



MENTONE GRAMMAR, BAYVIEW & CAR PARK

75-77 NAPLES ROAD, 33-35 WARRIGAL ROAD, 37 WARRIGAL ROAD,
MENTONE VIC 3194

Sheet List - Town Planning

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DEVELOPMENT SUMMARY

	EXISTING	PROPOSED	
GROSS FLOOR AREA			
BAYVIEW	1,305 SQM	3,396 SQM	
CARPARK		2,920 SQM	
MULTIPURPOSE HALL		643 SQM	
SITE COVERAGE			
AREA OF WORKS - 8,540 SQM			
BAYVIEW	1,037 SQM	1,798 SQM	
PLAYING SURFACE (OVAL)	4,166 SQM	3,462 SQM	
PLAY AREA GROUND LEVEL	732 SQM	Total 901 SQM	
		(Outdoor Playing 510 SQM)	
		(Outdoor Learning 153 SQM)	
		(Northern Terrace 238 SQM)	
PERMEABILITY			
	640 SQM	675 SQM	
CAR PARKING			
	0	82	
BICYCLE PARKING			
	0	32	
STUDENTS			
	410	600	2024 enrolment peaks
STAFF			
	37	45	2024 enrolment peaks

ADVERTISED
PLAN

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Rev	Date	By	Description
1	19.05.21	LB	Preliminary TP Set
2	08.06.21	LB	For coordination
3	10.06.21	LB	Draft Town Planning
4	18.06.21	LB	Town Planning
5	21.06.21	LB	Town Planning
6	24.06.21	LB	TOWN PLANNING SET
7	11.08.21	LB	ADDITIONAL INFO
8	21.10.21	LB	Updated Planning
9	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
11	09.04.22	TC	TOWN PLANNING SECONDARY CONSENT
12	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE

NORTH POINT

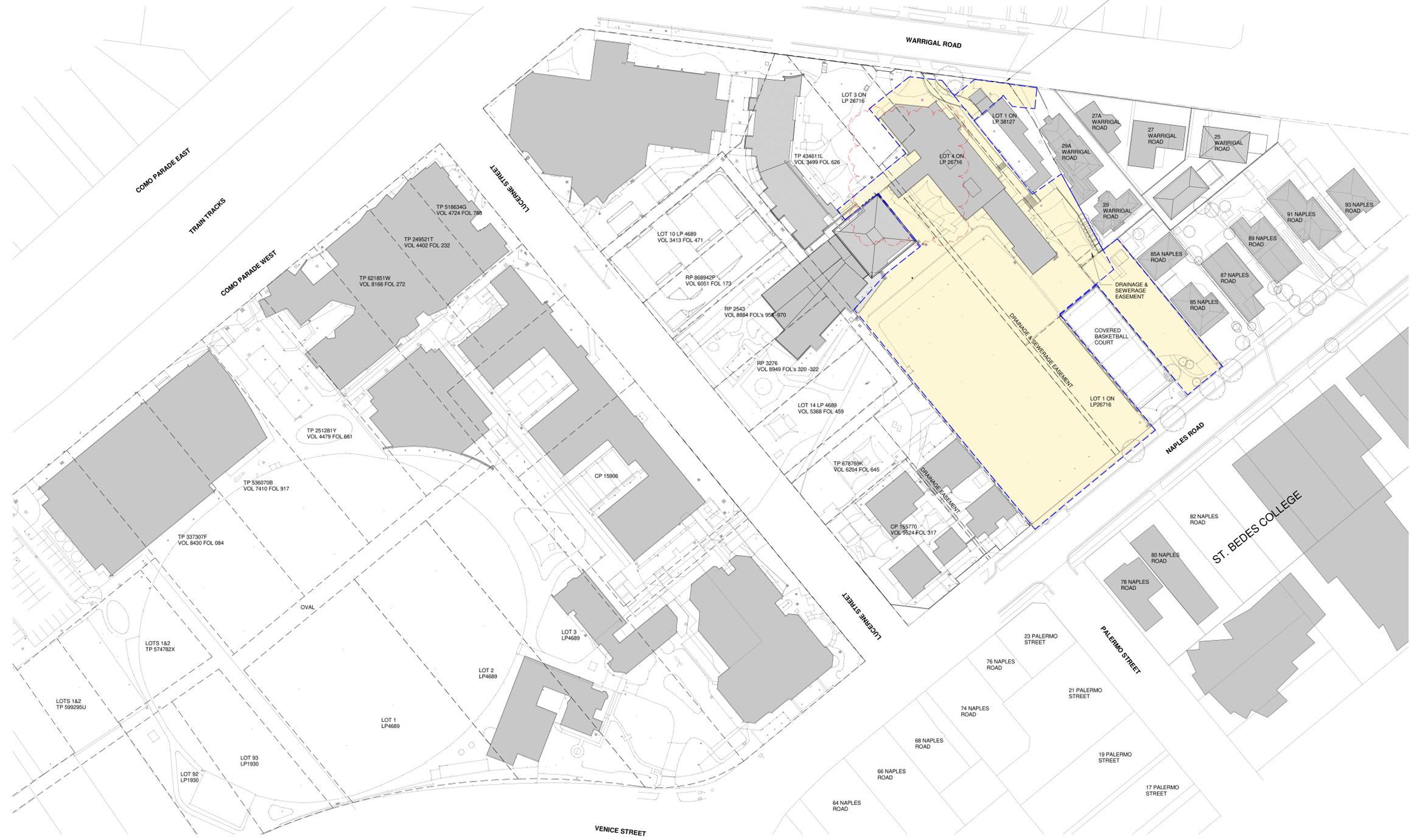


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REVISION SCHEDULE		NORTH POINT		DRAWING TITLE		DRAWING NUMBER	
				TOWN PLANNING		Cover Page	
				Moldowie Partners		TP000	
				CLIENT: Mentone Grammar		JOB No: 3114	
				PROJECT NAME: Bayview and Car Park		DATE PRINTED: 09/03/23 PM	
				PROJECT ADDRESS: 75-77 Naples Rd, 33-35, 37 Warrigal Rd - Mentone		REV: 12	
				T: +61 3 8695 0300 info@moldowiepartners.com.au Level 2, 325 Flinders Lane Melbourne, Vic 3000		SCALE: @ AD DRAWN: LB CHECKED: JM DATE: 03.04.23	

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AREA OF WORKS SHOWN LIGHT YELLOW



ADVERTISED PLAN

Rev	Date	By	Description
1	13.08.21	LB	ADDITIONAL INFO
2	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
3	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
4	05.04.22	JM	TOWN PLANNING SECONDARY CONSENT
5	07.08.23	LB	FOR INFORMATION
6	15.08.23	JM	Planning amendment

NORTH POINT



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MCLDOWIE Partners T: +61 3 8696 0300 info@mclldowiepartners.com.au Level 2, 325 Flinders Lane Melbourne, Vic 3000		TOWN PLANNING Existing Campus Titles	
		CLIENT: Mentone Grammar PROJECT NAME: Bayview and Car Park PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone	SCALE: 1 : 500 @ A4 DATE: 15.08.23 JOB No: 3114 FILE: TP005

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AREA OF WORKS SHOWN LIGHT YELLOW

1. COMO PARADE WEST CRN LUCERNE STREET
Up light on a timer till 11.30pm



2. COMO PARADE WEST
Back light on a timer till 11.30



3. COMO PARADE WEST
Not illuminated



4. COMO PARADE WEST
Not illuminated



5. LUCERNE STREET
Not illuminated



6. LUCERNE STREET
Not illuminated



7. LUCERNE STREET CRN NAPLES ROAD
Back light on a timer till 11.30 pm



8. VENICE STREET
Not illuminated



9. LIBRARY
Back light by PE cell from dusk till dawn



10. SPORTS CENTRE
Not illuminated



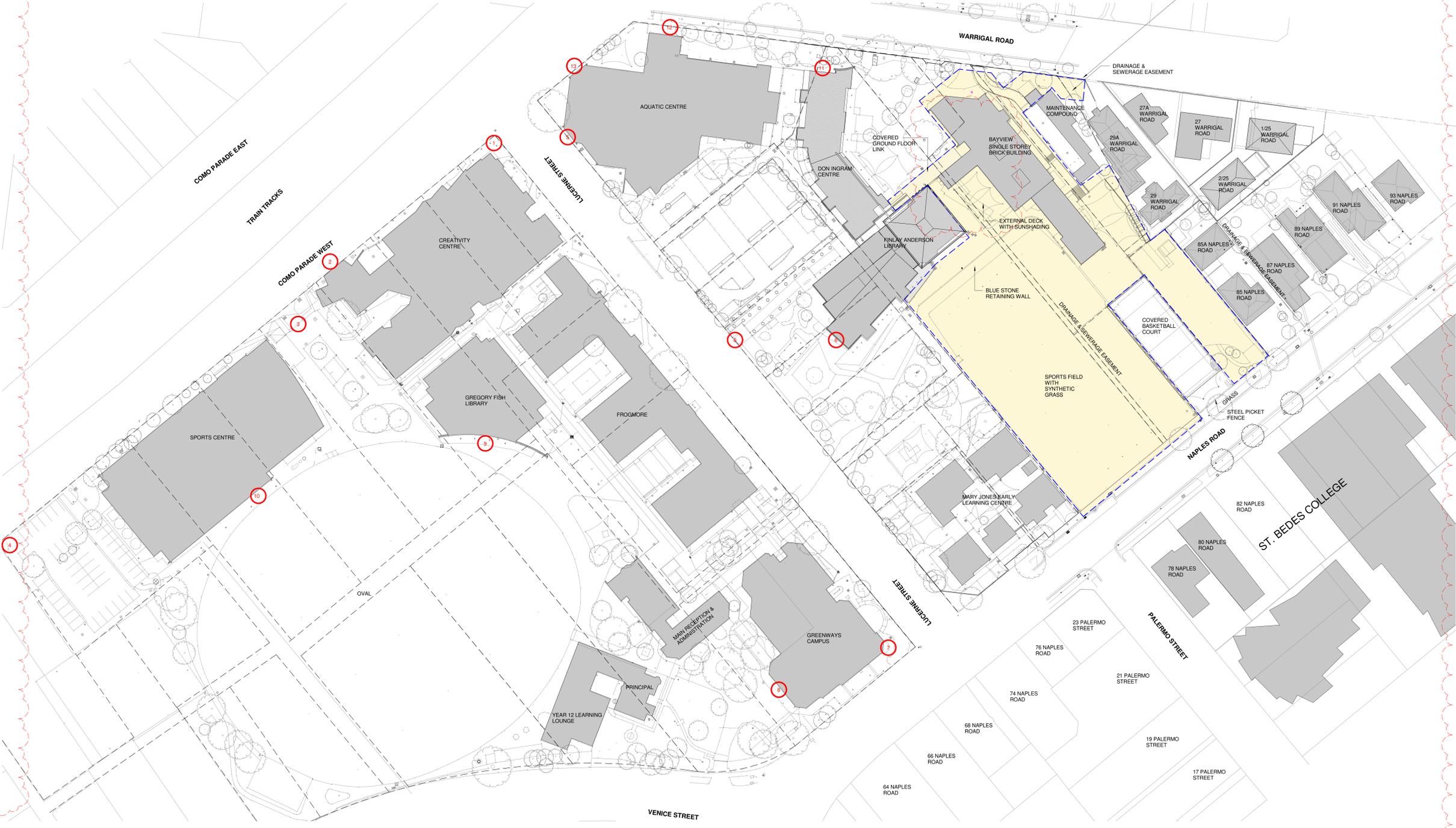
11. WARRIGAL ROAD
Not illuminated



12. WARRIGAL ROAD
Back light on a timer till 11.30



13. COMO PARADE WEST
Back light by PE cell from dusk till dawn



ADVERTISED PLAN

Rev	Date	By	Description
1	19.05.21	LB	Preparatory TP Set
2	08.06.21	LB	For coordination
3	10.06.21	LB	Draft Team Planning
4	19.06.21	LB	Team Planning
5	21.06.21	JAM	Team Planning
6	29.06.21	LB	TOWN PLANNING SET
7	03.11.21	JAM	TOWN PLANNING UPDATED ISSUE
8	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
9	06.04.22	TIC	TOWN PLANNING SECONDARY CONSENT
10	07.08.23	LB	FOR INFORMATION
11	16.08.23	JAM	Planning amendment

NORTH POINT



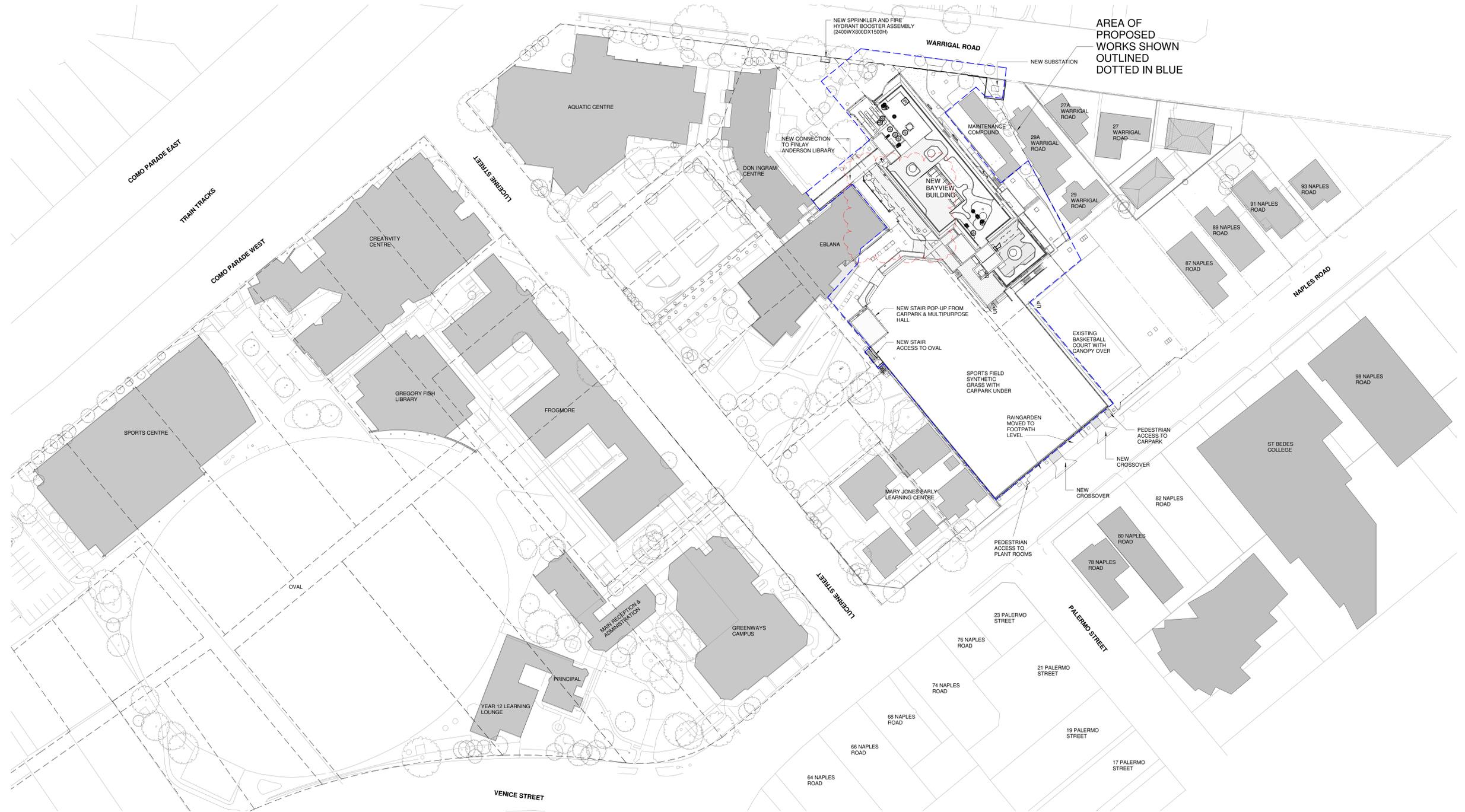
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		TOWN PLANNING Existing Site Plan	
		CLIENT: Mentone Grammar PROJECT NAME: Bayview and Car Park PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone	SCALE: 1 : 500 @ A4 DATE: 16.08.23 JOB NO: 3114

T: +61 3 8696 0300
info@msildowiepartners.com.au

Level 2, 325 Flinders Lane
Melbourne, Vic 3000

**ADVERTISED
PLAN**



AREA OF
PROPOSED
WORKS SHOWN
OUTLINED
DOTTED IN BLUE

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Rev	Date	By	Description
1	08.06.21	LB	Final coordination
2	10.06.21	LB	Draft Town Planning
3	18.06.21	LB	Town Planning
4	21.06.21	LB	Town Planning
5	24.06.21	LB	TOWN PLANNING SET
6	11.08.21	LB	ADDITIONAL INFO
7	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
8	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
9	05.04.22	JC	TOWN PLANNING SECONDARY CONSENT
10	19.01.23	JM	TOWN PLANNING SECONDARY CONSENT Rev 1
11	07.08.23	LB	FOR INFORMATION
12	15.08.23	JM	Planning amendment

REVISION SCHEDULE

NORTH POINT

CONTRACTORS

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- GENERAL NOTES - SITE PLAN**
- ALL EXISTING BUILDINGS AND FEATURES SHALL BE VERIFIED BY THE CONTRACTOR'S OWN SURVEY PRIOR TO COMMENCEMENT OF WORKS.
 - REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TXX = TREE + NUMBER); GREEN DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
 - PROTECTION OF ADJOINING BUILDINGS, VEGETATION SHALL BE ENSURED DURING DEMOLITION.
 - EXISTING SERVICES SHALL BE PROTECTED DURING THE WORKS.
 - ALL DANGEROUS MATERIALS SHALL BE REMOVED & DISPOSED OF IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND AUSTRALIAN STANDARDS.
 - REMOVE AND CAP OFF EXISTING INGROUND SERVICES IN ACCORDANCE WITH AUTHORITY REQUIREMENTS.

TOWN PLANNING

Site Plan

MclDowie Partners

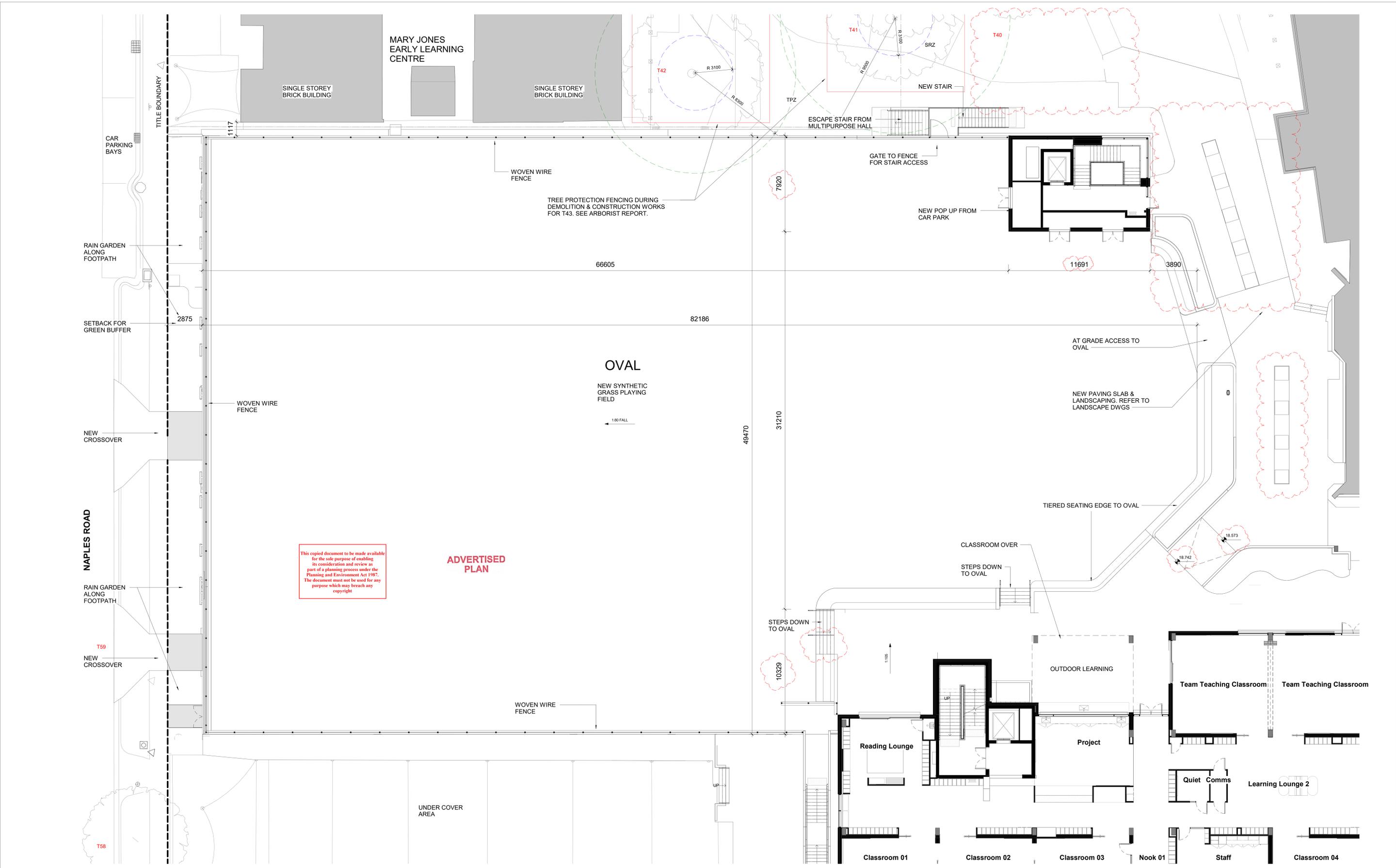
CLIENT: Mentone Grammar
PROJECT NAME: Bayview and Car Park
PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

SCALE: 1 : 500 @ A4
DATE: 16.08.23
JOB No: 3114

DRAWN: LB
CHECKED: JM
DATE PRINTED: 16/08/23 10:16 AM

DRAWING NUMBER: TP050
REV: 13

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ADVERTISED PLAN

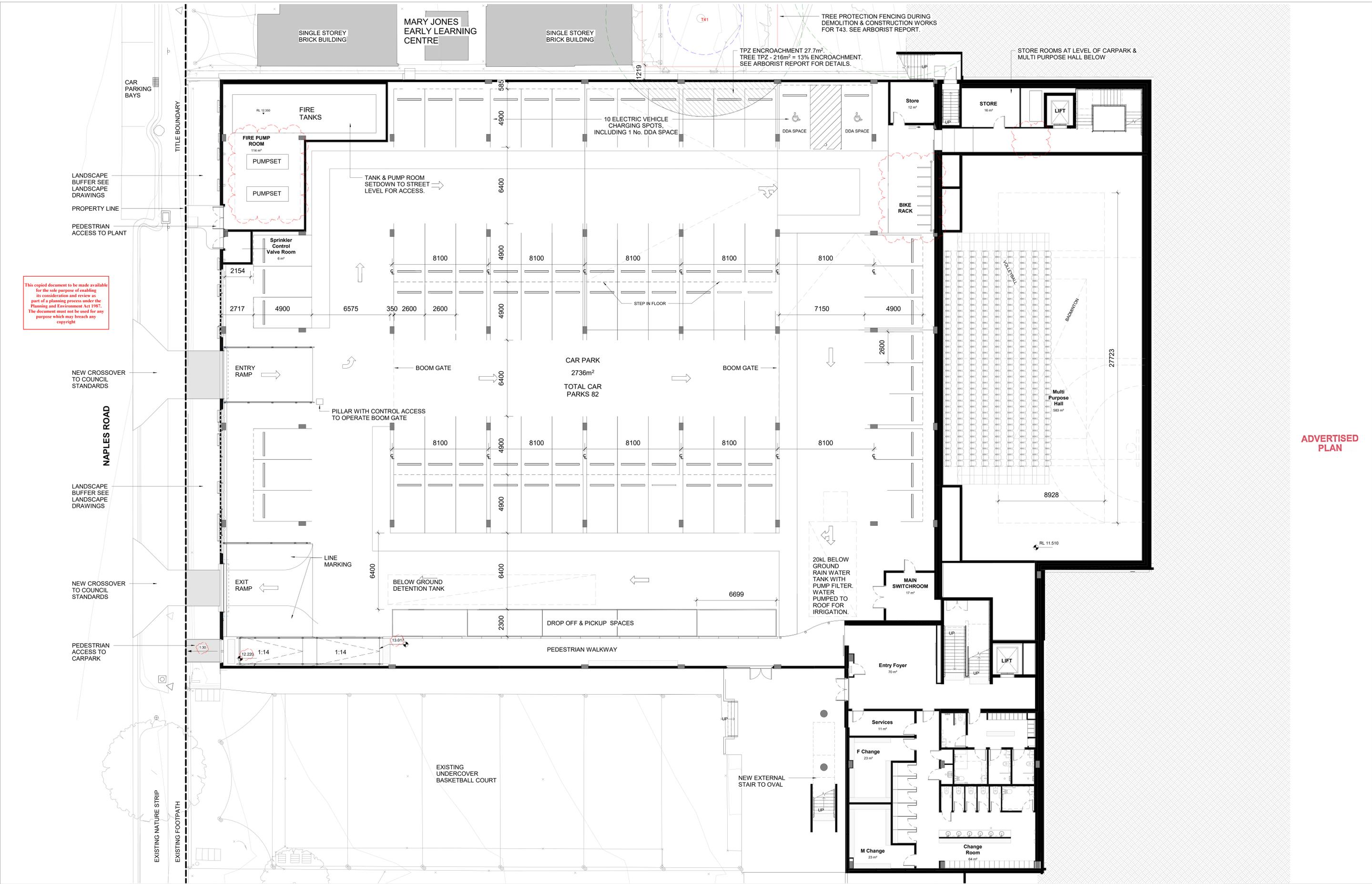
Rev	Date	By	Description
1	08.05.21	LB	Final coordination
2	10.06.21	LB	Draft Town Planning
3	19.06.21	LB	Town Planning
4	21.06.21	LB	Town Planning
5	24.06.21	LB	TOWN PLANNING SET
6	21.10.21	JM	Updated Planning Concept for Review
7	21.10.21	LB	Updated Planning
8	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	15.07.23	JM	TOWN PLANNING SECONDARY CONSENT Rev 1
12	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE

NORTH POINT	
CONTRACTORS	
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GENERAL NOTES - TOWNPLANNING

- REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
- THE FOLLOWING ACOUSTIC MITIGATION MEASURES ARE INCLUDED:
SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK.
SOLID SCREEN TO EXTEND 1M ABOVE THE CONDENSER UNITS.
CARPARK EXHAUST FANS TO BE FITTED WITH ATTENUATORS & HAVE ACOUSTIC ENCLOSURE.
ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.
ROOF TERRACE BALUSTRADE SCREENS ARE GLASS BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.
SEAL ALL GAPS, IN PARTICULAR GAPS AT BOTTOM.
REFER TO REPORT BY MARSHALL DAY ACOUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.
- ALL EXTERNAL MATERIAL AND FINISHES HAVE BEEN SELECTED WITH A LIGHT REFLECTIVITY OF LES THAN 20% OF SPECULAR VISIBLE LIGHT.
- ALL NEW CROSS OVERS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

MCLDOWIE Partners		TOWN PLANNING		Oval Plan	
CLIENT: Mentone Grammar PROJECT NAME: Bayview and Car Park PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone		SCALE: 1:100 @ A0 DATE: 03.04.23 JOB No: 3114		DRAWN: LB CHECKED: JM DATE PRINTED: 03/04/23 REV:	
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Rev	Date	By	Description
1	21.06.21	LB	Town Planning
2	24.06.21	LB	TOWN PLANNING SET
3	11.08.21	LB	ADDITIONAL INFO
4	21.10.21	JM	Updated Planning Concept for Review
5	21.10.21	LB	Updated Planning
6	28.10.21	QC	Revised Naples Road Location
7	28.10.21	LB	Revised Car Park Layout
8	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.08.22	QC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE

GENERAL NOTES - TOWN PLANNING

- REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TAX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
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REVISION SCHEDULE

CONTRACTORS

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Level 2, 325 Flinders Lane
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CLIENT: Mentone Grammar

PROJECT NAME: Bayview and Car Park

PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

TOWN PLANNING Car Park

SCALE: 1:100 @ A4

DATE: 03.04.23

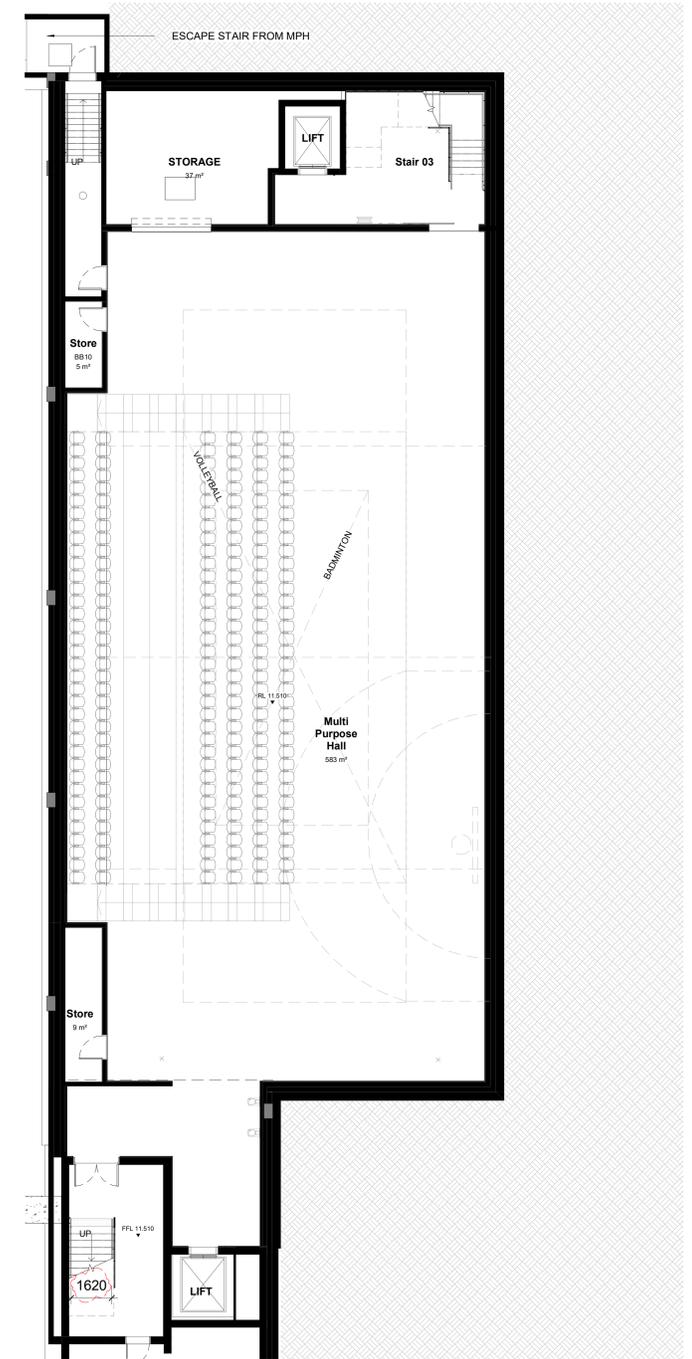
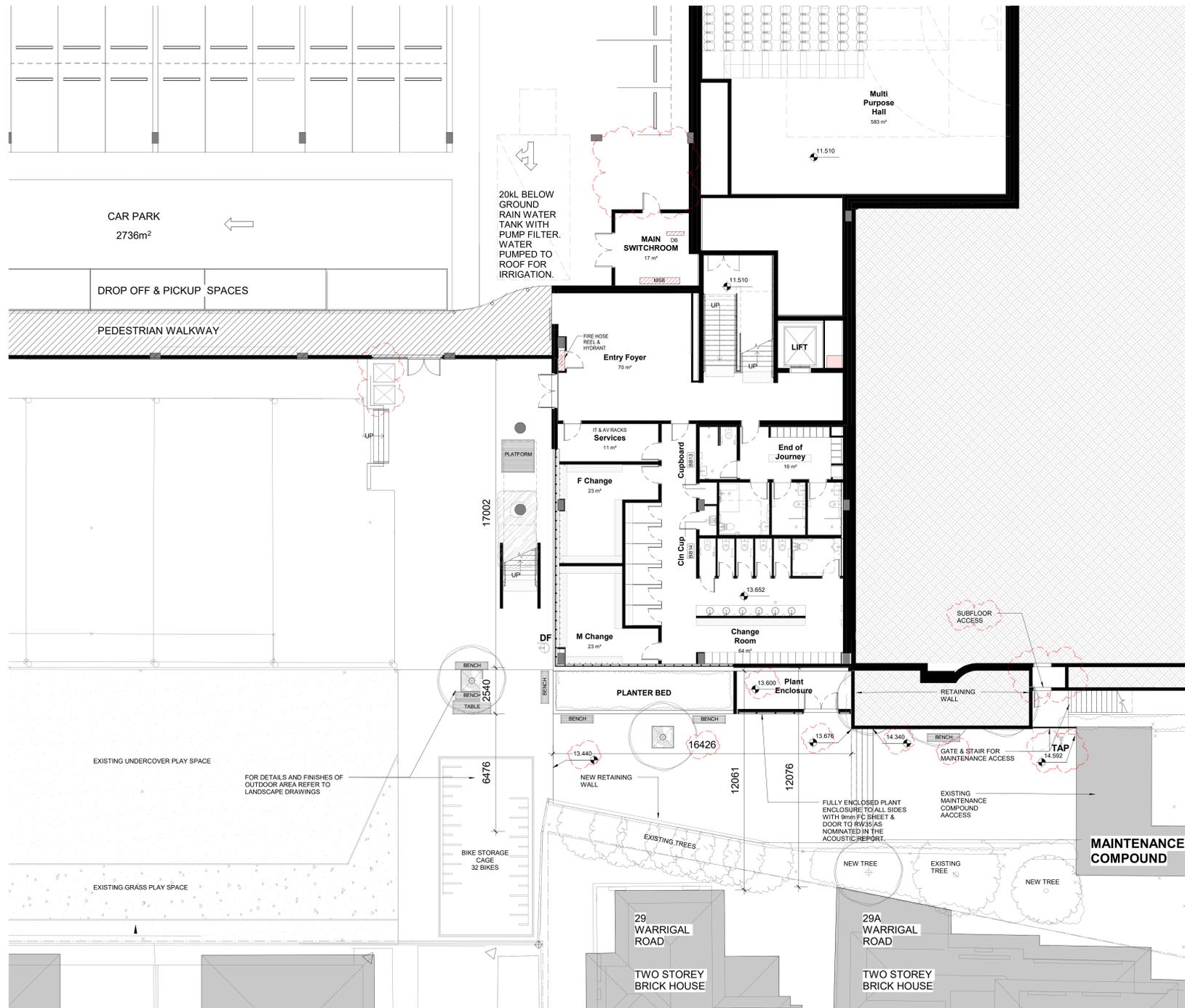
JOB No: 3114

FILE: 75-77 Naples Rd - Mentone Grammar - Bayview & Car Park (2021) - MCLDOWIE PARTNERS

DRAWING NUMBER: TP101

REV: 15

ADVERTISED PLAN



1 TP102 - Basement
1 : 100

2 TP102 - Multipurpose Hall
1 : 100

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Rev	Date	By	Description
1	10.06.21	LB	Draft Town Planning
2	11.06.21	LB	Bike Location
3	18.06.21	LB	Town Planning
4	21.06.21	LB	Town Planning
5	24.06.21	JAM	TOWN PLANNING SET
6	05.10.21	JAM	Natural Ground Clarifications
7	21.10.21	JAM	Updated Planning Concept for Review
8	21.10.21	LB	Updated Planning
9	03.11.21	JAM	TOWN PLANNING UPDATED ISSUE
10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
11	04.04.22	JAM	TOWN PLANNING SECONDARY CONSENT
12	03.04.23	JAM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE

NORTH POINT	

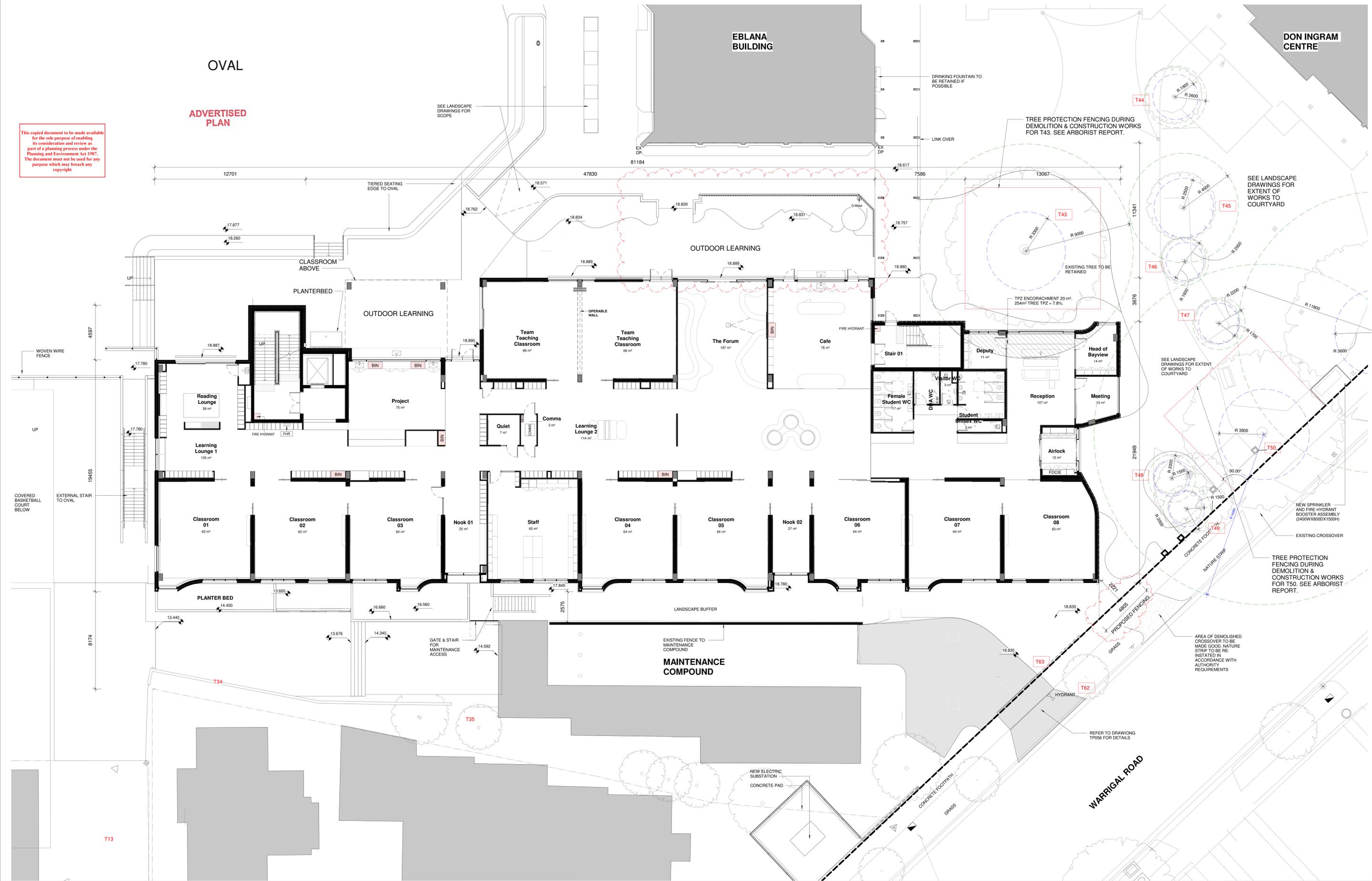
GENERAL NOTES - TOWNPLANNING

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ROOF TERRACE BALUSTRADE SCREENS ARE GLASS BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.
SEAL ALL GAPS, IN PARTICULAR GAP AT BOTTOM.
REFER TO REPORT BY MARSHALL DAY ACOUSTICS, UNLESS OTHERWISE AGREED BY THE RESPONSIBLE AUTHORITY.

- ALL EXTERNAL MATERIAL AND FINISHES HAVE BEEN SELECTED WITH A LIGHT REFLECTIVITY OF LESS THAN 20% OF SPECULAR VISIBLE LIGHT.
- ALL NEW CROSS OVERS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

TOWN PLANNING		Lower Ground & Multipurpose Hall	
MILDOWIE PARTNERS		CLIENT Mentone Grammar	DRAWING NUMBER TP102
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone		PROJECT NAME Bayview and Car Park	DATE 03.04.23
Level 2, 325 Flinders Lane Melbourne, Vic 3000		DATE CHECKED JAM	DATE PRINTED 04/03/2023 14:40
Tel: +61 3 8695 0300 info@mildowiepartners.com.au		JOB No. 3114	REV. 14

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Rev	Date	By	Description
1	13.06.21	LB	Start Town Planning
2	18.06.21	LB	Town Planning
3	21.06.21	LB	Town Planning
4	24.06.21	LB	TOWN PLANNING SET
5	11.08.21	LB	ADDITIONAL INFO
6	21.10.21	JAM	Updated Planning Concept for Review
7	21.10.21	LB	Updated Planning
8	03.11.21	JAM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JAM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
12	16.08.23	JAM	Planning amendment

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GENERAL NOTES - TOWN PLANNING

- REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TXX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
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 ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.
 ROOF TERRACE BALUSTRADE SCREENS ARE GLASS BALUSTRADES WITH A MINIMUM SURFACE DENSITY OF 15KG/M2.
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McIldowie Partners T: +61 3 8696 0300 info@mcildowiepartners.com.au Level 2, 325 Flinders Lane Melbourne, Vic 3000		CLIENT: Mentone Grammar PROJECT NAME: Bayview and Car Park PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone	DRAWING TITLE: Ground Floor SCALE: 1:100 @ A4 DATE: 16.08.23 JOB No: 3114 FILE: TP103	DRAWING NUMBER: TP103 DRAWN: LB CHECKED: JM DATE PRINTED: 16.08.23 REV: 14
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STAIR POP UP FROM CAR PARK

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EBLANA BUILDING

DON INGRAM BUILDING

MAINTENANCE COMPOUND

WARRIGAL ROAD

Rev	Date	By	Description
1	08.06.21	LB	Plan coordination
2	10.06.21	LB	Draft Town Planning
3	18.06.21	LB	Town Planning
4	24.06.21	LB	TOWN PLANNING SET
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9	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
10	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
11	16.08.23	JM	Planning amendment

NORTH POINT

CONTRACTORS

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GENERAL NOTES - TOWN PLANNING

- REFER TO TREE PROTECTION MANAGEMENT PLAN (TPM) PREPARED BY MCLEOD TREES FOR DETAILS OF TREE PROTECTION DURING CONSTRUCTION. TREES ARE NUMBERED IN ACCORDANCE WITH THE TPM (TAX = TREE + NUMBER). RED DASH INDICATES TREE PROTECTION ZONE; BLUE DASH INDICATES ROOT PROTECTION ZONE.
- THE FOLLOWING ACOUSTIC MITIGATION MEASURES ARE INCLUDED:
 - SOLID ENCLOSURE TO ROOF AND LOWER GROUND FLOOR PLANT DECK.
 - SOLID SCREEN TO EXTEND 1M ABOVE THE CONDENSER UNITS.
 - CARPARK EXHAUST FANS TO BE FITTED WITH ATTENUATORS & HAVE ACOUSTIC ENCLOSURE.
 - ACOUSTIC LOUVRES TO CARPARK TO ACHIEVE COMPLIANCE.
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- ALL NEW CROSS OVERS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

MSIldowie Partners

CLIENT
Mentone Grammar

PROJECT NAME
Bayview and Car Park

PROJECT ADDRESS
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

TOWN PLANNING

Level 01

SCALE	DRAWN	CHECKED	DATE PRINTED	REV.
1 : 100 @ A3	LB	JM		
DATE	16.08.23			
JOB No	3114			

TP104

13

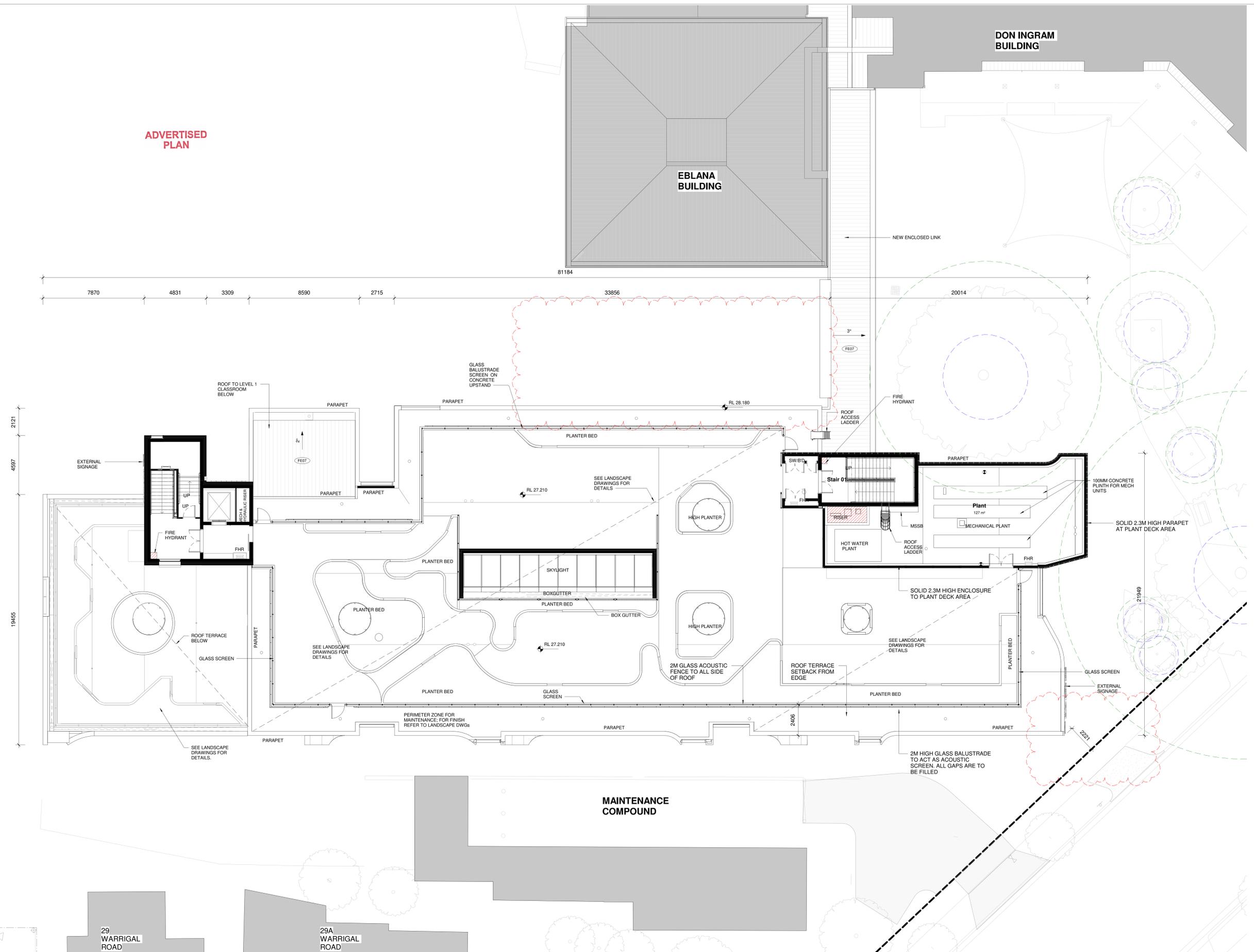
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info@msildowiepartners.com.au
Level 2, 325 Flinders Lane
Melbourne, Vic 3000

**ADVERTISED
PLAN**

**DON INGRAM
BUILDING**

**EBLANA
BUILDING**

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Rev	Date	By	Description
1	08.06.21	LB	Final coordination
2	10.06.21	LB	Draft Town Planning
3	18.06.21	LB	Town Planning
4	21.06.21	LB	Town Planning
5	24.06.21	LB	TOWN PLANNING SET
6	21.10.21	JM	Updated Planning Concept for Review
7	21.10.21	LB	Updated Planning
8	09.11.21	JM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
12	16.06.23	JM	Planning amendment

NORTH POINT

CONTRACTORS

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GENERAL NOTES - TOWNPLANNING

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**MclDowie
Partners**

CLIENT
Mentone Grammar
PROJECT NAME
Bayview and Car Park
PROJECT ADDRESS
75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

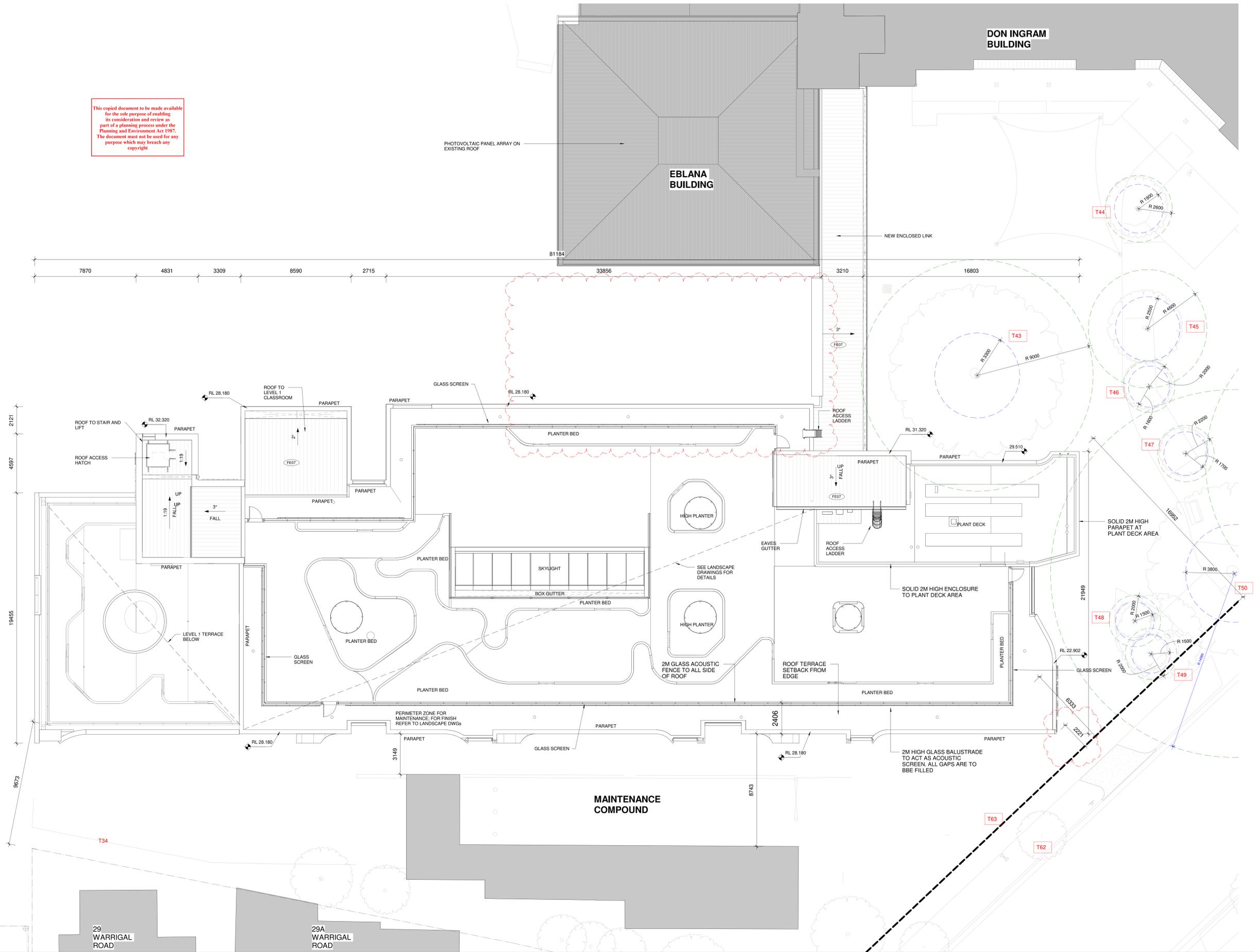
TOWN PLANNING

Level 02

SCALE	1 : 100 @ A4	DRAWN	LB	DRAWING NUMBER
DATE	16.08.23	CHECKED	JM	TP105
JOB No	3114	DATE PRINTED		REV.
FILE	16.08.23 10:00 AM - 33-35,37 Warrigal Rd - Mentone - TP105 - 16.08.23 - 10:00 AM - 33-35,37 Warrigal Rd - Mentone - TP105 - 16.08.23 - 10:00 AM			

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ADVERTISED PLAN



Rev	Date	By	Description
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4	21.06.21	LB	Town Planning
5	24.06.21	LB	TOWN PLANNING SET
6	21.10.21	JAM	Updated Planning Concept for Review
7	21.10.21	LB	Updated Planning
8	03.11.21	JAM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JAM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
12	16.08.23	JAM	Planning amendment

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REVISION SCHEDULE

Rev	Date	By	Description
1	08.06.21	LB	Plan coordination
2	10.06.21	LB	Draft Town Planning
3	18.06.21	LB	Town Planning
4	21.06.21	LB	Town Planning
5	24.06.21	LB	TOWN PLANNING SET
6	21.10.21	JAM	Updated Planning Concept for Review
7	21.10.21	LB	Updated Planning
8	03.11.21	JAM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JAM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
12	16.08.23	JAM	Planning amendment

MclDowie Partners

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 info@mclodwiewpartners.com.au

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 Melbourne, Vic 3000

CLIENT
 Mentone Grammar
 Bayview and Car Park

PROJECT ADDRESS
 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

DRAWING TITLE
 Roof Plan

SCALE
 1 : 100 @ AD

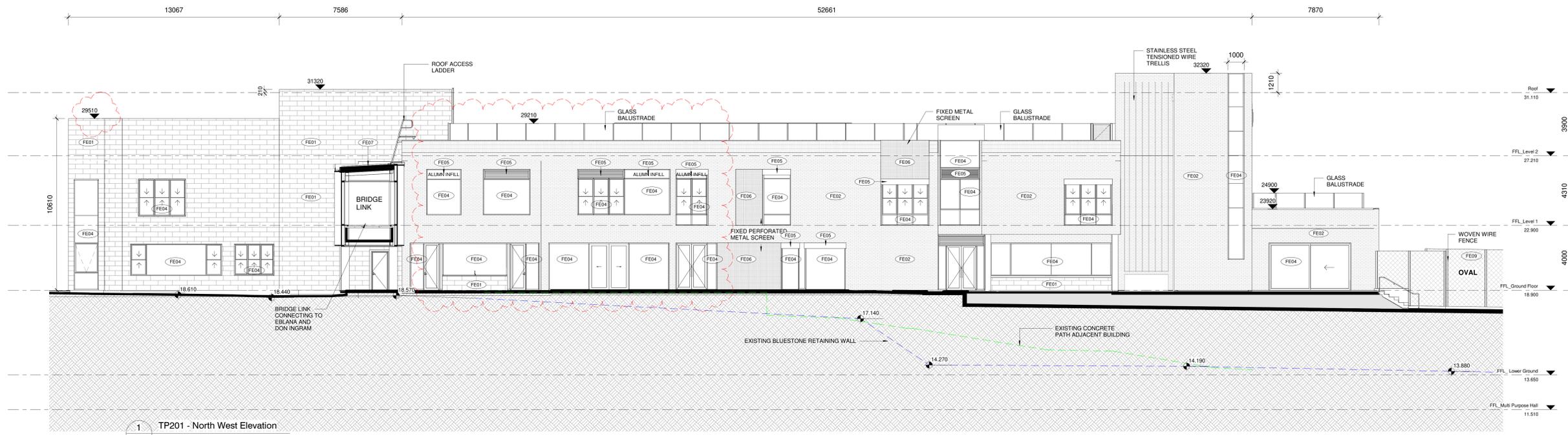
DATE
 16.08.23

JOB No.
 3114

FILE
 16.08.23 - 3114 - TOWN PLANNING SECONDARY CONSENT - SIGNAGE - TP106.dwg

DRAWING NUMBER
 TP106

REV.
 13



1 TP201 - North West Elevation
1 : 100

ADVERTISED PLAN



2 TP201 - South East Elevation
1 : 100

FINISHES SCHEDULE

FE01 GREY SILVER TRAVERTINE	FE02 GHOST GREY BRICK
FE15 FC SHEET CLADDING TO MATCH COLORBOND SHALE GREY	FE04 CLEAR GLAZING
FE05 BLACK POWDERCOAT FRAMES	FE06 SILVER PERFORATED METAL SCREEN
FE07 ROOF SHEETING COLORBOND SHALE GREY	
FE09 BLACK PVC COATED WOVEN WIRE FENCE	FE10 SILVER ALUMINIUM FRAME
FE11 GARAGE DOOR METAL CLADDING FINISH TO MATCH MONUMENT	FE21 SMOOTH CEMENT RENDER

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Rev	Date	By	Description
1	13.06.21	LB	Start Town Planning
2	18.06.21	LB	Town Planning
3	21.06.21	LB	Town Planning
4	24.06.21	LB	Town Planning
5	21.06.21	LB	TOWN PLANNING SET
6	11.08.21	LB	ADDITIONAL INFO
7	21.10.21	JAM	Updated Planning Concept for Review
8	21.10.21	LB	Updated Planning
9	03.11.21	JAM	TOWN PLANNING UPDATED ISSUE
10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
11	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
12	03.04.23	JAM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
13	16.08.23	JAM	Planning amendment

GENERAL NOTES - ELEVATION

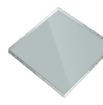
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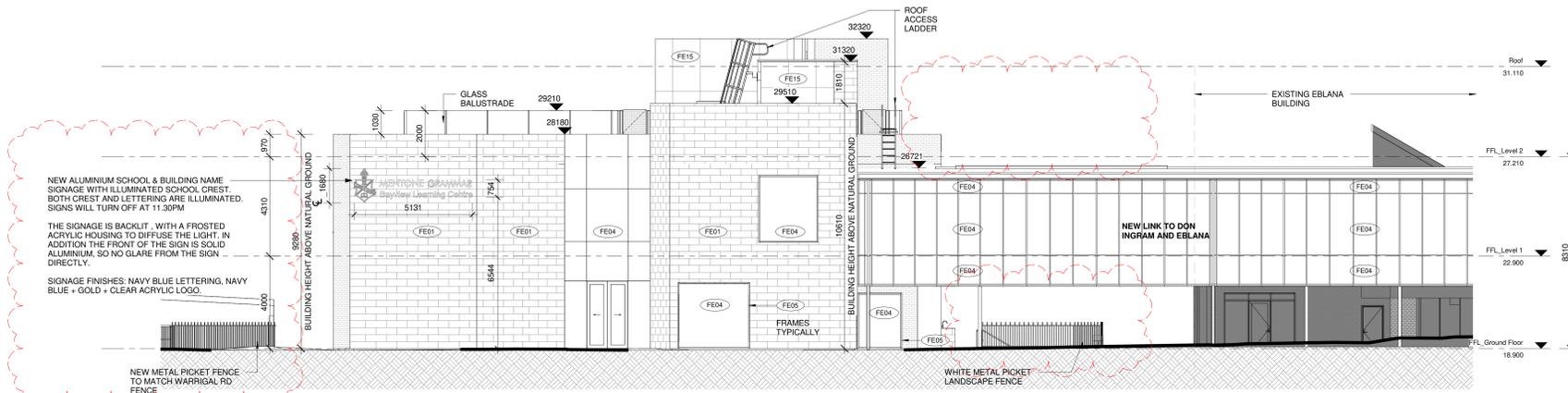
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	<p>DRAWN LB</p> <p>CHECKED JM</p> <p>DATE PRINTED 16.08.23</p>	<p>SCALE 1 : 100 @ AD</p> <p>DATE 16.08.23</p> <p>JOB No. 3114</p>	<p>DRAWING NUMBER TP201</p> <p>REV. 14</p>	
	<p>DRAWN LB</p> <p>CHECKED JM</p>	<p>SCALE 1 : 100 @ AD</p> <p>DATE 16.08.23</p>	<p>DRAWING NUMBER TP201</p> <p>REV. 14</p>	
	<p>DRAWN LB</p>	<p>SCALE 1 : 100 @ AD</p>	<p>DRAWING NUMBER TP201</p> <p>REV. 14</p>	

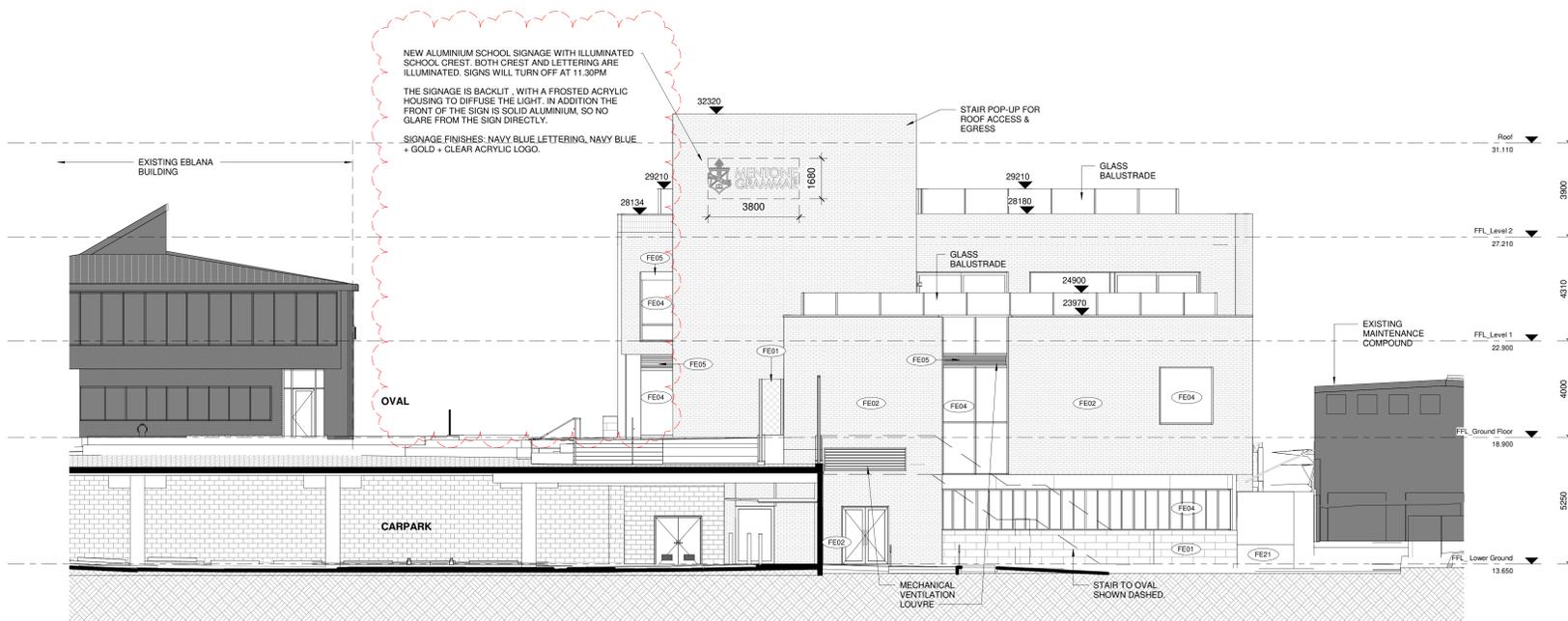
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FINISHES SCHEDULE

 FE01 GREY SILVER TRAVERTINE	 FE02 GHOST GREY BRICK
 FE15 FC SHEET CLADDING TO MATCH COLORBOND SHALE GREY	 FE04 CLEAR GLAZING
 FE05 BLACK POWDERCOAT FRAMES	 FE06 SILVER PERFORATED METAL SCREEN
 FE07 ROOF SHEETING COLORBOND SHALE GREY	
 FE09 BLACK PVC COATED WOVEN WIRE FENCE	 FE10 SILVER ALUMINIUM FRAME
 FE11 GARAGE DOOR METAL CLADDING FINISH TO MATCH MONUMENT	 FE21 SMOOTH CEMENT RENDER



1 TP202 - North East Elevation
1 : 100



2 TP202 - South West Elevation
1 : 100

ADVERTISED PLAN

Rev	Date	By	Description
1	15.05.21	LB	Town Planning
2	21.06.21	LB	Town Planning
3	24.06.21	LB	TOWN PLANNING SET
4	11.08.21	LB	ADDITIONAL INFO
5	05.10.21	JM	Natural Ground Clarifications
6	21.10.21	JM	Updated Planning Concept for Review
7	21.10.21	LB	Updated Planning
8	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
9	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
10	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
11	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
12	16.08.23	JM	Planning amendment

GENERAL NOTES - ELEVATION

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TOWN PLANNING

Elevations

CLIENT: Mentone Grammar

PROJECT NAME: Bayview and Car Park

PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone

SCALE: 1 : 100 @ AD

DATE: 16.08.23

JOB No: 3114

DATE PRINTED: 16/08/2023 09:24 AM

FILE: \\msld\111\Projects\2023\Bayview & Car Park\111-TP202-11-AD-Elevations.dwg

PROJECT NUMBER: TP202

REV: 15

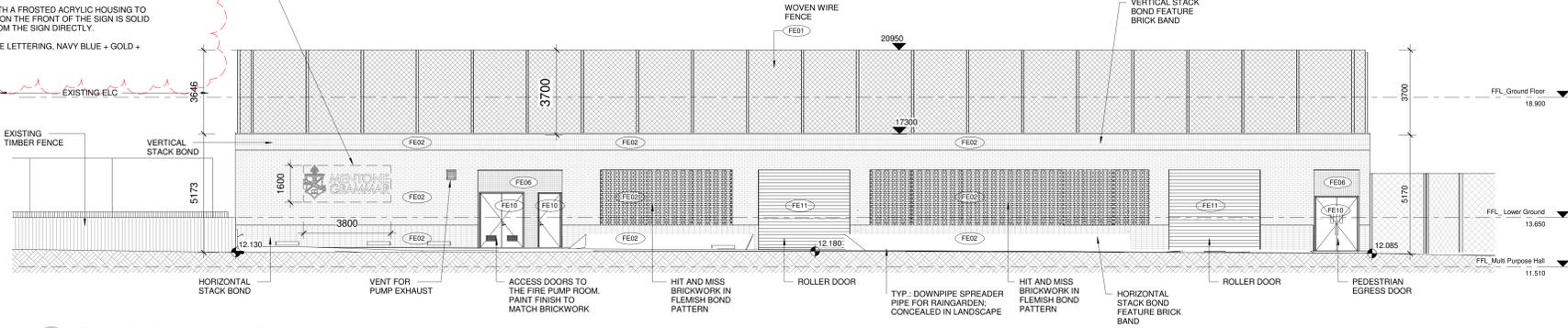
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info@msldowiepartners.com.au

Level 2, 325 Flinders Lane
Melbourne, Vic 3000

NEW ALUMINIUM SCHOOL & BUILDING NAME SIGNAGE WITH ILLUMINATED SCHOOL CREST. BOTH CREST AND LETTERING ARE ILLUMINATED. SIGNS WILL TURN OFF AT 11.30PM

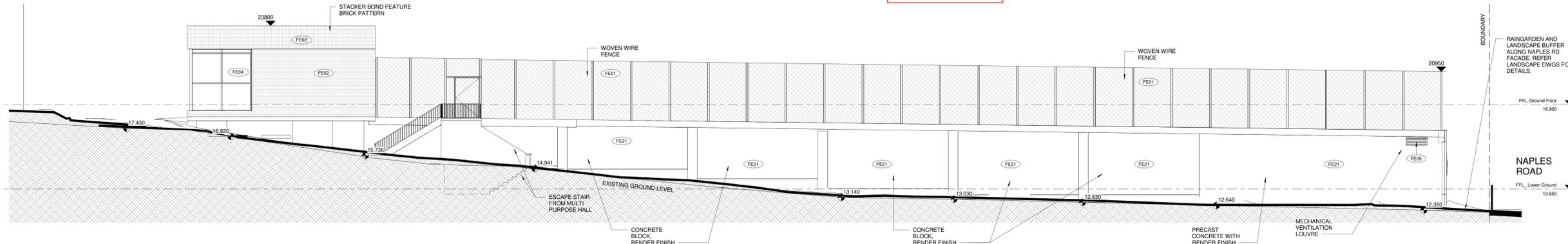
THE SIGNAGE IS BACKLIT, WITH A FROSTED ACRYLIC HOUSING TO DIFFUSE THE LIGHT. IN ADDITION THE FRONT OF THE SIGN IS SOLID ALUMINIUM, SO NO GLARE FROM THE SIGN DIRECTLY.

SIGNAGE FINISHES: NAVY BLUE LETTERING, NAVY BLUE + GOLD + CLEAR ACRYLIC LOGO.

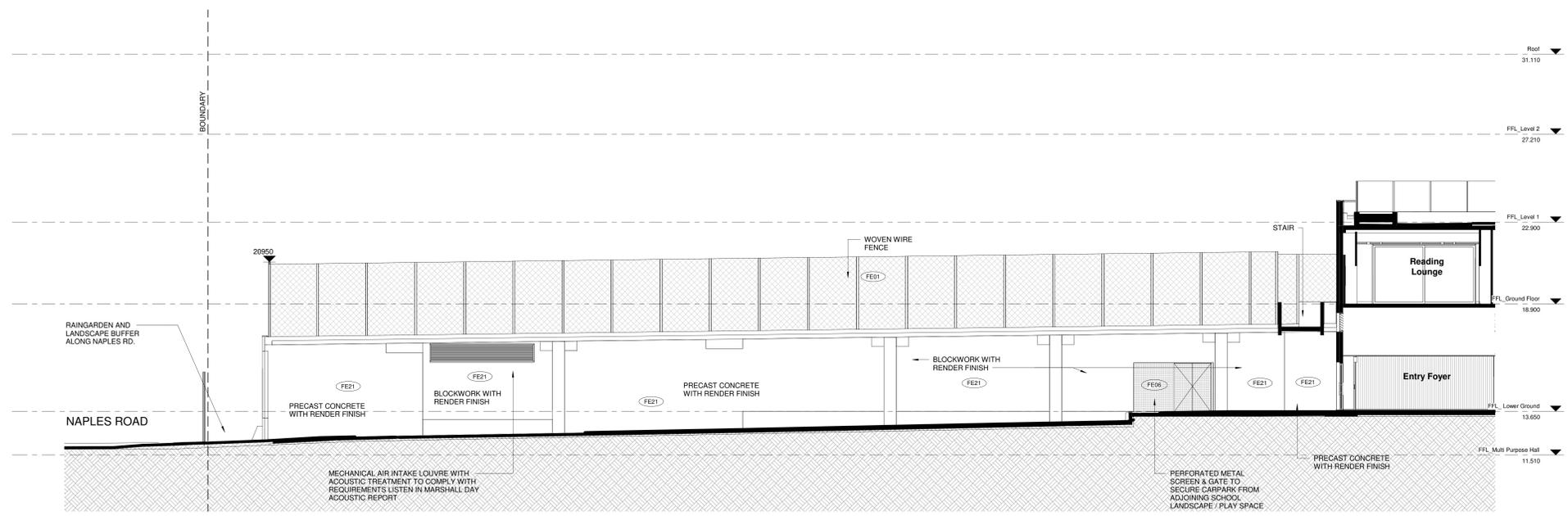


2 TP203 - Car Park - South West Elevation
1 : 100

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1 TP203 - Car Park - North West Elevation
1 : 100



3 TP203 - Car Park - South East Elevation
1 : 100

FINISHES SCHEDULE

FE01 GREY SILVER TRAVERTINE	FE02 GHOST GREY BRICK
FE15 FC SHEET CLADDING TO MATCH COLORBOND SHALE GREY	FE04 CLEAR GLAZING
FE05 BLACK POWDERCOAT FRAMES	FE06 SILVER PERFORATED METAL SCREEN
FE07 ROOF SHEETING COLORBOND SHALE GREY	FE10 SILVER ALUMINIUM FRAME
FE09 BLACK PVC COATED WOVEN WIRE FENCE	FE21 SMOOTH CEMENT RENDER
FE11 GARAGE DOOR METAL CLADDING FINISH TO MATCH MONUMENT	

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10	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
11	06.04.22	TC	TOWN PLANNING SECONDARY CONSENT
12	03.04.23	JAM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
13	16.08.23	JAM	Planning amendment

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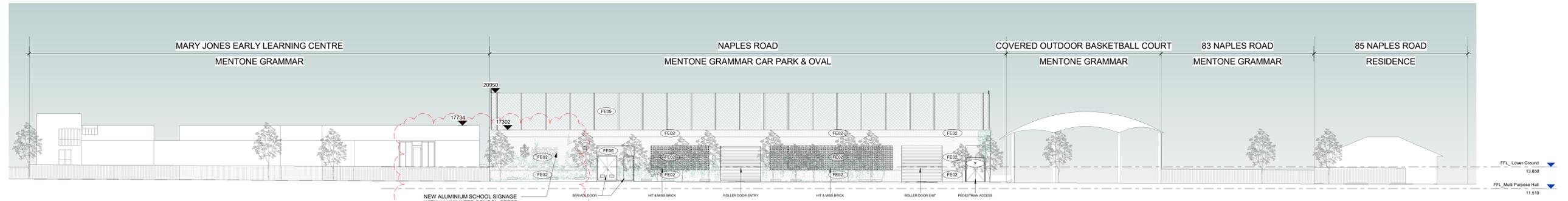
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REVISION SCHEDULE	NORTH POINT	GENERAL NOTES - ELEVATION
13		1. LIGHT REFLECTIVITY FROM ALL EXTERNAL MATERIALS AND FINISHES DOES NOT REFLECT MORE THAN 20% OF SPECULAR VISIBLE LIGHT

MCLDOWIE Partners		CLIENT Mentone Grammar	DRAWING NUMBER TP203
PROJECT NAME Bayview and Car Park		CHECKED JM	DATE 16.08.23
PROJECT ADDRESS 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone		DATE PRINTED 16/08/2023 09:24 AM	REV. 13
T: +61 3 8695 0300 info@mclldowiepartners.com.au		Level 2, 325 Finders Lane Melbourne, Vic 3000	



NEW ALUMINIUM SCHOOL SIGNAGE WITH ILLUMINATED SCHOOL CREST. SIGNAGE FINISHES: NAVY BLUE LETTERING, NAVY BLUE + GOLD + CLEAR ACRYLIC LOGO.

1 TP204 - Naples Road Streetscape
TP204 1 : 150

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ADVERTISED PLAN

Rev	Date	By	Description
1	11.08.21	LB	ADDITIONAL INFO
2	21.10.21	JM	Updated Planning Concept for Review
3	21.10.21	LB	Updated Planning
4	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
5	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
6	04.04.22	JM	TOWN PLANNING SECONDARY CONSENT
7	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE

NORTH POINT

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		PROJECT NAME Bayview and Car Park		SCALE 1 : 150 @ A0	
PROJECT ADDRESS 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone		DATE 03.04.23		DRAWN LB	
		JOB No. 3114		CHECKED JM	
		FILE TP204-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231-1232-1233-1234-1235-1236-1237-1238-1239-1240-1241-1242-1243-1244-1245-1246-1247-1248-1249-1250-1251-1252-1253-1254-1255-1256-1257-1258-1259-1260-1261-1262-1263-1264-1265-1266-1267-1268-1269-1270-1271-1272-1273-1274-1275-1276-1277-1278-1279-1280-1281-1282-1283-1284-1285-1286-1287-1288-1289-1290-1291-1292-1293-1294-1295-1296-1297-1298-1299-1300-1301-1302-1303-1304-1305-1306-1307-1308-1309-1310-1311-1312-1313-1314-1315-1316-1317-1318-1319-1320-1321-1322-1323-1324-1325-1326-1327-1328-1329-1330-1331-1332-1333-1334-1335-1336-1337-1338-1339-13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1 TP205 - North West Elevation Coloured
1 : 100

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LEGEND

- FE01 GREY SILVER TRAVERTINE
- FE02 GHOST GREY BRICK
- FE15 FC SHEET CLADDING COLORBOND SHALE GREY
- FE04 CLEAR GLAZING
- FE05 BLACK POWDERCOAT FINISH
- FE06 SILVER PERFORATED METAL SCREEN
- FE07 ROOF SHEETING COLORBOND SHALE GREY
- FE08 TIMBER SUPERSTRUCTURE
- FE09 BLACK PVC COATED WOVEN WIRE FENCE
- FE10 SILVER ALUMINIUM CURTAIN WALL FRAME
- FE11 GARAGE DOOR METAL CLADDING FINISH TO MATCH MONUMENT
- FE21 SMOOTH CEMENT RENDER



2 TP205 - South East Elevation Coloured
1 : 100

ADVERTISED PLAN

Rev	Date	By	Description
1	13.08.21	LB	ADDITIONAL INFO
2	21.10.21	JM	Updated Planning Concept for Review
3	21.10.21	LB	Updated Planning
4	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
5	04.11.21	LB	TOWN PLANNING UPDATED ISSUE V2
6	03.04.22	JM	TOWN PLANNING SECONDARY CONSENT
7	03.04.23	JM	TOWN PLANNING SECONDARY CONSENT - SIGNAGE
8	16.08.23	JM	Planning amendment

GENERAL NOTES - ELEVATION

1. LIGHT REFLECTIVITY FROM ALL EXTERNAL MATERIALS AND FINISHES DOES NOT REFLECT MORE THAN 20% OF SPECULAR VISIBLE LIGHT

DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

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SCALE	As Indicated @ AD	DRAWN	LB	DRAWING NUMBER TP205	
DATE	16.08.23	CHECKED	JM	REV.	
JOB No	3114	DATE PRINTED	16/08/2023 09:27 AM	8	

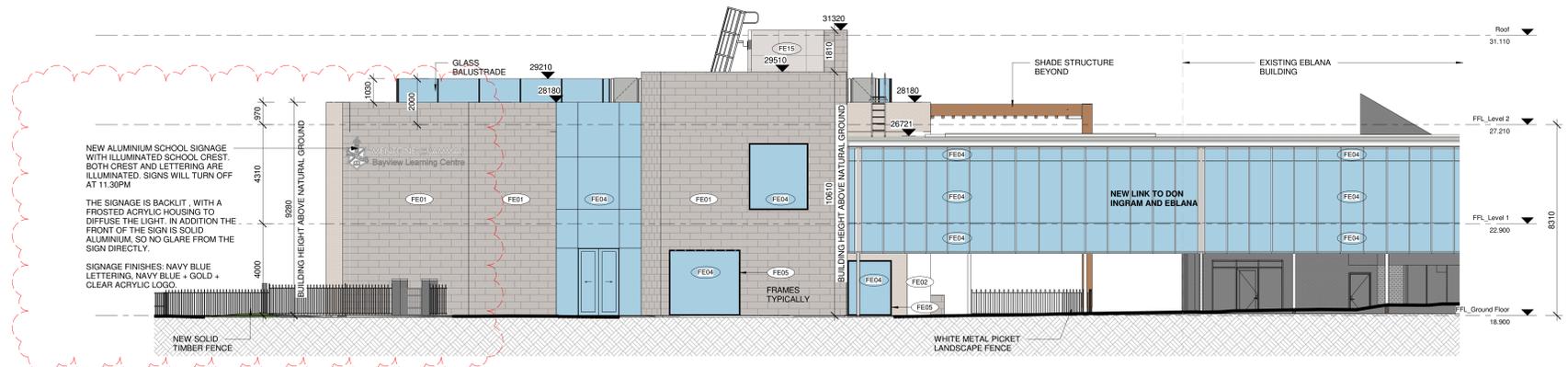
LEGEND



1 TP206 - South West Elevation Coloured
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2 TP206 -North East Elevation Coloured
1 : 100

Rev	Date	By	Description
1	13.08.21	LB	ADDITIONAL INFO
2	21.10.21	JM	Updated Planning
3	21.10.21	LB	Updated Planning Concept for Review
4	03.11.21	JM	TOWN PLANNING UPDATED ISSUE
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		<p>CLIENT: Mentone Grammar</p> <p>PROJECT NAME: Bayview and Car Park</p> <p>PROJECT ADDRESS: 75-77 Naples Rd, 33-35,37 Warrigal Rd - Mentone</p>	<p>SCALE: As Indicated @ A3</p> <p>DATE: 16.08.23</p> <p>JOB No: 3114</p> <p>FILE: TP206-1717-Mentone Grammar Bayview & Car Park (2023)-16.08.23-03.04.23</p>

