

17 June 2024

Damien Backholer

Via email: kongwakbutterandcheese@gmail.com

**ADVERTISED
PLAN**

Dear Damien

Heritage advice, former Kongwak Butter & Cheese Factory

Thank you for your recent email in relation to the proposal to adaptively reuse the former Kongwak Butter & Cheese Factory. I understand the Department of Transport & Planning (DTP) as responsible authority has sought clarification as follows:

20. Confirmation the submitted heritage impact assessment by David Helms Heritage Planning has considered the current design and proposed works as shown in the submitted plans by Wardle Architects.

My heritage impact assessment (HIA) completed in June 2023 considered the Rev C plans dated 29/05/2023 prepared by Wardle. I have compared these to the submitted plans Rev F dated 17/05/2024.

Insofar as it is relevant to the consideration of heritage impacts the plans are the same, except for the mechanical and condenser plant now proposed to be mounted within acoustic enclosures on the roof of the former Cheese factory (the western building), and consequential relocation of proposed new roof skylights.

The proposed new rooftop plant structures will not result in adverse heritage impacts, as they will be concealed within the roof valleys and won't be visible behind the front parapets. Similarly, the proposed new locations of the skylights will not be visible.

Accordingly, the conclusions in section 5.5 of my HIA remain the same and no change is required to it.

Please contact me if you have any questions or require further information.

Kind regards



David Helms

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Heritage impact assessment

Kongwak Butter & Cheese Factory

Prepared for Damien Backholer & Gemma Cosgriff

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Final – 14 June 2023

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1. Introduction

This heritage impact statement (HIS) has been prepared for Damien Backholer and Gemma Cosgriff in relation to the former Kongwak Co-operative Butter and Cheese Factory complex at 1486 Korumburra-Wonthaggi Road, Kongwak (the subject site). It provides an assessment of the heritage impacts of the proposed part demolition, buildings and works to enable adaptive re-use of the complex for accommodation and hospitality uses. A summary of the proposal is set out below.

In preparing this HIS I have:

- Reviewed the development plans prepared by Wardle, and arboriculture advice provided by Pete Wilson Landscape Architecture.
- Considered State and local heritage controls and policy in the South Gippsland Planning Scheme.
- Considered the heritage significance of the place.
- Inspected the subject site on 20 January 2023. This included an internal as well as external inspection of the two heritage buildings.

To provide a sound basis for the assessment of potential heritage impacts I have prepared:

- An updated description and new statement of significance (SoS) for the complex (Attachment A).
- Specific heritage guidelines, which build upon the heritage strategies set out in Clause 15.03 of the South Gippsland Planning Scheme (Attachment B).

While the focus is upon the potential impacts to the former butter and cheese factory complex, this HIS also considers potential impacts upon the Kongwak Avenue of Honour, which extends along the Korumburra-Wonthaggi Road.

Background

The subject site contains two heritage buildings: the former butter factory and the former cheese factory and milk depot.

Several years ago, alterations and additions were carried out to the former butter factory to enable its adaptive re-use as a residence. However, the former cheese factory has been vacant or used for storage for many years and the lack of a viable use to support its on-going maintenance places it at risk of continuing deterioration to the point where it can no longer be conserved, and demolition becomes the only viable option. Several historic former butter factories in the Gippsland region have been demolished or are in ruinous state. A recent and local example was the former Tarwin Lower Butter Factory (built in 1930), which was demolished in 2005.

Because of this, finding a viable new use that enables the conservation of the whole complex, while providing an economic return to subsidise its on-going maintenance is essential.

The submission of the current application follows and builds upon the Stage 1 works (recently granted a planning permit and at this stage scheduled to commence in late 2023), for urgent works to the former cheese factory and milk depot which aim to:

- Maintain the structural integrity of the building.
- Rectify other issues by carrying out essential repairs and removing asbestos.
- Bring the building to a minimum condition/standard to enable public access.

During my site inspection I observed the current issues with the condition of the former cheese factory that have resulted in the need for the approved Stage 1 works. By comparison, the former butter factory has been renovated and is generally in good condition.

This inspection highlighted the urgent need to undertake repairs and other conservation works to ensure the former cheese factory can be retained and adaptively re-used. Without these works, the building is in potential danger of deteriorating to the point where demolition would be the only feasible outcome.

Summary of the proposal

The project encompasses the subject site and a second property to the east and north of Foster Creek.

The vision is to create Gippsland's first destination restaurant and accommodation experience, with a providore, art gallery and public and private events spaces, all inspired by the region's rich history.

A key objective is to establish a viable on-going use that will support the conservation of the heritage buildings on the site. To enable this, the project includes:

- Conservation and adaptive re-use of the historic butter and cheese factory buildings for hospitality and tourism purposes including restaurant, art gallery and multi-purpose event spaces.
- 41 new boutique accommodation suites, and associated services including a market garden, wastewater management and service water harvesting and storage. This will be located on the land to the north and east of Foster Creek.
- Environmental rehabilitation of Foster Creek and surrounds to support improved biodiversity.

Specifically, the project includes the following:

- Part demolition of the butter and cheese factory buildings. The extent of demolition is limited and most of the fabric to be demolished or removed is of little or no heritage significance. This includes:
 - Parts of the non-original north wing and non-original internal floors and walls, fittings and fixtures and non-original windows in the former butter factory.
 - The 'lean to' west addition to the former cheese factory.
- However, there will be demolition of some fabric of primary or secondary significance including:
 - Within the former butter factory, part of one internal wall, and two external walls at the rear.

- Within the former cheese factory, part of the original internal walls, stairs, and associated fittings and one section of raised floor within the western bay, parts of the rear (north) wall and the side walls to create enlarged or new openings.
- Conservation works including:
 - The repair and restoration of original windows to the front and side elevations of the former cheese factory.
 - Reconstructing original signage to the façade of the former cheese factory.
 - Reinstating/reconstructing timber windows to match the original in the front (south) and east elevations of the former butter factory, and the former cheese factory (east elevation, at rear/north end).
- External alterations and additions including:
 - An extension to the non-original north wing of the former butter factory, and a thin steel awning over the ground floor opening in the front façade, which will have sliding timber doors.
 - A glazed link structure between the two buildings.
 - New full height glazed openings in the side walls of the former cheese factory. On the east side this connects to the glazed link and on the west side there is a thin steel awning and a full-height sliding timber door.
 - Installation of new windows within existing openings to both buildings, replacing non-original windows or roller doors.
- New internal walls to both buildings, and fitout works to enable the new uses including kitchens, toilets, lifts and stairs, and associated services.
- Construction of a car park to the west of the former cheese factory.
- Construction of a footbridge over Foster Creek.

2. Summary of findings

Conservation by use – that is, ensuring a heritage place has a viable use and remains occupied – is a key strategy for the conservation of heritage places.

The analysis in this report demonstrates how adaptive re-use project will enable the conservation of culturally significant fabric and minimises the impacts upon fabric of primary or secondary fabric to facilitate the new uses. In summary:

- The integrity and historic setting of the heritage buildings and their current relationship to each other and as viewed from the road will not change.
- Conservation works including the repair and restoration or reconstruction of original building façade features including windows and signage will enhance the integrity of the buildings and assist in revealing their significance.
- New work and additions respect the heritage buildings by using sympathetic materials, colours, and detailing that complements the simple, honest, and robust industrial aesthetic, is clearly identifiable as new and does not copy historic fabric in detail.

The project should ensure that the buildings have a continuity of occupation that will ensure their security and provide an economic return that will subsidise on-going maintenance. Opening these buildings to the public for the first time in over 50 years will also facilitate a greater understanding and interpretation of their important history.

On this basis, the proposed demolition, buildings and works to enable the adaptive re-use of the former Kongwak Butter and Cheese Factory complex complies with the outcomes sought by heritage controls and policy in the South Gippsland Planning Scheme and will not adversely impact upon the heritage significance of the place.

Most importantly, the proposal will achieve a key State heritage strategy to support adaptive re-use of heritage buildings where their use has become redundant.

Because of this the proposed application is supported.

3. Heritage controls

The former Kongwak Co-operative Butter and Cheese Factory complex is included in the heritage overlay (HO) of the South Gippsland Planning Scheme as an individual place, HO4.

Internal alterations, external paint and solar energy systems controls apply in addition to the general controls under the HO.

The Kongwak Avenue of Honour is included in the HO, as an individual place, HO50. Tree controls apply.

Figure 1 shows that HO4 only applies to part of the subject site including the whole of the former butter factory (and the land to the east extending to Foster Creek), but only the eastern bay of the former cheese factory. The balance of the site (outlined in blue) is not within the HO.

The exclusion of the western bay of the former cheese factory is clearly an error and for the purposes of this HIS the whole of the building is assessed as being within the HO.

Figure 1 also shows part of the extent of HO50, which applies to the road reserve.



Figure 1: Extent of heritage overlays (Source: Vicplan)

4. Significance

4.1. Kongwak Co-operative Butter & Cheese Factory (former)

The former Kongwak Co-operative Butter and Cheese Factory complex is of local historic, representative, and aesthetic significance to South Gippsland Shire. Please refer to the updated SoS in Attachment A.

The significant features are the former butter factory, constructed in 1925, and the former cheese factory and milk depot, constructed c.1941. As described in Attachment A, some of the internal features also contribute to the significance of the place.



The former butter factory (Source: David Helms, 2023)



The former cheese factory (Source: David Helms, 2023)

Based on the further investigations carried out, relative levels of significance (Primary, Secondary and Little or no significance) have been ascribed to specific features of both buildings, as shown in Attachment B, having regard to:

- The contribution of the feature to the historic, representative, or aesthetic values of the 1927 butter factory or the 1941 cheese factory.
- The intactness or integrity of the feature.

The SoS and the relative levels of significance provide the basis for the specific heritage guidelines set out in Attachment B. Attachment B also has additional images of key features.

4.2. Kongwak Avenue of Honour

The statement of significance for the Kongwak Avenue of Honour is set below. While HO50 applies to the whole of the Korumburra-Wonthaggi Road reserve between the Kongwak-Inverloch Road/Church Street intersection to the east and approximately 200 metres beyond the last house on the south side of the road to the west the avenue of trees is not continuous within this area. The significant trees comprising the avenue are contained in two sections:

- To the east of Foster Creek, on the north side of the road only.
- Beginning at the western edge of the township, approximately where the road turns to the southwest, on both sides for about 200-300 metres.

There are no trees along the frontage of the former butter and cheese factory complex.

What is significant?

The Kongwak Avenue of Honour, planted on 15 August 1918, at Korumburra-Wonthaggi Road, Kongwak. The Kongwak Avenue of Honour comprises approximately 70 mature exotic trees planted on either side of the Korumburra-Wonthaggi Road. Originally extending from the Kongwak School and Foster Creek, it now extends to the west of the Creek beyond the Kongwak Store.

Unusually, the Avenue includes 6 different species, rather than one or two, which is generally typical of all other avenues in the Shire. The species are:

- *Horse Chesnut (Aesculus hippocastaneum)*
- *Bunya Pine (Araucaria bidwillii)*
- *Lombardy Poplar (Populus nigra)*
- *Turkey Oak (Quercus cerris)*
- *Pin Oak (Quercus palustris)*
- *English Elm (Ulmus procera)*

The South Gippsland Shire Significant Tree Study has identified two outstanding specimens:

- *A Bunya Pine with a height of 16.24m, circumference of 3m and spread of 12m; and*
- *A Turkey Oak with a height of 17.46m, circumference of 3.35m and a spread of 12m*

How is it significant?

The Kongwak Avenue of Honour is of local historic, social, aesthetic, and scientific (horticultural) significance to the district of Kongwak.

Why is it significant?

Historically and socially, the Avenue is important as the World War 1 memorial for Kongwak. One of a series established throughout South Gippsland, presumably in response to the initiative of the Victorian State Recruiting Committee, it demonstrates the significant impact of the war upon small rural communities. (Criterion A & G)

Aesthetically, the Avenue is unique in the Shire for its mixed planting, which enhances the appearance and amenity of Kongwak and is an integral part of its identity. (Criterion D & E)

Scientifically, the Bunya Pine and the Turkey Oak are outstanding examples of their type in terms of their age, condition and size. (Criterion D & E)

5. Heritage impact assessment

5.1. Introduction

The objectives of Clause 43.01 Heritage Overlay include (amongst other things):

To conserve and enhance heritage places of natural or cultural significance.

To conserve and enhance those elements which contribute to the significance of heritage places.

To ensure that development does not adversely affect the significance of heritage places.

The decision guidelines of Clause 43.01 include (amongst other things):

The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.

Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.

Any applicable heritage design guideline specified in the schedule to this overlay.

Whether the location, bulk, form and appearance of the proposed building will adversely affect the significance of the heritage place.

Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.

Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.

Whether the proposed sign will adversely affect the significance, character or appearance of the heritage place.

Whether the lopping or development will adversely affect the health, appearance or significance of the tree.

The exercise of discretion under Clause 43.01 is guided by heritage policy and strategies at Clause 15.03 of the South Gippsland Planning Scheme.

The objective of Clause 15.03-1S is to *ensure the conservation of places of heritage significance*, and one of the strategies is to:

Support adaptive re-use of heritage buildings where their use has become redundant.

The other relevant strategies are:

Encourage appropriate development that respects places with identified heritage values.

Encourage the conservation and restoration of contributory elements of a heritage place.

Retain those elements that contribute to the importance of the heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Having regard to the above and Clause 15.03-1L (which provides local strategies in relation to heritage) and the specific heritage guidelines in Attachment B, this assessment considers the potential impacts due to:

- Demolition.

- Alterations and additions.
- Potential impacts upon the Avenue of Honour trees.

5.2. Demolition

Clause 15.03-1L includes the following relevant strategies:

Discourage the demolition of a building or works that contribute to the significance of a heritage place.

Discourage the demolition of part of a building or works unless:

- *The fabric to be removed is not of primary significance and its removal will not adversely affect the significance of the place.*
- *It will assist in the long term conservation of the place.*

Discourage development that would alter, destroy or conceal any fabric that contributes to its significance, except where it can be demonstrated that any alteration is reversible.

Discussion

The proposed extent of demolition complies with State and local heritage policies and will not result in adverse heritage impacts. This is because:

- All exterior fabric of primary significance, including the principal facades of the two buildings will be retained.
- The demolition of the external parts of the buildings of secondary significance is limited to discrete sections to create openings in secondary (side and rear) elevations. Sufficient fabric will be retained to maintain the external integrity of the buildings.
- Internally, removal of some original walls and features will have an impact upon the integrity of the buildings. However, this is considered acceptable for the following reasons:
 - Representative sections of the original walls and glazing and other details will be retained, enabling the original spatial arrangement and layout to be understood and interpreted. See Figures 2, 3 4, and 6, which illustrate how this will be done.
 - The demolition will be balanced by the conservation works to the facades, which will include repairing and reconstructing original windows and signage (see below).
 - The works are necessary to facilitate the adaptive re-use of the place.
 - There is an opportunity to mitigate the impacts through interpretation.

Some of the demolition will result in a positive change by removing intrusive features and/or allowing original features to be revealed, reinstated, or reconstructed. This includes:

- The removal of the lean-to addition, and the non-original boarding over the windows in the façade of the former cheese factory.
- The removal of brickwork to enable the reconstruction of original windows to both buildings.
- The removal of the non-original floor to the eastern section of the former butter factory, which will restore the original double-height volume of this space.

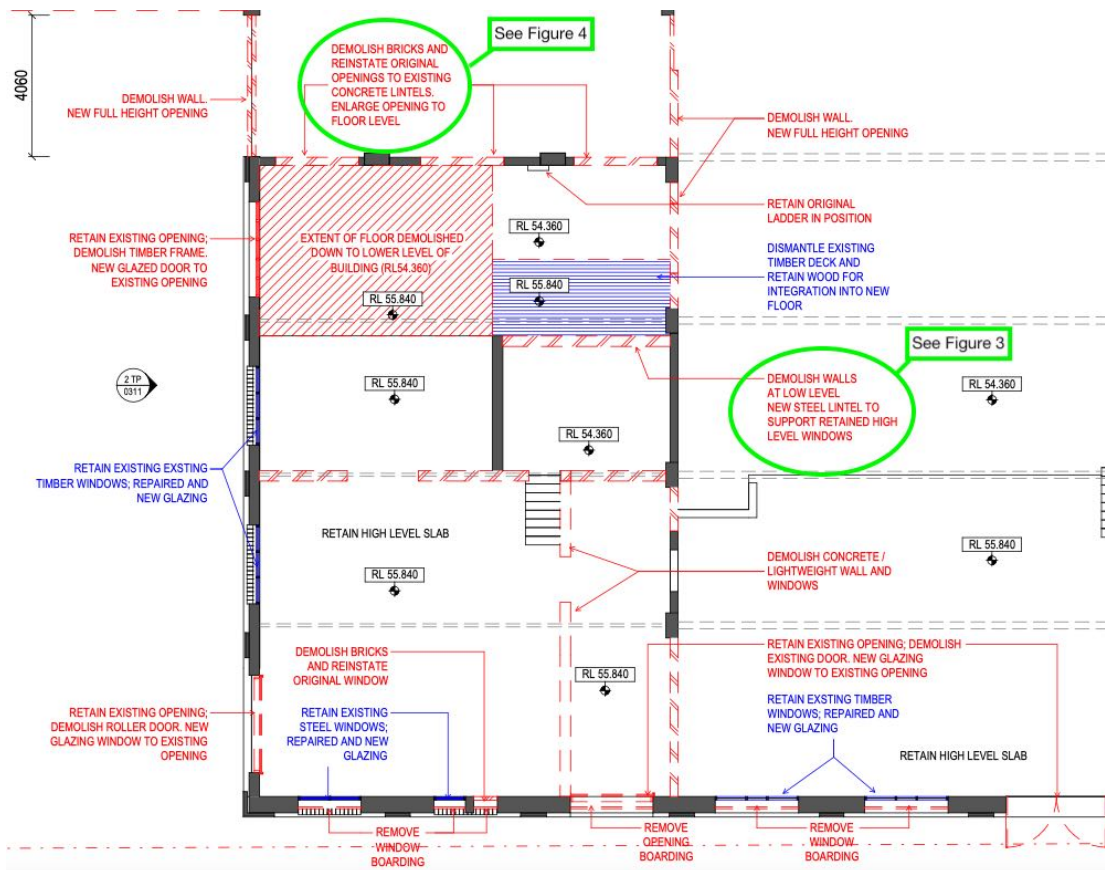


Figure 2 – Extract of demolition plan showing the proposed internal changes to the former cheese factory. The changes outlined in green are illustrated in Figures 3 and 4.



Figure 3: As shown in Figure 2, the section of original wall and glazing outlined in green will be retained as evidence of the original detailing within this space, the timber deck materials will be retained and reinstated in the floor below and the ladder at left will be retained.

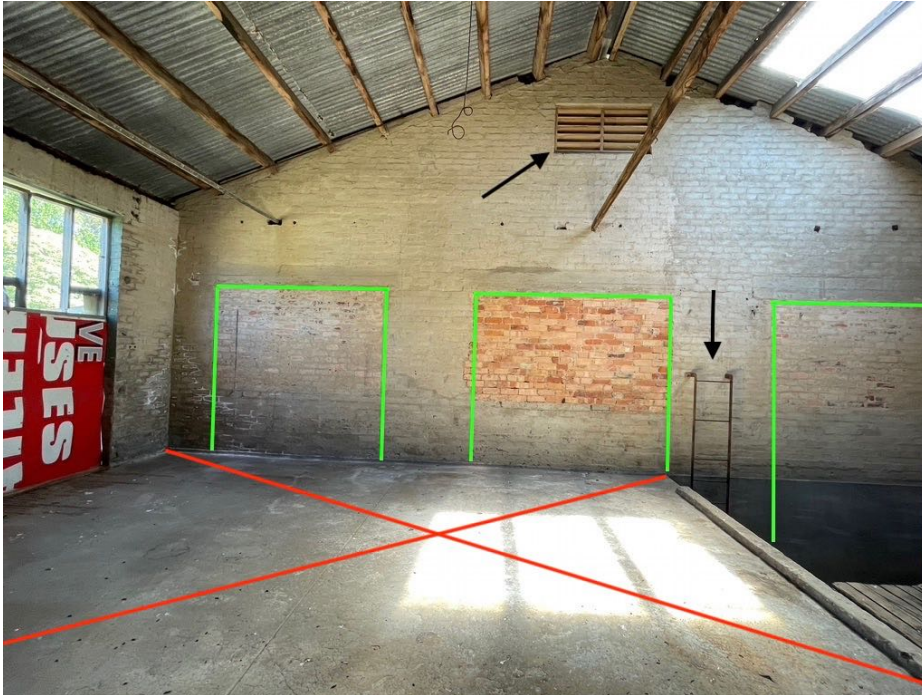


Figure 4: The three original window openings (bricked in later) outlined in green will be reopened and extended to floor level (the section of floor marked in red will be lowered to match the level of the lower floor at right). This will enable the staged development of the factory to be interpreted. Original features indicated by the arrows including the louvred vent and the ladder will be retained.

5.3. Alterations and additions

This includes the alterations and additions to the two heritage buildings and the proposed new car parking and footbridge.

Clause 15.03-1L includes the following relevant strategies:

Encourage development that assists in revealing the significance of the place.

Ensure that the siting, size, height, setback, materials, form and colour of new development are sympathetic to the elements that contribute to the significance of a heritage place, including its context.

Distinguish new development from heritage fabric whilst being sympathetic to the heritage context.

Discourage development that mimics or copies an earlier style.

Discussion

The robust and often substantial character of former industrial buildings means they are usually able to withstand a greater degree of change. The degree of change will also be influenced by relative significance and integrity of the place and its component parts. This has been considered in the preparation of the specific heritage guidelines in Attachment B.

Overall, the proposed alterations and additions comply with the relevant heritage strategies and guidelines and will not result in adverse heritage impacts. This is because:

- The conservation works, which include the repair, restoration or reconstruction of original windows and signage will enhance the integrity of the buildings and reveal the significance of the place. The original signage to the former cheese factory will be accurately recreated in render using the historic fonts based on early photographs.
- The proposed palette of colours and finishes for new materials, which includes galvanised, or dark grey powdercoated steel, in-situ render, and timber cladding is simple, honest, and robust and sympathetic to the industrial character of the buildings. The proposed white colour for the walls of the heritage buildings is based on historic photos and physical evidence.
- Proposed new windows and glazing will have a simple ‘grid’ layout that is sympathetic to the historic glazing, without simply copying it. The proposed timber sliding doors to existing and new openings are influenced by traditional timber doors that have been removed.
- There are no new openings in the principal facades of the buildings. Where openings are created, they are to allow reinstatement of original windows.

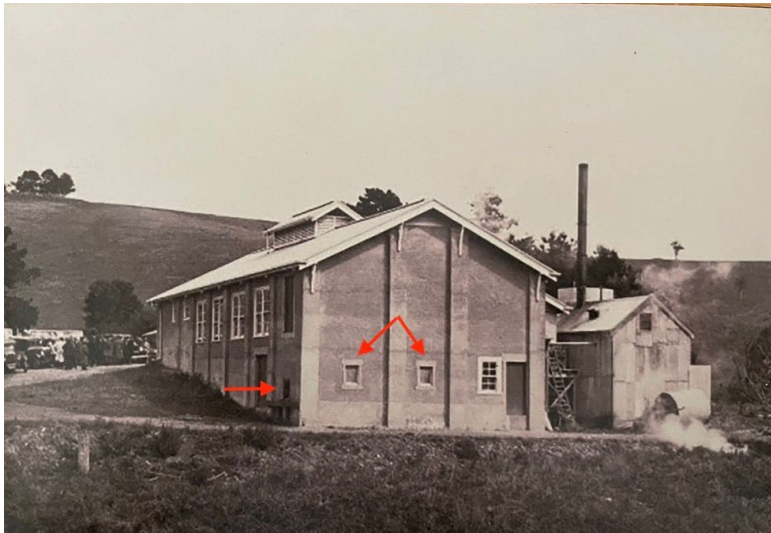


Figure 5: Top: c.1920s/30s image of the former butter factory showing the original openings in the east and front elevation (indicated by added red arrows) that will be reinstated. The lower image shows the original door to the front opening that survives and will be retained.

- While alterations are proposed to the layout of internal walls of the former cheese factory, enough fabric will remain to ensure the original spatial arrangement of this area as a series of discrete rooms can be interpreted. As illustrated in Figures 3 and 4, this includes the retention of an original wall ladder (enabling the original change in floor level to be understood), and reinstatement of timber deck materials in the same location, but at a lower height, to indicate the original location.
- In the former butter factory, the original double-height volume to the eastern half of the building will be restored. While one original wall in this space will be removed, this will be interpreted by the change in level and the retention of the original coolroom door. The important original hexagonal floor tiles will be retained within this space (Figure 6).

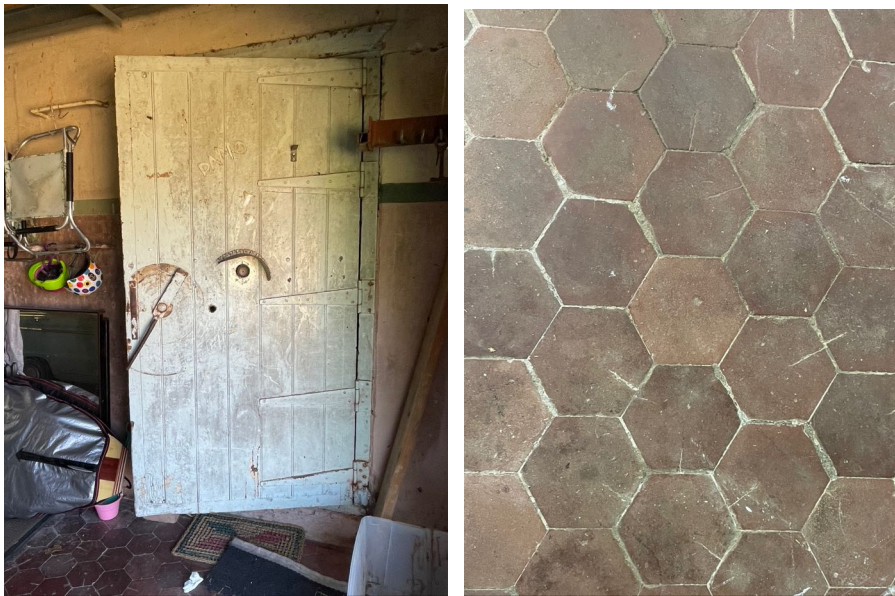


Figure 6: Original coolroom door at left and hexagonal tiles at right, which will be retained.

- In the former butter factory, the proposed new bathrooms service areas and the like are within areas that have been altered and will not require the alteration or removal of original fabric.
- In the former cheese factory new service (kitchen and toilet) areas will be discretely located at one end of the section of secondary significance and partly within a mezzanine area that is within the building of primary significance. This is an acceptable strategy, as it enables most of the full height spatial volumes to be retained.
- The linking structure is a simple, discrete glazed element, which is set well back from the facades of both buildings and will not diminish their understanding as originally freestanding buildings.
- The car parking to the west of the former cheese factory is outside of the HO. In any event, this is in an area that historically has been used for vehicle parking and will not affect the setting of this robust industrial building.
- Similarly, the proposed footbridge over the Foster Creek is a discrete structure that will not impact upon the setting of the former butter factory.

5.4. Avenue of Honour

Clause 15.03-1L includes the following relevant strategies:

Discourage buildings or works that will have an adverse effect upon a significant tree identified by the South Gippsland Heritage Study (2004), or any tree that contributes to the setting of a heritage place.

Discussion

In assessing potential impacts, I have relied upon the advice provided by the arborist (Pete Wilson Landscape Architecture), as well as my own observations. I understand the arborist will be consulted further during the detailed design process to ensure no impacts and will also be involved in supervision of works on site.

The proposal complies with this strategy, as:

- Except for one path, all new buildings and structures are well-outside the Tree Protection Zones.
- One concrete path will pass between two of the trees within the Avenue at the eastern end near the Kongwak Public Hall. The landscape architect has advised:
Under the Australian standard encroachments of 10% or less into the TPZ are acceptable and this impact constitutes an area of around 5% of the TPZ.
- The setback of the proposed new accommodation cottages will ensure they are visually recessive and will not impact upon the setting or appreciation of the Avenue of Honour from key viewpoints looking along Korumburra-Wonthaggi Road.

5.5 Conclusions

Conservation by use – that is, ensuring a heritage place has a viable use and remains occupied – is a key strategy for the conservation of heritage places.

The analysis in this report demonstrates how adaptive re-use project will enable the conservation of culturally significant fabric and minimises the impacts upon fabric of primary or secondary fabric to facilitate the new uses. In summary:

- The integrity and historic setting of the heritage buildings and their current relationship to each other and as viewed from the road will not change.
- Conservation works including the repair and restoration or reconstruction of original features including windows and signage will enhance the integrity of the buildings and assist in revealing their significance.
- New work and additions respect the heritage buildings by using sympathetic materials, colours, and detailing that complements the simple, honest, and robust industrial aesthetic, is clearly identifiable as new and does not copy historic fabric in detail.

The project should ensure that the buildings have a continuity of occupation that will ensure their security and provide an economic return that will subsidise on-going maintenance. Opening these buildings to the public for the first time in over 50 years will also facilitate a greater understanding and interpretation of their important history.

On this basis, the proposed demolition, buildings and works to enable the adaptive re-use of the former Kongwak Butter and Cheese Factory complex complies with the outcomes sought by heritage controls and policy in the South Gippsland Planning Scheme and will not adversely impact upon the heritage significance of the place.

Most importantly, the proposal will achieve a key State heritage strategy to support adaptive re-use of heritage buildings where their use has become redundant.

Because of this the proposed application is supported.

ATTACHMENT A – REVISED DESCRIPTION AND SOS



The Kongwak cheese factory in 1946 (Source Kongwak: The valley of peace 1883—1983)

Description

The current description for the cheese factory in the SGHS is as follows:

The cheese factory, constructed in 1941, is a large wide span low pitched gable structure with a corrugated asbestos cement roof carried on steel trusses. The front section is raised to meet the delivery bay level and the balance is depressed to accommodate the manufacturing process. The front section is wrapped in a rendered brick parapet wall with horizontally proportioned window and loading bay openings. This wall is designed in Art Deco/Moderne style with horizontal end grooves, raised sections at either side, louvred paired vents in the raised pylons and half height pilasters between openings.

While this is generally correct, the inspection has revealed the following:

- It appears the c.1941 building was constructed in at least two stages, as shown on the following plan. This is indicated by:
 - Evidence of bricked-in windows in a now internal walls in about the centre of the west bay and along the rear section of the central dividing wall.
 - Different construction materials (concrete block, timber trusses instead of metal, and asbestos cement roof cladding) of the rear section of the west bay.

There is also a post-World War II addition on the west side.



The rear section of the west bay outlined in orange is a later stage of the c.1941 factory, evidenced by bricked up windows in the walls as indicated. The section outlined in purple is a post-World War II addition.



Evidence of bricked-in windows in central wall of western bay.

- The roof is a double gable structure, with the roof to the east bay (which is slightly wider) having a 26 degree pitch with a lower springing point, while the roof the narrower west bay has a 20 degree pitch that springs from a higher point on the side walls.
- Most of the roof is corrugated iron, except for the rear section of the west bay and there are large metal ventilators in the front section of the roof on the west bay.
- The windows in the front and west side elevations partially survive behind the external timber infill. These are multi-paned with inward opening 'hoppers' at the bottom. Those in the façade on the east side are timber framed. Those on the west side of the façade are metal framed – the one closest to the centre has been partially bricked in. Along the west side the windows are timber framed and are more intact.



Façade windows in the east (left) and west (right) bays as viewed internally.

- The east side wall originally contained a series of square metal and narrow timber framed windows. Several of these have been lost and in others only the metal frame survives. Most of the narrow timber windows toward the rear have been filled in with brick – one partially survives.



At left, Window openings along the east wall. At right, partially infilled timber window

- Internally, the front section of the west bay retains some of the original room layout, and details such as timber framed glazing, ladders, and stairs etc. This is understood to have partly contained the administrative offices for the building.



Part of the internal layout of the western bay showing timber framed glazing, ladders, and stairs etc

- On the east side the raised platform retains some original details including a stair with metal balustrade, and a crane device attached to one of the trusses.



Stair and metal rail at one side of raised platform.

- Sections of the roof are missing in places, and the central box gutter has failed, leading to water ingress and damage. Several openings added later to walls do not have lintels.



Missing sections of roof and failing sections of the central box gutter. Also note the lack of lintel to the added opening on the right.

Revised statement of significance

The current statement of significance from the *South Gippsland Shire Heritage Study 2004* is as follows:

What is significant?

The former Kongwak Co-operative Butter & Cheese Factory complex, constructed in four stages between 1896 and 1941, at 1486 Korumburra-Wonthaggi Road, Kongwak.

Why is it significant?

The former Kongwak Co-operative Butter & Cheese Factory complex is of local historical, aesthetic, and architectural significance to South Gippsland Shire.

Historically, the complex demonstrates the importance of the dairying industry to the development of the Kongwak township and district and is important for its ability to illustrate in one location the key phases of growth that occurred from the Federation to postwar periods. It includes the 1941 cheese factory, which illustrates the change to cheese production that occurred as a result of World War 2 and is believed to be the only surviving example of its type in the Shire. (AHC criteria - A.4, B.2 and D.2)

Aesthetically and architecturally, the 1941 cheese factory designed by TC McCullough is a locally rare example of the Art deco/Moderne style, which is expressed in a spare, but powerful way. It is the superior interwar factory in the Shire, and the use of such a progressive commercial styling demonstrates the importance of the dairying industry at that time. (AHC criterion - E.1)

Revised SoS

The proposed new statement of significance is as follows

What is significant?

The former Kongwak Co-operative Butter & Cheese Factory complex, comprising the butter factory, constructed in 1925, and the former cheese factory and milk depot designed by T.C McCullough and constructed c.1941 at 1486 Korumburra-Wonthaggi Road, Kongwak is significant.

Alterations and additions made after 1945 are not significant.

How is it significant?

The former Kongwak Co-operative Butter & Cheese Factory complex is of local historical, representative, and aesthetic significance to South Gippsland Shire.

Why is it significant?

Historically, the former Kongwak Co-operative Butter & Cheese Factory complex demonstrates the importance of the dairying industry to the development of the Kongwak township and the South Gippsland region and the growth that occurred from the early to mid-twentieth century. The 1941 cheese factory is historically significant as it illustrates the change to cheese and whole milk production that occurred because of World War 2. (Criterion A)

The former Kongwak Co-operative Butter & Cheese Factory complex is significant as a representative example of the factories established in South Gippsland Shire to serve the dairying industry. It is notable as a complex that retains buildings associated with butter and cheese making, and whole milk processing, which demonstrate the changes in the industry over time. Of note are surviving original internal features including the hexagonal tiles and the original coolroom within the 1925 factory, and the original room layouts and details of the c.1941 factory including timber framed glazing, ladders, and stairs that contribute to an understanding of the original use. (Criterion D)

The 1941 cheese factory is of aesthetic significance as a fine example of the Moderne style, which is expressed in a spare, but powerful way with strong massing and restrained detailing. It is the superior interwar factory in the Shire, and the use of such a progressive commercial styling demonstrates the importance of the dairying industry at that time. It is an historic landmark within Kongwak. (Criterion E)

ATTACHMENT B – HERITAGE GUIDELINES

Levels of significance

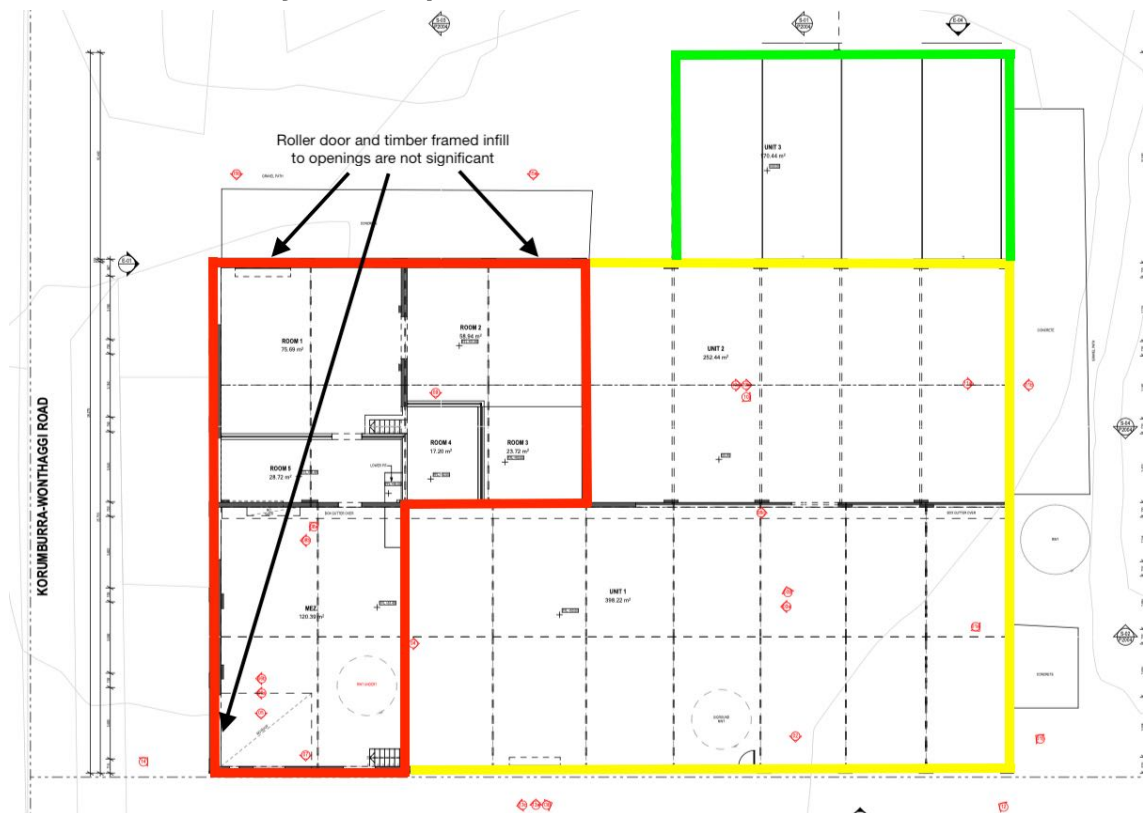
The attached plans show the level of heritage significance applicable to each part of the buildings:

- Red – Primary significance
- Yellow – Secondary significance
- Green – Little or no significance

1925 Butter Factory



c.1941 Cheese Factory & Milk Depot



Primary significance

Features and areas shown in red. These are the parts of the building that have good intactness and/or integrity. They contribute to the aesthetic or representative significance of the place and/or are important for their contribution to understanding the historic use of the buildings and how they were used and functioned.

This includes:

1925 Butter Factory

- The east and south (front) elevations of the front section, excluding the non-original windows to both elevations, and the roof including the clerestory/roof lantern along the ridge.
- Internally, the roof trusses, areas of hexagonal tiles within the workshop and store room area on the ground floor, and the arrangement of the two small anterooms at the east end being the former cool room/store (including the original heavy door to the room) and smaller room beside (cloak room on the plan)

c.1941 Cheese Factory & Milk Depot

- The south (front) façade including the return sections one bay deep on the east side and four bays deep on the west. Includes the surviving original metal or timber framed windows and central entry door (now covered over externally, but visible from the interior), but excludes the modern roller doors and timber infill of the second large opening on the west elevation.

- Internally, the spatial arrangement of the front rooms within the west bay and surviving original details such as the timber framed glazing, ladders, and stairs etc., and the platform level at the front of the east bay including the stair and metal railing, and a crane device attached to one of the trusses.

Secondary significance

Features and areas shown in yellow. These are features that are part of the original buildings but are less important in terms of demonstrating the historic, representative, or aesthetic values. They may be less intact.

This includes:

1925 Butter Factory

- Parts of the west and north elevations of the front section. Although part of the original building, these elevations have experienced a significant degree of change.

c.1941 Cheese Factory & Milk Depot

- The remaining sections of the east, north and west walls of the c.1941 building.
- The large metal roof ventilators.
- Internally, the metal and timber roof trusses.

Little or no significance

Features and areas shown in green. These are features that may be part of the original buildings but have been significantly altered and have low integrity or are later additions.

This includes:

1925 Butter Factory

- Windows/doors/roller doors in all elevations.
- The projecting gabled wings on the north side. These sections were additions to the 1925 factory and now have very low integrity due to the changes made in the early 2000s (originally part of this section was identified as Secondary significance, but further examination of historic photos has revealed that little or no original fabric survives).
- All the modern internal alterations and additions (kitchen, bathroom, internal partitioning, and floors etc.)

c.1941 Cheese Factory & Milk Depot

- The skillion section on the west side.
- Alterations including later openings to walls, modern roller doors, bricking in of windows etc.
- The roofing materials, apart from the large ventilators.
- The remnants of the substation attached to the internal wall in the southeast corner of the east bay.

Guidelines

The approach to the adaptive reuse of this complex should follow the Burra Charter principle of 'do as much as is necessary, but as little as possible'.

The following guidelines are recommended according to the levels of significance:

New work

This applies to all new work, regardless of the level of significance:

- New work should be clearly identifiable as such and while materials and details should be sympathetic to the original, they should not copy historic fabric in detail.
- Faux historic detail must not be used. This is a simply designed industrial building and even the façade is stripped of ornamentation and has a very austere appearance. New work should aim to reflect this simple, honest, and robust industrial aesthetic.

Primary significance

There should be minimal change to these features, wherever possible:

- Original features and detailing should be retained, and should be repaired, restored and/or reconstructed, as required.
- Repairs and restoration should be carried out in a 'like for like' manner to match the original in terms of details, colours, and materiality.
- Missing features should, where possible, be reconstructed to match the original based on documentary (for example, photos) or physical evidence.
- New openings in the principal facades of the buildings should be avoided. Existing openings should be retained and used for their original purpose (window or door) (see also Specific guidelines, below).
- Internally, new openings in walls of Rooms 1-5 of the c.1941 building and the two anterooms on the ground floor of the 1925 building should be minimised where possible to maintain an understanding of the spatial arrangement and organisation.
- Internally, the different floor levels in Rooms 3 and 4 of the c.1941 building (and associated details such as metal ladders, stairs, drains and the timber platform) are important in terms of understanding the original use and function of these spaces. However, some modification may be possible if it is carried out in a manner that enables the original arrangement to be understood (see also Interpretation)
- Internally, the change in floor levels of the c.1941 building is important in terms of understanding the original spatial arrangement and use of the building. However, some modification of this may be possible (see also Interpretation)

Specific guidelines:

- The original windows and central entry doors to the front elevation of the c.1941 building should be repaired and restored, where possible or reconstructed to match original.
- The two original windows in the west elevation of the c.1941 building should be retained and repaired/restored to match original.
- The large openings at the east end of the front elevation and on either side of the windows in the west elevation of the c.1941 building and the ground floor opening of the 1925 building were historically used for loading/unloading of goods and the roller doors and timber infill have replaced the original, probably timber doors. Options are retaining a roller door, reinstating historic style doors, or inserting new window/doors in contemporary materials.
- Another conservation opportunity is the potential reinstatement of some, or all, of the original signage to the façade of the c.1941 building.

Secondary significance

The same general principles apply, but there is more scope for change, including demolition, to these features, as follows:

- New openings may be created in the walls and, where possible, these should be contained within the bays created by the wall pillars/pilasters. However, larger openings may be considered if required.
- Wherever possible, the spatial volumes of the large open areas within the c.1941 building should be retained. However, enclosure of discrete areas may be permitted as required to create service or amenity areas (kitchens, back of house, storage toilets and the like).

Specific guidelines:

- A specific conservation opportunity is the reinstatement of infilled windows in the north wall of the 1925 building.
- Removal of the floor above the ground floor store/garage area of the 1925 building would also restore the original double-height volume of this space.

Little or no significance

These features may be altered, replaced, or demolished/removed as required.

Interpretation

Interpretation is an important tool to create understanding of the history of the place, particularly where a use has ceased, or a building has been adapted and changed. As well as information tool to explain or reveal the history of a place, it can be used, where appropriate to mitigate the impacts of changes to significant fabric.

Interpretation can take many forms from traditional signage with text and images (which may include QR codes linking to further information) and may include landscape or design elements. For example, if a door is closed in, the infill may be designed in a way to enable the extent of the original opening to remain apparent and understood.

Adaptive re-use

Conservation by use – that is, ensuring a heritage place has a viable use and remains occupied – is a key strategy for the conservation of heritage places.

As a result of the rationalization of the dairying industry after World War II many older butter and cheese factories became redundant. While some have been adapted to new uses, others have remained vacant or under-utilized, leading to a lack of maintenance.

The lack of a viable use to support on-going maintenance often places a building at risk of continuing deterioration to the point where it can no longer be conserved, and demolition becomes the only viable option. Because of this, several historic former butter factories in the Gippsland region have been demolished or are in ruinous state. A recent and local example was the former Tarwin Lower Butter Factory (built in 1930), which was demolished in 2005.

The 1925 butter factory has been adaptively re-used as a residence and is now in good condition and maintained.

By comparison, the c.1941 cheese factory has remained vacant for many years and is now in poor condition. Finding a viable new use for the c.1941 cheese factory is therefore essential to its future conservation.

In considering adaptive re-use options, preference should be given to uses that:

- enable the conservation of culturally significant fabric and cause the minimum degree of change to it. That said, it may be appropriate to allow changes to culturally significant fabric if it will facilitate a suitable new use.
- ensure that the building is continually occupied or has a continuity of occupation that will ensure its security and maintenance.
- provide an economic return that will subsidise the on-going maintenance of the building.
- provides an opportunity for interpretation.

13 March 2023

Damien Backholer & Gemma Cosgriff

Via email: kongwakbutterandcheese@gmail.com

Dear Damien and Gemma

Heritage impact assessment, Preliminary structural and remedial works at former Kongwak Cheese Factory

This letter provides my assessment of the potential heritage impacts of the proposed structural and remedial works to the former Kongwak Cheese Factory and Milk Depot (hereafter referred to as the 'former cheese factory'), which forms part of the former Kongwak Co-operative Butter and Cheese Factory complex at 1486 Korumburra-Wonthaggi Road, Kongwak.

The purpose of the works includes:

- Maintaining the structural integrity of the building.
- Rectifying other issues by carrying out essential repairs and removing asbestos.
- Bringing the building to a minimum condition/standard to enable public access.

The proposed works are limited to the former cheese factory. There are no changes proposed to the adjoining former butter factory.

The proposed works are the essential first stage of a proposed larger suite of conservation and other works that will enable the future adaptive re-use of the former cheese factory.

In summary, the proposed works include:

- Removal and replacement of all roof cladding and associated rainwater goods (external and internal guttering and the like) and associated brick wall repairs. Original roof ventilators will not be reinstated but will be stored securely on-site for potential future display/interpretation.
- Removal of internal asbestos ceiling sheet in part of the building.
- Removal of redundant electrical plant from the upper wall in the southeast corner of the building and associated brickwork repairs.
- Replacement of lintels to internal openings with new steel lintels and associated brickwork repairs.
- Repairs (including cleaning) to or reinforcement of internal timber and steel trusses, which includes additional bracing to purlins.
- Installation of concrete block bond beam with steel lintel to the two rear (north end) openings.

- Partial rebuilding of the north end brick gable to match existing to provide additional structural support.
- Other repair and maintenance works including straightening of walls currently out of alignment, and removal of soil adjacent to walls to below slab level.

Not all these works will trigger a planning permit requirement under the heritage overlay, but for the reasons of completeness this assessment considers the impacts of all proposed works.

There are no changes to the principal façade facing to Korumburra-Wonthaggi Road.

Methodology

I have an excellent understanding of the heritage significance of the former cheese factory, as I was the principal author of the *South Gippsland Heritage Study 2004* (SGHS) and prepared the original heritage citation for this place.

In preparing this advice I have:

- Reviewed the preliminary scope of structural and repair works prepared by TGA Engineers. This has provided the basis for the proposed demolition and works.
- Reviewed the plans prepared by placeformspace that show the extent of the proposed demolition and works.
- Considered the heritage controls and policy in the South Gippsland Planning Scheme.

I inspected the former cheese factory (and the adjoining former butter factory) both externally and internally on 20 January 2023. During this inspection I observed the current issues with the condition of the former cheese factory that have resulted in the need for the repairs and works included in this application (By comparison, the former butter factory has been renovated and is generally in good condition).

This inspection highlighted the urgent need to undertake repairs and other conservation works to ensure the former cheese factory can be retained and adaptively re-used. Without these works, the building is in potential danger of deteriorating to the point where demolition would be the only feasible outcome.

To provide a sound basis for the assessment of potential heritage impacts I have prepared:

- An updated description and new statement of significance (SoS) for the complex (Attachment A).
- Specific heritage guidelines, which build upon the heritage strategies set out in Clause 15.03 of the South Gippsland Planning Scheme (Attachment B).

Heritage controls

The former Kongwak Co-operative Butter and Cheese Factory complex is included in the heritage overlay (HO) of the South Gippsland Planning Scheme as an individual place, HO4.

Notably, internal alterations controls apply in addition to the general controls under the HO.

External paint controls and Solar energy system controls also apply

Significance

The former Kongwak Co-operative Butter and Cheese Factory complex is of local historic, representative, and aesthetic significance to South Gippsland Shire. Please refer to the updated SoS in Attachment A.

The significant features are the former butter factory, constructed in 1925, and the former cheese factory, constructed c.1941.

Based on the further investigations carried out, relative levels of significance (Primary, Secondary and Little or no significance) have been ascribed to specific features of both buildings, as shown in Attachment B, having regard to:

- The contribution of the feature to the historic, representative, or aesthetic values of the 1927 butter factory or the 1941 cheese factory.
- The intactness or integrity of the feature.

The SoS and the relative levels of significance provide the basis for the specific heritage guidelines set out in Attachment B.

Heritage impact assessment

The proposed part demolition, alterations and works will not result in any adverse heritage impacts and is supported. The following is noted:

- There are no changes to any features of Primary significance including the facade.
- While the rooftop ventilators will be removed, they will be stored securely on-site for potential future interpretation or display within the building.
- Most of the works are internal to the building and involve essential repairs, maintenance or strengthening of components to ensure the building is structurally sound and watertight.
- Where repairs or reconstruction of features of Primary or Secondary significance is proposed, the work will be carried out 'like for like' to match existing wherever possible.

Because of this, the application satisfies relevant State and local policies in relation to heritage including:

Retain those elements that contribute to the importance of the heritage place. (Clause 15.03-1S)

Encourage the conservation and restoration of contributory elements of a heritage place. (Clause 15.03-1S)

Facilitate buildings, works or subdivision where it will assist in the short or long term conservation of the place by:

- *Maintaining, protecting, restoring, repairing or stabilizing significant fabric. (Clause 15.03-1L)*

I also note that the building has been vacant for many years and the lack of a viable use to support its on-going maintenance places it at risk of continuing deterioration to the point where it can no longer be conserved, and demolition becomes the only viable option. Several historic former butter factories in the Gippsland region have been demolished or are in ruinous state.

The proposed works are the essential first stage of a proposed larger suite of conservation and other works that will enable the future adaptive re-use of the former cheese factory.

Because of this, it is my opinion that approval of the application should be expedited, and exemption from advertising of the application is appropriate given the urgency of the works, and the minimal impacts upon heritage significance.

Please contact me if you have any questions or require further information.

Kind regards



David Helms

attach.

ATTACHMENT A – REVISED DESCRIPTION AND SOS



The Kongwak cheese factory in 1946 (Source Kongwak: The valley of peace 1883—1983)

Description

The current description for the cheese factory in the SGHS is as follows:

The cheese factory, constructed in 1941, is a large wide span low pitched gable structure with a corrugated asbestos cement roof carried on steel trusses. The front section is raised to meet the delivery bay level and the balance is depressed to accommodate the manufacturing process. The front section is wrapped in a rendered brick parapet wall with horizontally proportioned window and loading bay openings. This wall is designed in Art Deco/Moderne style with horizontal end grooves, raised sections at either side, louvred paired vents in the raised pylons and half height pilasters between openings.

While this is generally correct, the inspection has revealed the following:

- It appears the c.1941 building was constructed in at least two stages, as shown on the following plan. This is indicated by:
 - Evidence of bricked-in windows in a now internal walls in about the centre of the west bay and along the rear section of the central dividing wall.
 - Different construction materials (concrete block, timber trusses instead of metal, and asbestos cement roof cladding) of the rear section of the west bay.

There is also a post-World War II addition on the west side.



The rear section of the west bay outlined in orange is a later stage of the c.1941 factory, evidenced by bricked up windows in the walls as indicated. The section outlined in purple is a post-World War II addition.



Evidence of bricked-in windows in central wall of western bay.

- The roof is a double gable structure, with the roof to the east bay (which is slightly wider) having a 26 degree pitch with a lower springing point, while the roof the narrower west bay has a 20 degree pitch that springs from a higher point on the side walls.
- Most of the roof is corrugated iron, except for the rear section of the west bay and there are large metal ventilators in the front section of the roof on the west bay.
- The windows in the front and west side elevations partially survive behind the external timber infill. These are multi-paned with inward opening 'hoppers' at the bottom. Those in the façade on the east side are timber framed. Those on the west side of the façade are metal framed – the one closest to the centre has been partially bricked in. Along the west side the windows are timber framed and are more intact.



Façade windows in the east (left) and west (right) bays as viewed internally.

- The east side wall originally contained a series of square metal and narrow timber framed windows. Several of these have been lost and in others only the metal frame survives. Most of the narrow timber windows toward the rear have been filled in with brick – one partially survives.



At left, Window openings along the east wall. At right, partially infilled timber window

- Internally, the front section of the west bay retains some of the original room layout, and details such as timber framed glazing, ladders, and stairs etc. This is understood to have partly contained the administrative offices for the building.



Part of the internal layout of the western bay showing timber framed glazing, ladders, and stairs etc

- On the east side the raised platform retains some original details including a stair with metal balustrade, and a crane device attached to one of the trusses.



Stair and metal rail at one side of raised platform.

- Sections of the roof are missing in places, and the central box gutter has failed, leading to water ingress and damage. Several openings added later to walls do not have lintels.



Missing sections of roof and failing sections of the central box gutter. Also note the lack of lintel to the added opening on the right.

Revised statement of significance

The current statement of significance from the *South Gippsland Shire Heritage Study 2004* is as follows:

What is significant?

The former Kongwak Co-operative Butter & Cheese Factory complex, constructed in four stages between 1896 and 1941, at 1486 Korumburra-Wonthaggi Road, Kongwak.

Why is it significant?

The former Kongwak Co-operative Butter & Cheese Factory complex is of local historical, aesthetic, and architectural significance to South Gippsland Shire.

Historically, the complex demonstrates the importance of the dairying industry to the development of the Kongwak township and district and is important for its ability to illustrate in one location the key phases of growth that occurred from the Federation to postwar periods. It includes the 1941 cheese factory, which illustrates the change to cheese production that occurred as a result of World War 2 and is believed to be the only surviving example of its type in the Shire. (AHC criteria - A.4, B.2 and D.2)

Aesthetically and architecturally, the 1941 cheese factory designed by TC McCullough is a locally rare example of the Art deco/Moderne style, which is expressed in a spare, but powerful way. It is the superior interwar factory in the Shire, and the use of such a progressive commercial styling demonstrates the importance of the dairying industry at that time. (AHC criterion - E.1)

Revised SoS

The proposed new statement of significance is as follows

What is significant?

The former Kongwak Co-operative Butter & Cheese Factory complex, comprising the butter factory, constructed in 1925, and the former cheese factory and milk depot designed by T.C McCullough and constructed c.1941 at 1486 Korumburra-Wonthaggi Road, Kongwak is significant.

Alterations and additions made after 1945 are not significant.

How is it significant?

The former Kongwak Co-operative Butter & Cheese Factory complex is of local historical, representative, and aesthetic significance to South Gippsland Shire.

Why is it significant?

Historically, the former Kongwak Co-operative Butter & Cheese Factory complex demonstrates the importance of the dairying industry to the development of the Kongwak township and the South Gippsland region and the growth that occurred from the early to mid-twentieth century. The 1941 cheese factory is historically significant as it illustrates the change to cheese and whole milk production that occurred because of World War 2. (Criterion A)

The former Kongwak Co-operative Butter & Cheese Factory complex is significant as a representative example of the factories established in South Gippsland Shire to serve the dairying industry. It is notable as a complex that retains buildings associated with butter and cheese making, and whole milk processing, which demonstrate the changes in the industry over time. Of note are surviving original internal features including the hexagonal tiles and the original coolroom within the 1925 factory, and the original room layouts and details of the c.1941 factory including timber framed glazing, ladders, and stairs that contribute to an understanding of the original use. (Criterion D)

The 1941 cheese factory is of aesthetic significance as a fine example of the Moderne style, which is expressed in a spare, but powerful way with strong massing and restrained detailing. It is the superior interwar factory in the Shire, and the use of such a progressive commercial styling demonstrates the importance of the dairying industry at that time. It is an historic landmark within Kongwak. (Criterion E)

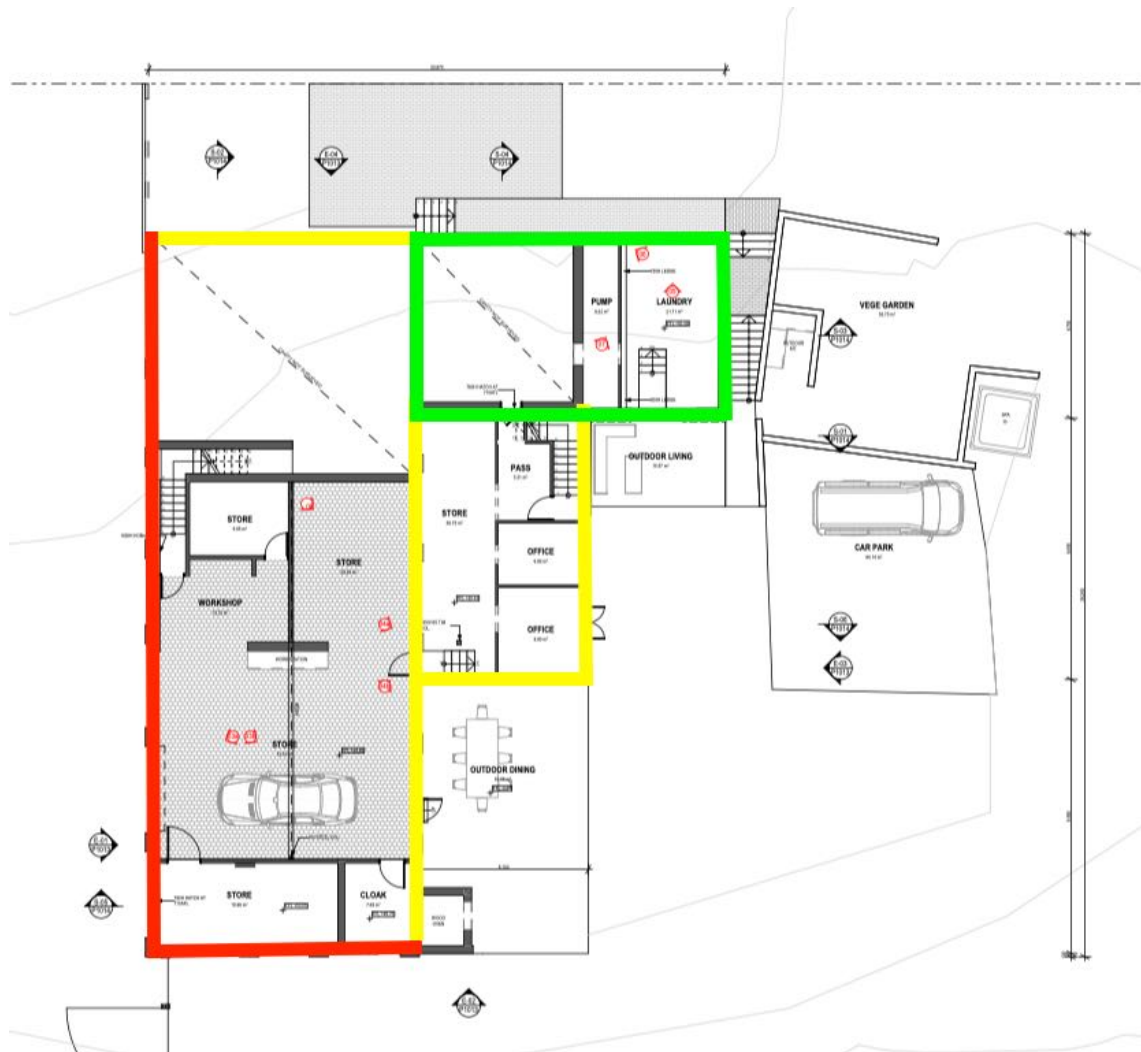
ATTACHMENT B – HERITAGE GUIDELINES

Levels of significance

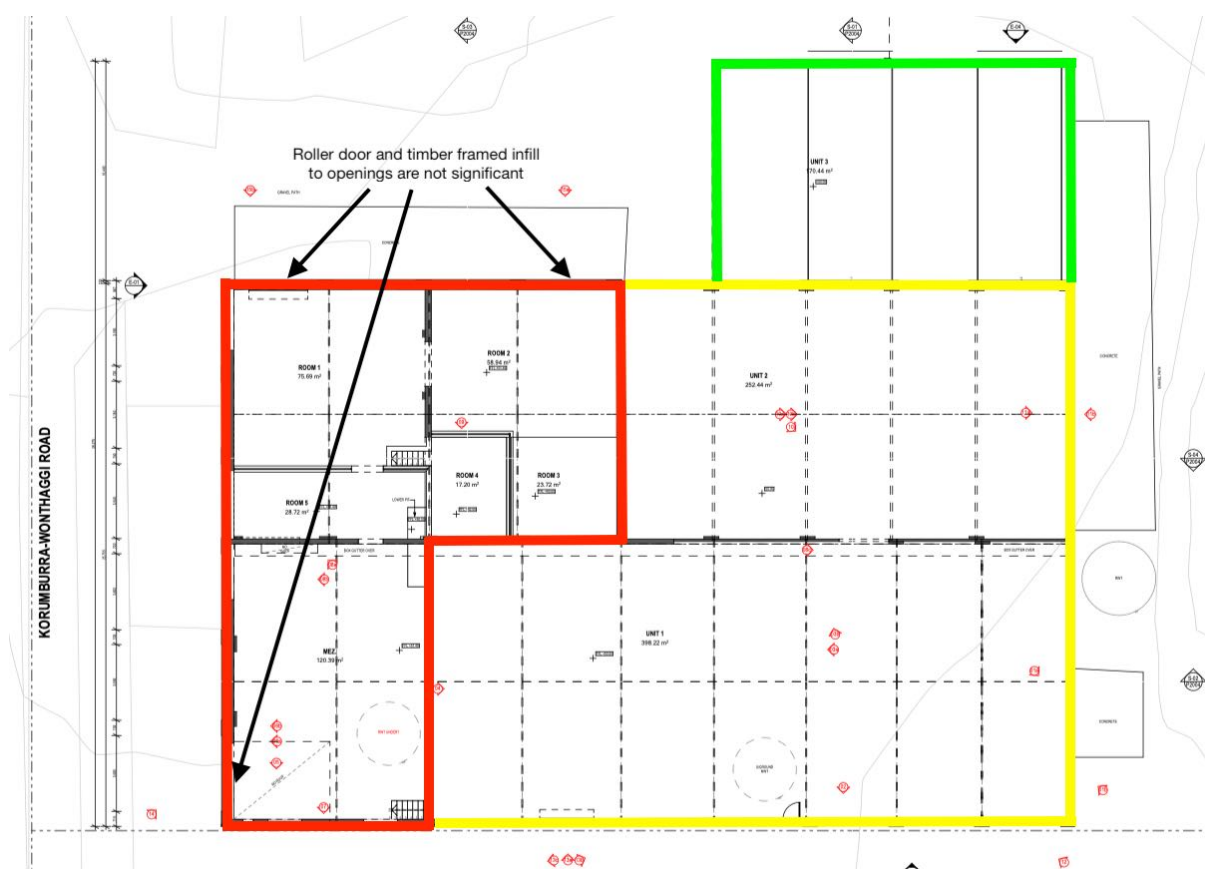
The attached plans show the level of heritage significance applicable to each part of the buildings:

- Red – Primary significance
- Yellow – Secondary significance
- Green – Little or no significance

1925 Butter Factory



c.1941 Cheese Factory & Milk Depot



Primary significance

Features and areas shown in red. These are the parts of the building that have good intactness and/or integrity. They contribute to the aesthetic or representative significance of the place and/or are important for their contribution to understanding the historic use of the buildings and how they were used and functioned.

This includes:

1925 Butter Factory

- The east and south elevations of the front section, excluding the non-original windows, and the roof including the clerestory/roof lantern along the ridge.
- Internally, the roof trusses, areas of hexagonal tiles within the workshop and store room area on the ground floor, and the arrangement of the two small anterooms at the east end being the former cool room/store (including the original heavy door to the room) and smaller room beside (cloak room on the plan)

c.1941 Cheese Factory & Milk Depot

- The south façade including the return sections one bay deep on the east side and four bays deep on the west. Includes the surviving original metal or timber framed

windows and central entry door (now covered over externally, but visible from the interior), but excludes the modern roller doors and timber infill of the second large opening on the west elevation.

- Internally, the spatial arrangement of Rooms 1 to 5 within Unit 2 (west bay) and surviving original details such as the timber framed glazing, ladders, and stairs etc., and the platform level at the front of Unit 1 (east bay) including the stair and metal railing, and a crane device attached to one of the trusses.

Secondary significance

Features and areas shown in yellow. These are features that are part of the original buildings but are less important in terms of demonstrating the historic, representative, or aesthetic values. They may be less intact.

This includes:

1925 Butter Factory

- The west and north elevations of the front section and the secondary gabled wing on the north side.

c.1941 Cheese Factory & Milk Depot

- The remaining sections of the east, north and west walls of the c.1941 building.
- The large metal roof ventilators.
- Internally, the metal and timber roof trusses.

Little or no significance

Features and areas shown in green. These are features that may be part of the original buildings but have been significantly altered and have low integrity or are later additions.

This includes:

1925 Butter Factory

- Windows in all elevations.
- The projecting wing at the west end.
- All the modern internal alterations and additions (kitchen, bathroom, internal partitioning, and floors etc.)

c.1941 Cheese Factory & Milk Depot

- The skillion section (Unit 3) on the west side.
- Alterations including later openings to walls, modern roller doors, bricking in of windows etc.
- The roofing materials, apart from the large ventilators.
- The remnants of the substation attached to the internal wall in the southeast corner of Unit 1.

Guidelines

The approach to the adaptive reuse of this complex should follow the Burra Charter principle of 'do as much as is necessary, but as little as possible'.

The following guidelines are recommended according to the levels of significance:

New work

This applies to all new work, regardless of the level of significance:

- New work should be clearly identifiable as such and while materials and details should be sympathetic to the original, they should not copy historic fabric in detail.
- Faux historic detail must not be used. This is a simply designed industrial building and even the façade is stripped of ornamentation and has a very austere appearance. New work should aim to reflect this simple, honest, and robust industrial aesthetic.

Primary significance

There should be minimal change to these features, wherever possible:

- Original features and detailing should be retained, and should be repaired, restored and/or reconstructed, as required.
- Repairs and restoration should be carried out in a 'like for like' manner to match the original in terms of details, colours, and materiality.
- Missing features should, where possible, be reconstructed to match the original based on documentary (for example, photos) or physical evidence.
- New openings in the principal facades of the buildings should be avoided. Existing openings should be retained and used for their original purpose (window or door) (see also Specific guidelines, below).
- Internally, new openings in walls of Rooms 1-5 of the c.1941 building and the two anterooms on the ground floor of the 1927 building should be minimised where possible to maintain an understanding of the spatial arrangement and organisation.
- Internally, the different floor levels in Rooms 3 and 4 of the c.1941 building (and associated details such as metal ladders, stairs, drains and the timber platform) are important in terms of understanding the original use and function of these spaces. However, some modification may be possible if it is carried out in a manner that enables the original arrangement to be understood (see also Interpretation)
- Internally, the mezzanine level is important in terms of understanding the original spatial arrangement and use of the building. However, some modification of this structure may be possible (see also Interpretation)

Specific guidelines:

- The original windows and central entry doors to the front elevation of the c.1941 building should be repaired and restored, where possible or reconstructed to match original.
- The two original windows in the west side elevation should be retained and repaired/restored to match original.
- The large openings at the east end of the front elevation and on either side of the windows in the west elevation were historically used for loading/unloading of goods and the roller doors and timber infill have replaced the original, probably timber doors. Options are retaining a roller door, reinstating historic style doors, or inserting new window/doors in contemporary materials.
- Another conservation opportunity is the potential reinstatement of some, or all, of the original signage to the façade of the c.1941 building.

Secondary significance

The same general principles apply, but there is more scope for change to these features, as follows:

- New openings may be created in the walls and, where possible, these should be contained within the bays created by the wall pillars/pilasters. However, larger openings may be considered if required.
- Wherever possible, the spatial volumes of the large open areas within Unit 1 and Unit 2 of the c.1941 building should be retained. However, enclosure of discrete areas may be permitted as required to create service or amenity areas (kitchens, back of house, storage toilets and the like). Where possible, these should be designed as freestanding pavilions within the larger space.

Specific guidelines:

- A specific conservation opportunity is the reinstatement of infilled windows within the section of the north wall of the 1925 building.
- Removal of the floor above the ground floor store/garage area of the 1925 building would also restore the original volume of this space.

Little or no significance

These features may be altered, replaced, or demolished/removed as required.

Interpretation

Interpretation is an important to create understanding of the history of the place, particularly where a use has ceased, or a building has been adapted and changed. As well as information tool to explain or reveal the history of a place, it can be used, where appropriate to mitigate the impacts of changes to significant fabric.

Interpretation can take many forms from traditional signage with text and images (which may include QR codes linking to further information) and may include landscape or design elements. For example, if a door is closed in, the infill may be designed in a way to enable the extent of the original opening to remain apparent and understood.

Adaptive re-use

Conservation by use – that is, ensuring a heritage place has a viable use and remains occupied – is a key strategy for the conservation of heritage places.

As a result of the rationalization of the dairying industry after World War II many older butter and cheese factories became redundant. While some have been adapted to new uses, others have remained vacant or under-utilized, leading to a lack of maintenance.

The lack of a viable use to support on-going maintenance often places a building at risk of continuing deterioration to the point where it can no longer be conserved, and demolition becomes the only viable option. Because of this, several historic former butter factories in the Gippsland region have been demolished or are in ruinous state. A recent and local example was the former Tarwin Lower Butter Factory (built in 1930), which was demolished in 2005.

The 1925 butter factory has been adaptively re-used as a residence and is now in good condition and maintained.

By comparison, the c.1941 cheese factory has remained vacant for many years and is now in poor condition. Finding a viable new use for the c.1941 cheese factory is therefore essential to its future conservation.

In considering adaptive re-use options, preference should be given to uses that:

- enable the conservation of culturally significant fabric and cause the minimum degree of change to it. That said, it may be appropriate to allow changes to culturally significant fabric if it will facilitate a suitable new use.
- ensure that the building is continually occupied or has a continuity of occupation that will ensure its security and maintenance.
- provide an economic return that will subsidise the on-going maintenance of the building.
- provides an opportunity for interpretation.