

Officer Assessment Report

PA2403088 – 7 Abbott Street,
Dandenong



Officer Assessment Report
Development Approvals & Design

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Department
of Transport
and Planning

OFFICIAL

Executive Summary



Key Information	Details																					
Application No:	PA2403088																					
Received:	31 July 2024																					
Statutory Days:	33																					
Applicant:	Melbourne City Mission C-/ Ethos Urban																					
Planning Scheme:	Greater Dandenong																					
Land Address:	7 Abbott Street, Dandenong (Land on Crown Allotment CA2230 and Lot 1 of TP706324A)																					
Proposal:	Construction of a residential building and reduction of car parking																					
Development Value:	\$ 30 million																					
Why is the Minister responsible?	The land is located within the ' <i>Declared Project Area – Central Dandenong</i> ' and the development proposal is for 6 storeys. Therefore, in accordance with Clause 2.0 of the Schedule to Clause 72.01 of the Greater Dandenong Planning Scheme, the Minister for Planning is the responsible authority for considering and determining applications, in accordance with Divisions 1, 1A, 2 and 3 of Part 4 of the Planning and Environment Act 1987 and for approving associated matters required by the planning scheme to be done to the satisfaction of the responsible authority in relation to land within the area known as the <i>Declared Project Area – Central Dandenong</i> for an application that comprises of development with a building height of 4 storeys or greater.																					
Why is a permit required?	<table border="1"> <thead> <tr> <th>Clause</th> <th>Control</th> <th>Trigger</th> </tr> </thead> <tbody> <tr> <td>Zone:</td> <td>Clause 32.04 Mixed Use Zone (MUZ)</td> <td>Clause 32.04-7 – Construction of a residential building</td> </tr> <tr> <td>Overlays:</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Particular Provisions:</td> <td>Clause 52.06 Car Parking</td> <td>Clause 52.06-3 – Reduce the number of car parking spaces required</td> </tr> <tr> <td></td> <td>Cause 52.34 Bicycle facilities</td> <td>Applies to the development</td> </tr> <tr> <td></td> <td>Clause 53.18 Stormwater management</td> <td>Applies to the development</td> </tr> <tr> <td></td> <td>Clause 58 Apartment Developments</td> <td>Applies to the development</td> </tr> </tbody> </table>	Clause	Control	Trigger	Zone:	Clause 32.04 Mixed Use Zone (MUZ)	Clause 32.04-7 – Construction of a residential building	Overlays:	N/A	N/A	Particular Provisions:	Clause 52.06 Car Parking	Clause 52.06-3 – Reduce the number of car parking spaces required		Cause 52.34 Bicycle facilities	Applies to the development		Clause 53.18 Stormwater management	Applies to the development		Clause 58 Apartment Developments	Applies to the development
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Cultural Heritage:	The subject site is <u>not</u> located within an area of cultural heritage sensitivity.																					
Total Site Area:	2,621 m ²																					
Development Summary	The proposal involves the delivery of a 6-storey residential building containing 65 dwellings (consisting of 39 x one-bedroom, 23 x two-bedroom and 3 x three-bedroom) with associated basement car park (containing 19 car spaces and 72 bicycle spaces), landscaping and communal open spaces.																					
Advice sought:	<ul style="list-style-type: none"> • Head, Transport for Victoria – s55 referral (determining) – no objection • Development Victoria – s55 referral (determining) – no objection • City of Greater Dandenong – informal referral – supportive, subject to conditions 																					
Public Notice:	The application is exempt from notice.																					
Delegates List:	Approval to determine under delegation received on 23 October 2024 .																					
Recommendation	Grant planning permit PA2403088.																					



Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
Pre-application meeting	4 April 2024
Application lodgement	19 August 2024
Further information requested	3 September 2024
Further information received	4 October 2024
Decision Plans	<u>Decision Plans</u> <ul style="list-style-type: none">• Architectural Plans prepared by MGS Architects, dated 3 September 2024• Landscape Plans prepared by SBLA landscape architecture, dated 4 October 2024• Urban Context Report, prepared by MGS Architects, dated September 2024
Other Assessment Documents	<u>Decision Reports</u> <ul style="list-style-type: none">• Green Travel Plan, prepared by Traffix Group, dated 30 July 2024• Stormwater Management Plan, prepared by Meinhardt, dated July 2024• Sustainability Management Plan, prepared by floth, dated July 2024• Traffic Impact Assessment, prepared by Traffix Group, dated 30 July 2024• Waste Management Plan, prepared by Traffix Group, dated 30 July 2024• Wind assessment report, prepared by MEL Consultants, dated 20 September 2024

2. The subject of this report is the decision plans (as described above).

Proposal Summary

3. It is proposed the redevelop the site for a 6-storey apartment building (approximately 21.4m in height, at its highest point) comprising 65 dwellings. The building consists of 39 x one-bedroom apartments, 23 x two-bedroom apartments, and 3 x three-bedroom apartments, and an ancillary on-site office (approximately 100m²) for health staff which may be on-site from time to time.



Figure 1 - Extract of the southern elevation which shows the appearance of the building from Abbott Street

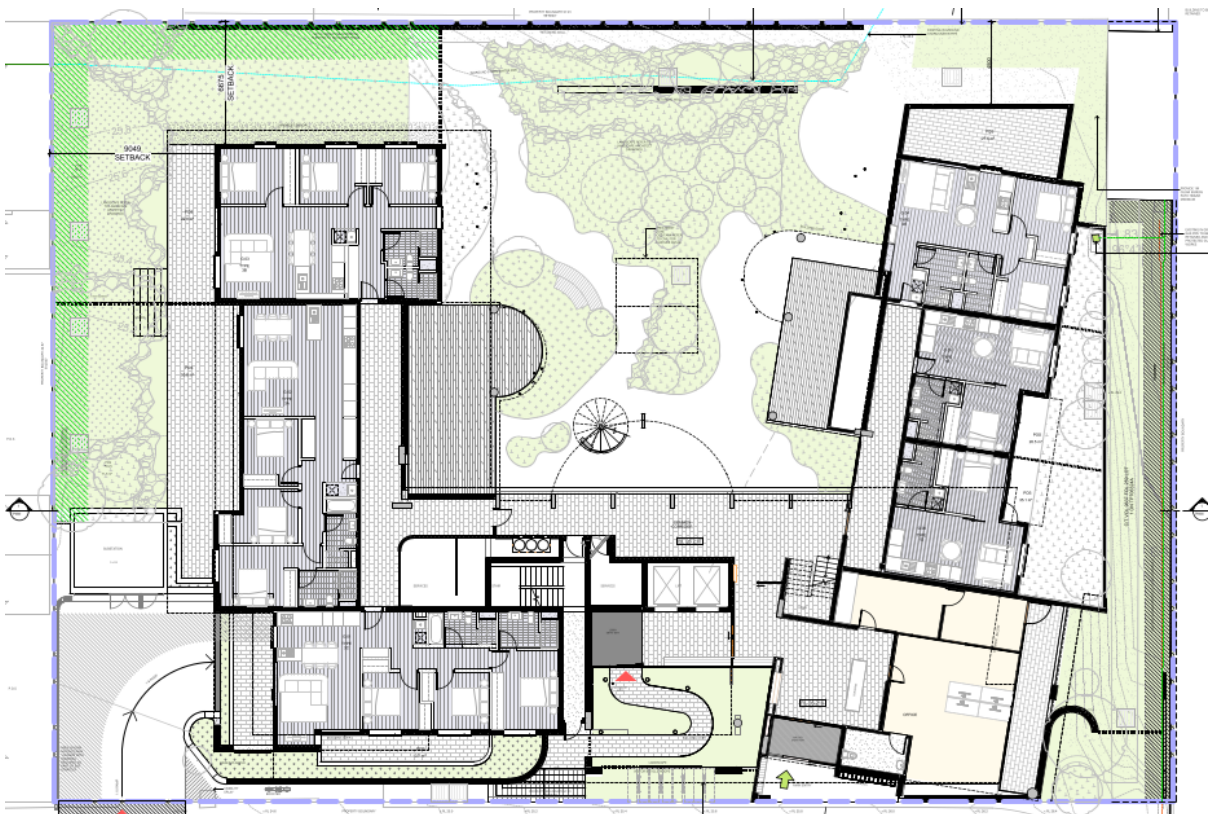


Figure 2 - Extract of the ground floor plan



4. The key features of the development include:

- High quality architectural form consisting of a 2-storey street wall and 4-storey upper form clad in a combination of face brick and galvanised metal cladding.
- A landscaped communal courtyard located within the centre of the site that is accessible from the lobby and by future residents.
- A basement car park area providing 21 spaces (19 spaces for residents and 2 spaces for on-site health staff) accessed by a proposed double width crossover from Abbott Street.
- The building being capable of achieving a 5-star Greenstar and an average NatHERs rating of 7 stars with no individual rating below 6 stars.



Figure 3 - Extract of the landscape concept showing the relationship of the central courtyard relative to the building



Site Description

5. The subject site is currently vacant, rectangular in nature and comprises of a site area of approximately 2,621m².
6. The site is located on the northern side of Abbott Street and benefits from an existing crossover located on the south-west corner.

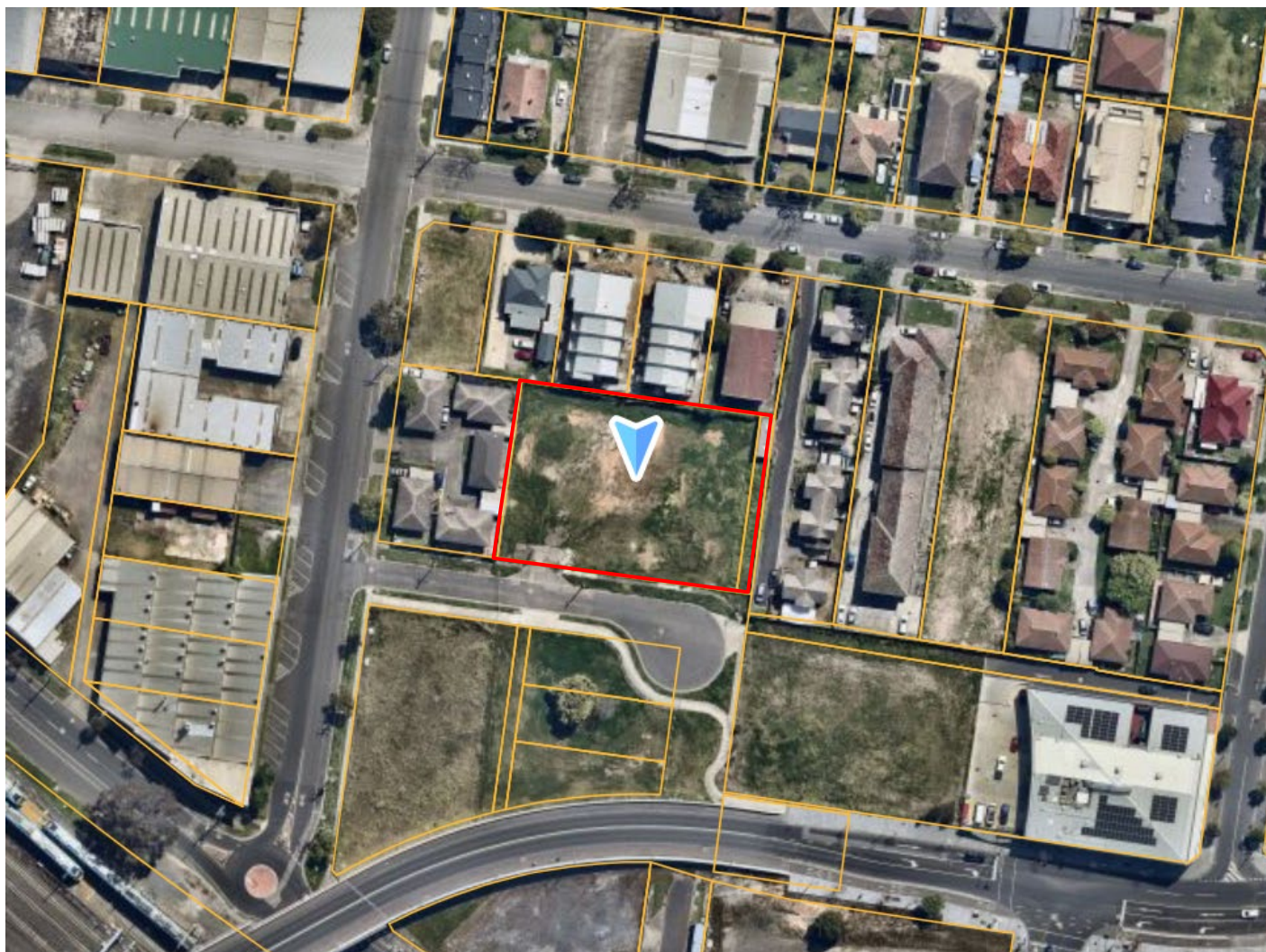


Figure 4 - Aerial of the subject site (source: nearmap)

7. The land is partly affected by an existing 1.83m wide easement along the eastern boundary for the purposes of gas and is in favour of the relevant gas and fuel corporation. No works are proposed to occur within this easement. The land currently contains an existing gas kiosk in the north-east corner of the site, which will not be altered.
8. The land is also affected by Agreement AN200660G which was recorded on title pursuant to Section 181 of the *Planning and Environment Act 1987*. The agreement does not contain any restrictions to the use and/or development of land of the property, but instead has been recorded on the title at the request of Development Victoria (formerly known as Places Victoria at the time of recording) to formally bind the future landowner with an obligation to remediate the land (if required) at its own cost. It is noted that the land is not affected by any Environmental Audit Overlays or similar and Development Victoria does not object to the application.

Site Surrounds

9. Immediate abutments can be summarised as follows:
 - To the **north** of the site are the secluded private open spaces (SPOS) of three properties, which are similarly zoned Mixed Use Zone (MUZ):
 - 21-23 Hutton Street, a 2-storey residential building with undercroft car parking, and 29 Hutton Street, a single storey dwelling.
 - 27 Hutton Street, which is recently constructed property comprising of a townhouse development consisting of 10, double storey dwellings.
 - To the **south** of the site: Abbott Street, a local road under council jurisdiction.
 - To the **east** of the site: 19 Hutton Street, which comprises of double storey units accessed by a single common driveway, similarly zoned MUZ.
 - To the **west** of the site are the SPOS of three single storey dwellings – Unit 2, 3 and 4 of 10 Pickett Street. The land is also zoned MUZ.
10. The site is located within the established metropolitan activity centre of Dandenong, in close proximity to the commercial of the centre, and where significant redevelopment is expected to occur within the immediately surrounding area through the Comprehensive Development Zone – Schedule 1 (CDZ1).
11. Further north, beyond the site are predominantly residential dwellings, zoned within the Residential Growth Zone (RGZ1).
12. The land is also strategically located within proximity to a range of services and amenities, which benefits the site from redevelopment including a range of:
 - Public transport options such as Dandenong Railway Station (approximately 300m south-east of the site), which also acts a transport interchange servicing multiple bus routes and regional rail routes.
 - Education facilities such as (but not limited to) Dandenong High School, Dandenong West Primary School and Dandenong Primary (approximately 950m north, west and east respectively), St. Mary Primary School (approximately 1.1km south-east) and St Johns Regional Secondary College (approximately 1.6km east).
 - Community and health facilities such as Monash Health Community Services (approximately 500m east), a range medical centres within the commercial centre along Lonsdale Street (approximately 1km east) and Dandenong Hospital (approximately 1.5km north).
 - Public open spaces including John Hemmings Memorial Park (approximately 780m north), Greaves Reserve (approximately 1km north-west) and Dandenong Park (approximately 900m south-east).
 - Retail premises including Dandenong Plaza Shopping Centre (approximately 900 north-east), Dandenong Market (approximately 820m north-east) and a range of shops and offices along Lonsdale Street (approximately 500m east)
13. In summary, the subject site is well serviced by a range of amenities and services to service the everyday needs of residents, expected of any established urban settlement. This coupled with the site's zoning and site context make its conducive to supporting the site for residential redevelopment at higher densities compared to that which currently exists.



Plan Melbourne 2017-2050

14. Plan Melbourne 2017-2050 is the metropolitan strategic planning strategy which seeks to guidance the future development of Metropolitan Melbourne and Victoria.
15. Plan Melbourne provides a range of relevant strategies as follows:
 - *Strategy 2.1 – manage the supply of new housing in the right locations to meet population growth and create a sustainable city*
 - *Strategy 2.2 – deliver more housing closer to jobs and public transport*
 - *Strategy 2.3 – increase the supply of the social and affordable housing*
 - *Strategy 2.4 – facilitate decision-making processes for housing in the right locations*
 - *Strategy 2.5 – provide a greater choice and diversity of housing.*
 - *Strategy 4.3 – achieve and promote design excellence*
 - *Strategy 5.1 – creation of 20-minute neighbourhoods*
 - *Strategy 5.2 – create neighbourhoods that support safe communities and healthy lifestyles.*
 - *Strategy 5.1 – creation of 20-minute neighbourhoods*
16. Plan Melbourne is translated through the relevant provisions of the Municipal Planning Strategy and Planning Policy Framework.

Planning Policy Framework

17. The Planning Policy Framework (PPF) provides the broad policy direction within the Victoria Planning Provisions. The planning principles set out under the PPF are to be used to guide decision making on planning proposals across the state. The following policies are considered relevant to this assessment:
 - Clause 11 – Settlement
 - Clause 15 – Built environment and Heritage
 - Clause 15.01 – Built Environment
 - Clause 16 – Housing
 - Clause 16.01 – Residential Development
 - Clause 18 – Transport
 - Clause 18.01 – Land Use and Transport
 - Clause 21.01 – Introduction
 - Clause 21.03 – A Vision for Greater Dandenong
 - Clause 21.03-3 – Strategic Framework Map
 - Clause 21.04 – Land Use
 - Clause 21.04-1 – Housing and Community
 - Clause 21.05 – Built Form
 - Clause 21.05-1 – Urban design, character, streetscapes and landscapes
 - Clause 22.04 – Urban Design in Activity and Neighbourhood Centres
 - Clause 22.06 – Environmentally Sustainable Development
 - Clause 22.07 – Central Dandenong Policy

Zoning and Overlays

Zoning

18. The subject site is located within the MUZ.
19. The purpose of the MUZ is:
 - To implement the Municipal Planning Strategy and the Planning Policy Framework.
 - To provide for a range of residential, commercial, industrial and other uses which complement the mixed-use function of the locality.
 - To provide for housing at higher densities.
 - To encourage development that responds to the existing or preferred neighbourhood character of the area.
 - To facilitate the use, development and redevelopment of land in accordance with the objectives specified in a schedule to this zone.
20. Pursuant to Clause 32.04-6, a planning permit is required for the construction of a residential building.
21. Schedule 1 to clause 32.04 does not contain any schedule-specific objectives nor decision guidelines.

Overlays

22. The subject site is not affected by any overlays.

Particular and General Provisions

Clause 52.06 (Car Parking)

23. The site is located within the Principal Public Transport Network (PPTN) area. Accordingly, Column B of Table 1 under Clause 52.06-5 is applicable. The proposal is for dwellings and generates the following statutory requirements as summarised in the below table:

Land Use	Rate (as per Column B)	Requirement	Supply
Dwelling – one and two bedroom dwellings	1 car space per dwelling	39 x one-bedroom = 39 spaces	19 residential spaces within a basement
		23 x two-bedroom = 23 spaces	
		Requirement = 62 spaces	
Dwelling – three bedrooms or more (with studies or studios counted as a separate bedroom)	2 car spaces per dwelling	3 x three-bedrooms = 6 spaces	
		Requirement = 6 spaces	
Dwelling – visitors	0 spaces per 5 dwellings	0 spaces	
		Total Requirement	68 spaces
		Shortfall and reduction required	47 spaces

24. Accordingly, a planning permit is required for a reduction of car parking requirements under Clause 52.06-3.



General Requirements and Performance Standards

Clause 52.34 (Bicycle Facilities)

25. Clause 52.34-1 specifies that the floor area of an existing use must not increase until the required bicycle facilities has been provided on the land.
26. Clause 52.34 requires a total of one resident space to each five dwellings and one visitor space to each 10 dwellings. This creates a statutory requirement of 13 spaces for residents and 6 for visitors.
27. The plans show 64 bicycle spaces for residents within the basement, and 8 spaces for visitors in the form of hoops within the front setback, close the front entrance.
28. Accordingly, no planning permit is triggered under this clause.

Clause 53.18 (Stormwater Management in Urban Development)

29. Clause 53.18 seeks to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.



Referrals

30. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 55 Referral – Determining	Head for Transport for Victoria	No objection – 30 August 2024
	Development Victoria	No objection – 30 September 2024

Municipal Council Comments

31. The application was informally referred to the City of Greater Dandenong (the council) on 21 August 2024.
32. The council provided officer level comments on 18 September 2024 in support of the application, and recommended a range of refinements associated with detailed design.
33. These comments have been considered within the body of this report.

Notice

34. Pursuant to Clause 4.0 (Exemption from notice and review) under the schedule to clause 32.04 (Mixed Use Zone), any application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Planning and Environment Act 1987, if it is within the area known as the *Declared Project Area – Central Dandenong*.
35. As the site is located within the Declared Project Area of central Dandenong, the application was not required to undergo notice.
36. The council noted that the land is within the notification zone of a major gas pipeline and therefore should be referred to APA GasNet (Australia) Operations Pty Ltd.
37. However, clauses 66.05 and 66.06 of the planning scheme do not specify APA GasNet as an authority that requires notice under section 52(1)(c). Accordingly, APA GasNet was not required to be notified of the application.



Strategic Direction and Land Use

39. The *Planning Policy Framework* encourages appropriate land use and development which enhance the built environment, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
40. Having regard to the planning policy framework, zoning of the subject site and its surrounding strategic context, it is considered that the proposal aligns with the strategic direction for the Dandenong Activity Centre noting that:
- The proposal is consistent with the purpose of the MUZ which supports housing at higher densities and supports development that responds to the preferred neighbourhood character. This is consistent with policy at Clause 22.07 (Central Dandenong Local Planning Policy) which aims to encourage higher-density housing at strategic redevelopment sites near transit centres.
 - The proposal involves the delivery of new medium density housing for the purposes of social housing for young people. This aligns with local planning policies at Clause 21.04-1 (Housing and community) and Clause 22.07-1 (Policy basis) which aims to support appropriate and affordable housing that suits diverse needs and provide a range housing in both types and costs.
 - The proposal for a 6-storey (reaching up to a height of approximately 21.4m) building appropriately optimises the development of land for higher density development within a strategically appropriate location, while ensuring that the overall massing and form is appropriately setback, modulated and articulated such that it avoids unreasonable off-site amenity impacts to the neighbouring properties.
 - The proposal has been appropriately massed and sited to support new landscaping opportunities within the side and rear setbacks, which will enhance the surrounding area. In addition, the proposal utilises a high degree of design detail to support an appropriate degree of built form articulation and fenestration, particularly within the street wall. This is consistent with Clause 15.01-2S, which aims to support well-designed and site-responsive development outcomes.
 - The development delivers a range of one-, two- and three-bedroom dwellings which respond appropriately to the objectives of housing diversity identified within Clause 16.01-2S that supports increasing housing choice.
 - The proposal provides 19 car spaces and 72 bicycle spaces to support alternative modes of transport other than private vehicles, which is consistent with Clause 18.01-3S which aims to promote walking and cycling, and the use of public transport, in that order, and minimise car dependency.
41. Accordingly, the proposal is an acceptable response to the strategic direction that has been established by the underlying planning provisions.

Buildings and Works

Height

42. The proposal is 6-storeys with a maximum building height of approximately 21.4m from natural ground level (NGL).
43. Clause 15.01-2S (Building Design) seeks to ensure that building design and siting outcomes positively contribute to the local context, enhances the public realm and supports environmentally sustainable development outcomes. To achieve this, a strategy is to ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.
44. In this context, it is considered that a 6-storey building is appropriate for the following reasons:
- The site is positioned within the MUZ that provides a transition in density and scale from the more intensive CDZ1 areas (further south) towards the residential areas zoned RGZ1 (further north) which supports development up to

4-storeys / 13.5m. As such, it is considered that a 6-storey building provides an appropriate balance and transition between these two zones.

- As the building reaches an overall height of appropriately 21.4m from NGL, the upper-level setbacks increase to a minimum of 8.9m from the western boundary, 6.7-15.4m from the northern boundary, and 5-8.8m from the eastern boundary. These setbacks appropriately mitigate any unreasonable (and perceived) visual bulk. Refer to Figure 5.
- The majority of the 6-storey height is generally positioned away from the sensitive interfaces. When viewed from the west, the height of the development is 5-storeys. This coupled with the upper-level setbacks (described above) sufficiently avoids any unreasonable visual bulk impacts. Similarly, when viewed from the north, the built form provides a generous internal building to building separation between the two 'wings' of the apartment.

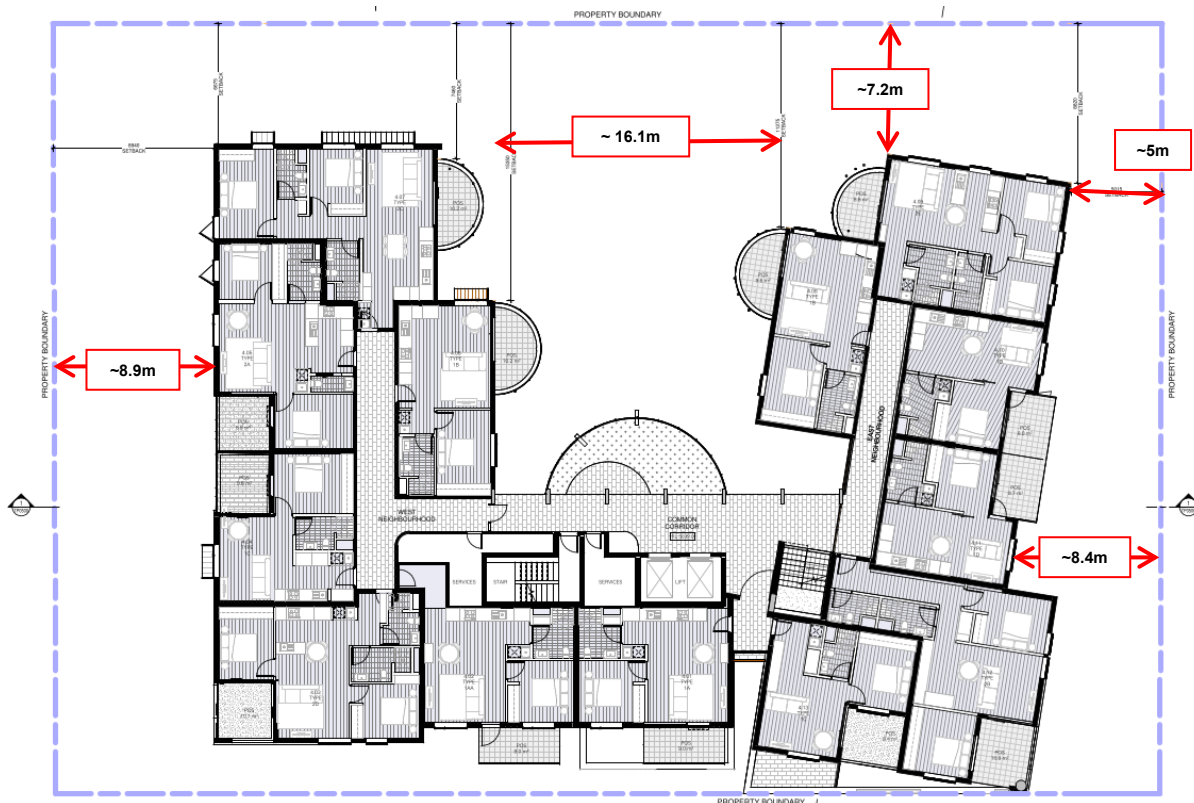


Figure 5 - Extract of the typical upper level (5th storey) of the proposal showing the typical upper level setbacks and building to building separation

45. In summary, the proposed building height is acceptable as it responds appropriate to its existing physical context and strategic context and will not cause any unreasonable off-site amenity impacts.

Front Setback

46. The proposal has a modest front setback and is generally massed towards Abbott Street with a recession in the façade to accommodate a secondary building entrance. Refer to Figure 6.

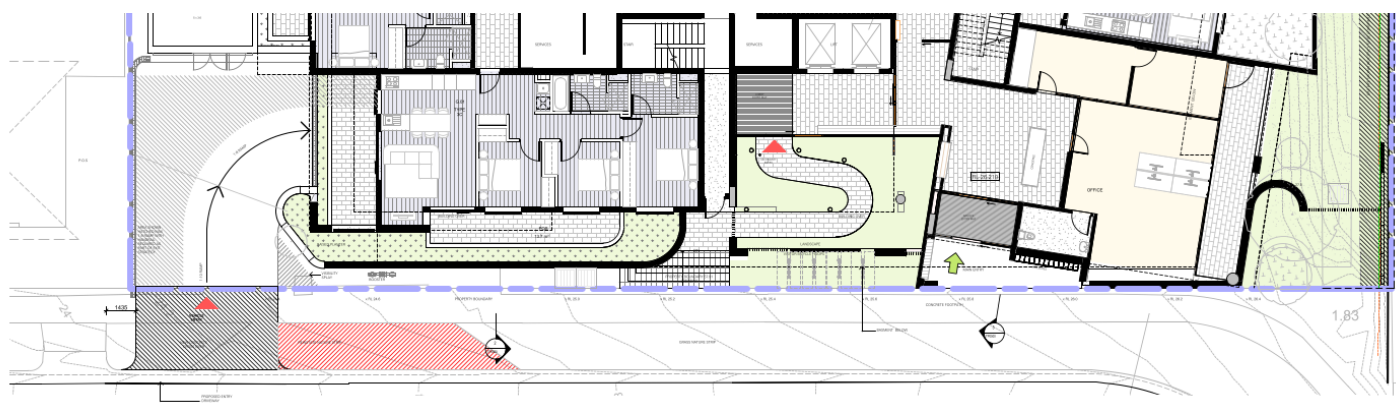


Figure 6 - Extract of the ground floor plan showing the front setback, relative to Abbott Street

47. The front setback is considered acceptable noting that:
- The building setback generally relates to the building setbacks of the single storey dwelling at 4/10 Pickett Street, which itself has a modest rear setback from its respective boundary.
 - The building setback varies across the frontage and provides a clear delineation between public and private areas, and provides for visitor bicycle parking, utility and meters and DDA access ensuring that the front
 - The submitted landscape plan shows that there are opportunities for modest low-lying planting but meaningful landscaping opportunities. This ensures that the proposal provides some landscape contribution to the streetscape, noting that the existing context does not have a strong landscape character.
48. In addition to the above, it is considered that the front setback provides an appropriate contribution towards improving the streetscape and built environment as sought by objectives 7 and 8 within Clause 21.05-1 (Urban design, character, streetscapes and landscapes). In particular:
- The extent of vehicle crossing has been kept to a practical minimum while facilitating two-way traffic. This ensures that car park structures do not dominate the streetscape.
 - A ground level apartment is oriented towards the street which will support passive surveillance of the street.
 - The front entrance and ancillary office are predominantly glazed will also support activation along Abbott Street.

Side and Rear Setbacks

49. As noted above, Clause 15.01-5L-01 (Preferred neighbourhood character) seeks to ensure that new buildings do not dominate the streetscape, planting canopy trees and landscaping to soften views of dwellings and enhance landscape settings, and to ensure that household services (such as vehicle access) do not dominate the streetscape.
50. It is also an objective of Clause 21.05-1 (Urban design, character, streetscapes and landscapes) to facilitate high quality development which has regard for the surrounding environment and built form.
51. The building provides appropriate setbacks to support new tree planting and landscaping opportunities and has appropriate regard to all interfaces. For example:
- Along the western (side) boundary, the building is setback approximately 8.8m from the boundary.
 - i. At ground level, this setback area, the landscape plan shows that it is proposed to provide 3 new canopy trees (reaching up to 3-6m in height at maturity), complemented with ground level turf coverings new wildflower mixes to support a new garden character.



- ii. At the upper levels, the building is similarly setback approximately 8.8m which is sufficient distance to avoid unreasonable visual impacts from the SPOS areas of Units 2, 3 and 4 of 10 Pickett Street.
 - Along the eastern (side) boundary, the building is setback between a minimum of 5m from the boundary.
 - i. At ground floor some of this setback is encroached by the SPOS of ground level apartments, the landscape plan shows that there is sufficient space for at least 3 new canopy trees within that area.
 - ii. At the upper levels, the setbacks range from 5m to 8.4m. This setback is sufficient to avoid unreasonable visual impacts to 17-19 Hutton Street. Furthermore, the building will generally face onto the common driveway of 17-19 Hutton Street, this is not considered to be a highly sensitive interface.
 - From the northern boundary, the rear setbacks vary with a minimum setback 7.2m, due to the U-shaped layout of the building.
 - i. At ground level, the U-shaped layout of the building allows a new central communal open space within the centre. The new central open space provides a range of garden areas with at least 10 new canopy trees, low-lying planters and wildflower mixes to support a meaningful garden character that is conducive for communal use.
 - ii. At the upper levels, the 'wings' of the building are setback at least 7.2m, which is sufficient to preclude unreasonable visual impacts towards the newly developed townhouses at 27 Hutton Street. It is noted that the new dwellings at 27 Hutton Street are oriented towards the east or the west, and not oriented to face directly onto the subject site.
52. In summary, the development provides appropriate setbacks having regard to its interfaces and surrounding built form.

Design Detail

53. The applicant submitted a detailed urban context report, which articulates how the design response and has been derived from its existing site context.

OPPORTUNITIES

Aspect and views

- 1 Access to Northern aspect and orientation
- 2 Potential for future views to revitalised Dandenong CBD and station precinct at upper levels

Location

- 3 Close proximity to Dandenong CBD and Dandenong Station
- 4 Direct connection to George/Walker Street bicycle corridor

Open space and landscape

- 5 Provide generous north facing communal open space and greenery on site
- 6 Provide a landscape buffer to residential neighbours, including retention of existing buffer to the east
- 7 Incorporate greening to Abbott Street

Materials, form and articulation

Take cues from the electric and diverse character of Dandenong

Street activation

- 8 Engage with Abbott Street with a well-resolved design response at the ground plane and increase opportunities for passive surveillance

CONSTRAINTS

Aspect and views

- 1 Existing views provide limited visual interest and is dominated by Stockmans Bridge
- 2 Western and southwestern edge is exposed to afternoon sun and prevailing winds

Acoustics

- 3 Acoustic impacts due to close proximity to rail corridor and George Street/Stockmans Bridge

Open space and landscape

- 4 Lack of surrounding landscape, greenery and trees

Off-site impacts

- 5 Overshadowing and overlooking impacts to adjoining residential neighbours need to be managed.

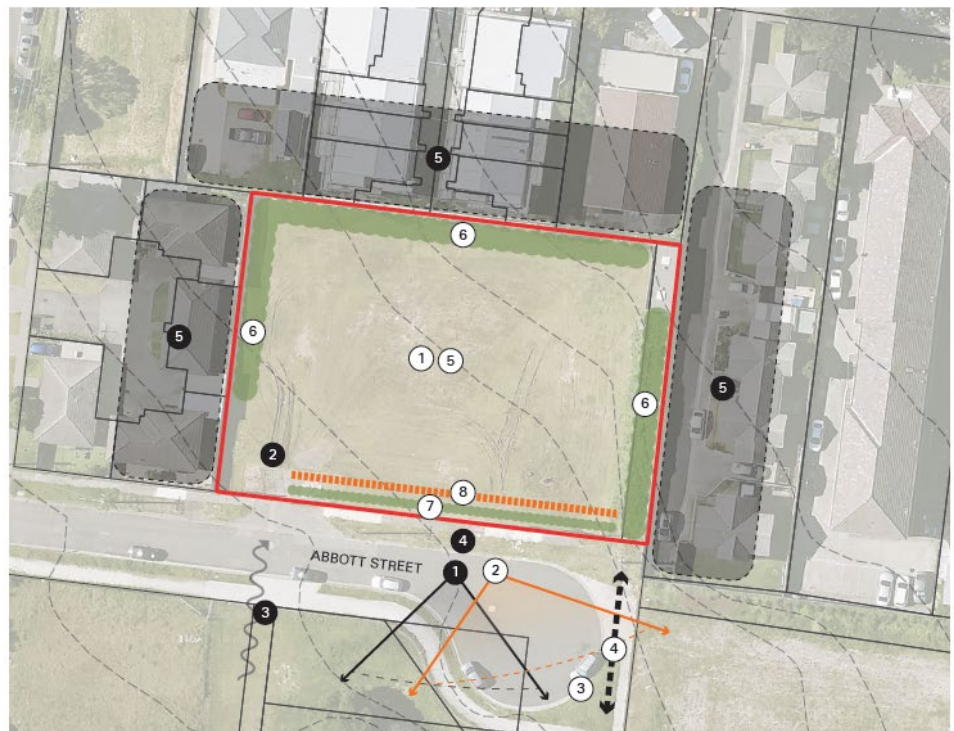


Figure 7 - Extract from the UCR of a conceptual diagram showing the opportunities and constraints that informed the design.



Figure 8 - Extract from the UCR of a render of the proposed that expresses the articulation and modulation of the built form

54. The UCR is satisfactory and has demonstrated that the proposal achieves a high degree of detailed design noting that:
- The utilises the opportunity to provide a generous north facing communal open space and greenery on site, given the north-south orientation of the site.
 - The development provides an appropriate degree of engagement (and activation) with Abbott Street, which is otherwise currently not present.
 - The design comprises a vertical break within the central built form to separate and break up the volume and massing. This provides a meaningful design entrance and create articulation in the built form.
 - The chosen material is predominantly masonry, which is a common material seen within the local area.
 - The basement car parking has been accommodated to ensure that car parking structures do not dominate the landscape.
55. The architectural response is considered acceptable.

Landscaping and Trees

Landscape Design

56. The application was accompanied by a landscape concept report and supported a detailed landscape plan. The plan illustrates that:
- The frontage will comprise a modest areas of grass coverings and low level shrubs with sufficient space set aside for visitor bicycle parking and utility meters. This is considered appropriate as it will promote a new engaging streetscape character that is sought, which is currently not present.

- The side and rear setbacks are supported by an appropriate degree of new landscaping and canopy trees as discussed above. The results in a deep soil planting area of approximately 37% (or 982m²), which exceeds the requirements of Clause 58.03-5 – Standard D10 (Landscaping objectives).
- A new central courtyard with new canopy trees and internal pathways, which will be conducive to communal use.
- There are no existing canopy trees on site. However, approximately 33 new canopy trees of varying sizes (between 2m high at maturity to 15m high at maturity) will be planted across the site. This creates a canopy coverage of approximately 42% (or 1,108m²), which complies with the requirements of Standard D10.

57. The proposal will achieve an acceptable landscape outcome.

Internal Amenity

58. Clause 16.01-1S (Housing Supply) seeks to facilitate development that adopts best practice through a combination of methods and provides a high level of internal amenity.
59. The plans were accompanied with a detailed assessment of the apartment layouts and are considered to achieve a high degree of internal amenity. In particular:
- The individual apartment plans demonstrate that the internal circulation paths and bathroom configurations are compliant with Clause 58.05-1 (Standard D18 – Accessibility).
 - All apartments are provided with access ground level private open space or balcony as sought by clause 58.05-3 (Standard D20 – Private Open Space).
 - The dimensions of bedrooms and living room areas comply with the requirements of Clause 58.07-1 (Standard D26 – Functional Layout).
 - All single aspect apartments are not deeper than 9m, compliant with clause 58.07-2 (Standard D27 – Room Depth).

Off Site Amenity Impacts

Overshadowing

60. As discussed above, the submitted overshadowing diagrams demonstrates that the proposal will not result in unreasonable overshadowing impacts to the adjoining eastern and western dwellings. The building achieves an appropriate balance between increased density, while avoiding overshadowing impacts.
61. The development does not result any unreasonable overshadowing impacts to the secluded private open space (SPOS) of adjoining properties. In particular, the submitted shadow diagrams show that:
- The development results in a small amount of overshadowing to the dwellings at 17-19 Hutton Street (to the east) between approximately 2pm and 3pm at the September equinox. As these dwellings will remain entirely free from shadow during the morning and middle of the day, the small extent of afternoon shadow is acceptable. The SPOS of those dwellings will continue to receive good daylight and sunlight.
 - The development will cause some overshadowing to the SPOS of the dwellings at Units 2, 3 and 4 of 10 Pickett Street (to the west) between 9am and 10am at the September equinox, however, these areas will be out of shadow by approximately 10:30am ensuring that these SPOS areas continue to receive good daylight and sunlight access throughout the afternoon.
62. As such, the proposal does not cause unreasonable overshadowing impacts to adjoining properties and is acceptable.



Overlooking

63. Clause 58.04-1 (Standard D14 – Building setback) seeks to ensure buildings are setback from side and rear boundaries so as to avoid direct views into habitable windows and private open spaces of new and existing dwellings.
64. The proposal has been fully assessed and avoids unreasonable overlooking as follows:
- At ground level, there are no opportunities for overlooking into the neighbouring SPOS (north and west) given the presence of an existing paling fence.
 - At the upper levels:
 - i. The western elevation of the building is setback 8.94m from the western boundary, which is only 6cm short of the established industry-wide overlooking distance of 9m.
 - ii. All habitable windows on the western elevation are provided with a 'shelf' at the ledge of those windows which will preclude direct downward views into the SPOS of Units 2, 3 and 4 of 10 Pickett Street.
 - iii. While the west-facing balconies do not have a visual barrier which will prevent direct downwards views into the SPOS of these dwellings, the 8.94m setback is considered to appropriately limit direct views into the SPOS areas consistent with the objective of Standard D14. Accordingly, no direct views into the SPOS of Units 2, 3 and 4 of 10 Pickett Street are considered to arise.
 - iv. Similarly, all habitable windows on the northern elevation are provided with a shelf at the ledge of the windows. This precludes direct downwards view into the SPOS of the dwellings at 25-27 Hutton Street (commonly referred to as 5 and 6 Kendrick Place).
 - v. There are no opportunities for direct views from apartments into the habitable windows or SPOS of dwellings at 17-19 Hutton Street, given the 5m building setback and intervening common driveway with a width of over 6m.
 - There is no requirement to screen windows and balconies on the eastern façade because it looks out onto the driveway, which is not considered to be a private interface.
 - There is no required to screen any north-facing balconies of the development because it is setback such that the distance precludes downward views into the dwellings at 5 and 6 Kendrick Place:
 - i. The apartments on the western 'wing' of the development does not have any direct views to any of those SPOS and balconies.
 - ii. The apartments on the eastern 'wing' of the development are positioned at least 10m from the nearest SPOS (and balcony) of the neighbouring dwelling. This is sufficient to limit direct views into those balconies, consistent with the objective of Standard D14.
65. Overall, the proposal will avoid unreasonable overlooking to the SPOS of adjoining properties.

Car and Bicycle Parking, Waste Management

Car Parking

66. As noted above, the application seeks a reduction in car parking by 47 spaces, pursuant to Clause 52.06-3.
67. It is considered that a reduction in car parking requirements is justified given that:
- Collectively, the reduced parking provision, availability of bicycle parking and public transport is consistent with Clause 18.01-3S which aims to promote walking and cycling, and the use of public transport, in that order, and minimise car dependency, particularly within the Dandenong Activity Centre.

- The proposal provides 19 car spaces, which represents 0.3 spaces per dwelling. This ratio is lower than that of a conventional (private market) development. However, the development is for social housing dwellings with a focus on youth. This type of development typically attracts a lower demand for car parking (due to diverse individual needs). In addition, empirical analysis and data within the traffic impact assessment notes that car ownership is markedly less than the general population, representing empirical ownership rates as low as 0.11 spaces per dwelling, which further supports a reduced car parking provision on-site.
- The proposal provides 19 spaces (in lieu of 68), as such the option is available for future occupants to own a private motor vehicle, if desired. The reduction is also offset by a near 1 for 1 bicycle space to dwelling ratio to further encourage alternative modes of transport. Alternatively, the site benefits from public transport options (as described above).
- The council has advised that it is supportive of the reduced car parking provision.

Design Standards for Car Parking

68. The proposal car parking has been assessed against the requirements of Clause 52.06-9 and is compliant. In particular:
- The accessway is 6.4m (exceeding the minimum 3.6m width) and aisle width is 6.4m and capable of facilitating vehicles exiting the site in a forward direction without vehicle conflicts. This complies with Design Standard 1.
 - The car parking spaces are designed to comply with the planning scheme requirements comprising a 4.9m depth by 2.6m width. As such, this complies with Design Standard 2.
 - The ramp into the basement car parking provides a gradient of 1:8 to 1:10, which is not steeper than the permitted maximum 25% (or 1:4) grade. This complies with Design Standard 3.
 - As noted previously the basement car park is appropriately integrated and readily identifiable within the overall design. Its appearance is further softened by landscaping within the frontage. As such, this complies with Design Standard 5, 6 and 7.

Waste Collection

69. The submitted waste management plan (WMP) identifies that it is proposed to utilise a private contractor to undertake waste collection services. The plans show a dedicated waste storage room conveniently located to the waste collection area.
70. As such, the WMP identifies that waste collection will occur on-site within the basement that is conveniently located from the waste room.
71. The submitted WMP also shows that the car parking is capable of facilitating a medium rigid vehicle within the site to facilitate waste collect on-site, while the swept path diagrams shows that the truck will be capable of entering and exiting the site in a forward direction. This is efficient and acceptable.
72. The council raised no objection to the waste management plan, however, requested that the height clearances of the ramp into the basement are confirmed to ensure waste truck access. This can be confirmed by way of permit condition.
73. As such, the proposal provides acceptable waste collection.

Sustainability

Environmentally Sustainable Design (ESD)

74. The application was accompanied by an ESD report which identifies a range of ESD measures to ensure a sustainable built form including:



- Achieves an average 7 stars of NatHERs rating ensuring good building energy efficiency.
 - All electric building.
 - Water efficient fixtures supported by on-site rainwater tanks for irrigation and flushing.
 - High performance glazing systems.
 - Solar photovoltaic system noted as 'under consideration' due to the roof space.
75. The council was supportive of the development's ESD commitments, however, noted that the absence of a solar photovoltaic (PV) system and on the roof and electric vehicle car (EVC) charging points, was a missed opportunity.
76. No EVC charging points are provided given the low car ownership rates across the municipality. The applicant notes that it does not rely on the provision of solar PV nor EVC charging to achieve its 5 star Greenstar rating.
77. The absence of a solar PV system is not detrimental to the ESD credentials of the building given that it continues to achieve a 5 star Greenstar rating. However, this has been discussed with the applicant who has indicated acceptance of this recommendation. DTP notes that a solar PV system had always been under consideration within the design however unable to be confirmed due to uncertainty about the roof design. Accordingly, it will be a condition of a permit requiring that the architectural plans and ESD report are revised to introduce a solar PV system.
78. DTP officers agree that EVC charging points are not required for this development, given the future occupants will be young people with low car ownership and broader considerations to reduce reliance on automobile in general.
79. Overall, the submitted ESD report provides good sustainability credentials for the building, the committed ESD initiatives have not been shown on the development plans. Furthermore, the ESD report includes a draft stormwater management plan, which is required to be revised to ensure the technical of assumptions of the ESD report are accurate. Accordingly, it will be a condition of permit requiring that the committed ESD measures within the approved ESD report are shown on the plans wherever possible and practical, and the ESD report is revised accordingly.
80. As such, the proposal provides an acceptable ESD outcome, subject to conditions.

Water Sensitive Urban Design (WSUD)

81. In addition the ESD measures, the application outlines a range of WSUD measures which have sought to maximise the reuse of stormwater, as sought by Clause 53.18. For example:
- The proposal incorporates 10kL rainwater tanks dedicated to flushing and irrigation. This has been shown on plans.
 - The site comprises of 37% deep soil planting, providing a high degree of permeable surfaces to support infiltration and minimise stormwater discharge off-site. This is also evidenced through the landscaping opportunities.
 - Achieves a 102% STORM rating.
82. As such, this is an appropriate outcome.

Stormwater Management

83. The council did not recommend any specific stormwater management systems within its feedback for this proposal. However, prior to the lodgement of this application, the applicant engaged with the council to obtain preliminary advice in relation to on-site detention (OSD) capacity.
84. The council notes that its Asset and Civil Engineers had no objection to the proposal, subject to conditions. These generally conditions include:



- a. An existing 2.44 metre drainage easement which currently contains an existing council stormwater pipe, along the northern property be noted on plans. It is unclear as to why this easement is not declared on the copy of title. Nonetheless, given that it currently contains an existing council asset, this can be confirmed by way of permit condition.
 - b. The stormwater management plan be revised to confirm that the water quality performance will satisfy the “Best Practice Environmental Management Guidelines for Stormwater (CSIRO, 1999)” in relation to areas of hardstand and raingardens.
 - c. Ensuring that the vehicle cross, kerb and channel of the footpath are constructed / modified to the satisfaction of Greater Dandenong City Council. Wherever appropriate and necessary, an equivalent DTP condition will be included within any permit to issue.
85. The applicant submitted a stormwater management plan which notes the following:
- a. The land is capable connecting into the existing legal point of discharge nearby the site.
 - b. The drainage infrastructure for this development will be designed to handle storm events so as to manage heavy rainfall against Australian Standards.
 - c. A roof stormwater catchment which will be directed, at first instance, into a minimum 10kL rainwater tank with overflow into the stormwater system.
 - d. Provision of an OSD tank with a capacity of 16.6m³ as confirmed by the council’s engineers.
86. Subject to the above conditions, the proposal will result in appropriate stormwater outcomes.



87. The proposal is generally consistent with the relevant planning policies of the Greater Dandenong Planning Scheme and will contribute to the provision of housing within the Dandenong area.
88. The proposal was referred to Development Victoria and the Head for Transport for Victoria, which does not object to the development.
89. The application was informally referred to the City of Greater Dandenong which supports the proposal, subject to conditions, which have been considered as part of this assessment.
90. The application was exempt from notice.
91. It is recommended that:
- a. Planning Permit No. PA2403088 be granted, subject to conditions
 - b. The applicant, referral authorities and the council be notified of the above in writing.

Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
- Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name:

Title:

Signed:

Phone:

Dated:

6 November 2024

Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
- Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
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Name:

Title:

Signed:

Phone:

Dated:

6 November 2024

Appendix 1: Clause 58 Assessment



Application requirements

Clause 58.01-1	Assessment
<ul style="list-style-type: none">• An application must be accompanied by:<ul style="list-style-type: none">○ An urban context report.○ A design response.	<p>Complies</p> <p>An urban context report prepared by MGS Architects has been provided.</p>

Urban context report

Clause 58.01-2	Assessment
<ul style="list-style-type: none">• The urban context report may use a site plan, photographs or other techniques and must include:• An accurate description of:<ul style="list-style-type: none">○ Site shape, size, orientation and easements.○ Levels and contours of the site and the difference in levels between the site and surrounding properties.○ The location and height of existing buildings on the site and surrounding properties.○ The use of surrounding buildings.○ The location of private open space of surrounding properties and the location of trees, fences and other landscape elements.○ Solar access to the site and to surrounding properties.○ Views to and from the site.○ Street frontage features such as poles, street trees and kerb crossings.○ The location of local shops, public transport services and public open spaces within walking distance.○ Movement systems through and around the site.○ Any other notable feature or characteristic of the site.• An assessment of the characteristics of the area including:<ul style="list-style-type: none">○ Any environmental features such as vegetation, topography and significant views.○ The pattern of subdivision.○ Street design and landscape.○ The pattern of development.○ Building form, scale and rhythm.○ Connection to the public realm.○ Architectural style, building details and materials.○ Off-site noise sources.○ The relevant NatHERS climate zones (as identified in Clause 58.03-1).○ Social and economic activity.○ Any other notable or cultural characteristics of the area.	<p>Complies</p> <p>An urban context report prepared by MGS Architects has been provided.</p> <p>The UCR explains how the amended proposal has been derived relative to its existing physical and policy context.</p>

Design response

Clause 58.01-3	Assessment
<ul style="list-style-type: none">• The design response must explain how the proposed design:<ul style="list-style-type: none">○ Responds to any relevant planning provision that applies to the land.○ Meets the objectives of Clause 58.○ Responds to any relevant housing, urban design and landscape plan, strategy or policy set out in this scheme.○ Derives from and responds to the urban context report.• The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.	<p>A planning report prepared by Ethos Urban has explain how the proposal has responded to the relevant provisions of the Greater Dandenong Planning Scheme.</p>



Urban context objectives

Clause 58.02-1	Assessment
Objectives <ul style="list-style-type: none">To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area.To ensure that development responds to the features of the site and the surrounding area.	Complies <p>As discussed within the body of the report, the proposal provides an appropriate balance between the planning policy objectives for this part of Central Dandenong and the Dandenong Metropolitan Activity Centre.</p>
Standard D1 <ul style="list-style-type: none">The design response must be appropriate to the urban context and the site.The proposed design must respect the existing or preferred urban context and respond to the features of the site.	

Residential policy objectives

Clause 58.02-2	Assessment
Objectives <ul style="list-style-type: none">To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.To support higher density residential development where development can take advantage of public and community infrastructure and services.	Complies <p>The proposal responds appropriately to the purposes of the MUZ, and housing objectives as set out within Clause 16.01 and Clause 21.04.</p>
Standard D2 <ul style="list-style-type: none">An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.	

Dwelling diversity objectives

Clause 58.02-3	Assessment
Objective <ul style="list-style-type: none">To encourage a range of dwelling sizes and types in developments of ten or more dwellings	Complies <p>The proposal responds appropriately to the housing objectives as set out within Clause 16.01, noting the proposal incorporates a range of one-, two- and three-bedroom dwellings.</p>
Standard D3 <ul style="list-style-type: none">Developments of ten or more dwellings should provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms.	

Infrastructure objectives

Clause 58.02-4	Assessment
Objectives <ul style="list-style-type: none">To ensure development is provided with appropriate utility services and infrastructure.To ensure development does not unreasonably overload the capacity of utility services and infrastructure.	Complies <p>The proposal will rely on the existing infrastructure within the Dandenong area.</p>
Standard D4 <ul style="list-style-type: none">Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or	

Integration with the street objective

Clause 58.02-5	Assessment
<p>Objective</p> <ul style="list-style-type: none"> To integrate the layout of development with the street. 	<p>Complies</p> <p>As discussed within the body of the report:</p>
<p>Standard D5</p> <ul style="list-style-type: none"> Developments should be oriented to front existing and proposed streets. Along street frontage, development should: <ul style="list-style-type: none"> Incorporate pedestrian entries, windows, balconies or other active spaces. Limit blank walls. Limit high front fencing, unless consistent with the existing urban context. Provide low and visually permeable front fences, where proposed. Conceal car parking and internal waste collection areas from the street. adequate vehicle and pedestrian links that maintain or enhance local accessibility. Development next to existing public open space should be designed to complement the open space and facilitate passive surveillance. 	<ul style="list-style-type: none"> The proposal's massing is effectively broken up into distinctive components ensuring a cohesive built form. The proposal has a street wall and upper form, and has appropriately been optimised to the north. The street wall has been appropriately designed to have a well defined and legible entrance to Abbott Street. <p>The presence of substations and service cabinets have been kept to a minimum and their visibility within the streetscape has been limited.</p>

Energy efficiency objectives

Clause 58.03-1	Assessment
<p>Objectives</p> <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings and buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. To ensure dwellings achieve adequate thermal efficiency. 	<p>Complies – subject to conditions</p> <p>The proposal has been designed to ensure an appropriate degree of energy efficient, noting the submitted ESD report will commits to a high degree of sustainability objectives.</p>
<p>Standard D6</p> <ul style="list-style-type: none"> Buildings should be: <ul style="list-style-type: none"> Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is optimised. Dwellings located in a climate zone identified in Table D1 should not exceed the maximum NatHERS annual cooling load specified in the following table. 	<p>However, as noted above, it is recommended that the proposal introduce a solar PV rooftop system, which has been accepted by the applicant.</p>



Table D1 Cooling load	
NatHERS climate zone	NatHERS maximum cooling load MJ/M ² per annum
Climate zone 21 Melbourne	30
Climate zone 22 East Sale	22
Climate zone 27 Mildura	69
Climate zone 60 Tullamarine	22
Climate zone 62 Moorabbin	21
Climate zone 63 Warrnambool	21
Climate zone 64 Cape Otway	19
Climate zone 66 Ballarat	23

Note:

- Refer to NatHERS zone map, Nationwide House Energy Rating Scheme (Commonwealth Department of Environment and Energy).

Communal open space objective

Clause 58.03-2

Objectives

- To provide communal open space that meets the recreation and amenity needs of residents.
- To ensure that communal open space is accessible, practical, attractive, easily maintained.
- To ensure that communal open space is integrated with the layout of the development and enhances resident amenity.

Standard D7

- A development of 10 or more dwellings should provide a minimum area of communal outdoor open space of 30 square metres.
- If a development contains 13 or more dwellings, the development should also provide an additional minimum area of communal open space of 2.5 square metres per dwelling or 220 square metres, whichever is the lesser. This additional area may be indoors or outdoors and may consist of multiple separate areas of communal open space.
- Each area of communal open space should be:
 - Accessible to all residents.
 - A useable size, shape and dimension.
 - Capable of efficient management.
 - Located to:
 - Provide passive surveillance opportunities, where appropriate.
 - Provide outlook for as many dwellings as practicable.
 - Avoid overlooking into habitable rooms and private open space of new dwellings.
 - Minimise noise impacts to new and existing dwellings.
- Any area of communal outdoor open space should be landscaped and include canopy cover and trees.

Assessment

Complies

The proposal includes 65 dwellings, and therefore is required to provide a minimum of 192.5m² of communal open space.

The plans show a centralised communal outdoor open space of approximately 640m² with a direct northerly aspect.

Apartments are appropriately designed to orient towards this space, which will promote passive surveillance and activation.



Solar access to communal outdoor open space objective

Clause 58-03-3	Assessment
Objective <ul style="list-style-type: none"> To allow solar access into communal outdoor open space 	Complies The communal outdoor open space has a direct northern interface and is capable of achieving at least 2 hours of sunlight between 9am and 3pm on 21 June.
Standard D8 <ul style="list-style-type: none"> The communal outdoor open space should be located on the north side of a building, if appropriate. At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June. 	

Safety objective

Clause 58.03-4	Assessment
Objective <ul style="list-style-type: none"> To ensure the layout of development provides for the safety and security of residents and property 	Complies The proposal has been appropriately designed to ensure an activated frontage to the Abbott Street.
Standard D9 <ul style="list-style-type: none"> Entrances to dwellings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares. 	

Landscaping objectives

Clause 58.03-5	Assessment
Objectives <ul style="list-style-type: none"> To provide landscaping that supports the existing or preferred urban context of the area and reduces the visual impact of buildings on the streetscape. To preserve existing canopy cover and support the provision of new canopy cover. To ensure landscaping is climate responsive, supports biodiversity, wellbeing and amenity and reduces urban heat. 	Complies The proposal provides approximately 37% (982m ²) of deep soil planting at the ground level. The submitted landscape plan shows that it is proposed to provide 32 canopy trees of varying heights. <ul style="list-style-type: none"> Collectively, these trees result in an appropriate canopy cover of approximately 1,108m² which exceeds the minimum requirements of 374m². The proposal provides more than two 8 metre high trees, within appropriate soil areas which complies with the requirements in Tables D3 and D4.
Standard D10 <ul style="list-style-type: none"> Development should retain existing trees and canopy cover. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. Development should: <ul style="list-style-type: none"> Provide the canopy cover and deep soil areas specified in Table D2. Existing trees can be used to meet the canopy cover requirements of Table D2. Provide canopy cover through canopy trees that are: <ul style="list-style-type: none"> Located in an area of deep soil specified in Table D3. Where deep soil cannot be provided trees should be provided in planters specified in Table D3. Consistent with the canopy diameter and height at maturity specified in Table D4. Located in communal outdoor open space or common areas or street frontages. Comprise smaller trees, shrubs and ground cover, including flowering native species. 	

- *Include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.*
- *Shade outdoor areas exposed to summer sun through landscaping or shade structures and use paving and surface materials that lower surface temperatures and reduce heat absorption.*
- *Be supported by irrigation systems which utilise alternative water sources such as rainwater, stormwater and recycled water.*
- *Protect any predominant landscape features of the area.*
- *Take into account the soil type and drainage patterns of the site.*
- *Provide a safe, attractive and functional environment for residents.*
- *Specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.*
- *Specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.*

Table D2 Canopy cover and deep soil requirements

Site area (sqm)	Canopy cover	Deep soil
1000 square metres or less	5% of site area Include at least 1 Type A tree	5% of site area or 12 square metres whichever is the greater
1001 – 1500 square metres	50 square metres plus 20% of site area above 1,000 square metres Include at least 1 Type B tree	7.5% of site area
1501 - 2500 square metres	150 square metres plus 20% of site area above 1,500 square metres Include at least 2 Type B trees or 1 Type C tree	10% of site area
2500 square metres or more	350 square metres plus 20% of site area above 2,500 square metres Include at least 2 Type B trees or 1 Type C tree	15% of site area

Table D3 Soil requirements for trees

Tree type	Tree in deep soil Area of deep soil	Tree in planter Volume of planter soil	Depth of planter soil
A	12 square metres (min. plan dimension 2.5 metres)	12 cubic metres (min. plan dimension 2.5 metres)	0.8 metre
B	49 square metres (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension of 4.5 metres)	1 metre
C	121 square metres (min. plan dimension 6.5 metres)	64 cubic metres (min. plan dimension of 6.5 metres)	1.5 metre

Note:

- *Where multiple trees share the same section of soil the total required amount of soil can be reduced by 5% for every additional tree, up to a*

maximum reduction of 25%.

Table D4 Tree types

Tree type	Minimum canopy diameter at maturity	Minimum height at maturity
A	4 metres	6 metres
B	8 metres	8 metres
C	12 metres	12 metres

Access objectives

Clause 58.03-6	Assessment
Objectives <ul style="list-style-type: none">To ensure that vehicle crossovers are designed and located to provide safe access for pedestrians, cyclists and other vehicles.To ensure the vehicle crossovers are designed and located to minimise visual impact.	Complies <p>The proposal incorporates one vehicle crossover that is appropriately located to avoid any conflicts with residential entries, pedestrians or cyclists.</p>
Standard D11 <ul style="list-style-type: none">Vehicle crossovers should be minimised.Car parking entries should be consolidated, minimised in size, integrated with the façade and where practicable located at the side or rear of the building.Pedestrian and cyclist access should be clearly delineated from vehicle access.The location of crossovers should maximise pedestrian safety and the retention of on-street car parking spaces and street trees.Developments must provide for access for service, emergency and delivery vehicles.	

Parking location objectives

Clause 58.03-7	Assessment
Objectives <ul style="list-style-type: none">To provide convenient parking for resident and visitor vehicles.To protect residents from vehicular noise within developments.	Complies <p>The parking is located within the basement, which is appropriately integrated within the design and hidden from the built form.</p>
Standard D12 <ul style="list-style-type: none">Car parking facilities should:<ul style="list-style-type: none">Be reasonably close and convenient to dwellings.Be secure.Be well ventilated if enclosed.Shared accessways or car parks of other dwellings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	

Integrated water and stormwater management objectives

Clause 58.03-8	Assessment
Objectives <ul style="list-style-type: none">To encourage the use of alternative water sources such as rainwater, stormwater and recycled water.To facilitate stormwater collection, utilisation and infiltration within the development.To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.	Complies <p>The proposal includes a range of ESD initiatives to minimise the reliance on potable water and improve stormwater collection, and infiltration. In particular, the proposal:</p> <ul style="list-style-type: none">Incorporates a 10kL rainwater tankUtilises Rainwater capture and treatment to be



Standard D13

- Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.
- Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.
- The stormwater management system should be:
 - Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).
 - Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas.

used for landscaping and irrigation purposes.

- Has a 31% site permeability ensuring high infiltration rates.

Building setback objectives

Clause 58.04-1

Objectives

- To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area.
- To allow adequate daylight into new dwellings.
- To limit views into habitable room windows and private open space of new and existing dwellings.
- To provide a reasonable outlook from new dwellings.
- To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents.

Assessment

Complies

The proposed setbacks have been assessed in detail are considered to be appropriate.

Standard D14

- The built form of the development must respect the existing or preferred urban context and respond to the features of the site.
- Buildings should be set back from side and rear boundaries, and other buildings within the site to:
 - Ensure adequate daylight into new habitable room windows.
 - Avoid direct views into habitable room windows and private open space of new and existing dwellings. Developments should avoid relying on screening to reduce views.
 - Provide an outlook from dwellings that creates a reasonable visual connection to the external environment.
 - Ensure the dwellings are designed to meet the objectives of Clause 58.

Internal views objective

Clause 58.04-2

Objective

- To limit views into the private open space and habitable room windows of dwellings within a development.

Assessment

Complies

The proposal does not result in any unreasonable internal overlooking.

Standard D15

- Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the private open space of a lower-level dwelling directly below and within the same development.

Noise impacts objectives

Clause 58.04-3

Objectives

- To contain noise sources in developments that may affect existing dwellings.

Assessment

Complies – subject to condition

The proposal has been appropriately designed to ensure that dwellings are located away from noise

- To protect residents from external and internal noise sources.

Standard D16

- Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.
- The layout of new dwellings and buildings should minimise noise transmission within the site.
- Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.
- New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.
- Buildings within a noise influence area specified in Table D3 should be designed and constructed to achieve the following noise levels:
 - Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.
 - Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.
- Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.
- Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.

Table D5 Noise influence area

Noise source	Noise influence area
Zone interface	
Industry	300 metres from the Industrial 1, 2 and 3 zone boundary
Roads	
Freeways, tollways and other roads carrying 40,000 Annual Average Daily Traffic Volume	300 metres from the nearest trafficable lane
Railways	
Railway servicing passengers in Victoria	80 metres from the centre of the nearest track
Railway servicing freight outside Metropolitan Melbourne	80 metres from the centre of the nearest track
Railway servicing freight in Metropolitan Melbourne	135 metres from the centre of the nearest track

Note:
The noise influence area should be measured from the closest part of the building to the noise source.

sources such as the lift core and mechanical plants (noting that most of the mechanical plant are located on the roof, appropriately screened).

However, it will be a condition of permit requiring confirmation that all roof plants are provided with appropriate acoustic screening.

Wind impacts objective

Clause 58.04-4

Objective

- To ensure the built form, design and layout of development does not generate unacceptable wind impacts within the site or on surrounding land.

Standard D17

- Development of five or more storeys, excluding a basement should:

Assessment

Complies

The application has included an environmental wind assessment.

The desktop study has revealed that the proposal will not result in any unreasonable wind impacts and accordingly requires no design modification.



- *not cause unsafe wind conditions specified in Table D6 in public land, publicly accessible areas on private land, private open space and communal open space; and*
- *achieve comfortable wind conditions specified in Table D6 in public land and publicly accessible areas on private land within a distance of half the greatest length of the building, or half the total height of the building measured outwards on the horizontal plane from the ground floor building façade, whichever is greater.*
- *Trees and landscaping should not be used to mitigate wind impacts. This does not apply to sitting areas, where trees and landscaping may be used to supplement fixed wind mitigation elements.*
- *Wind mitigation elements, such as awnings and screens should be located within the site boundary, unless consistent with the existing urban context or preferred future development of the area.*

Table D6 Wind conditions

Unsafe	Comfortable
Annual maximum 3 second gust wind speed exceeding 20 metres per second with a probability of exceedance of 0.1% considering at least 16 wind directions.	Hourly mean wind speed or gust equivalent mean speed (3 second gust wind speed divided by 1.85), from all wind directions combined with probability of exceedance less than 20% of the time, equal to or less than: <ul style="list-style-type: none"> ● 3 metres per second for sitting areas, ● 4 metres per second for standing areas, ● 5 metres per second for walking areas.

This is considered acceptable.

Accessibility objective

Clause 58.05-1

Objective

- *To ensure the design of dwellings meets the needs of people with limited mobility.*

Standard D18

- *At least 50 per cent of dwellings should have:*
 - *A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.*
 - *A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.*
 - *A main bedroom with access to an adaptable bathroom.*
 - *At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table D7.*

Table D7 Bathroom design:

	Design option A	Design option B
Door opening	A clear 850mm wide door opening	A clear 820mm wide door opening located opposite the shower
Door Design	Either: <ul style="list-style-type: none"> ● A slide door, or ● A door that opens outwards, or ● A door that opens inwards that is clear of the circulation area and has readily removable hinges. 	Either: <ul style="list-style-type: none"> ● A slide door, or ● A door that opens outwards, or ● A door that opens inwards and has readily removable hinges.
Circulation area	A clear circulation area that is:	A clear circulation area that is:

Assessment

Complies

All dwellings have been designed to achieve compliance with either Design option A or Design option B.



	<ul style="list-style-type: none"> • A minimum area of 1.2 metres by 1.2 metres. • Located in front of the shower and the toilet. • Clear of the toilet, basin and the door swing. <p>The circulation area for the toilet and shower can overlap.</p>	<ul style="list-style-type: none"> • A minimum width of 1 metre. • The full length of the bathroom and a minimum length of 2.7 metres. • Clear of the toilet and basin. <p>The circulation area can include a shower area.</p>
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.
Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.

Building entry and circulation objectives

Clause 58.05-2	Assessment
<p>Objectives</p> <ul style="list-style-type: none"> • <i>To provide each dwelling and building with its own sense of identity.</i> • <i>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</i> • <i>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</i> 	<p>Complies</p> <p>As noted within the body of the assessment, the proposal has been designed to ensure a meaningful building entrance.</p> <p>A secondary entrance is also provided for resident convenience.</p>
<p>Standard D19</p> <ul style="list-style-type: none"> • <i>Entries to dwellings and buildings should:</i> <ul style="list-style-type: none"> ○ <i>Be visible and easily identifiable.</i> ○ <i>Provide shelter, a sense of personal address and a transitional space around the entry.</i> • <i>The layout and design of buildings should:</i> <ul style="list-style-type: none"> ○ <i>Clearly distinguish entrances to residential and non-residential areas.</i> ○ <i>Provide windows to building entrances and lift areas.</i> ○ <i>Provide visible, safe and attractive stairs from the entry level to encourage use by residents.</i> ○ <i>Provide common areas and corridors that:</i> <ul style="list-style-type: none"> - <i>Include at least one source of natural light and natural ventilation.</i> - <i>Avoid obstruction from building services.</i> - <i>Maintain clear sight lines.</i> 	



Private open space objective

Clause 58.05-3	Assessment																						
<p>Objective</p> <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents 	<p>Complies – objective met</p> <p>The proposal has been designed to ensure all dwellings are provided with a private open space in the form a wintergarden balcony.</p> <ul style="list-style-type: none"> For one- and two-bedroom dwellings, a minimum of 8m² is provided. However, the balconies do not fully meet the minimum required dimension. This is due to the curved nature of the building form and façade, rather than a deliberate attempt to avoid compliance. As such, this is considered to be acceptable. For three-bedroom dwellings, a minimum of 12m² with a minimum dimension exceeding 2.4m. 																						
<p>Standard D20</p> <ul style="list-style-type: none"> A dwelling should have private open space consisting of at least one of the following: <ul style="list-style-type: none"> An area at ground level of at least 25 square metres, with a minimum dimension of 3 metres and convenient access from a living room. A balcony with at least the area and dimensions specified in Table D8 and convenient access from a living room. An area on a podium or other similar base of at least 15 square metres, with a minimum dimension of 3 metres and convenient access from a living room. An area on a roof of 10 square metres, with a minimum dimension of 2 metres and convenient access from a living room. If a cooling or heating unit is located on a balcony, the minimum balcony area specified in Table D8 should be increased by at least 1.5 square metres. If the finished floor level of a dwelling is 40 metres or more above ground level, the requirements of Table D8 do not apply if at least the area specified in Table D9 is provided as living area or bedroom area in addition to the minimum area specified in Table D11 or Table D12 in Standard D25. 																							
<p>Table D8 Balcony size</p>																							
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #009688; color: white;">Orientation of dwelling</th> <th style="background-color: #009688; color: white;">Dwelling type</th> <th style="background-color: #009688; color: white;">Minimum area</th> <th style="background-color: #009688; color: white;">Minimum dimension</th> </tr> </thead> <tbody> <tr> <td>North (between north 20 degrees west to north 30 degrees east)</td> <td>All</td> <td>8 square metres</td> <td>1.7 metres</td> </tr> <tr> <td>South (between south 30 degrees west to south 20 degrees east)</td> <td>All</td> <td>8 square metres</td> <td>1.2 metres</td> </tr> <tr> <td rowspan="3">Any other orientation</td> <td>Studio or 1 bedroom</td> <td>8 square metres</td> <td>1.8 metres</td> </tr> <tr> <td>2 bedroom</td> <td>8 square metres</td> <td>2 metres</td> </tr> <tr> <td>3 or more bedroom</td> <td>12 square metres</td> <td>2.4 metres</td> </tr> </tbody> </table>		Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension	North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres	South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres	Any other orientation	Studio or 1 bedroom	8 square metres	1.8 metres	2 bedroom	8 square metres	2 metres	3 or more bedroom	12 square metres	2.4 metres
Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension																				
North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres																				
South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres																				
Any other orientation	Studio or 1 bedroom	8 square metres	1.8 metres																				
	2 bedroom	8 square metres	2 metres																				
	3 or more bedroom	12 square metres	2.4 metres																				
<p>Table D9 Additional living area or bedroom area</p>																							
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Storage objective

Clause 58.05-4	Assessment
<p>Objective</p> <ul style="list-style-type: none"> To provide adequate storage facilities for each dwelling 	<p>Complies</p> <p>For all one-bedroom dwellings, the proposal provides</p>



Standard D21

- Each dwelling should have convenient access to usable and secure storage space.
- The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table D10.

Table D10 Storage

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

a minimum of 10m³ within the dwellings.

For all two-bedroom dwellings, the proposal provides a minimum of 12m³ within the dwellings.

For all three-bedroom dwellings, the proposal provides a minimum of 18m³ within the dwellings.

Common property objectives

Clause 58.06-1

Objectives

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

Standard D22

- Developments should clearly delineate public, communal and private areas.
- Common property, where provided, should be functional and capable of efficient management.

Assessment

Complies

The proposal has been designed to have a clear delineation between the public and private realms. The overall layout of the proposal is also designed to clearly distinguish between private and communal open areas.

Site services objectives

Clause 58.06-2

Objectives

- To ensure that site services are accessible and can be installed and maintained.
- To ensure that site services and facilities are visually integrated into the building design or landscape.

Standard D23

- Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.
- Meters and utility services should be designed as an integrated component of the building or landscape.
- Mailboxes and other site facilities should be adequate in size, durable, water-protected, located for convenient access and integrated into the overall design of the development.

Assessment

Complies

The proposal includes a substation at the ground floor, that is recessed from the street, which diminishes its presence.

The plans also clearly show the location of the mailboxes within a convenient location and there is adequate space for meters and utility services within the front setback.

Waste and recycling objectives

Clause 58.06-3

Objectives

- To ensure dwellings are designed to encourage waste recycling.
- To ensure that waste and recycling facilities are accessible, adequate and attractive.
- To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.

Assessment

Complies

The submitted WMP report outlines appropriate waste collection arrangements for the proposal. As noted within the body of the report, the building will rely on private contractors for waste collection services. Waste collection will occur during off peak hours and



Standard D24

- *Developments should include dedicated areas for:*
 - *Waste and recycling enclosures which are:*
 - *Adequate in size, durable, waterproof and blend in with the development.*
 - *Adequately ventilated.*
 - *Located and designed for convenient access by residents and made easily accessible to people with limited mobility.*
 - *Adequate facilities for bin washing. These areas should be adequately ventilated.*
 - *Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate.*
 - *Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.*
 - *Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing.*
 - *Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.*
- *Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and:*
 - *Be designed to meet the best practice waste and recycling management guidelines for residential development adopted by Sustainability Victoria.*
 - *Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements.*

will be within the basement.

External walls and materials objective

Clause 58.06-4

Objectives

- *To ensure external walls use materials appropriate to the existing urban context or preferred future development of the area.*
- *To ensure external walls endure and retain their attractiveness.*

Standard D25

- *External walls should be finished with materials that:*
 - *Do not easily deteriorate or stain.*
 - *Weather well over time.*
 - *Are resilient to the wear and tear from their intended use.*
- *External wall design should facilitate safe and convenient access for maintenance.*

Assessment

Complies

The proposal has been designed to minimise the presence of blank walls, while the body of the building utilises a high quality façade cladding.

Functional layout objective

Clause 58.07-1

Objective

- *To ensure dwellings provide functional areas that meet the needs of residents*

Standard D26

- *Bedrooms should:*
 - *Meet the minimum internal room dimensions specified in Table D11.*
 - *Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe.*

Assessment

Complies

The bedrooms for all dwellings have been designed to comply with the minimum dimensions for one, two and three bedrooms.



Table D11 Bedroom dimensions

Bedroom type	Minimum width	Minimum depth
Main bedroom	3 metres	3.4 metres
All other bedrooms	3 metres	3 metres

- *Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table B13.*

Table D12 Living area dimensions

Dwelling type	Minimum width	Minimum area
Studio and 1 bedroom dwelling	3.3 metres	10 sqm
2 or more bedroom dwelling	3.6 metres	12 sqm

Room depth objective

Clause 58.07-2	Assessment
<p>Objective</p> <ul style="list-style-type: none"> • <i>To allow adequate daylight into single aspect habitable rooms</i> <p>Standard D27</p> <ul style="list-style-type: none"> • <i>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</i> • <i>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</i> <ul style="list-style-type: none"> ○ <i>The room combines the living area, dining area and kitchen.</i> ○ <i>The kitchen is located furthest from the window.</i> ○ <i>The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen.</i> • <i>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</i> 	<p>Complies</p> <p>All single aspect habitable rooms do not exceed 9m.</p>

Windows objective

Clause 58.07-3	Assessment
<p>Objective</p> <ul style="list-style-type: none"> • <i>To allow adequate daylight into new habitable room windows.</i> <p>Standard D28</p> <ul style="list-style-type: none"> • <i>Habitable rooms should have a window in an external wall of the building.</i> • <i>A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky.</i> • <i>The secondary area should be:</i> <ul style="list-style-type: none"> ○ <i>A minimum width of 1.2 metres.</i> ○ <i>A maximum depth of 1.5 times the width, measured from the external surface of the window.</i> 	<p>Complies</p> <p>All new habitable rooms are designed with floor ceiling windows, which exceed the minimum dimension.</p>

Natural ventilation objectives

Clause 58.07-4	Assessment
<p>Objectives</p> <ul style="list-style-type: none"> • <i>To encourage natural ventilation of dwellings.</i> • <i>To allow occupants to effectively manage natural ventilation of dwellings.</i> <p>Standard D29</p> <ul style="list-style-type: none"> • <i>The design and layout of dwellings should maximise openable</i> 	<p>Complies</p> <p>At least 50% of apartments have been designed to allow for cross ventilation.</p>



windows, doors or other ventilation devices in external walls of the building, where appropriate.

- *At least 40 per cent of dwellings should provide effective cross ventilation that has:*
 - *A maximum breeze path through the dwelling of 18 metres.*
 - *A minimum breeze path through the dwelling of 5 metres.*
 - *Ventilation openings with approximately the same area.*
- *The breeze path is measured between the ventilation openings on different orientations of the dwelling.*