

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 10682 FOLIO 927

Security no : 124116476045G
Produced 09/07/2024 10:54 AM

LAND DESCRIPTION

Land in Plan of Consolidation 364115P.

PARENT TITLES :

Volume 10302 Folio 994 Volume 10547 Folio 134

Created by instrument PC364115P 19/10/2002

REGISTERED PROPRIETOR

Estate Fee Simple

Sole Proprietor

COLES GROUP PROPERTY DEVELOPMENTS LTD of 800 TOORAK ROAD HAWTHORN EAST VIC
3123
AV575655J 29/04/2022

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PC364115P FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 158-162 HIGH STREET BELMONT VIC 3216

ADMINISTRATIVE NOTICES

NIL

eCT Control 20620D HERBERT SMITH FREEHILLS
Effective from 29/04/2022

DOCUMENT END

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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Status	Registered	Dealing Number	AV575655J
Date and Time Lodged	29/04/2022 11:53:04 AM		

Lodger Details

Lodger Code	20620D
Name	HERBERT SMITH FREEHILLS
Address	
Lodger Box	
Phone	
Email	
Reference	

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TRANSFER

Jurisdiction	VICTORIA
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Privacy Collection Statement

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Land Title Reference

10682/927

Transferor(s)

Name	HARBUR PTY LTD
ACN	067763197

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 11300000.00

Transferee(s)

Tenancy (inc. share)	Sole Proprietor
Name	COLES GROUP PROPERTY DEVELOPMENTS LTD
ACN	004428326
Address	
Street Number	800
Street Name	TOORAK
Street Type	ROAD



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Locality HAWTHORN EAST
State VIC
Postcode 3123

Duty Transaction ID
5391199

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	HARBUR PTY LTD
Signer Name	HEIDI MARIE MELLAR
Signer Organisation	ERIC FAULKNER
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	28 APRIL 2022

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	COLES GROUP PROPERTY DEVELOPMENTS LTD
Signer Name	DAVID SINN
Signer Organisation	HERBERT SMITH FREEHILLS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	29 APRIL 2022

File Notes:
NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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Document Type	Plan
Document Identification	PC364115P
Number of Pages (excluding this cover sheet)	1
Document Assembled	09/07/2024 10:54

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PLAN OF CONSOLIDATION

LR
EDITION 1

Plan Number
PC 364115P

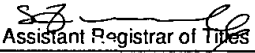
LOCATION OF LAND

Parish: BARRARBOOL
Township: -
Section: -
Crown Allotment: 1 (PART)
Crown Portion: 24
Title Reference/s: VOL.10302 FOL.994
 VOL.10547 FOL.134
Last Plan Reference: PC 359697R
 PS 426391G (LOT 2)
Postal Address: 158-162 HIGH STREET
 (at time of consolidation) BELMONT 3216
AMG Co-ordinates E 267 200
 (of approx centre of land) N 5 771 400
Zone: 55

Council Certification and Endorsement

Council Name: CITY OF GREATER GEELONG Ref: **S 819**
 1. This plan is certified under section 6 of the Subdivision Act 1988
 2. ~~This plan is certified under section 11(7) of the Subdivision Act 1988~~
~~Date of original certification under section 6 / /~~
 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988
Council Delegate
Council Seal
Date: 3/7/2002
Re-certified under section 11(7) of the Subdivision Act 1988
Council Delegate
Council Seal
Date: / /

LR
 Statement of Compliance/
 Exemption Statement
 Received
 Date 16/10/2002

LR
PLAN REGISTERED
TIME 12:35 PM
DATE 19/10/2002

 Assistant Registrar of Titles

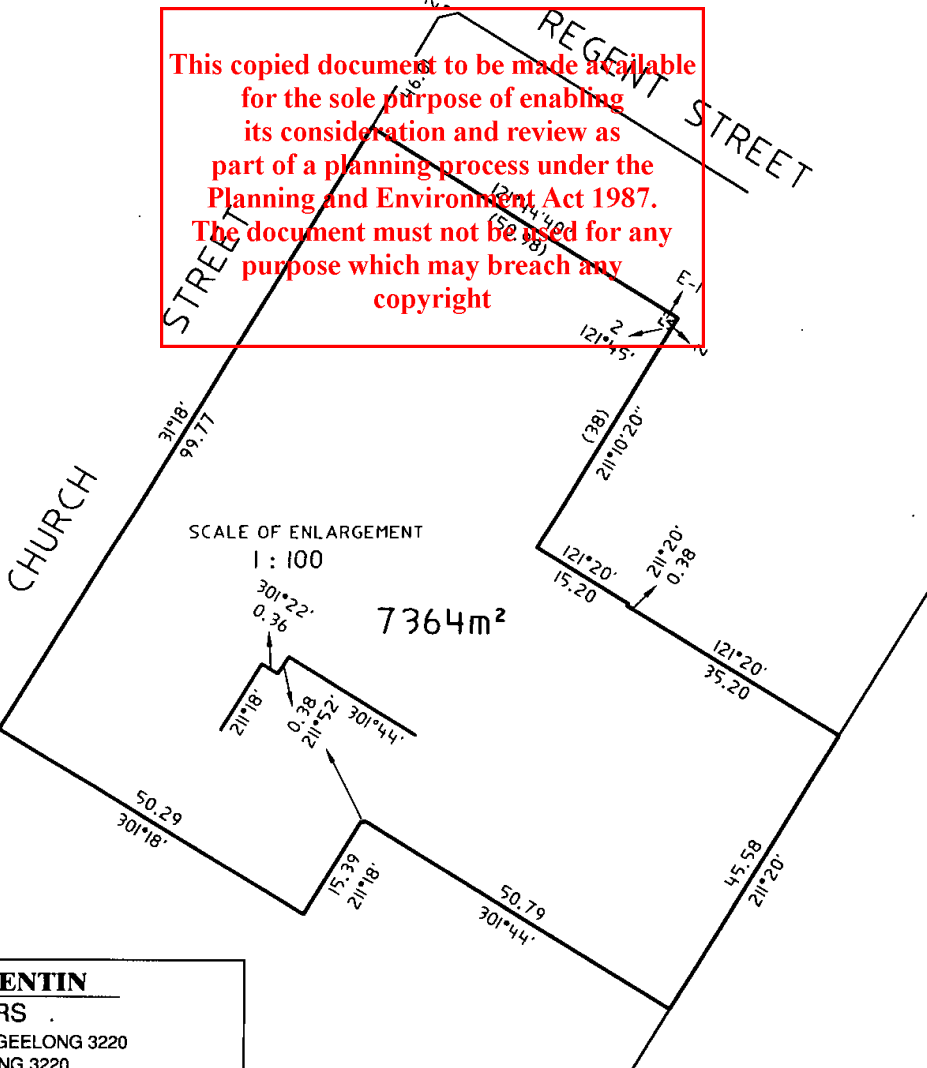
Notations
 Depth Limitation: DOES NOT APPLY

Easement Information

Legend: E - Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance
 A - Appurtenant Easement R - Encumbering Easement (Road)

Subject Land	Purpose	Width (Metres)	Origin	Land Benefitted/In Favour Of
E-1	DRAINAGE	2	PS 426391G	CITY OF GREATER GEELONG

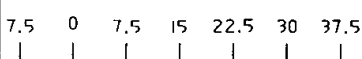
Survey
 This plan is/is not based on survey
 This survey has been connected to permanent marks no(s) in Proclaimed Survey Area No



GRANT ST QUENTIN SURVEYORS

76 LITTLE RYRIE STREET GEELONG 3220
 PO BOX 919 GEELONG 3220
 PH (03)52292011 FAX (03)52292909

SCALE



ORIGINAL

SCALE 1:750
 SHEET SIZE A3

LICENSED SURVEYOR(PRINT) GRANT ST QUENTIN
 SIGNATURE

DATE 29/7/02

REF 6144/02

VERSION 02

SHEET 1 OF 1 SHEETS

DATE 11 3/7/2002
 COUNCIL DELEGATE SIGNATURE

Original sheet size A3