



MENTONE GRAMMAR, BAYVIEW & CAR PARK

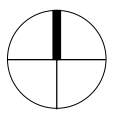
75-77 NAPLES ROAD, 33-35 WARRIGAL ROAD,37 WARRIGAL ROAD,  
MENTONE VIC 3194


Sheet List - Town Planning			
Sheet Number	Sheet Name	Current Revision Date	Current Revision
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DEVELOPMENT SUMMARY			
	EXISTING	PROPOSED	
GROSS FLOOR AREA			
BAYVIEW	1,305 SQM	3,396 SQM	
CARPARK		2,920 SQM	
MULTIPURPOSE HALL		643 SQM	
SITE COVERAGE			
AREA OF WORKS - 8,540 SQM			
BAYVIEW	1,037 SQM	1,798 SQM	
PLAYING SURFACE (OVAL)	4,166 SQM	3,462 SQM	
PLAY AREA GROUND LEVEL	732 SQM	Total 901 SQM	
		(Outdoor Playing 510 SQM)	
		(Outdoor Learning 153 SQM)	
		(Northern Terrace 238 SQM)	
PERMEABILITY			
	640 SQM	675 SQM	
CAR PARKING	0	82	
BICYCLE PARKING	0	32	
STUDENTS	410	600	2024 enrolment peaks
STAFF	37	45	2024 enrolment peaks

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ADVERTISED PLAN

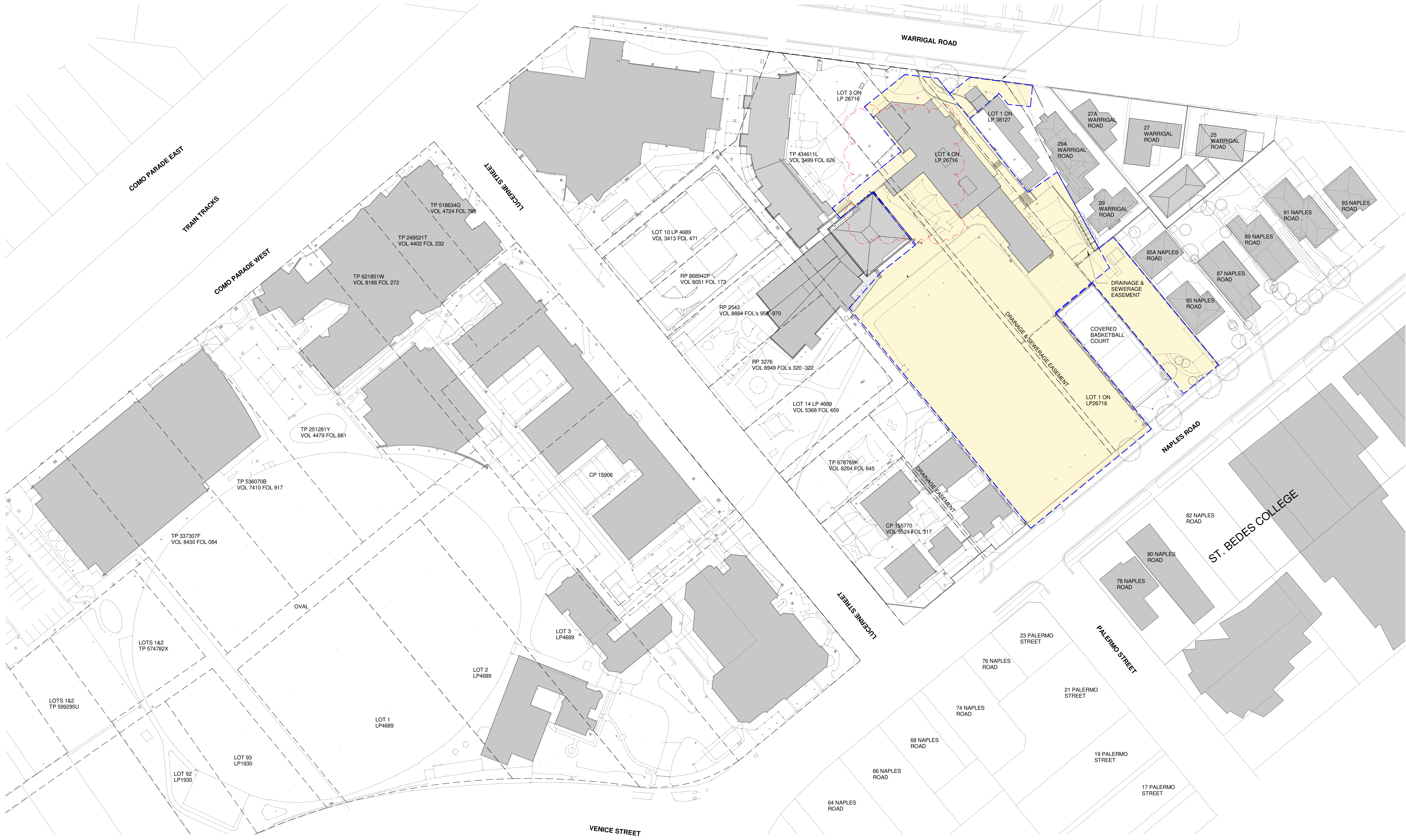
REVISION SCHEDULE				NORTH POINT	
Rev	Date	By	Description		
1	19.05.21	LB	Preliminary TP Set		
2	08.06.21	LB	For coordination		
3	10.06.21	LB	Draft Town Planning		
4	10.06.21	LB	Town Planning		
5	21.06.21	LB	Town Planning		
6	24.06.21	LB	TOWN PLANNING SET		
7	11.06.21	LB	ADDITIONAL INFO		
8	21.10.21	LB	Updated Planning		
9	03.11.21	JM	TOWN PLANNING UPDATED ISSUE		
10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2		
11	09.04.22	TC	TOWN PLANNING SECONDARY CONSENT		
12	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE		
				CONTRACTORS	
				DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.	
				DRAWINGS TO BE PRINTED IN COLOUR.	
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TOWN PLANNING				DRAWING TITLE	
				Cover Page	
				SCALE	DRAWN
				@ A0	LB
				DATE	CHECKED
				03.04.23	JM
CLIENT Mentone Grammar PROJECT NAME Bayview and Car Park PROJECT ADDRESS 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone				JOB No	DATE PRINTED
				3114	4/03/23 10:52:24 PM
T/ +61 3 8995 0300 info@moldowiepartners.com.au				FILE	REV
				75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone	TP000
Level 2, 325 Flinders Lane Melbourne, Vic 3000				12	

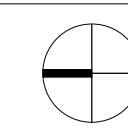



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AREA OF WORKS SHOWN LIGHT YELLOW



ADVERTISED PLAN

REVISION SCHEDULE				NORTH POINT	
Rev	Date	By	Description		
1	11.08.21	LB	ADDITIONAL INFO		
2	03.11.21	JM	TOWN PLANNING UPDATED ISSUE		
3	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2		
4	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT		
5	07.08.23	LB	FOR INFORMATION	CONTRACTORS	
6	16.08.23	JM	Planning amendment		
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TOWN PLANNING				Existing Campus Titles	
		CLIENT		DRAWING NUMBER	
		Mentone Grammar		TP005	
PROJECT NAME		CHECKED		REV.	
		JM		6	
PROJECT ADDRESS		DATE		DATE PRINTED	
		16.08.23		16/08/2023 07:46 PM	
FILE		JOB No.			
		3114			
T/ +61 3 8895 0300 info@moldowiepartners.com.au		Level 2, 325 Flinders Lane Melbourne, Vic 3000			
		75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone			



— AREA OF WORKS  
SHOWN LIGHT  
YELLOW

A photograph of the Mentone Grammar building, a large brick structure with a sign that reads "MENTONE GRAMMAR". The building has a dark brick facade and a light-colored sign. A small blue circular logo is visible on the brick wall below the sign.A photograph of the entrance to Mentone Grammar. A black sign with gold lettering and a crest reads "MENTONE GRAMMAR". The school is behind a black metal fence, with a large white building and trees in the background.

Back light by PE cell from dusk till dawn

A photograph of the Mentone Grammar building at dusk. The building is a large, dark structure with a prominent sign that reads "MENTONE GRAMMAR" in white capital letters. The building is illuminated from within, and the sky is a deep blue. A fence is visible in the foreground.

A photograph of the exterior of the Menteigne Grammar Sports Centre. The building is a single-story structure with a light-colored upper section and a darker lower section. A large blue sign with white text is mounted on the upper section, reading "MENTEIGNE GRAMMAR SPORTS CENTRE". The sky is overcast.



**KEITH JONES LEARNING CENTRE**  
FORMERLY  
THE KEITH JONES GYMNASIUM

TOWN PLANNING

DRAWING TITLE

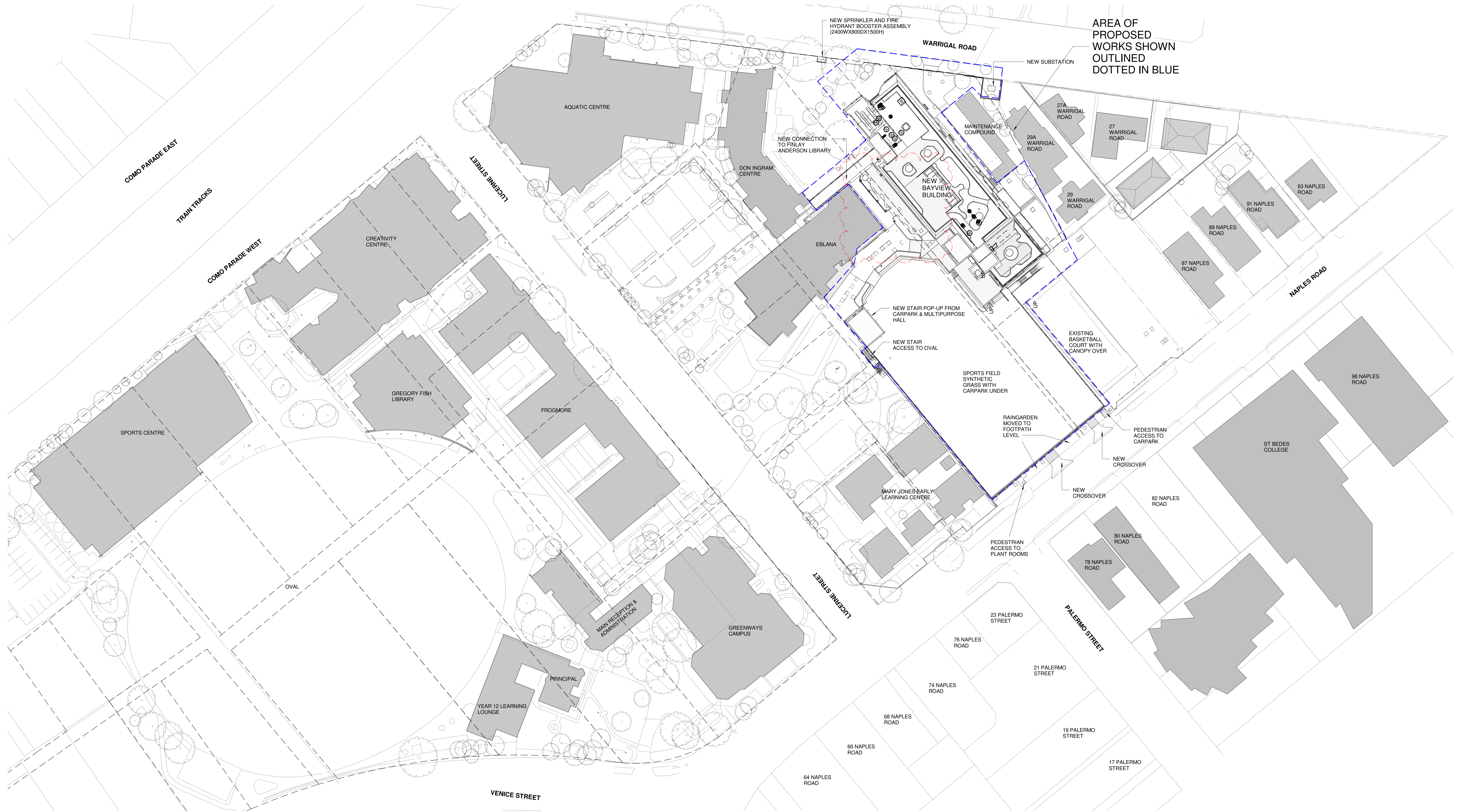
Existing Site Plan

CLIENT	Mentone Grammar
PROJECT NAME	Bayview and Car Park
PROJECT ADDRESS	75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

SCALE	1 : 500 @ A0	DRAWN	LB	DRAWING NUMBER  <b>TP010</b>
DATE	16.08.23	CHECKED	JM	
JOB No.	3114	DATE PRINTED	17/08/2023 13:17:44 PM	
FILE	B02 305 (7111) Merleone Graminer Bayview & car park (2114) M30-AH-BAYVIEW & FORMATION - 16.08.2023.dwg			
1				



ADVERTISED  
PLAN



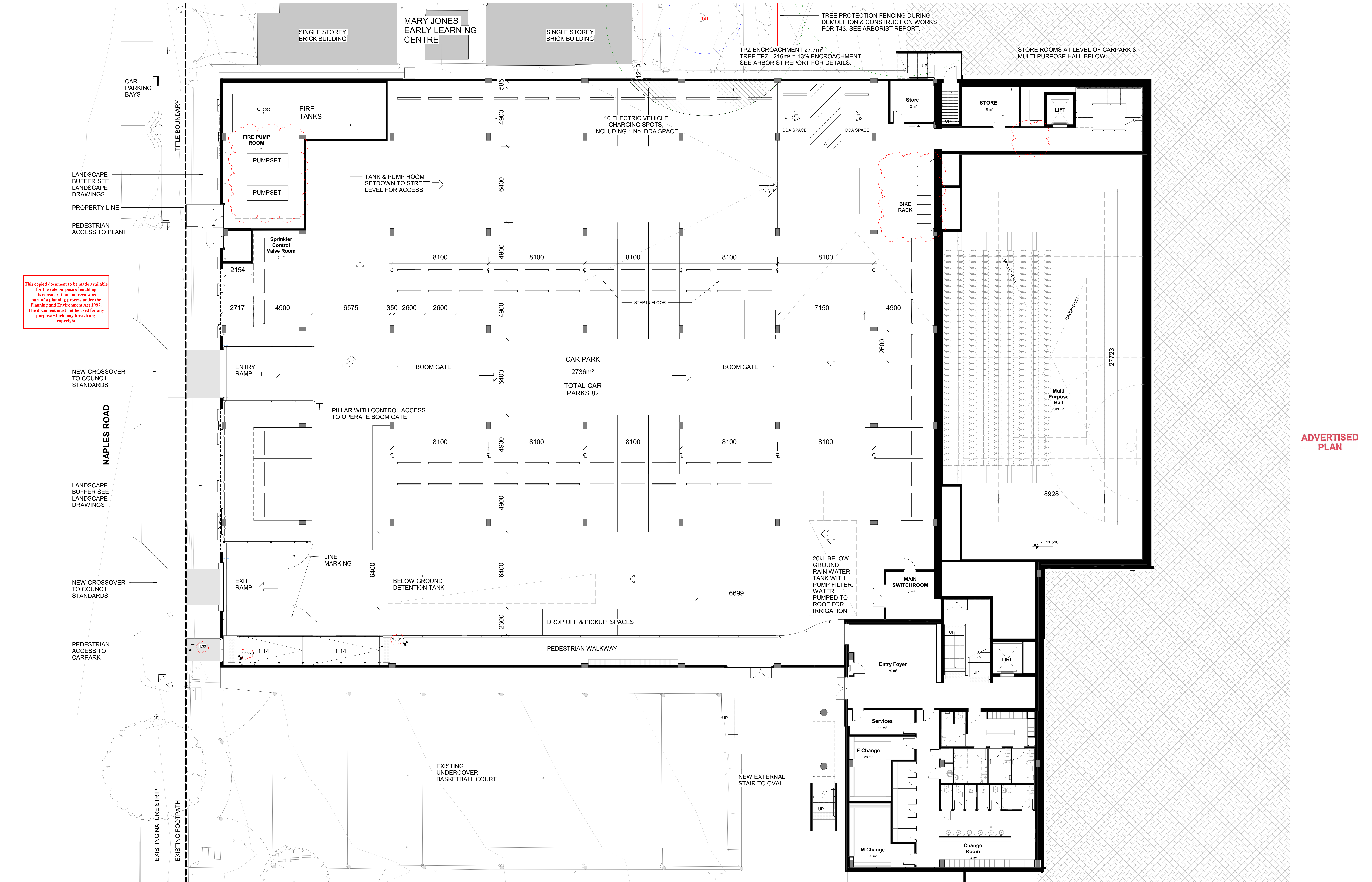
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REVISION SCHEDULE				NORTH POINT		GENERAL NOTES - SITE PLAN				TOWN PLANNING				DRAWING TITLE	
Rev	Date	By	Description			<p>1. ALL EXISTING BUILDINGS AND FEATURES SHALL BE VERIFIED BY THE CONTRACTOR'S OWN SURVEY PRIOR TO COMMENCEMENT OF WORKS.</p> <p>2. REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TXX - TREE - NUMBER); GREEN DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.</p> <p>3. PROTECTION OF ADJOINING BUILDINGS, VEGETATION SHALL BE ENSURED DURING DEMOLITION.</p> <p>4. EXISTING SERVICES SHALL BE PROTECTED DURING THE WORKS.</p> <p>5. ALL DANGEROUS MATERIALS SHALL BE REMOVED &amp; DISPOSED OF IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND AUSTRALIAN STANDARDS.</p> <p>6. REMOVE AND CAP OFF EXISTING INGROUND SERVICES IN ACCORDANCE WITH AUTHORITY REQUIREMENTS.</p>				<p>CLIENT: Mentone Grammar</p> <p>PROJECT NAME: Bayview and Car Park</p> <p>PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone</p>				DRAWING NUMBER: TP050	
1	08.05.21	LB	For coordination												
2	10.06.21	LB	Draft Town Planning	CONTRACTORS		DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.				SCALE: 1 : 500 @ A0				DRAWN: LB	
3	10.06.21	LB	Town Planning												
4	21.06.21	LB	Town Planning	DRAWINGS TO BE PRINTED IN COLOUR.		© COPYRIGHT MCLDOWIE PARTNERS 2019				DATE: 16.08.23				CHECKED: JM	
5	24.06.21	LB	TOWN PLANNING SET												
6	11.08.21	LB	ADDITIONAL INFO	DRAWINGS TO BE PRINTED IN COLOUR.		© COPYRIGHT MCLDOWIE PARTNERS 2019				JOB No: 3114				DATE PRINTED: 16/08/23 09:40 AM	
7	03.11.21	JM	TOWN PLANNING UPDATED ISSUE												
8	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2	DRAWINGS TO BE PRINTED IN COLOUR.		© COPYRIGHT MCLDOWIE PARTNERS 2019				FILE: 16.08.23 10:00:00 Drawing Bayview & Car Park (24x37) 1:500-01-BAYVIEW & CARPARK - 16.08.23.dwg				REV: 13	
9	06.08.22	TIC	TOWN PLANNING SECONDARY CONSENT												
10	19.01.23	JM	TOWN PLANNING SECONDARY CONSENT Rev 1	DRAWINGS TO BE PRINTED IN COLOUR.		© COPYRIGHT MCLDOWIE PARTNERS 2019				T: +61 3 8895 0300 info@mclodowiepartners.com.au				Level 2, 325 Flinders Lane Melbourne, Vic 3000	
11	07.08.23	LB	FOR INFORMATION												
12	16.08.23	JM	Planning amendment												









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ADVERTISED PLAN

REVISION SCHEDULE				NORTH POINT		GENERAL NOTES - TOWNPLANNING		DRAWING TITLE			
Rev	Date	By	Description			<p>1. REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TAX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.</p> <p>2. THE FOLLOWING ACOUSTIC MITIGATION MEASURES ARE INCLUDED:</p> <p>SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK.</p> <p>SOLID SCREEN TO EXTEND 1M ABOVE THE CONDENSER UNITS.</p> <p>CARPARK EXHAUST FANS TO BE FITTED WITH ATTENUATORS &amp; HAVE ACOUSTIC ENCLOSURE.</p> <p>ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.</p> <p>ROOF TERRACE BALUSTRADE SCREENS ARE GLASS BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.</p> <p>SEAL ALL GAPS, IN PARTICULAR GAP AT BOTTOM.</p> <p>REFER TO REPORT BY MARSHALL DAY ACOUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.</p>		<p><b>TOWN PLANNING</b></p> <p>Car Park</p>			
6	21.08.21	LB	Town Planning					SCALE: 1 : 100 @ A0			
7	24.06.21	LB	TOWN PLANNING SET	<p>CONTRACTORS</p> <p>DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.</p> <p>DRAWINGS TO BE PRINTED IN COLOUR.</p> <p>© COPYRIGHT MCILDOWIE PARTNERS 2019</p>				DRAWING NUMBER			
8	11.08.21	LB	ADDITIONAL INFO					TP101			
9	21.10.21	JM	Updated Planning Concept for Review	<p>CLIENT</p> <p>Mentone Grammar</p> <p>PROJECT NAME</p> <p>Bayview and Car Park</p> <p>PROJECT ADDRESS</p> <p>75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone</p>				DATE			
10	21.10.21	JM	Updated Planning					03.04.23			
11	28.10.21	QC	Revised Naples Road Location	<p>DATE PRINTED</p> <p>4/03/23 10:55:19 PM</p>				JOB No.			
12	03.11.21	JM	TOWN PLANNING UPDATED ISSUE					3114			
13	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2	<p>FILE</p> <p>TP101-2111-Mentone Grammar Bayview &amp; Car Park (2021)-1500-WP-BAYVIEW &amp; CARPARK.dwg</p>				REV.			
14	09.04.22	TC	TOWN PLANNING SECONDARY CONSENT					15			
15	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE								

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Level 2, 305 Flinders Lane  
Melbourne, Vic 3000



**CAR PARK**  
2736m<sup>2</sup>

**DROP OFF & PICKUP SPACES**

**PEDESTRIAN WALKWAY**

**20kL BELOW GROUND RAIN WATER TANK WITH PUMP FILTER. WATER PUMPED TO ROOF FOR IRRIGATION.**

**MAIN SWITCHROOM**  
17 m<sup>2</sup>

**Entry Foyer**  
70 m<sup>2</sup>

**IT & AV RACKS Services**  
11 m<sup>2</sup>

**F Change**  
23 m<sup>2</sup>

**M Change**  
23 m<sup>2</sup>

**Change Room**  
64 m<sup>2</sup>

**Plant Enclosure**  
13.600

**Multi Purpose Hall**  
583 m<sup>2</sup>

**EXISTING UNDERCOVER PLAY SPACE**

**FOR DETAILS AND FINISHES OF OUTDOOR AREA REFER TO LANDSCAPE DRAWINGS**

**EXISTING GRASS PLAY SPACE**

**BIKE STORAGE CAGE 32 BIKES**

**PLANTER BED**

**MAINTENANCE COMPOUND**

**29 WARRIGAL ROAD**

**TWO STOREY BRICK HOUSE**

**29A WARRIGAL ROAD**

**TWO STOREY BRICK HOUSE**

Architectural floor plan of the 1620 Multi Purpose Hall. The plan shows a large central hall (583 m²) with a grid of circular tables and chairs. To the left is a long narrow room labeled 'Store' (5 m²). To the right is another long narrow room labeled 'Store' (9 m²). At the top left is an 'ESCAPE STAIR FROM MPH'. At the top center is a 'STAIR 03'. At the bottom center is a 'LIFT'. The plan also shows various other rooms, including a 'STAIR 01' and a 'STAIR 02'. The number '1620' is circled in red in the bottom left corner.

REVISION SCHEDULE

Rev	Date	By	Description
3	10-06-21	LB	(Draft Town Planning)
1	11-06-21	LB	(Basic Location)
5	18-06-21	LB	Town Planning
2	25-06-21	LB	Town Planning
7	24-06-21	LB	TOWN PLANNING SET
8	05-10-21	LB	Update Planning Consent
9	21-10-21	LB	Updated Planning Consent for Review
10	01-11-21	LB	Update Planning Consent
11	01-11-21	LB	TOWN PLANNING UPDATED ISSUE 1
12	04-11-21	LB	TOWN PLANNING UPDATED ISSUE 2
13	06-04-22	LB	TOWN PLANNING SECONDARY CONSENT
14	03-04-23	LB	TOWN PLANNING SECONDARY CONSENT - SIGNAGE

NORTH POINT

GENERAL NOTES - TOWNPLANNING

1. REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TXX + TREE# + NUMBER). RED DASH INDICATES TREE PROTECTION ZONES. BLUE DASH INDICATES ROOT PROTECTION ZONE.

2. THE FOLLOWING ACQUISITION MITIGATION MEASURES ARE INCLUDED:

- SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK
- SOUND SCREEN TO EXTEND IM ABOVE THE CONDENSER UNITS
- CARPARK EXHAUST FANS TO BE FITTED WITH ATTENUATORS & HAVE ACUSTIC ENCLOSURE
- ACUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE
- ROOF TERRACE BALUSTRADE SCREENS AND BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2
- SEAL ALL GAPS, IN PARTICULAR GAP AT BOTTOM
- REFER TO REPORT BY MARSHALL DAY ACUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.

DRAWING TITLE

Lower Ground & Multipurpose Hall

DRAWING NUMBER

TP102

CLIENT

Mentone Grammar

PROJECT NAME

Bayview and Car Park

JOB NO.

3114

PROJECT ADDRESS

75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

FILE

K:\Projects\2023\03114 Bayview Grammar School & car park\102000-AY Lower Ground & Multipurpose Hall.dwg

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Email: info@mcleodtreespartners.com.au

Level: 2, 338 Flinders Lane

Melbourne, Vic 3000

14



[illegible]

REVISIONS SCHEDULE

Rev	Date	Description
3	10.06.21	LB Draw Town Planning
4	18.06.21	LB Town Planning
5	21.06.21	LB Town Planning
6	24.06.21	LB TOWN PLANNING SET
7	11.06.21	LB ADDITIONAL INFO
8	11.06.21	LB ADDITIONAL INFO
9	11.06.21	LB ADDITIONAL INFO
10	11.06.21	LB ADDITIONAL INFO
11	11.06.21	LB ADDITIONAL INFO
12	11.06.21	LB ADDITIONAL INFO
13	11.06.21	LB ADDITIONAL INFO
14	11.06.21	LB ADDITIONAL INFO
15	11.06.21	LB ADDITIONAL INFO

CONTRACTORS

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NORTH POINT

GENERAL NOTES - TOWNPLANNING

1. REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TXX - TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONES. BLUE DASH INDICATES ROOT PROTECTION ZONE.

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SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK.

SOLID SCREEN TO EXTEND 1M ABOVE THE CONDENSER UNITS.

CARPENTRY EXHAUST FANS TO BE FITTED WITH ATTENUATORS & HAVE ACQUISITION ENCLOSURE.

ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.

ROOF TERRACE BALLUSTRAE SCREENING AND BALLUSTRAE WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.

SEAL ALL GAPS, IN PARTICULAR GAP AT BOTTOM.

REFER TO REPORT BY MARSHALL DASH ACOUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.

3. ALL EXTERNAL MATERIAL AND FINISHES HAVE BEEN SELECTED WITH A LIGHT REFLECTIVITY OF LES THAN 20% OF SPECULAR VISIBLE LIGHT.

4. ALL NEW CROSS OVERS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

TOWN PLANNING

Ground Floor

CLIENT

Mentone Grammar

DRAWING NUMBER

TP103

PROJECT NAME

Bayview and Car Park

DATE

16.08.23

DATE PREPARED

JUN

JOB NO.

3114

17/08/2023 07:37 PM

FILE

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Level 33, 335 Flinders Lane

Melbourne, Vic 3000

T/ 01 9888 0300

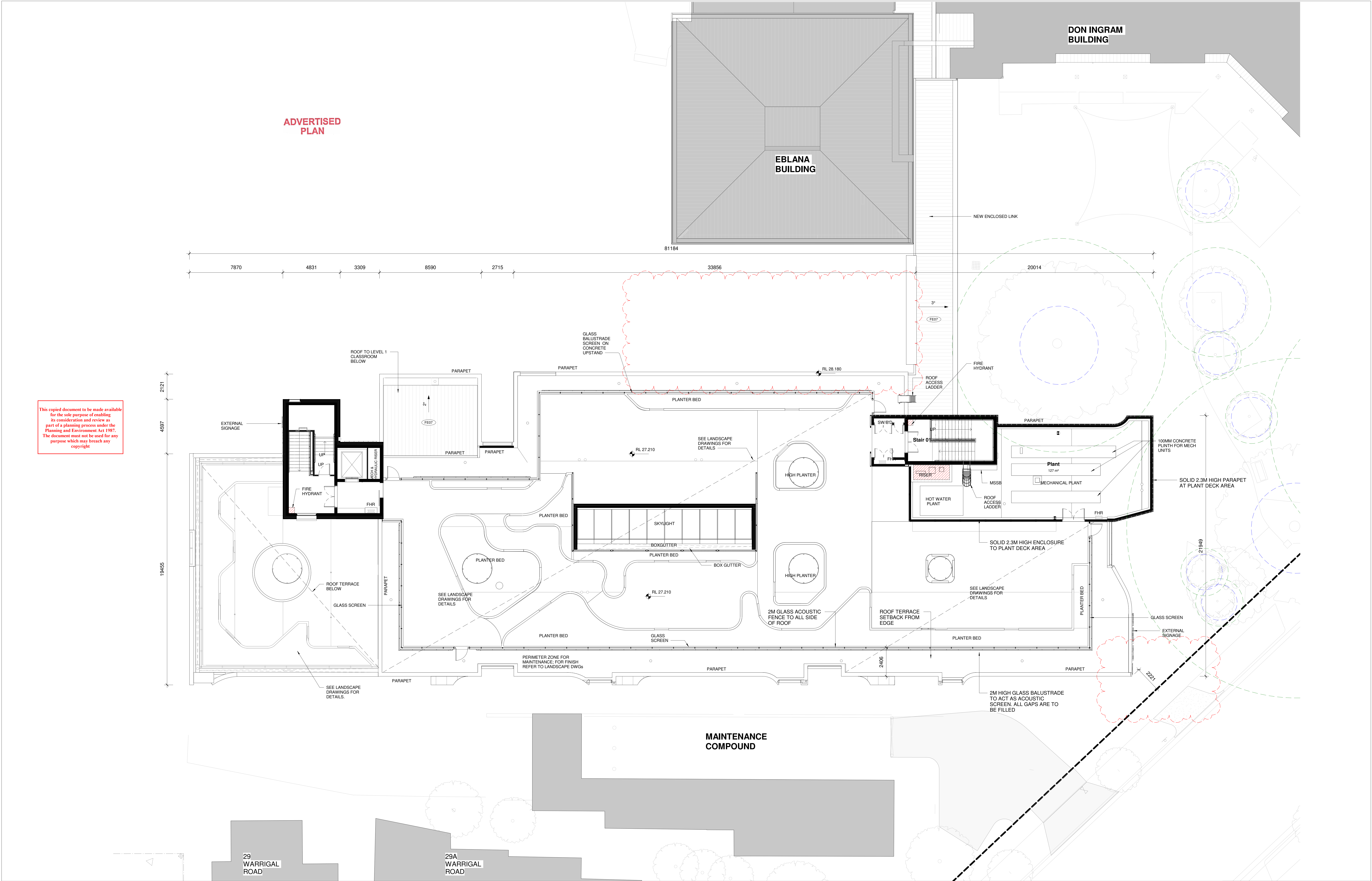
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14









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REVISION SCHEDULE			
Rev	Date	By	Description
1	08.05.21	LB	For coordination
2	10.06.21	LB	Draft Town Planning
3	10.06.21	LB	Town Planning
4	10.06.21	LB	Town Planning
5	21.06.21	LB	Town Planning
6	24.06.21	LB	TOWN PLANNING SET
7	21.10.21	JM	Updated Planning Concept for Review
8	21.10.21	LB	Updated Planning
9	09.11.21	JM	TOWN PLANNING UPDATED ISSUE
10	06.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
11	06.04.22	TIC	TOWN PLANNING SECONDARY CONSENT
12	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
13	18.08.23	JM	Planning amendment

**NORTH POINT**

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DRAWINGS TO BE PRINTED IN COLOUR.

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**GENERAL NOTES - TOWN PLANNING**

1. REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TAX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
2. THE FOLLOWING ACOUSTIC MITIGATION MEASURES ARE INCLUDED:  
SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK.  
SOLID SCREEN TO EXTEND 1M ABOVE THE CONDENSER UNITS.  
CARPARK EXHAUST FANS TO BE FITTED WITH ATTENUATORS & HAVE ACOUSTIC ENCLOSURE.  
ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.  
ROOF TERRACE BALUSTRADE SCREENS ARE GLASS BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.  
SEAL ALL GAPS. IN PARTICULAR GAP AT BOTTOM.  
REFER TO REPORT BY MARSHALL DAY ACOUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.
3. ALL EXTERNAL MATERIAL AND FINISHES HAVE BEEN SELECTED WITH A LIGHT REFLECTIVITY OF LES THAN 20% OF SPECULAR VISIBLE LIGHT.
4. ALL NEW CROSS OVERS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

**MSILDOWIE**  
**Partners**

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Level 2, 325 Flinders Lane  
Melbourne, Vic 3000

**CLIENT**  
Mentone Grammar

**PROJECT NAME**  
Bayview and Car Park

**PROJECT ADDRESS**  
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

**DRAWING TITLE**  
Level 02

**SCALE**  
1 : 100 @ A0

**DATE**  
16.08.23

**JOB No.**  
3114

**FILE**  
P:\06\_1713 Mentone Grammar Bayview & Car Park\1713-1608-00-BAYVIEW & CARPARK - TP PLANNING.dwg

**DRAWING NUMBER**  
TP105

**REV.**  
13



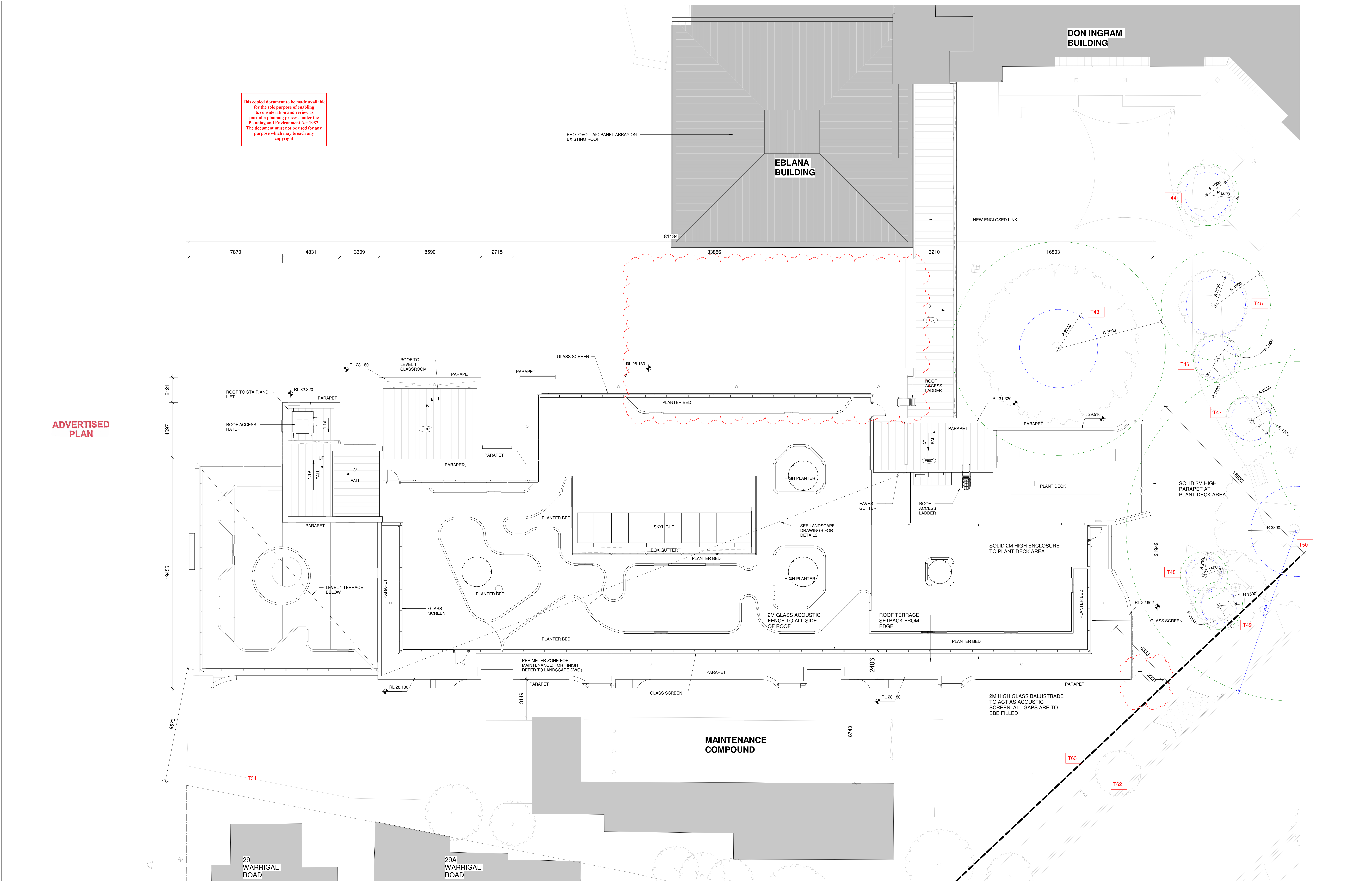
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PHOTOVOLTAIC PANEL ARRAY ON EXISTING ROOF

EBLANA BUILDING

DON INGRAM BUILDING

ADVERTISED PLAN



REVISION SCHEDULE			
Rev	Date	By	Description
1	08.05.21	LB	For coordination
2	10.06.21	LB	Draft Town Planning
3	10.06.21	LB	Town Planning
4	10.06.21	LB	Town Planning
5	21.06.21	LB	Town Planning
6	24.06.21	LB	TOWN PLANNING SET
7	21.10.21	JM	Updated Planning Concept for Review
8	21.10.21	LB	Updated Planning
9	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
11	06.04.22	TIC	TOWN PLANNING SECONDARY CONSENT
12	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
13	16.08.23	JM	Planning amendment

NORTH POINT	
CONTRACTORS	
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#### GENERAL NOTES - TOWNPLANNING

- REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TAX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
- THE FOLLOWING ACOUSTIC MITIGATION MEASURES ARE INCLUDED:  
SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK.  
SOLID SCREEN TO EXTEND 1M ABOVE THE CONDENSER UNITS.  
CARPARK EXHAUST FANS TO BE FITTED WITH ATTENUATORS & HAVE ACOUSTIC ENCLOSURE.  
ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.  
ROOF TERRACE BALUSTRADE SCREENS ARE GLASS BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.  
SEAL ALL GAPS, IN PARTICULAR GAP AT BOTTOM.  
REFER TO REPORT BY MARSHALL DAY ACOUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.
- ALL EXTERNAL MATERIAL AND FINISHES HAVE BEEN SELECTED WITH A LIGHT REFLECTIVITY OF LES THAN 20% OF SPECULAR VISIBLE LIGHT.
- ALL NEW CROSS OVERS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

## TOWN PLANNING

Roof Plan

**MSIldowie Partners**

CLIENT  
Mentone Grammar

PROJECT NAME  
Bayview and Car Park

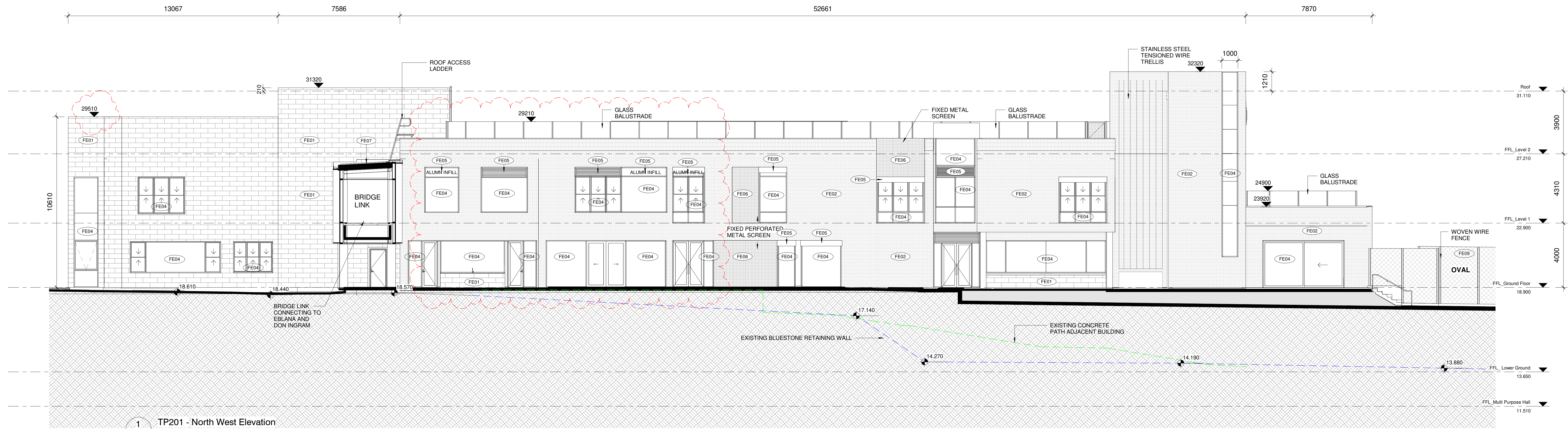
PROJECT ADDRESS  
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

T: +61 3 8895 0300  
info@msildowiepartners.com.au

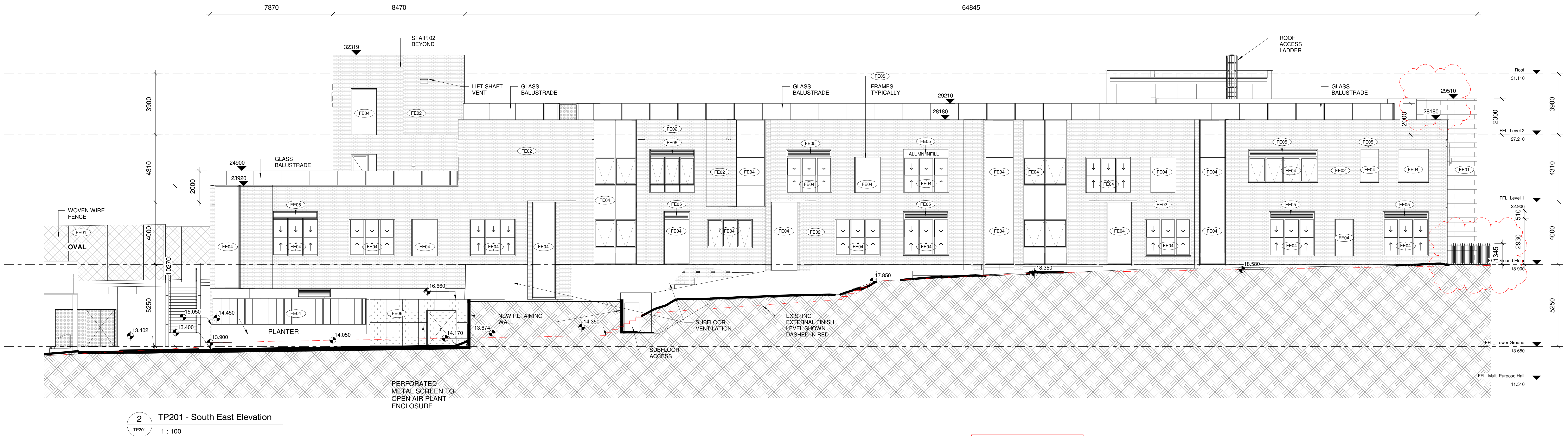
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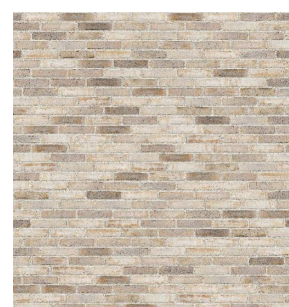

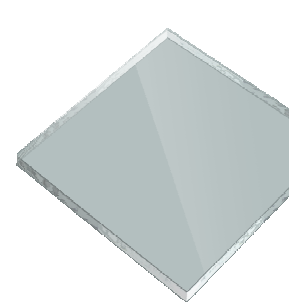
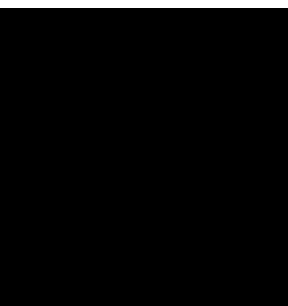




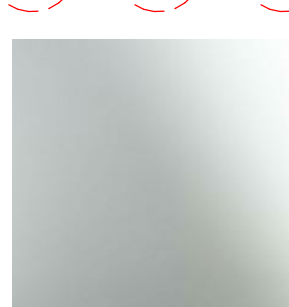





### ADVERTISED PLAN



### FINISHES SCHEDULE

	
FE01 GREY SILVER TRAVERTINE	FE02 GHOST GREY BRICK
	
FE15 FC SHEET CLADDING TO MATCH COLORBOND SHALE GREY	FE04 CLEAR GLAZING
	
FE05 BLACK POWDERCOAT FRAMES	FE06 SILVER PERFORATED METAL SCREEN
	
FE07 ROOF SHEETING COLORBOND SHALE GREY	FE09 BLACK PVC COATED WOVEN WIRE FENCE
	
FE10 SILVER ALUMINIUM FRAME	FE21 SMOOTH CEMENT RENDER
	
FE11 GARAGE DOOR METAL CLADDING FINISH TO MATCH MONUMENT	

REVISION SCHEDULE			NORTH POINT
Rev	Date	By	
1	10.06.21	LB	Drawn Town Planning
2	18.06.21	LB	Town Planning
3	21.06.21	LB	Town Planning
4	24.06.21	LB	TOWN PLANNING SET
5	11.09.21	LB	ADDITIONAL INFO
6	21.10.21	JM	Updated Planning Concept for Review
7	21.10.21	JM	Updated Planning
8	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
9	06.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
12	18.08.23	JM	Planning amendment

#### GENERAL NOTES - ELEVATION

1. LIGHT REFLECTIVITY FROM ALL EXTERNAL MATERIALS AND FINISHES DOES NOT REFLECT MORE THAN 20% OF SPECULAR VISIBLE LIGHT

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### TOWN PLANNING

Elevations

**Moldowie Partners**

CLIENT  
Mentone Grammar

PROJECT NAME  
Bayview and Car Park

PROJECT ADDRESS  
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

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info@moldowiepartners.com.au

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Melbourne, Vic 3000

DRAWING TITLE

SCALE

1 : 100 @ A0

DATE

16.08.23

JOB No.

3114

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JM

DATE PRINTED

16.08.23 @ 16:00

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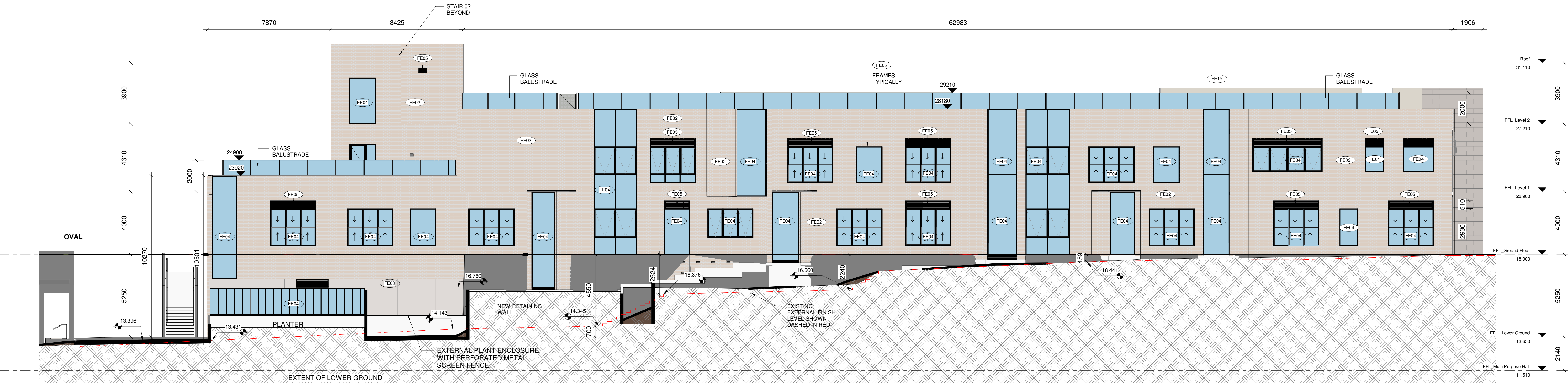






1 TP205 - North West Elevation Coloured  
1 : 100

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2 TP205 - South East Elevation Coloured  
1 : 100

## LEGEND

FE01 GREY-SILVER TRAVERTINE	FE02 GHOST GREY BRICK
FE15 FC SHEET CLADDING COLORBOND 'SHALE GREY'	FE04 CLEAR GLAZING
FE05 BLACK POWDERCOAT FRAMES	FE06 SILVER PERFORATED METAL SCREEN
FE07 ROOF SHEETING COLORBOND 'SHALE GREY'	FE08 TIMBER SUPERSTRUCTURE
FE09 BLACK PVC COATED WOVEN WIRE FENCE	FE10 SILVER ALUMINIUM CURTAIN WALL FRAME
FE11 GARAGE DOOR METAL CLADDING FINISH TO MATCH 'MONUMENT'	FE21 SMOOTH CEMENT RENDER

ADVERTISED PLAN

REVISION SCHEDULE				NORTH POINT
Rev	Date	By	Description	
1	11.08.21	LB	ADDITIONAL INFO	
2	21.10.21	JM	Updated Planning Concept for Review	
3	21.10.21	LB	Updated Planning	
4	03.11.21	JM	TOWN PLANNING UPDATED ISSUE	
5	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2	
6	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT	
7	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE	
8	16.08.23	JM	Planning amendment	
DRAWINGS TO BE PRINTED IN COLOUR				CONTRACTORS
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### GENERAL NOTES - ELEVATION

1. LIGHT REFLECTIVITY FROM ALL EXTERNAL MATERIALS AND FINISHES DOES NOT REFLECT MORE THAN 20% OF SPECULAR VISIBLE LIGHT

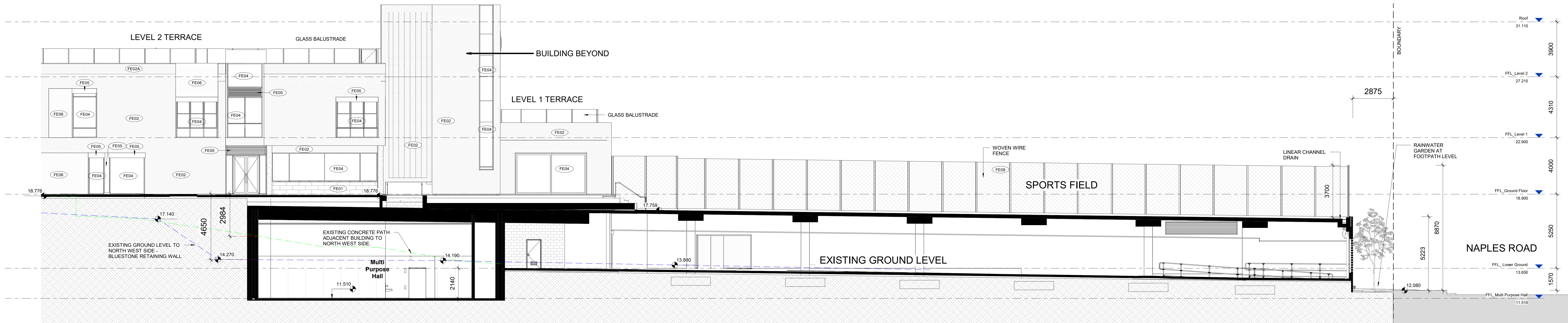
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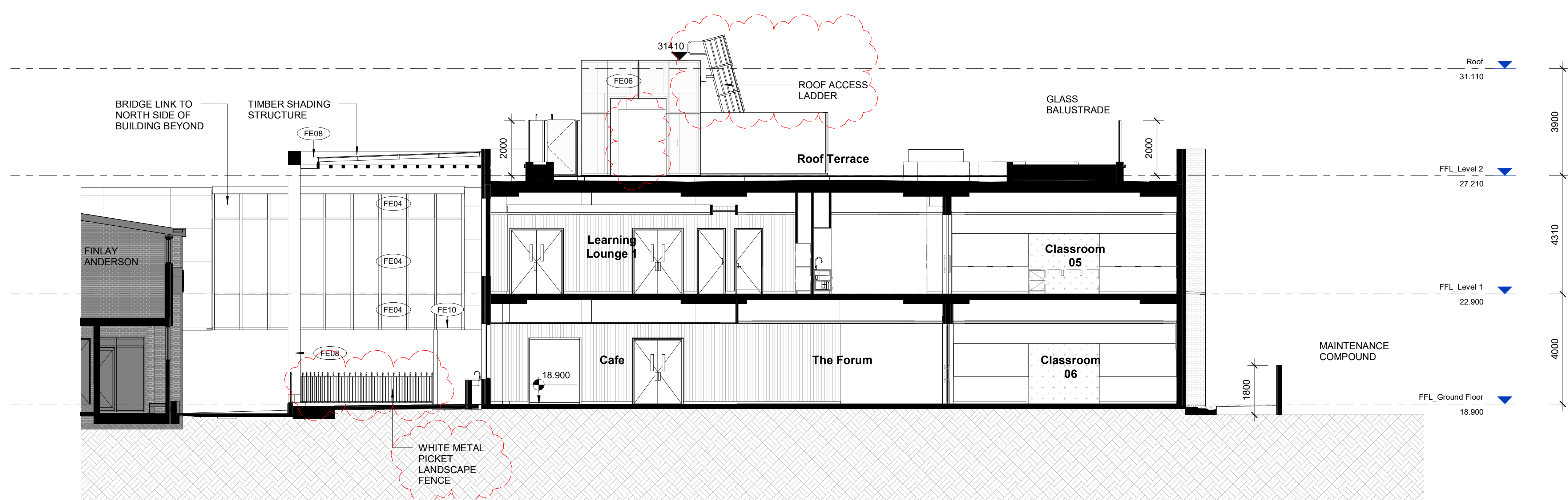




ADVERTISED  
PLAN

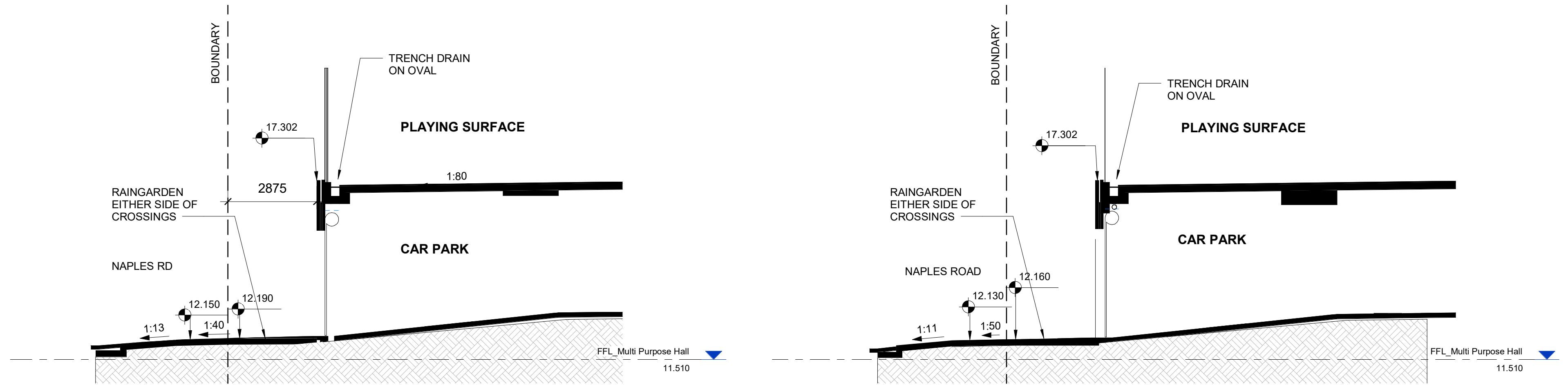


1 TP301 Car Park Long Section  
TP302 1 : 100



2 TP302 - Building Cross Section  
TP302 1 : 100

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3 TP302 - Car Park - Transition Ramps 01  
TP302 1 : 100

4 TP302 - Car Park - Transition Ramps 02  
TP302 1 : 100

REVISION SCHEDULE				NORTH POINT	
Rev	Date	By	Description		
1	10.06.21	LB	Final Town Planning		
2	18.06.21	LB	Town Planning		
3	21.08.21	LB	Town Planning		
4	24.08.21	LB	TOWN PLANNING SET		
5	11.09.21	LB	ADDITIONAL INFO		
6	03.10.21	JM	Natural Ground Clarifications		
7	11.10.21	JM	Updated Planning Concept for Review		
8	21.10.21	LB	Updated Planning		
9	03.11.21	JM	TOWN PLANNING UPDATED ISSUE V2		
10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2		
11	09.04.22	JM	TOWN PLANNING SECONDARY CONSENT		
12	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE		

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CLIENT  
Mentone Grammar  
PROJECT NAME  
Bayview and Car Park  
PROJECT ADDRESS  
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

TOWN PLANNING

Section

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