROPOSED FLOOR PLANS & ELEVATIONS  
FENCE AND BIN PUMP ENCLOSURES**



Project No.	<b>2248</b>	Scale @ A1	<b>1:100</b>
Date	March 2023	Co-Ord	JL
Drwn	AB	Chk	CL
Drawing Status	<b>Preliminary</b>		
Drawing No.	<b>TP 0560</b>	Revision	<b>A</b>

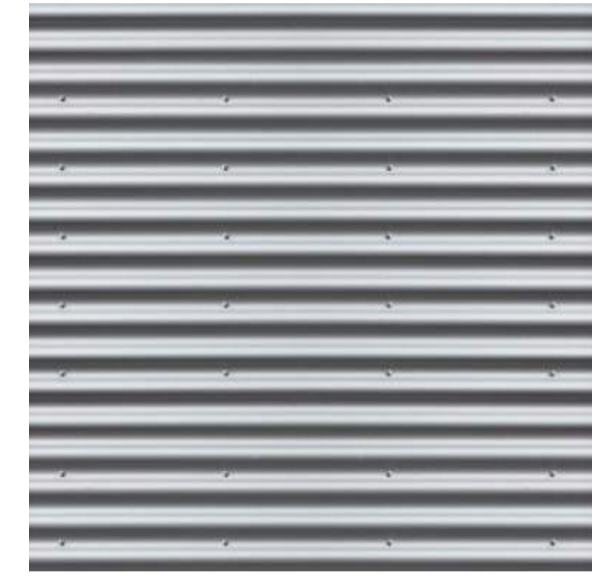


Materials Board

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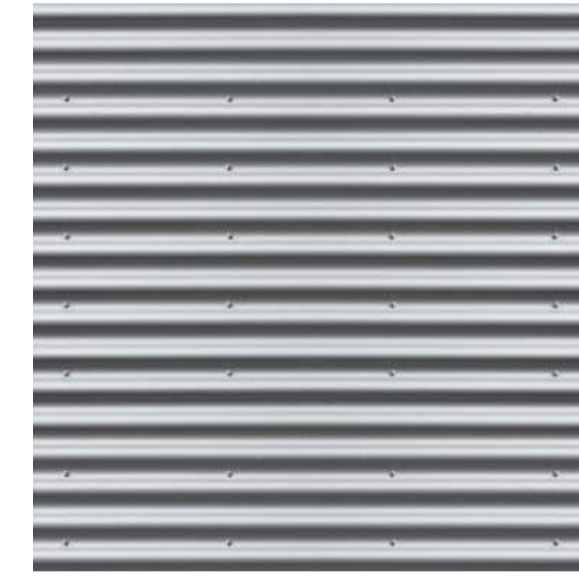
Proposed External Materials



**CD-01**  
Corrugated Sheet Galvanised Steel



**GL-01**  
Windows Double Glazing



**RF-01**  
Corrugated Sheet Galvanised Steel



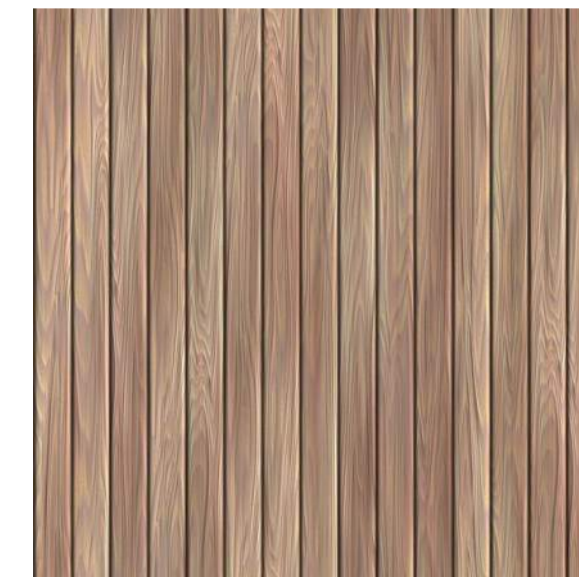
**FN-01**  
Timber Fence



**CD-02**  
Timber Cladding



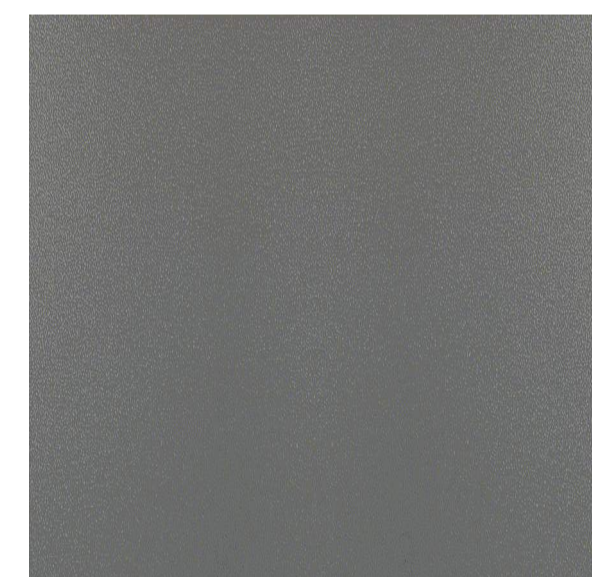
**PF-01**  
Paint Finish White



**TF-01**  
Timber Deck



**MT-01**  
Weathering Steel



**CD-03**  
Powdercoated Steel Dark Grey



**PF-02**  
Paint Finish Dark Grey



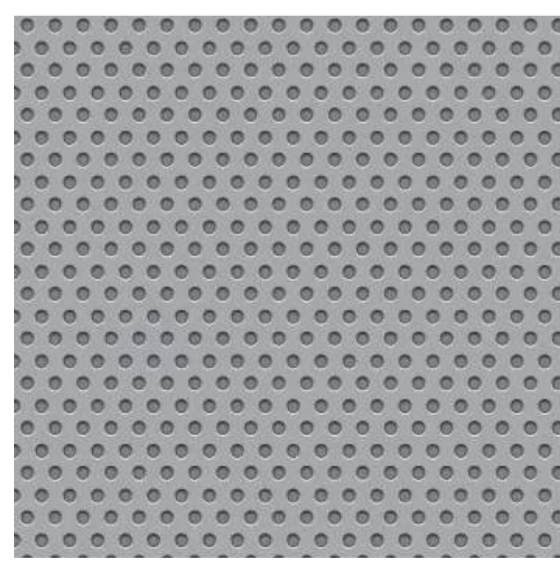
**RF-02**  
Transparent Skylight Double Glazed



**CN-01**  
In situ Concrete



**CD-04**  
Powdercoated Steel Light Grey



**SC-01**  
Perforated Metal Finish to Match Existing Zincalume Roof



**FN-01**  
Original Font & Lettering

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D		DRAFT ISSUE - FOR INFORMATION ONLY	16/06/2023	CL
E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	MATERIALS

Project No.	2248	Scale @	A1
Date	March 2023	Co-Ord	JL
Drwn	AB	Chck	CL
Drawing Status	Preliminary		
Drawing No.	TP 0900	Revision	F



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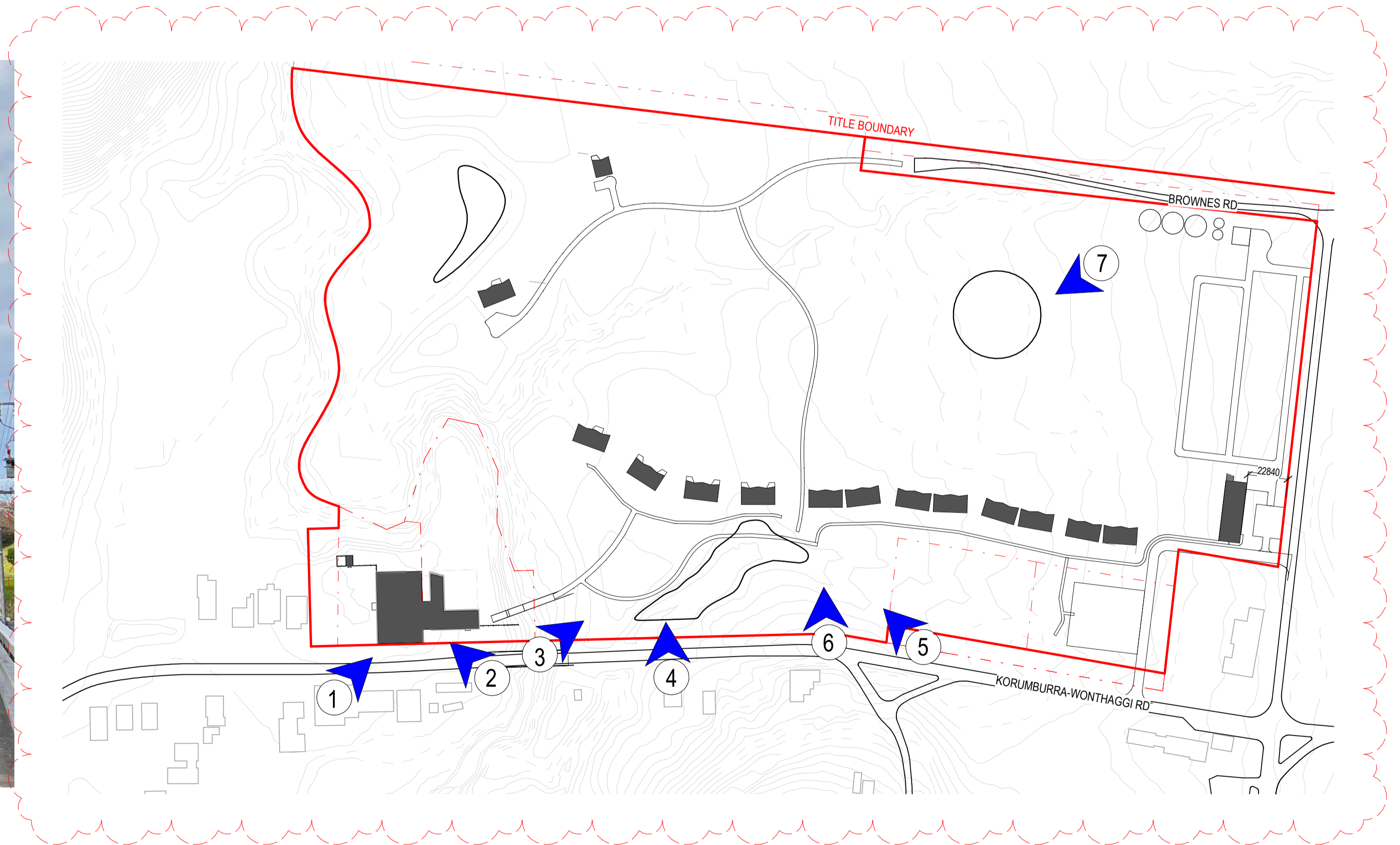
1. CHEESE FACTORY - VIEWED FROM KORUMBURRA-WONTHAGGI RD



2. BUTTER FACTORY - VIEWED FROM KORUMBURRA-WONTHAGGI RD



3. VIEW FROM KORUMBURRA-WONTHAGGI RD BRIDGE - LOOKING NORTH EAST



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D		DRAFT ISSUE - FOR INFORMATION ONLY	16/06/2023	CL
E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
F		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

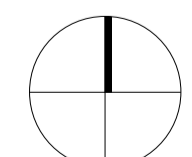
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Client	Damien Backholer & Gemma Cosgriff 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	Masterplan PERSPECTIVE VIEWS - CHEESE + BUTTER

	Project No.	2248	Scale @ A1	1 : 2000	
	Date	March 2023	Co-Ord	JL	
Drawing Status	Preliminary	Drwn	AB	Chk	CL
Drawing No.	TP 0901	Revision	F		





4. VIEW FROM KORUMBURRA-WONTHAGGI RD - LOOKING NORTH



5. VIEW FROM KORUMBURRA-WONTHAGGI RD - LOOKING NORTH WEST



6. VIEW FROM KORUMBURRA-WONTHAGGI RD - LOOKING NORTH



7. VIEW FROM BROWNES RD - LOOKING SOUTH WEST

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Rev.	Issue	Revision Description	Date	Appr by
A		DRAFT ISSUE - FOR INFORMATION ONLY	03/05/2023	CL
B		DRAFT ISSUE - FOR INFORMATION ONLY	23/05/2023	CL
C	All	DRAFT ISSUE - FOR INFORMATION ONLY	29/05/2023	CL
D		DRAFT ISSUE - FOR INFORMATION ONLY	16/06/2023	CL
E		ISSUE FOR TOWN PLANNING	31/07/2023	CL
F		ISSUE FOR TOWN PLANNING - RFI RESPONSE	17/05/2024	CL

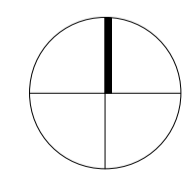
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Project	Kongwak Butter and Cheese 1486-1488 Korumburra Wonthaggi Road Kongwak VIC 3951
Title	Masterplan PERSPECTIVE VIEWS - ACCOMMODATION

	Project No.	2248	Scale @ A1
	Date	March 2023	Co-Ord JL
Drawing Status	AB	Check	CL
Drawing No.	TP 0902	Revision	F