

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 12625 FOLIO 474

Security no : 124135415465F
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LAND DESCRIPTION

Lot 11 on Registered Cluster Plan 001458X.
PARENT TITLE Volume 09648 Folio 906
Created by instrument AZ410743B 24/07/2025

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

AE712312E 06/11/2006

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ENCUMBRANCES, CAVEATS AND NOTICES

CAVEAT AZ556633S 03/09/2025

Caveator

SMA NO. 21 PTY LTD ACN: 664253721

Grounds of Claim

PURCHASERS' CONTRACT WITH THE FOLLOWING PARTIES AND DATE.

Parties

THE REGISTERED PROPRIETOR(S)

Date

26/08/2025

Estate or Interest

FREEHOLD ESTATE

Prohibition

UNLESS I/WE CONSENT IN WRITING

Lodged by

MADDOCKS

Notices to

MADDOCKS LAWYERS of "COLLINS SQUARE" LEVEL 25 727 COLLINS STREET MELBOURNE
VIC 3008

ADVERTISED
PLAN

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section
24 Subdivision Act 1988 or Section 20 Cluster Titles Act 1974 and any other
encumbrances shown or entered on the plan set out under DIAGRAM LOCATION
below.

DIAGRAM LOCATION

SEE CS001458X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

NIL

eCT Control REGISTRAR OF TITLES
Effective from 28/07/2025

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. CS001458X

DOCUMENT END

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Document Type	Plan
Document Identification	CS001458X
Number of Pages (excluding this cover sheet)	12
Document Assembled	10/06/2026 12:20

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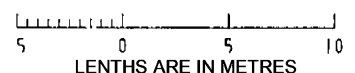
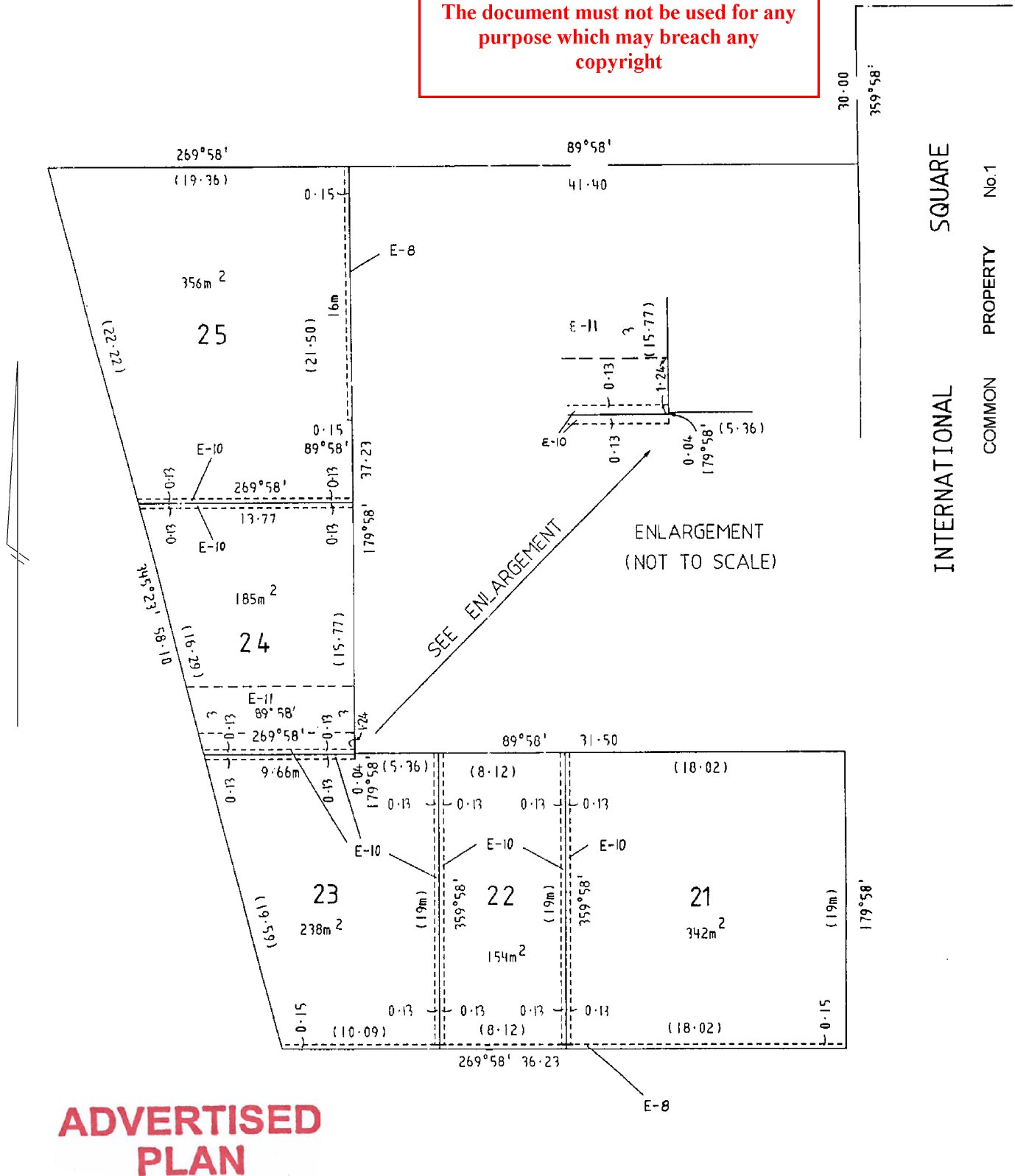
PLAN OF CLUSTER SUBDIVISION		EDITION 10	CS001458X	
LOCATION OF LAND PARISH: TULLAMARINE TOWNSHIP: - SECTION: - CROWN ALLOTMENT: - CROWN PORTION: 3 (PART) TITLE REFERENCE: VOL.9644 FOL.612 LAST PLAN REFERENCE: LOT 7 ON LP149206N DEPTH LIMITATION: DOES NOT APPLY		FOR CURRENT OWNERS CORPORATION DETAILS AND ADDRESS FOR SERVICE OF NOTICE SEE OWNERS CORPORATION SEARCH REPORT SURVEYOR'S CERTIFICATE Surveyor: NEIL ALFRED WEBSTER Certification Date: 03/05/1983 CERTIFYING MUNICIPALITY CITY OF KEILOR REFERENCE NUMBER: 1783 REGISTERED DATE: 09/12/1985 PLAN UPDATED BY REGISTRAR IN AT798496A 24/03/2021		
NOTATIONS LOT 20 IS AN ACCESSORY LOT. FOR SCHEME OF DEVELOPMENT SEE ATTACHED SHEETS. COMMON PROPERTY NO.1 IS ALL OF THE LAND IN THE PLAN EXCEPT THE LOTS AND COMMON PROPERTY NO.2 & COMMON PROPERTY NO.3 COMMON PROPERTY NO.1, COMMON PROPERTY NO.2 & COMMON PROPERTY NO.3 MAY BE SHOWN AS CP1, CP2 & CP3 BOUNDARIES DEFINED BY STRUCTURE OR BUILDING ARE SHOWN AS THICK CONTINUOUS LINES. <u>LOCATION OF BOUNDARIES DEFINED BY STRUCTURE OR BUILDING:</u> MEDIAN: BOUNDARIES MARKED "M" INTERIOR FACE: BOUNDARIES MARKED "F" EXTERIOR FACE: ALL OTHER BOUNDARIES		This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright ADVERTISED PLAN		
<u>ADDITIONAL EASEMENT INFORMATION</u> THE STATE ELECTRICITY COMMISSION OF VIC. HAS PURSUANT TO SEC.103 OF ACT 6377 HAS ACQUIRED AN EASEMENT FOR ELECTRICITY PURPOSES LIMITED AS TO DURATION OVER LOT 11 AND PART OF COMMON PROPERTY NO.1 HEREIN VIDE INSTRUMENT P055182A				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
ENCUMBRANCES REFERRED TO IN SECTION 12 (2) OF THE SUBDIVISION ACT 1988 APPLY TO ALL THE LAND IN THIS PLAN				
Easement Reference	Purpose	Width	Origin	Land Benefitted /In Favour Of
E-1	ELECTRICITY SUPPLY	3	LP149206N	LOTS IN LP149206N
E-2, E-7, E-12 & E-13	DRAINAGE & SEWERAGE	SEE DIAG.	LP149206N	LOTS IN LP149206N
E-3 & E-14	DRAINAGE, SEWERAGE & ELECTRICITY SUPPLY	SEE DIAG.	LP149206N	LOTS IN LP149206N
E-7 & E-14	DRAINAGE & SEWERAGE	SEE DIAG.	LP74919	LOTS IN LP74919
E-7 & E-14	DRAINAGE & SEWERAGE	SEE DIAG.	LP81327	LOTS IN LP81327
E-2, E-7, E-12 & E-13	DRAINAGE & SEWERAGE	SEE DIAG.	THIS PLAN	LOTS IN THIS PLAN
E-4	ELECTRICITY SUPPLY	1.50	THIS PLAN	LOTS IN THIS PLAN
E-8	PARTY WALL	0.15	THIS PLAN	RELEVANT ABUTTING LOT
E-9	CARRIAGEWAY	1.50	THIS PLAN	LOTS IN THIS PLAN
E-10	PARTY WALL	0.13	R824917L	RELEVANT ABUTTING LOT
E-11	SEWERAGE	3	R824917L	M.M.B.W.
E-13	SEWERAGE	1.83	X326759U	CITY WEST WATER LTD
MEASUREMENTS ARE IN METRES				
SHEET 1 OF 9				

PLAN OF CLUSTER SUBDIVISION

CS001458X

DIAGRAM 3

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PLAN OF CLUSTER SUBDIVISION

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DIAGRAM 4
GROUND LEVEL AND
GROUND STOREY

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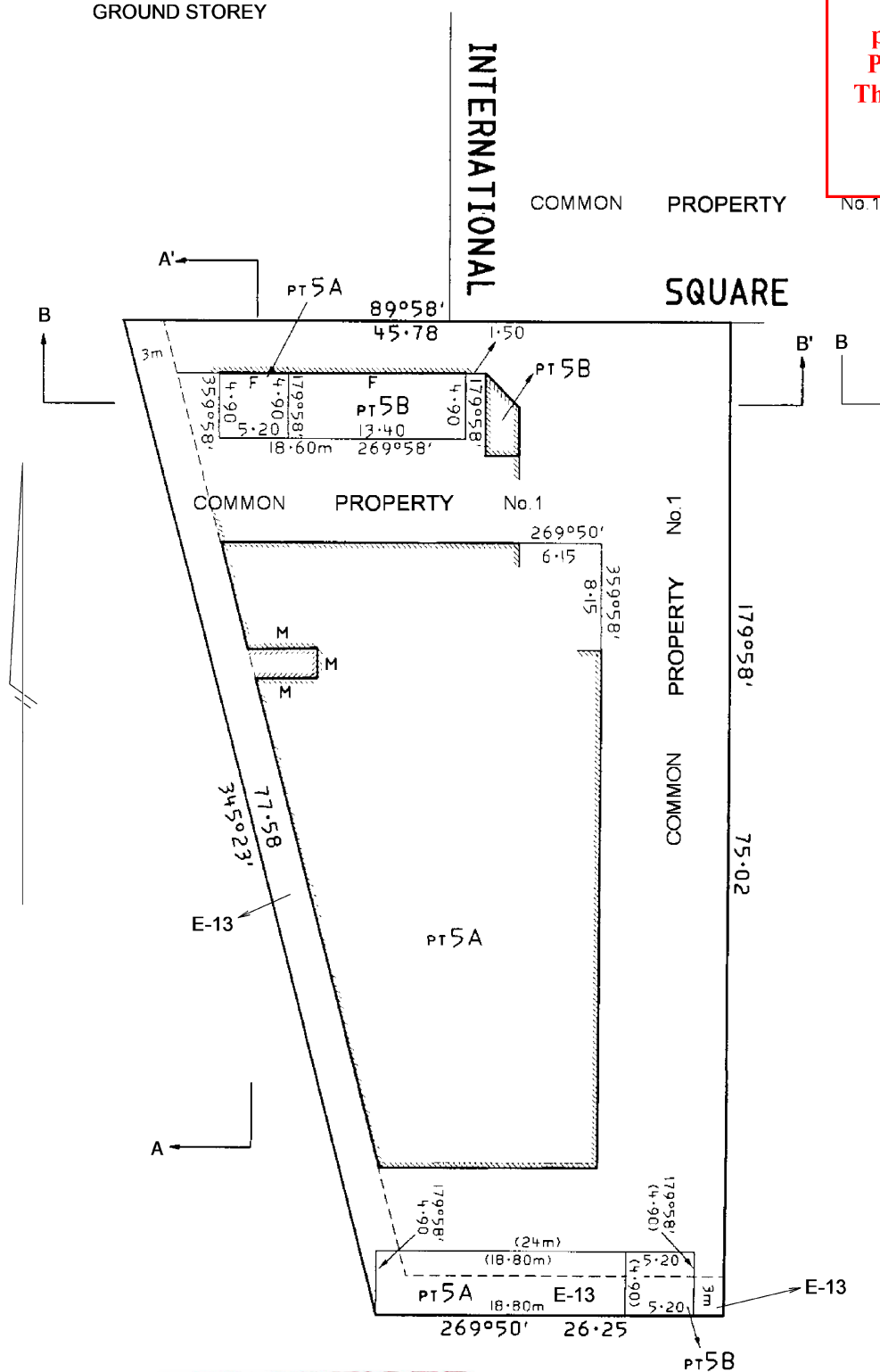
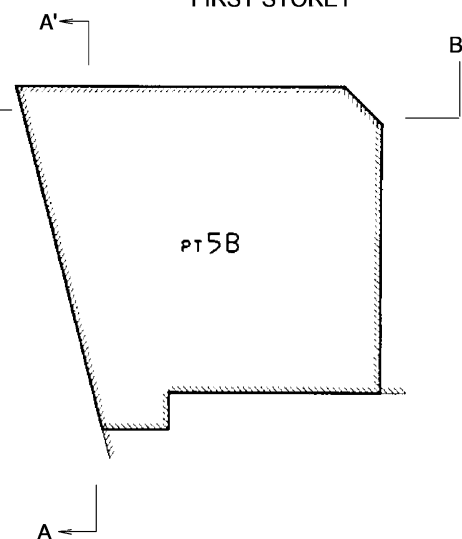
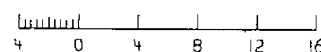


DIAGRAM 5
FIRST STOREY



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SCALE



LENGTHS ARE IN METRES

PLAN OF CLUSTER SUBDIVISION

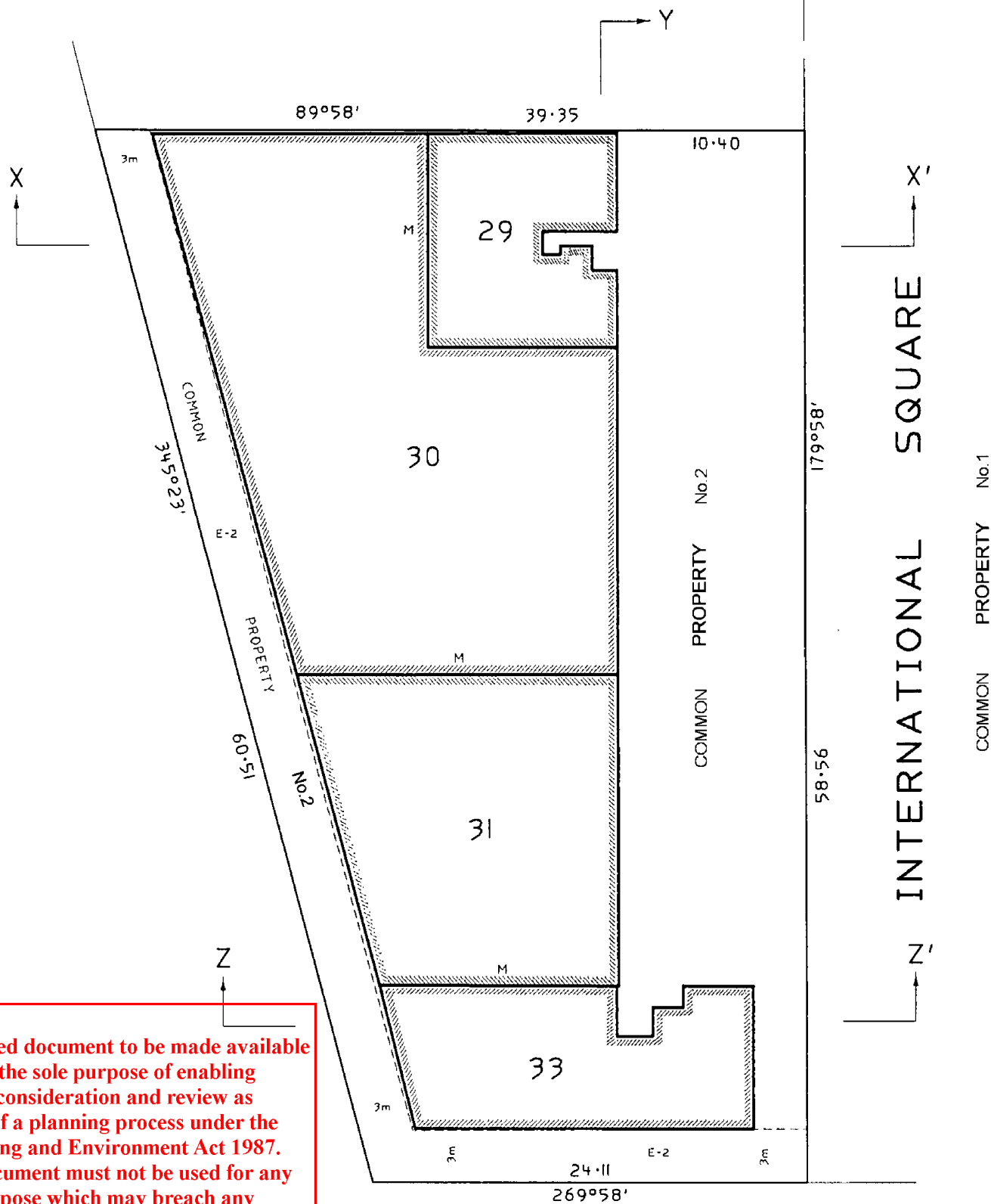
CS001458X

DIAGRAM 7

FIRST STOREY

(SEE SHEET 6 FOR DIAGRAM 6 - GROUND LEVEL)

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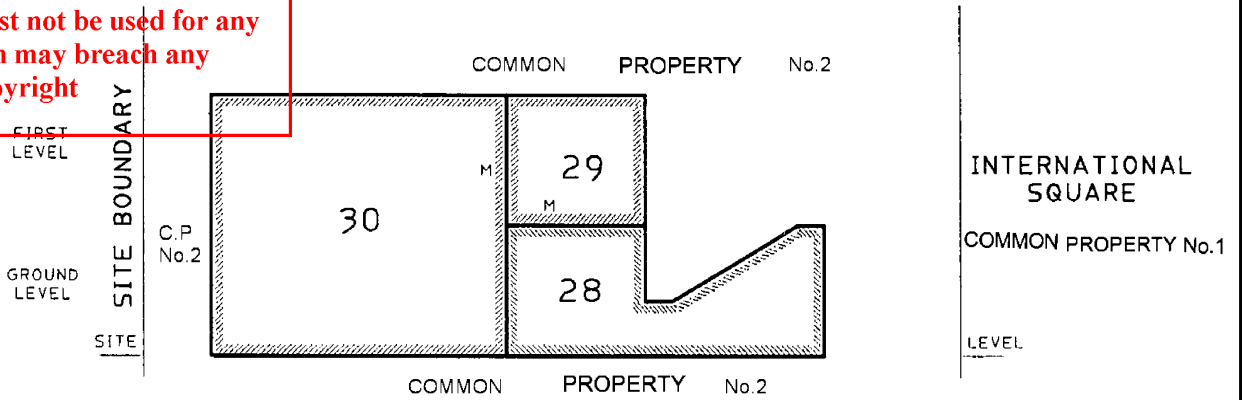
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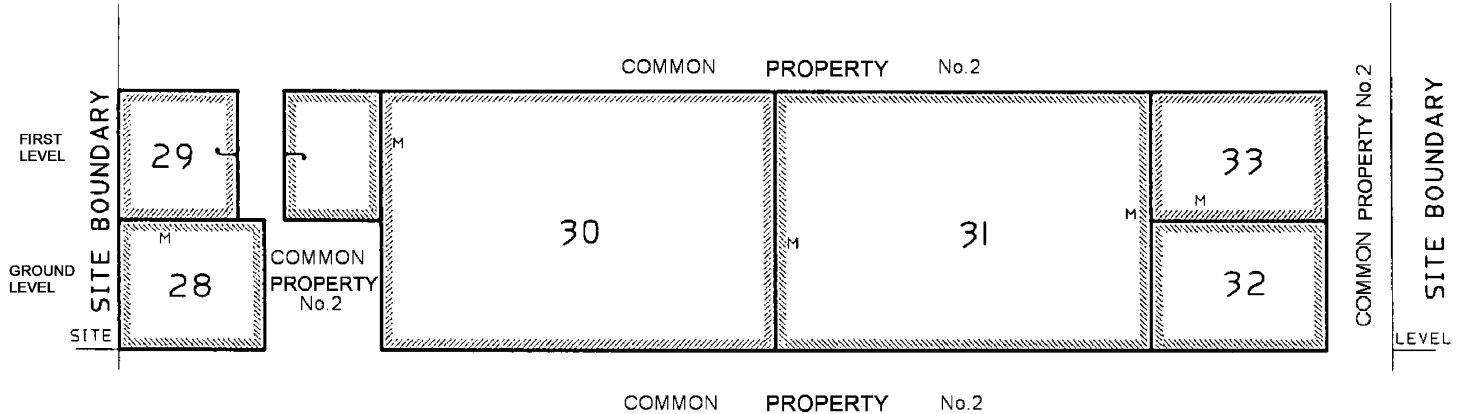
X - X' CROSS SECTION

TYPICAL CROSS SECTION
NOT TO SCALE



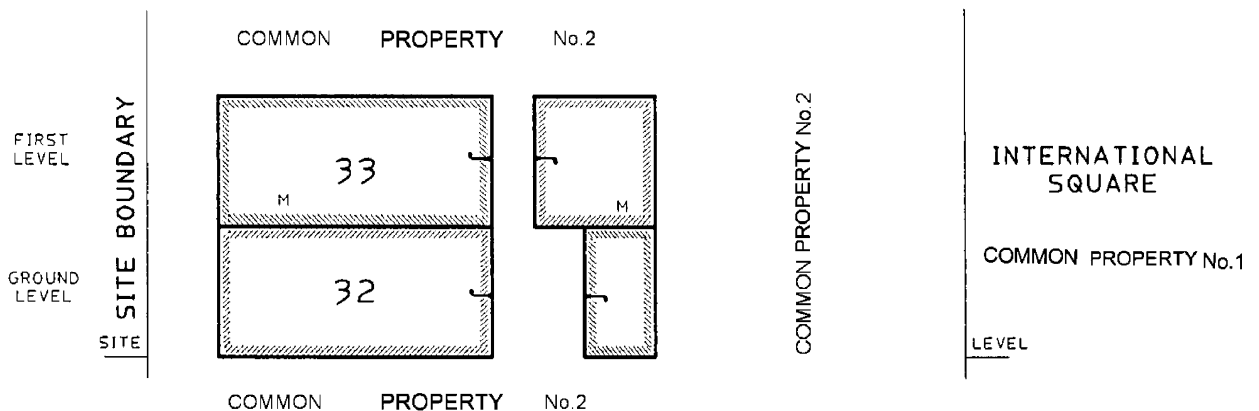
Y - Y' CROSS SECTION

TYPICAL CROSS SECTION
NOT TO SCALE



Z - Z' CROSS SECTION

TYPICAL CROSS SECTION
NOT TO SCALE



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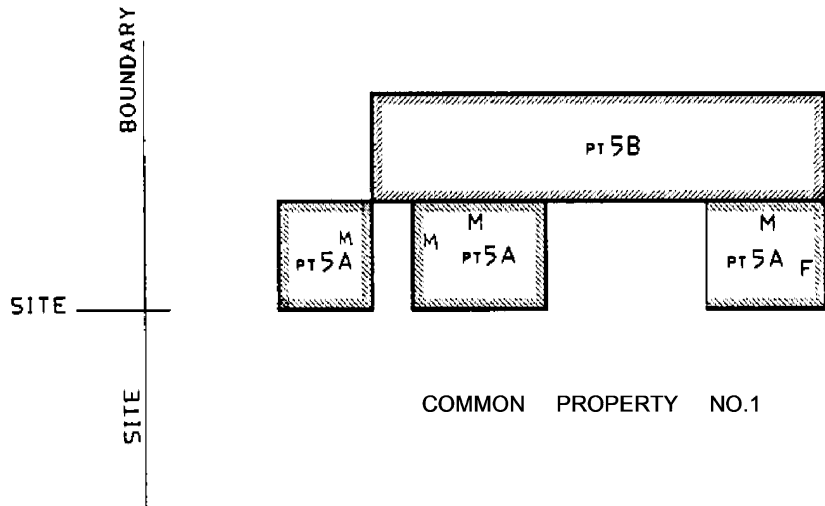
PLAN OF CLUSTER SUBDIVISION

CS001458

CROSS SECTION A - A'

NOT TO SCALE

COMMON PROPERTY NO.1



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FIRST STOREY

GROUND STOREY LEVEL

COMMON PROPERTY NO.1

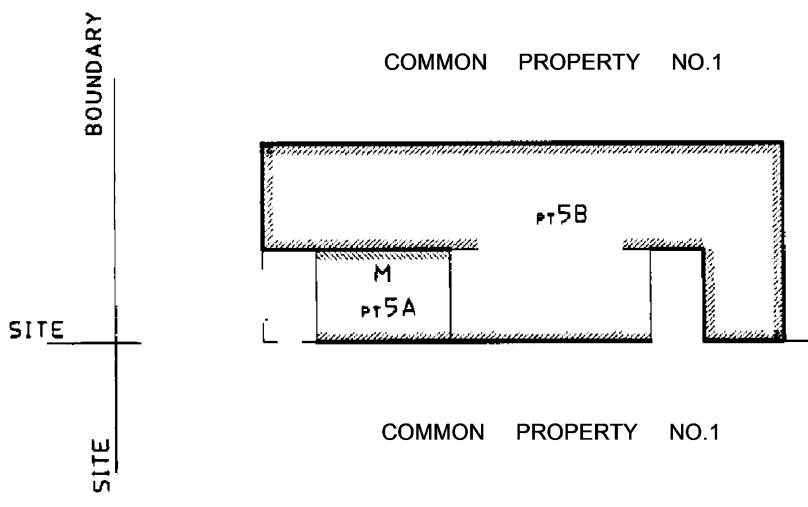
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CROSS SECTION B - B'

NOT TO SCALE

(TYPICAL)

COMMON PROPERTY NO.1



BOUNDARY
FIRST STOREY
GROUND STOREY
LEVEL
SITE

COMMON PROPERTY NO.1

CS001458X

CLUSTER TITLES ACT 1974
SCHEME OF DEVELOPMENT

CS1458

1. The lots specified in Column 1 are affected by the requirements and restrictions set out in Column 2 hereunder.

Column 1 4
Lots 1 to 4 (incl.)
5A, 5B, 7-11(BI) & 28-33(BI)

Column 2
As set out in schedule 1.

2. The lots specified hereunder are not affected by any requirements or restrictions.

Nil

3. The Common Property is affected by the requirements and restrictions set out hereunder.

Car parking shall be in accordance with a plan approved by the responsible authority.

The landscaping of the land shall be maintained by the Body Corporate to the satisfaction of the Responsible Authority.

Dated the 3rd of October 1984

I HEREBY CERTIFY that this is the schedule which accompanied the Council Plan.

A F B Kelly
.....
Municipal Clerk's Signature

Council Reference.....1783

Surveyors Reference.....1042

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ADVERTISED PLAN

CS001458X

CLUSTER TITLES ACT 1974 SCHEME OF DEVELOPMENT

SCHEDULE 1.

- (a) Any building to be erected on the lot shall be constructed of brick masonry or concrete or of such other material as approved by the developer and with Planning Permit from the Responsible Authority.
- (b) The registered proprietor and / or occupier may erect one freestanding advertising sign. Such sign shall not exceed five metres in height and shall state no more than the name and type of business, registered office address, telephone number, motto, trademark, trade symbol and classification of trade or business of the registered proprietor and / or occupier of the land except with the approval of the developer and a Planning Permit from the Responsible Authority.
- (c) The registered proprietor and / or occupier may affix, paint or inscribe or permit to be affixed painted or inscribed on a building on the respective lot one sign or notice which states no more than the name and type of business, registered office address, telephone number, motto, trademark, trade symbol and classification of trade or business of the registered proprietor and / or occupier except with the approval of the developer and a Planning Permit from the Responsible Authority.
- (d) The registered proprietor and / or occupier may erect one sign or notice advertising the sale, leasing or any other disposition of the respective lot. Such sign shall not exceed two square metres in area or two metres in height above ground level and shall not be erected within five metres of the boundary of the lot.
- (e) Any tank, transformer, plant or machinery on the respective lot shall be fully screened from adjoining streets, roads or common property by a wall constructed of brick, masonry, concrete or stained timber planking erected a minimum distance of eight metres from the front boundary.
- (f) Any goods or materials for storage on the respective lot shall be fully screened from adjoining streets, roads or common property by a wall constructed of brick, masonry, concrete or stained timber planking erected a minimum distance of eight metres from the front boundary.
- (g) The registered proprietor of the respective lot shall erect or cause or permit to be erected not more than one building or one building complex solely for the conduct of the commercial activities of the registered proprietor and / or occupier of the land.
- (h) Plans and specifications for buildings and work on the respective lots shall for a period of seven (7) years from the date hereof be submitted to and approved by the developer.
- (i) All paving on the respective lot shall be of blockwork, coloured concrete or a material approved by the developer.

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Dated the 3rd of October 1984

I HEREBY CERTIFY that this is the schedule which accompanied the Council Plan.

R J B Kelly
Municipal Clerk's Signature

Council Reference.....1783.....

Surveyors Reference.....1042.....

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER**CS001458X**

**WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.**

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 4	LOTS 12 & 13	AMENDMENT (SEC.32 SUB. ACT 1988)	M585627V	22/07/1988	1	
LOT 15	LOTS 16 TO 20	AMENDMENT (SEC.32 SUB. ACT 1988)	P932631E	29/10/1990	1	
LOT 18	LOTS 21 TO 25	AMENDMENT (SEC.32 SUB. ACT 1988)	R824917L	22/05/1992	2	
LOT 12		REMOVAL OF EASEMENT	AP62881 (SEC 73)	05/05/1993	3	
		RECTIFICATION	AP62881 (SEC 73)	05/05/1993	3	
COMMON PROPERTY		TITLE ALLOCATION FOR COMMON PROPERTY	R824917L	22/05/1992	4	
LOT 2	LOTS 26 & 27	AMENDMENT (SEC.32 SUB. ACT 1988)	S677960M	14/10/1993	5	
THIS PLAN		CHANGE OF ADDRESS	X033822N	06/02/2001	6	
LOT 5	LOTS 5A & 5B	AMENDMENT (SEC.32 SUB. ACT 1988)	X326759U	28/02/2001	7	
THIS PLAN		CHANGE OF ADDRESS	AC622186A	28/01/2004	8	
LOT 14	LOTS 28-33 & COMMON PROPERTY NO.2 & NO.3	AMENDMENT (SEC.32 SUB. ACT 1988)	CS001458X/D1	22/09/2005	9	
THIS PLAN		PLAN UPDATED	AT798496A	24/03/2021	10	NC

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AZ556633S
Date and Time Lodged	03/09/2025 05:14:41 PM		

Lodger Details

Lodger Code	17223H
Name	MADDOCKS
Address	
Lodger Box	
Phone	
Email	
Reference	DMH:9946637

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CAVEAT

Jurisdiction	VICTORIA
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Privacy Collection Statement

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Land Title Reference

12625/474

Caveator

Name	SMA NO. 21 PTY LTD
ACN	664253721

Grounds of claim

Purchasers' contract with the following Parties and Date.

Parties

The Registered Proprietor(s)

Date

26/08/2025

Estate or Interest claimed

Freehold Estate

Prohibition

Unless I/we consent in writing

Name and Address for Service of Notice

Maddocks Lawyers



Department of Transport and Planning

Electronic Instrument Statement

Address

Property Name	COLLINS SQUARE
Floor Type	LEVEL
Floor Number	25
Street Number	727
Street Name	COLLINS
Street Type	STREET
Locality	MELBOURNE
State	VIC
Postcode	3008

The caveator claims the estate or interest specified in the land described on the grounds set out. This caveat forbids the registration of any instrument affecting the estate or interest to the extent specified.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the caveator or his, her or its administrator or attorney.
2. The Certifier has retained the evidence supporting this Registry Instrument or Document.
3. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	SMA NO. 21 PTY LTD
Signer Name	DAVID HARTNEY
Signer Organisation	MADDOCKS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	03 SEPTEMBER 2025

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

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OWNERS CORPORATION 1
PLAN NO. CS001458X

The land in CS001458X is affected by 3 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Properties 1 - 3, Lots 1, 3, 5A, 5B, 7 - 13, 16, 17, 19 - 33.

Limitations on Owners Corporation:

Unlimited

Postal Address for Services of Notices:

SUITE 2 LEVEL 1 6 INTERNATIONAL SQUARE TULLAMARINE VIC 3043

AR565328R 18/10/2018

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

1. AS958693S 06/02/2020

Additional Owners Corporation Information:

NIL

Notations:

Only the members of Owners Corporation 2 are entitled to use Common Property No. 2. Only the members of Owners Corporation 3 are entitled to use Common Property No. 3.

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Common Property 2	0	0
Common Property 3	0	0
Lot 1	9	9
Lot 3	8	8
Lot 5A	4	4



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OWNERS CORPORATION 1
PLAN NO. CS001458X

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 5B	3	3
Lot 7	13	13
Lot 8	9	9
Lot 9	7	7
Lot 10	7	7
Lot 11	2	2
Lot 12	10	10
Lot 13	7	7
Lot 16	1	1
Lot 17	2	2
Lot 19	2	2
Lot 20	1	1
Lot 21	0.81	0.81
Lot 22	0.36	0.36
Lot 23	0.56	0.56
Lot 24	0.44	0.44
Lot 25	0.83	0.83
Lot 26	4	4
Lot 27	4	4
Lot 28	0.3	0.3
Lot 29	0.5	0.5
Lot 30	1.3	1.3
Lot 31	0.7	0.7
Lot 32	0.6	0.6
Lot 33	0.6	0.6
Total	100.00	100.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



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OWNERS CORPORATION 1
PLAN NO. CS001458X

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OWNERS CORPORATION 2
PLAN NO. CS001458X

The land in CS001458X is affected by 3 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 2, Lots 28 - 33.

Limitations on Owners Corporation:

Limited to Common Property

Postal Address for Services of Notices:

13/222 KINGS WAY SOUTH MELBOURNE VIC 3205

AJ952963A 08/10/2012

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

NIL

Notations:

Folio of the Register for Common Property No. 2 is in the name of Owners Corporation 1. Members of Owners Corporation 2 are also affected by Owners Corporation 1.

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 2	0	0
Lot 28	0.3	0.3
Lot 29	0.5	0.5
Lot 30	1.3	1.3
Lot 31	0.7	0.7
Lot 32	0.6	0.6



Department of Transport and Planning

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OWNERS CORPORATION 2
PLAN NO. CS001458X

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 33	0.6	0.6
Total	4.00	4.00

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Owners Corporation Search Report

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OWNERS CORPORATION 3
PLAN NO. CS001458X

The land in CS001458X is affected by 3 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 3, Lots 28, 30.

Limitations on Owners Corporation:

Limited to Common Property

Postal Address for Services of Notices:

8 INTERNATIONAL SQUARE TULLAMARINE VIC 3043

CS001458X 01/01/1700

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

NIL

Notations:

Folio of the Register for Common Property No. 3 is in the name of Owners Corporation 1. Members of Owners Corporation 3 are also affected by Owners Corporation 1.

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 3	0	0
Lot 28	0.3	0.3
Lot 30	1.3	1.3
Total	1.60	1.60

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



Department of Transport and Planning

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OWNERS CORPORATION 3
PLAN NO. CS001458X

Statement End.

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