

# ADVERTISED PLAN



60-70 Park Street, South Melbourne

Acoustic Assessment

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MELBOURNE  
41 Colyton St



Project ID	20240873.1
Document Title	Acoustic Assessment
Attention To	

Revision	Date	Document Reference	Prepared By	Checked By	Approved By
0	27/11/2024	20240873.1/2711A/R0/BAW	BAW		
1	17/12/2024	20240873.1/1712A/R1/BAW	BAW	BAW	BAW
2	19/12/2024	20240873.1/1812A/R2/BAW	BAW	BAW	BAW
3	29/08/2025	20240873.1/2808A/R3/BAW	BAW	BAW	BAW
4	30/10/2025	20240873.1/3010A/R4/BAW	BAW	BAW	BAW
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# 1 INTRODUCTION

Acoustic Logic Pty Ltd (AL) has been engaged by [REDACTED] to undertake an acoustic assessment for the proposed mixed-use development located at 60-70 Park Street, South Melbourne. The following documents are referenced in the assessment.

**Table 1 – Referenced Documents**

Company	Document Reference	Date
DKO	Drawing No. TP000 to TP813 (Rev D)	11 February 2026

This report has been prepared to seek amendment since the last revision (R3) addressing some minor changes which include:

- Apartment layout reconfiguration on podium level,
- Façade realignment to coordinate with structure.

AL confirms that the outcome indicated compliance with assessment criteria detailed in Section 4 is still achieved.

# 2 PROJECT DESCRIPTION

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The proposed development is located at 60-70 Park Street, South Melbourne which is a mixed-use development and includes a basement car park, retail tenancies and co-working spaces on the ground level, and residential apartments on level 1 to 21. The subject site is bounded by Park Street to the south, existing residential buildings to the east and north, and residential development to the west. Figure 1 below indicate the subject site, surrounding environment and measurement locations.



**Figure 1 – Site map, measurement locations and surrounding environment (source: Google Maps)**

## 2.1 LOCAL NOISE SOURCES

Site inspections and noise level measurements indicated that the dominant noise source affecting the subject site is traffic movement on Park Street and Kings Way.

## 3 ENVIRONMENTAL NOISE DESCRIPTORS

Environmental noise constantly varies in level, due to fluctuations in local noise sources including road traffic and rail noise. Accordingly, a 15-minute measurement interval is normally utilised. Over this period, noise levels are monitored on a continuous basis and statistical and integrating techniques are used to determine noise description parameters.

In the case of environmental noise three principle measurement parameters are used, namely  $L_{10}$ ,  $L_{90}$  and  $L_{eq}$ .

The  $L_{10}$  and  $L_{90}$  measurement parameters are statistical levels that represent the average maximum and average minimum noise levels respectively, over the measurement intervals.

The  $L_{10}$  parameter is commonly used to measure noise produced by a particular intrusive noise source since it represents the average of the loudest noise levels produced by the source.

Conversely, the  $L_{90}$  level (which is commonly referred to as the background noise level) represents the noise level heard in the quieter periods during a measurement interval. The  $L_{90}$  parameter is used to set the allowable noise level for new, potentially intrusive noise sources since the disturbance caused by the new source depends on how audible it is above the pre-existing noise environment, particularly during quiet periods, as represented by the  $L_{90}$  level.

The  $L_{eq}$  parameter represents the average noise energy during a measurement period. This parameter is derived by integrating the noise levels measured over the measurement period.  $L_{eq}$  is important in the assessment of traffic noise impact as it closely corresponds with human perception of a changing noise environment; such is the character of industrial noise.

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## 4 ASSESSMENT CRITERIA

### 4.1 STANDARD D16 AT CLAUSE 58.04-3

Standard D16 contains the following condition:

*To contain noise sources in developments that may affect existing dwellings.*

*To protect residents from external and internal noise sources.*

#### **Standard D16**

*Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings.*

*The layout of new dwellings and buildings should minimise noise transmission within the site.*

*Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.*

*New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.*

*Buildings within a noise influence area specified in Table D3 should be designed and constructed to achieve the following noise levels:*

- *Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.*
- *Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.*

*Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.*

*Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.*

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**Table D3 Noise influence area**

<b>Noise Source</b>	<b>Noise influence area</b>
<b>Zone interface</b>	
Industry	300 metres from the industrial 1, 2 and 3 zone boundary
<b>Roads</b>	
Freeways, tollways and other roads carrying 40,000 Annual Average Daily Traffic Volume	300 metres from the nearest trafficable lane
<b>Railways</b>	
Railway servicing passengers in Victoria	80 metres from the centre of the nearest track
Railway servicing freight outside Metropolitan Melbourne	80 metres from the centre of the nearest track
Railway servicing freight in Metropolitan Melbourne	135 metres from the centre of the nearest track

Note: The noise influence area should be measured from the closest part of the building to the noise source.

**Decision guidelines**

Before deciding on an application, the responsible authority must consider:

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- The design response.
- Whether it can be demonstrated that the design treatment incorporated into the development meets the specified noise levels or an acoustic report by a suitably qualified consultant submitted with the application.
- Whether the impact of potential noise sources within a development have been mitigated through design, location and siting.
- Whether the layout of rooms within a dwelling mitigates noise transfer within and between dwellings.
- Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling and the site context.

Based on these conditions, the subject site has been reviewed as follows:

1. The development is **not** within 300m of an industrial zone.
2. The development **is within 300m** of a freeway or **road carrying an AADT >40,000**.
  - The development is located approximately 75 metres from Kings Way which carries 90,000 AADT based on the Open Data Hub by Department of Transport and Planning.
3. The development is **not** within 85m of train line.

Based on the above the following criteria are recommended for this development to achieve the objective of protecting residents with view of Kings Way from traffic noise on Kings Way:

**Table 2 – Internal Noise Criteria (Apartments with view of Kings Way)**

<b>Location</b>	<b>Internal Design Noise Level<sup>1</sup></b>
Living Rooms with view of Kings Way	40 dB(A) $L_{eq(16hr)}$ (6am – 10pm)
Bedrooms with view of Kings Way	35 dB(A) $L_{eq(8hr)}$ (10pm – 6am)

Note 1 – With external windows and doors closed. Apartments are unfurnished with finished floor

#### 4.2 AS 2107:2016

Australian Standard AS/NZS2107:2016 “Recommended Design Sound Levels and Reverberation Times for Building Interiors” sets out recommended design sound levels for residential developments depending on locality to minor or major roads. Table 3 below details the criterion set for apartments with no view of Citylink.

**Table 3 – Internal Noise Criteria (Apartments with no view of Kings Way)**

<b>Location</b>	<b>Internal Design Noise Level<sup>1</sup></b>	
	Day (7am – 10pm) dB(A) $L_{eq}$	Night (10pm – 7am) dB(A) $L_{eq}$
Bedrooms with no view of Kings Way	35 - 45	35 - 40
Living rooms with no view of Kings Way	35 - 45	N/A

Note 1 - Noise level within furnished room ready for occupation with external windows and doors closed.

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### 4.3 PROJECT CRITERIA

Based on the above the following criteria are recommended for the proposal to achieve the objective of protecting residents from external noise sources:

**Table 4 – Internal Noise Criteria – Traffic Noise**

<b>Location</b>	<b>Required Internal Noise Level<sup>1</sup></b>
Bedrooms obstructed from Kings Way - Day Time (7am – 10pm)	35 – 45 dB(A) <sup>2</sup> L <sub>eq</sub> (7am – 10pm)
Bedrooms obstructed from Kings Way - Night Time (10pm – 7am)	35 – 40 dB(A) <sup>2</sup> L <sub>eq</sub> (10pm – 7am)
Living rooms obstructed from Kings Way	35 – 45 dB(A) <sup>2</sup> L <sub>eq</sub> (7am – 10pm)
Bedrooms with view of Kings Way	35 dB(A) <sup>3</sup> L <sub>eq(8hr)</sub> (10pm – 6am)
Living Rooms with view of Kings Way	40 dB(A) <sup>3</sup> L <sub>eq(16hr)</sub> (6am – 10pm)

Note 1 – With external windows and doors closed

Note 2 – Noise level within furnished room ready for occupation

Note 3 – Noise Level within unfurnished room with finished floor

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## 5 NOISE LEVEL MEASUREMENTS

### 5.1 MEASUREMENT LOCATION AND DATE

Traffic noise level measurements were conducted at the following locations as indicated in Figure 1:

- Measurement Location 1 – an unattended long term noise monitor was installed at the external balcony of level 1 of existing building facing Park Street. The microphone was approximately 4 metres above grade and the monitor was installed between 29 October and 6 November 2024. The monitoring had full view of Park Street and was affected by façade reflections.
- Measurement Location 2 – an unattended long term noise monitor was installed facing Kings Way with the microphone installed approximately 4.5 metres above grade between 2 and 5 May 2017. The monitoring had full view of Kings Way and was affected by façade reflections.
- Measurement Location 3 – attended noise level measurements was conducted in-line with the southern façade of the development with microphone located approximately 1.5m above grade. The measurement location had full view of Park Street and was affected by façade reflections. Measurements were conducted on 6 November 2024.
- Measurement Location 4 – attended noise level measurements was conducted at the location indicated in Figure 1 with microphone located approximately 1.5m above grade. The measurement location had full view of Kings Way and was affected by façade reflections. Measurements were conducted on 6 November 2024.

### 5.2 MEASUREMENT EQUIPMENT

Ngara noise monitor was used for the long term noise monitoring. The noise monitor was programmed to store 15-minute statistical noise levels through the monitoring period. Equipment was calibrated at the beginning and the end of the measurements using a Rion NC-74 calibrator; no significant drift was detected. All measurements were taken on fast response mode.

A Norsonic Nor140 Sound Level Analyser was used for the attended noise level measurements. The Norsonic was calibrated using a B&K Type 4231 calibrator. The meter was calibrated at the beginning and the end of the measurements; no significant drift was detected. All measurements were taken on fast response mode.

### 5.3 MEASUREMENT RESULTS

**Table 5 – Unattended Traffic Noise Level Measurements**

Measurement Location <sup>1</sup>	Period	Measured Noise Level <sup>2</sup>
Location 1 – facing Park Street	Day (7.00 – 22.00)	63 $L_{eq,15hr}$ dB(A)
	Night (22.00 – 7.00)	57 $L_{eq,9hr}$ dB(A)
Location 2 – facing Kings Way	Day (6.00 – 22.00)	72 $L_{eq,16hr}$ dB(A)
	Night (22.00 – 6.00)	68 $L_{eq,8hr}$ dB(A)

Note 1 – refer Figure 1 for measurement locations

Note 2 – noise levels presented have been corrected for façade reflections

**Table 6 – Attended Traffic Noise Level Measurements**

<b>Measurement Location<sup>1</sup></b>	<b>Date and Time of Measurements</b>	<b>Measured Noise Levels dB(A) <math>L_{eq,10mins}^2</math></b>
Location 3 – facing Park Street	6/11/24 (8:21am-8:31am)	63
	6/11/24 (8:36am-8:46am)	62
Location 4 – facing Kings Way	6/11/24 (8:47am-8:57am)	72
	6/11/24 (8:57am-9:07am)	72

Note 1 – refer Figure 1 for measurement locations

Note 2 – noise levels presented have been corrected for façade reflections

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## 6 EVALUATION OF EXTERNAL NOISE INTRUSION

Internal noise levels will primarily be as a result of noise transfer through the windows, doors and roof as these are relatively light building elements that offer less resistance to the transmission of sound. Walls that are proposed to be heavy masonry elements will not require upgrading. The predicted noise levels through the windows, doors and roof are discussed below. The predicted noise levels have been based on the expected level and spectral characteristics of the external noise, the area of building elements exposed to external noise, the absorption characteristics of the rooms and the noise reduction performance of the building elements.

Glazing/façade treatment was determined based on the following:

- For each façade, the highest expected façade noise level was used for the whole façade. No correction for vertical elevation change was made.
- Traffic noise levels measured around the subject site.
- Transmission loss of façade element.

The constructions set out below are necessary for the satisfactory control of external noise and to achieve compliance with the internal noise level criteria set out in Section 6.

### 6.1 RECOMMENDED GLAZING

The glass thicknesses shown in the schedule do not consider thermal, structural, safety or any other requirements other than acoustic requirements and thus may require upgrading in some instances. In these instances, increasing the glass thickness beyond the acoustic requirement will be acceptable. Where the glazing thickness has not been specified, the glazing will be acceptable.

The table below details the minimum performance requirements for the glazing assembly installed. Where open-able windows or sliding glass doors are installed, the total  $R_w$  performance of the system shall not be lower than the values listed. It is noted that the system supplied shall meet the overall minimum  $R_w$  ratings nominated. If an alternative system is proposed the system shall be reviewed and will require approval by a suitably qualified acoustic consultant to ensure that the proposed system is acceptable and will ensure compliance with the nominated internal noise design criteria.

**Table 7 – Minimum External Glazing Requirements / Performance**

Glazing Location	Required Glazing Construction <sup>1</sup>	Minimum $R_w$ of Installed Window System	Acoustic Seals <sup>2</sup>
Refer to Appendix 1 – Façade Markup	6/12/6 IGU	29	Yes
	6/12/10.38 lam IGU	35	Yes
	6/12/12.76 lam IGU	37	Yes

Note 1 – Alternative glazing system may be installed provided they are approved by a suitable qualified acoustic consultant.

Note 2 – Mohair Seals in windows and doors are **not** acceptable where acoustic seals are required. Seals in these instances shall be equal to Schlegel Q-Ion. Bi-parting sliding doors are not acoustically acceptable. Awnings and hinged doors to contain multi-point latching.

## 6.2 EXTERNAL WALL CONSTRUCTION

External walls which incorporate concrete or masonry elements and as such will not require upgrading acoustically.

Lightweight external wall shall be reviewed during the detailed design stage by a suitably qualified acoustic consultant to ensure compliance with the internal traffic noise level criteria detailed in Table 4 is achieved.

Penetrations in walls must be sealed gap free with a flexible sealant. Any ventilation openings in the walls would need to be acoustically treated to ensure compliance with the nominated design criteria.

## 6.3 ROOF CONSTRUCTION

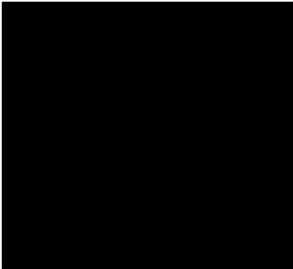
Concrete roof construction does not require further upgrade acoustically.

Roof penetrations must be sealed gap free with a flexible sealant. Any ventilation openings in the ceilings would need to be acoustically reviewed to maintain the acoustic performance of the roof / ceiling construction.

## 7 CONCLUSION

Acoustic Logic Pty Ltd (AL) has been engaged by Park Street Development Partnership Pty Ltd to undertake an acoustic assessment for the proposed mixed-use development located at 60-70 Park Street, South Melbourne. Provided the acoustic treatment recommendations detailed in Section 6 are implemented, compliance with assessment criteria detailed in Section 4 will be achieved.

We trust this information is satisfactory. Please contact us should you have any further queries.



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## APPENDIX 1 – GLAZING MARKUP

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**Minimum Glazing Thickness**

- 6/12/6 IGU - min Rw 29<sup>(1)</sup>
- 6/12/10.38mm lam IGU - min Rw 35<sup>(1)</sup>
- 6/12/12.76mm lam IGU - min Rw 37<sup>(1)</sup>

Note 1: or approved alternative by a suitable qualified acoustic consultant.

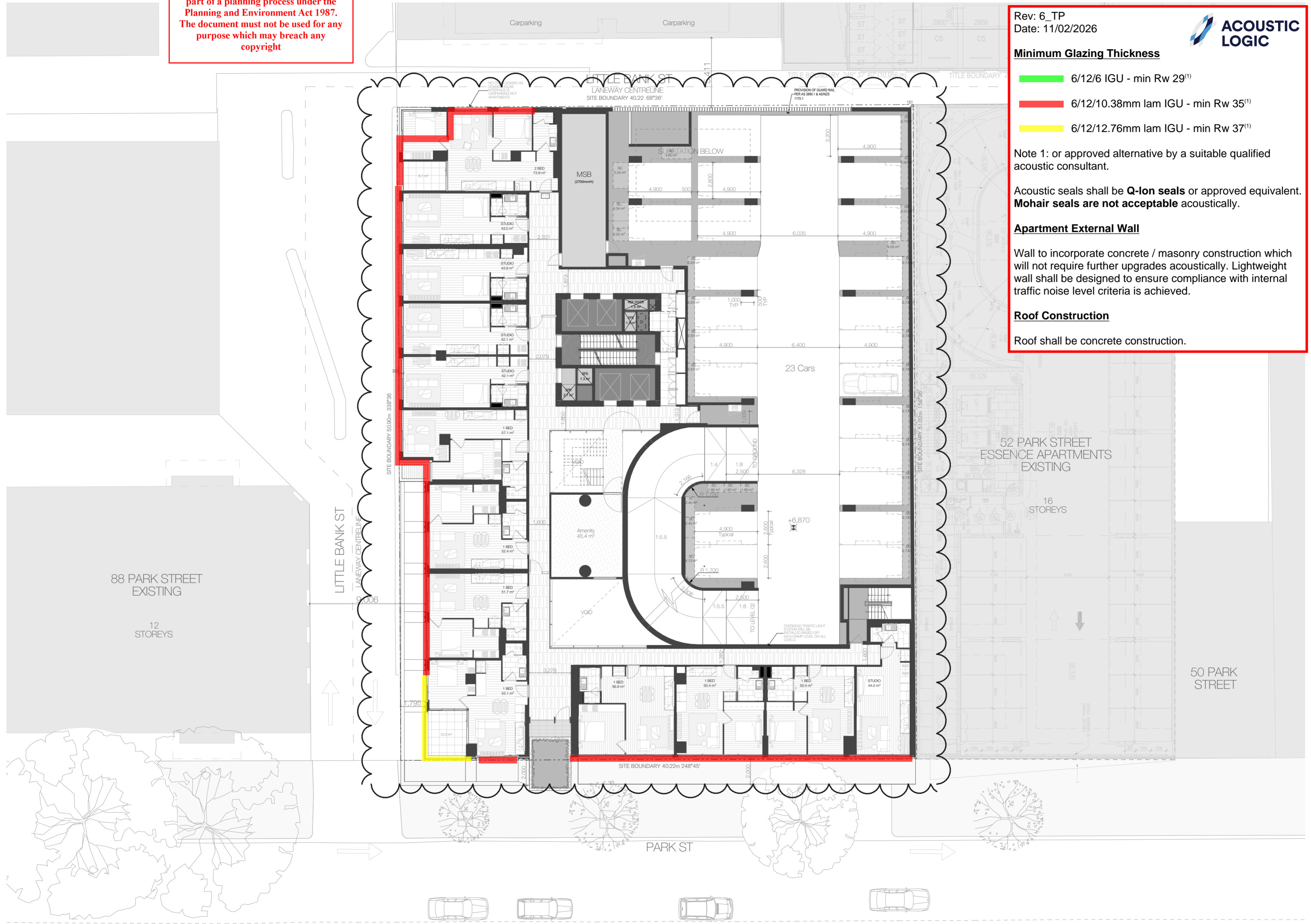
Acoustic seals shall be **Q-Ion seals** or approved equivalent. **Mohair seals are not acceptable** acoustically.

**Apartment External Wall**

Wall to incorporate concrete / masonry construction which will not require further upgrades acoustically. Lightweight wall shall be designed to ensure compliance with internal traffic noise level criteria is achieved.

**Roof Construction**

Roof shall be concrete construction.



Rev	Date	By	Chk	Description
A	19/12/2024	MV, CE, LS	DG	Issue for DFP Stage 01
B	27/06/2025	MV, CS	DG	Issue for DFP Stage 01
C	26/08/2025	MV, CS	MV	Issue for DFP Stage 02
D	11/02/2026	MV, CS	MV	Issue for DFP Stage 02

- All works to be in accordance with authority & statutory approvals.  
 - Refer to site survey for all information relating to existing site conditions.  
 - All Boundary information to be confirmed by registered surveyor before commencing works on site.  
 - Refer to Arborist Report and Landscape Documentation for all information relating to trees and their retention/removal, and all landscape works.  
 - Drawings to be read in conjunction with all Specifications and Schedules; all specialist consultant documentation; BASIX, Nat-ERS, Section J Certificates.  
 - Minor changes to building form & configuration may be required after Development Consent.  
 - Do not scale from drawing; figured dimensions only to be used.  
 - Building Contractor to verify all dimensions before commencing work.

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Project Name  
Park Street  
Project Number  
00013600  
Project Address  
60-70 Park Street  
South Melbourne VIC 3205  
Country  
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Drawing Name  
Level 1 Plan  
Drawing Scale  
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TP806

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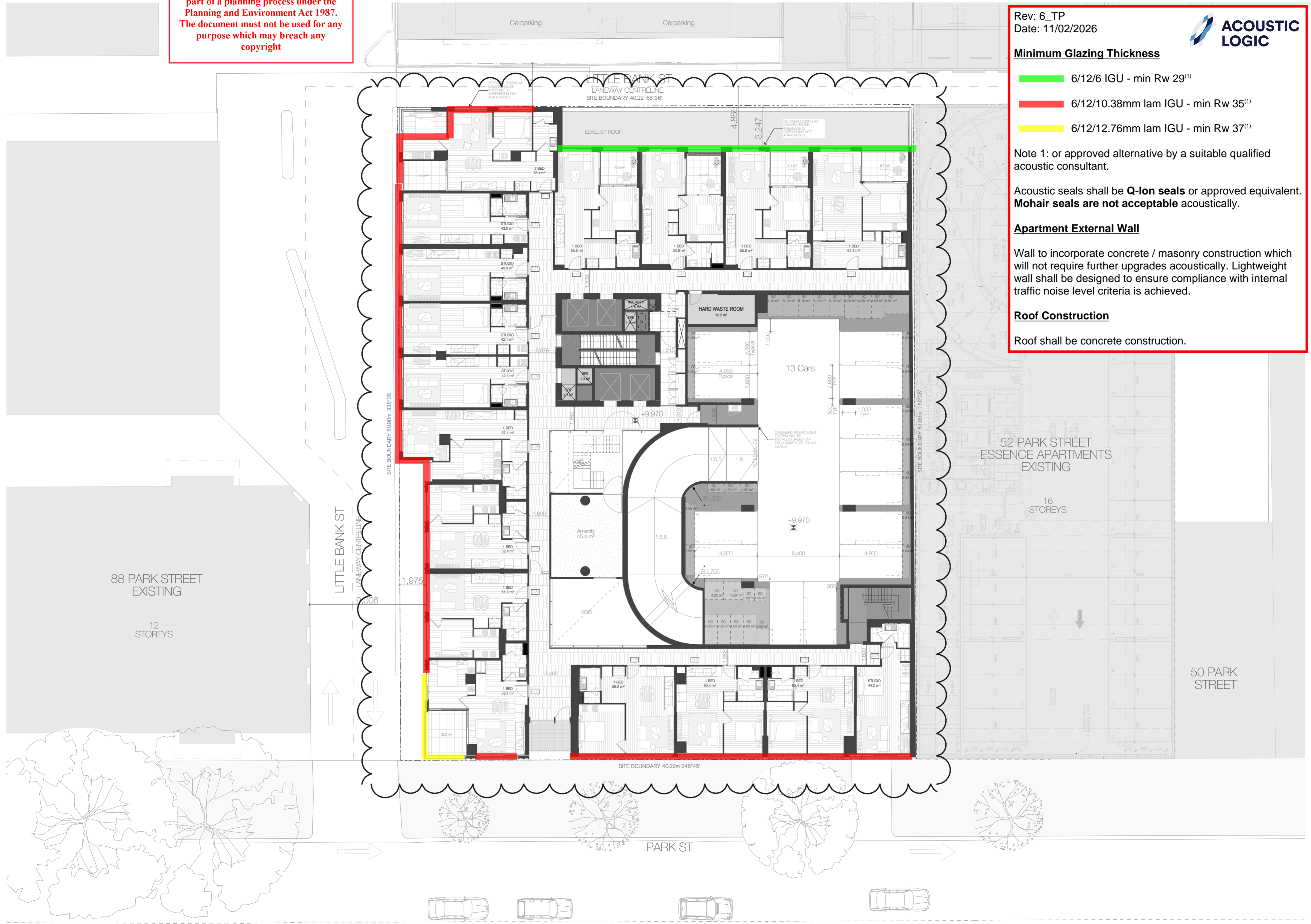
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88 PARK STREET EXISTING  
12 STOREYS

52 PARK STREET ESSENCE APARTMENTS EXISTING  
16 STOREYS

50 PARK STREET

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Drawing Scale

Level 2 Plan  
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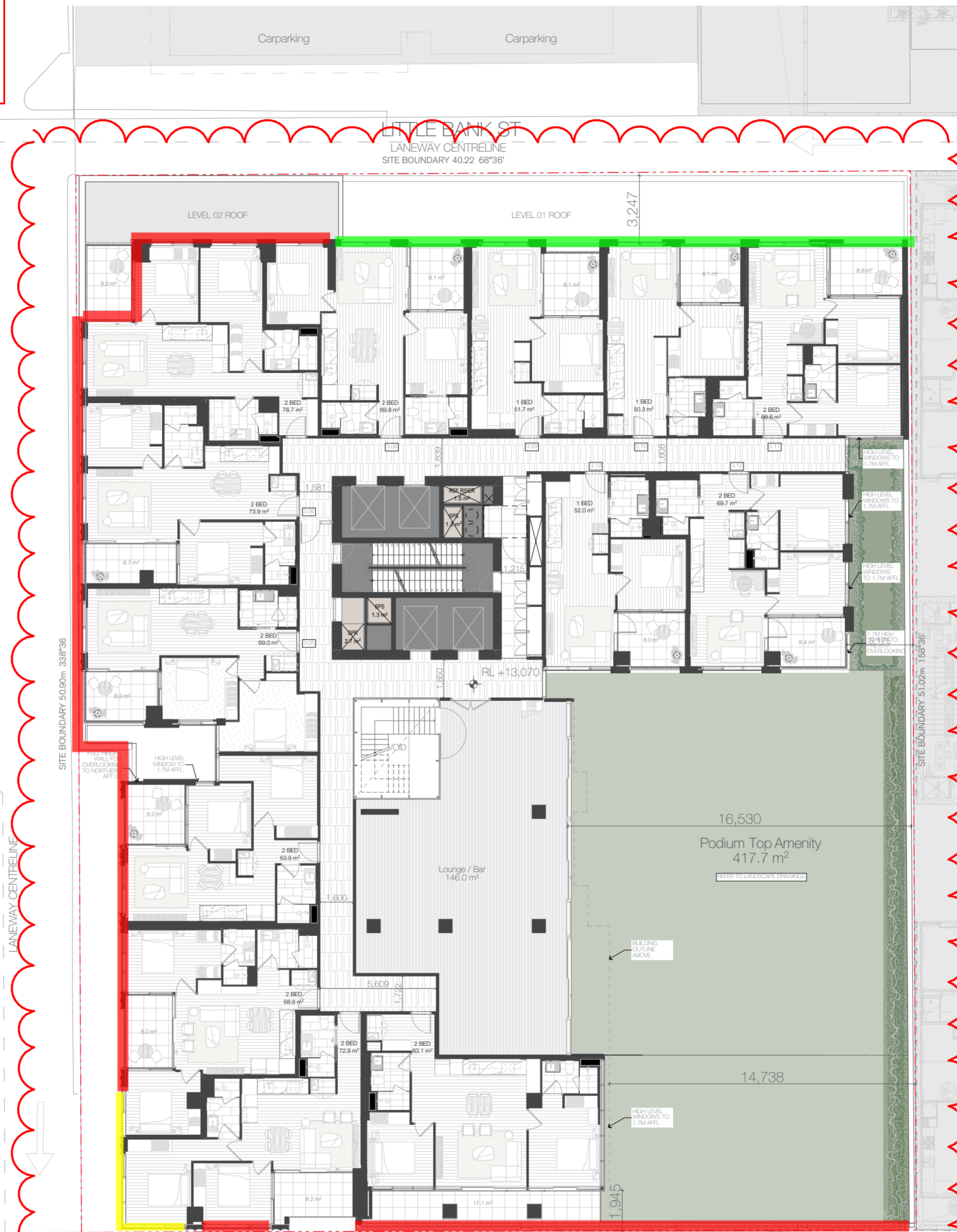
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50 PARK STREET

**58.06-1 Common property objectives**

The proposal is considered to appropriately delineate areas of private, communal, and public spaces through sensitive treatments. Each of the common property spaces will be highly functional and useable, including resident amenities and lounges, and dwell spaces within the residential lobby. Each of the spaces are consolidated to ensure management is easy and effective by the body corporate.

**58.03-5 Landscaping objectives**

Given the context of the site and the provision of basement car parking, there is not the potential for deep soil planting on site. Nonetheless, the proposal provides a generous provision of landscaping at the ground floor plane, and on podium / roof top levels.

Appreciating the highly urban area and surrounding urban context, the proposal is considered an appropriate response in its locality.

**NOTE:**

MEL Consultants have been engaged as wind engineer for the development, with extensive experience within the South Melbourne precinct. Preliminary review of the architectural design by MEL consultants noted that the main wind direction is from the north-west, the podium top amenity is protected from this wind direction.

A letter will be provided by MEL Consultants at time of lodgement of Stage 1 application, followed by a wind tunnel model test being undertaken prior to lodgement of stage 2 application to make sure any wind concerns are addressed within the design.

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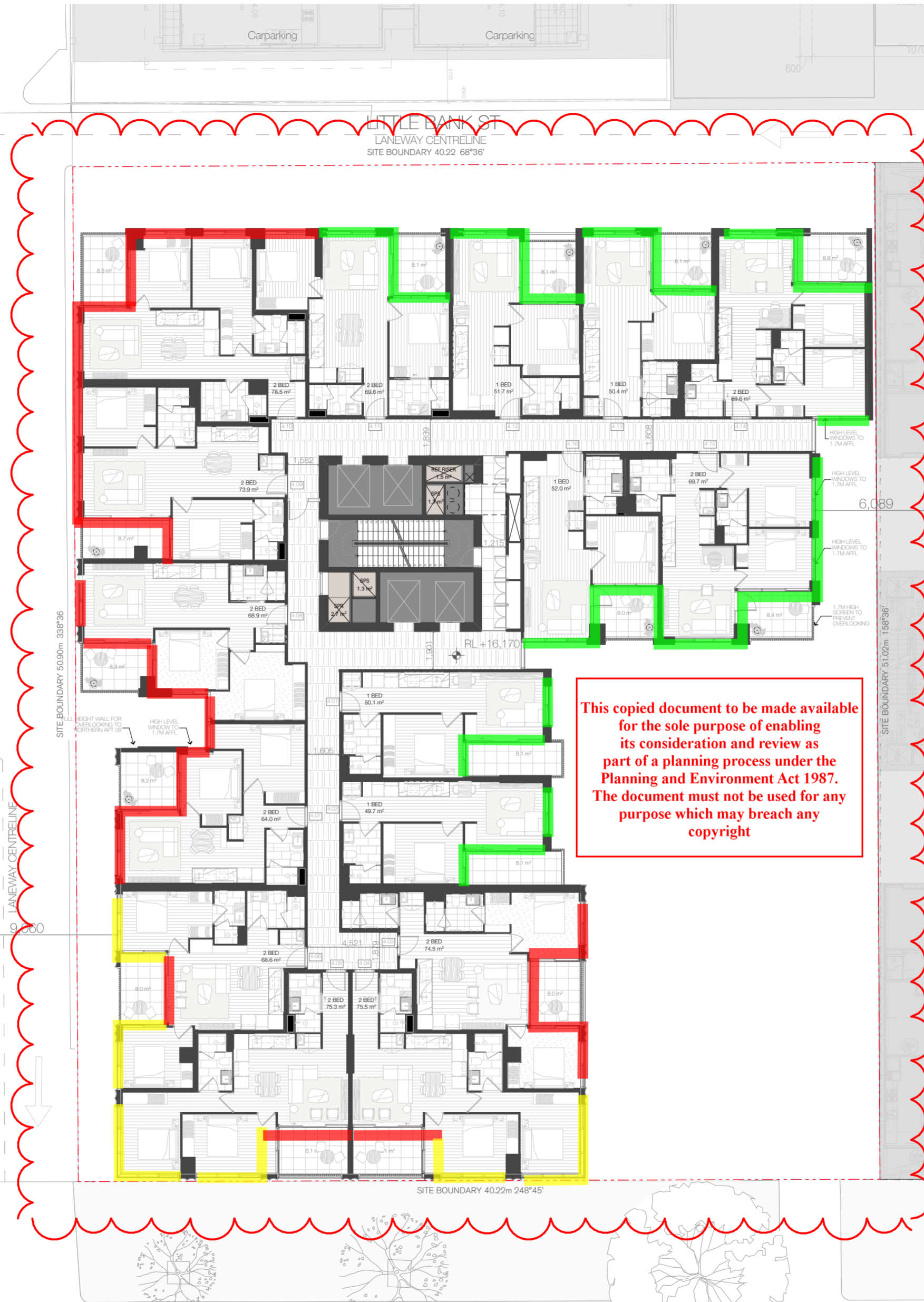
Acoustic seals shall be **Q-Ion seals** or approved equivalent. **Mohair seals are not acceptable** acoustically.

**Apartment External Wall**

Wall to incorporate concrete / masonry construction which will not require further upgrades acoustically. Lightweight wall shall be designed to ensure compliance with internal traffic noise level criteria is achieved.

**Roof Construction**

Roof shall be concrete construction.



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88 PARK STREET EXISTING  
12 STOREYS

52 PARK STREET  
ESSENCE APARTMENTS EXISTING  
16 STOREYS

50 PARK STREET

**58.04-2 Internal views objective**

The apartments comply entirely with respect to preventing internal views between dwellings

Rev	Date	By	Chk	Description
A	19/12/2024	MV, CE, LS	DG	Issue for DFP Stage 01
B	27/06/2025	MV, CS	DG	Issue for DFP Stage 01
C	26/08/2025	MV, CS	MV	Issue for DFP Stage 02
D	11/02/2026	MV, CS	MV	Issue for DFP Stage 02

- All works to be in accordance with authority & statutory approvals.  
 - Refer to site survey for all information relating to existing site conditions.  
 - All boundary information to be confirmed by registered surveyor before commencing works on site.  
 - Refer to Arborist Report and Landscape Documentation for all information relating to trees and their retention/removal, and all landscape works.  
 - Drawings to be read in conjunction with all Specifications and Schedules; all specialist consultant documentation; BASIX, NRM-ERS, Section J Certificates.  
 - Minor changes to building form & configuration may be required after Development Consent.  
 - Do not scale from drawing; figured dimensions only to be used.  
 - Building Contractor to verify all dimensions before commencing work.

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Project Name  
Project Number  
Project Address  
Country

Park Street  
00013600  
60-70 Park Street  
South Melbourne VIC 3205  
Australia

Drawing Name  
Drawing Scale

Level 4-16 Plan  
1:200

Rev: 6\_TP  
Date: 11/02/2026

**Minimum Glazing Thickness**

- █ 6/12/6 IGU - min Rw 29<sup>(1)</sup>
- █ 6/12/10.38mm lam IGU - min Rw 35<sup>(1)</sup>
- █ 6/12/12.76mm lam IGU - min Rw 37<sup>(1)</sup>

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Project Name  
Project Number  
Project Address  
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Park Street  
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Drawing Name  
Drawing Scale  
TP810

Level 17-18 Plan  
1:200

Rev: 6\_TP  
Date: 11/02/2026

**Minimum Glazing Thickness**

- █ 6/12/6 IGU - min Rw 29<sup>(1)</sup>
- █ 6/12/10.38mm lam IGU - min Rw 35<sup>(1)</sup>
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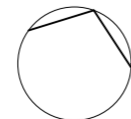
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12 STOREYS

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16 STOREYS

50 PARK STREET

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Drawing Name  
Drawing Scale  
TP811

Level 19-21 Plan  
1:200