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Julia Smith

Development Approvals
Department of Transport and Planning

19 June 2026

via the DTP portal online

**ADVERTISED
PLAN**

Dear Julia

**S72 Amendment & Submission for Endorsement
Permit PA2504015 (2-6 Lampard Road, Drouin)**

Tract acts on behalf of Housing Choices Australia (HCA) in relation to the land at 2-6 Lampard Road and the development approved under Permit PA2504015 (the 'Permit').

Following further design review and discussions with the Department of Transport and Planning ('DTP'), we are pleased to provide materials for endorsement under the conditions of the Permit.

Concurrent with this submission for endorsement, we are seeking to amend the plans endorsed under the Permit via Section 72 of the *Planning and Environment Act 1987* to reflect an updated building envelope and other minor design changes which have not been required under the Permit conditions. The proposed amendments to the plans do not require any changes to the permissions of the Permit nor do they require changes to Permit conditions.

The following materials are submitted for endorsement under the Permit:

- Architectural plans for endorsement under Condition 3 (Rev P prepared by LIAN, dated 17 June 2026)
- Tree Management Report and Tree Protection Plan for endorsement under Condition 5 (V6 prepared by Treelogic, dated 17 June 2026)
- Landscape Plan for endorsement under Condition 9 (Rev G, prepared by Emergent Studios, dated 15 June 2026)
- Sustainable Design Assessment for endorsement under Condition 12 (Rev07, prepared by Wrap Consulting, dated 27 May 2026)
- Waste Management Plan for endorsement under Condition 13 (RevD, prepared by Traffix Group, dated 27 May 2026)
- Stormwater Management Plan for endorsement under Condition 17 (P03, prepared by Edge Consulting, dated 9 June 2026)

Refer to the Planning Submission (overleaf) which provides an assessment against both the proposed amendment to the plans and an assessment of compliance with permit conditions.

We trust that the attached materials and planning assessment provided is sufficient for DTP to undertake its review and endorse these documents. Should you have questions or require further information, please contact me (especht@tract.net.au) and Elle Harrington (eharrington@tract.net.au) on 9429 6133.

Yours sincerely



Erin Specht

Senior Town Planner
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Quality Endorsed Company
ISO 9001: Licence No. 2095

Planning Assessment

Submission for Endorsement & S72 Amendment (Permit PA2504015)

This planning submission has been prepared by Tract Consultants Pty Ltd upon the instructions of Housing Choices Australia, relating to Permit PA2504015 and land at 2-6 Lampard Road, Drouin ('Site').

This submission provides an assessment of updated plans and associated reports submitted to Baw Baw Shire Council for endorsement under the Permit under across two sections:

- Section 1 includes an assessment of additional changes that have been made to the plans beyond those required under the Permit.
- Section 2 provides an assessment of all submitted plans and reports against relevant condition requirements in the Permit to confirm compliance.

1 Overview and Assessment of Proposed Plan Amendments

In addition to changes required under conditions in the Permit, the following changes have been made to the plans in response to further detailed design and review of servicing requirements. An explanation and assessment of each change is also included below.

1. Relocation of the main entry gate to the apartment buildings along the northern frontage to be set back further south (aligned with the east wing of the apartment).

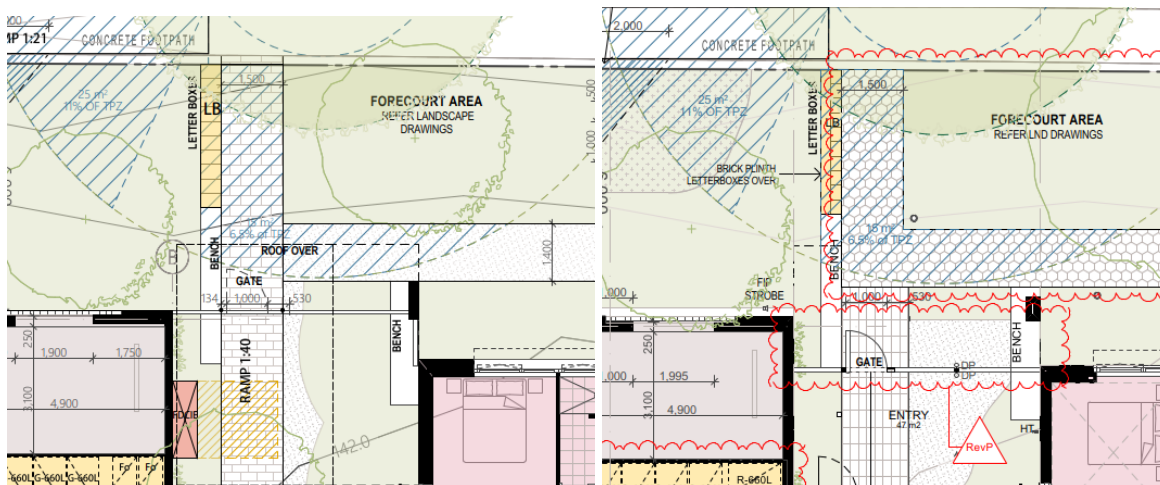


Figure 1. Decision plans (left) and current proposed amendment (right)

This change has resulted from further detailed design review and to reduce the visual impact of the fence and gate from the street.

This change is appropriate given it results in a net improvement to the presentation of the street frontage by recessing the fence and gate further back.

2. The addition of a curved seat to the corner of Lampard Rd and Main South Rd within the lot frontage.



Figure 2. Decision plans (left) and current proposed amendment (right)

This change is proposed as a continuation of the booster wall to enhance connection to the public realm.

The change is appropriate given it enhances the integration of the development with the street and the public realm and does not impact compliance with tree protection requirements or permeable surface areas.

3. Relocation of the hot water plant room and bike repair area and subsequent increase in number of resident car parking spaces (increase of 1 space from 27 to 28 spaces).

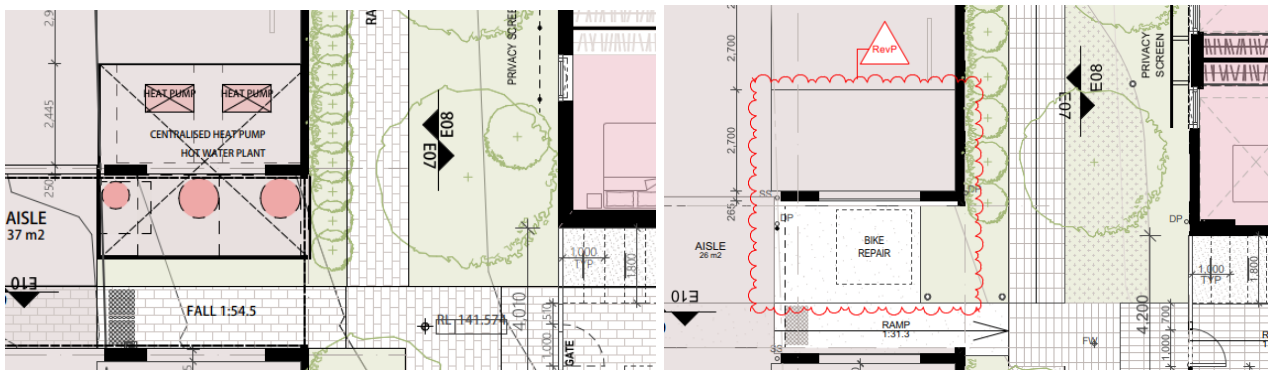


Figure 3. Decision plans (left) and current proposed amendment (right)

This change has occurred following a review of service requirements which confirmed that less space is required for services.

The change is appropriate given there is no maximum car parking rate for this site. The relocation of the bike repair area is also a net improvement for residents as it provides more space to the central E-W pedestrian link through the eastern wing of the apartment building.

4. Modification to fire pump enclosure, including increase in height (200mm higher) and change in materiality to solid render to allow for a fire-rated concrete lid.

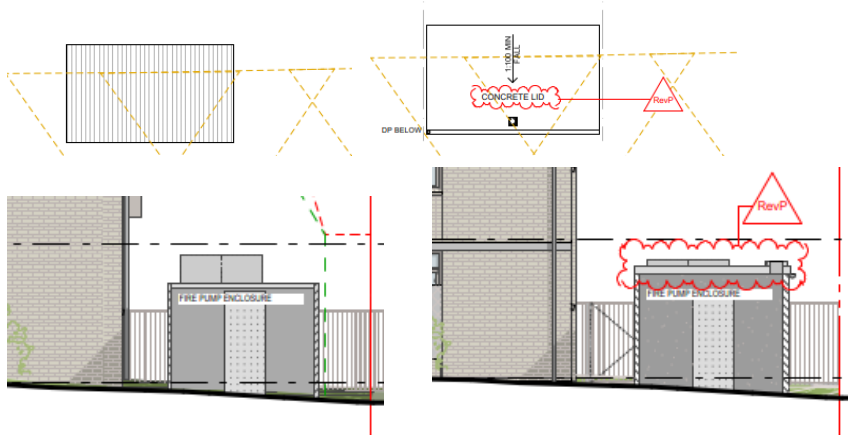


Figure 4. Decision plans (left) and current proposed amendment (right).

This change has occurred following a review of services and fire engineering requirements. The location of the enclosure remains unchanged.

The change is appropriate given the increase in the height of the fire pump enclosure is very minor and the footprint of the structure remains unchanged. The change will not affect the amenity of the adjacent dwelling to the south, noting the enclosure remains within the building envelope identified in Standard B4-2.1 (north-facing windows).

5. Relocation of building services to the south of the car park area at ground level (rain filter, water booster, break tank) and removal of the hit-and-miss brick to the southern façade of the west wing of the apartment building.

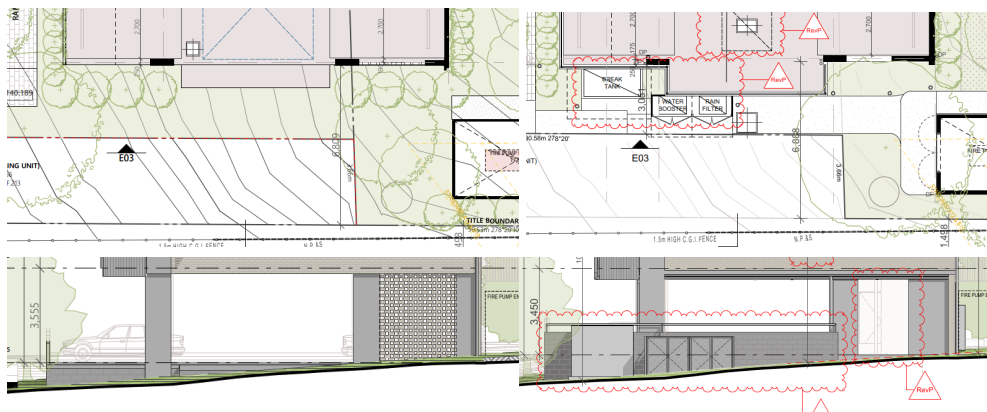


Figure 5. Decision plans (left) and current proposed amendment (right).

This change is the result of detailed services and design review.

The change to the services is appropriate given the services continue to be located away from the public realm and are separated from neighbouring lots through setbacks and are enclosed. The services are also of a low height and will be hidden behind boundary fencing.

The removal of the hit-and-miss brick feature is a minor change and has a negligible impact on the presentation of the building from the surrounding land.

6. Reduction in western apartment building wing separation (north-south separation) at upper levels from 4.01m to 3.79m and increase in eastern apartment building wing separation from 4.01m to 4.2m.



Figure 6. Decision plans (left) and current proposed amendment (right).

This change is the result of changes in wall thickness arising from the detailed design review process.

The change is appropriate given sufficient daylight is still provided to the dwellings and given the windows facing into this break are secondary windows only and each bedroom has a second window on its east facade.

7. Increase to the setback of the southern townhouse building from southern boundary from 4.5m to 4.8m.

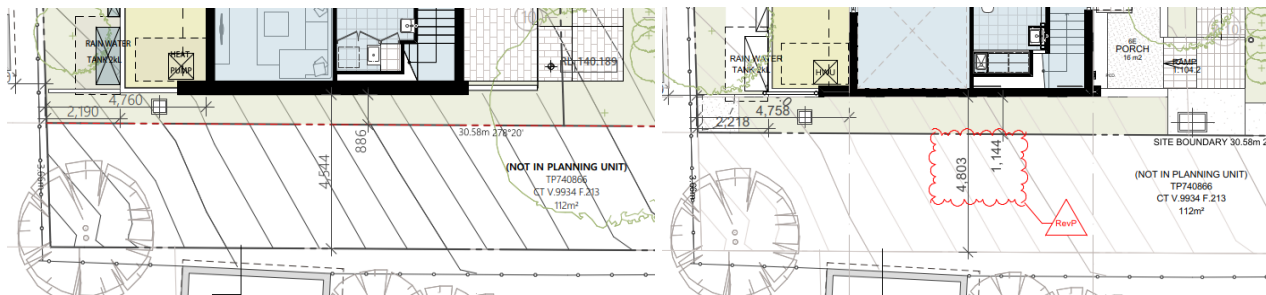


Figure 7. Decision plans (left) and current proposed amendment (right)

This change is the result of changes in wall thickness arising from the detailed design review process.

This change is appropriate and results in a net improvement for the adjacent land to the south as it increases separation of built form from neighbouring lots.

8. Increase in the setback of the eastern wing of the apartment building from 5.6m to 6.06m, and associated removal of the roof chamfer along the southern edge. The maximum building height of this wing above NGL is 10.95m at the peak of the roof.



Figure 8. Decision plans (left) and current proposed amendment (right) showing the increase in the southern setback and adjustments to roof form at the southern edge of the east wing of the apartment building.

This change has occurred following detailed design processes and a closer review of building construction and shadow impacts.

Removal of the roof chamfer results in an improved design outcome due to the simplified form and uniform roof profile that will be delivered across the building. The increase in the height of the southern wall has been balanced by an increase in the setback to minimise impacts on land to the south.

This change will result in an increased wall height at the southern edge of the building to reflect the change in roof profile. The maximum wall height will be 10.95m above natural ground level (NGL) at the apex of the roof.

The change is appropriate for the following reasons:

- All wall heights within 3m of the existing north-facing windows to the south will be less than 11 metres above NGL. This complies with Setback Option B4-2.2 (north facing windows) in Clause 55, which allows a 6m setback from the southern boundary up to a height of 11m for new buildings that also meet the setback requirements in Standard B2-3.2 (side and rear setbacks). Refer extract of B4-2.2 below.

Diagram B4-2.2 North-facing windows

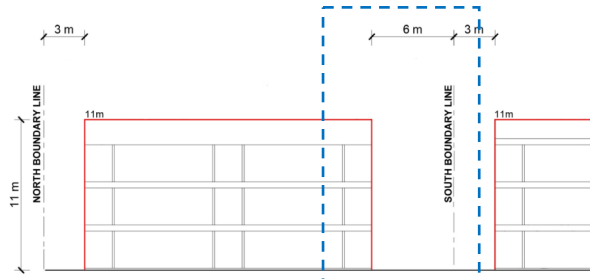


Figure 9. Extract of B4-2.2 Standard noting the 6m setback allowance from the southern boundary line.

The southern setback of the eastern apartment building complies with the building envelope in Standard B2-3.2 (and would also comply with the setbacks in Standard B2-3.1). Therefore, the adjustment to the roof form remains aligned with the requirements of the Standard and continues to respect the existing dwelling to the south.

- The increase in setback in the order of 460mm results in a reduced site coverage and greater separation distance to the property to the south.
- The 10.95m maximum wall height is limited to the roof apex; most of the wall presents a height less than 10m.
- The removal of the chamfer will improve internal amenity for residents as it enables increased ceiling heights.

9. Removal of roof chamfer and associated increase in wall height above NGL of 2.1 m (at the peak of the ridge) at the southern-most point for the western-most apartment building wing. Predominant wall height for this interface is 10.23m for the lower portion of saw tooth roof and 11.63m at the highest point. The setback has been maintained at 6.7m from the northern boundary of 5 Main South Road.



Figure 10. Decision plans (left) and current proposed amendment (right) showing the adjustments to roof form at the southern edge of the west wing of the apartment building.

As above, removal of the roof chamfer is considered to result in an improved design outcome due to the simplified form and uniform roof profile being delivered across the building.

This change will result in an increased southern wall height, to respond to the change in roof profile. The maximum wall height will be 11.63m above NGL, which is only proposed for a minor portion of the wall, at the apex of the roof.

This change is appropriate for the following reasons:

- Where the building is within 3m of north-facing windows to the south, the maximum wall height above NGL will be less than 11 m.
- As a portion of land that does not form part of the planning unit exists in between the title boundary, this portion of the building has always sought a variation to the side and rear setback requirement standard. The proposal does not change this. However, when the western apartment building wing is considered in isolation, it remains compliant with Standard B2-3.1 when taken from the boundary of 5 Main South Road. This remains unchanged from the decision plans.
- The increase in height at this interface is only for a small portion of the wall at the apex, with the prevailing wall height less than 11 m.
- The shadows to the south remain compliant with Standard B4-3 (overshadowing private open space). Refer to shadow diagrams which demonstrate minor additional shadow to 5 Main South Road private open space, which we consider to be negligible.
- As above, the change will result in increased internal amenity for residents due to greater and more regular ceiling heights.

10. Beyond changes requested in the permit and changes required to coordinate with the revised architectural set, revisions to the Landscape plan to reflect an updated design, including:

- Adjustments to the design and layout of seating, garden beds and other furniture in the communal areas along Lampard Road and between the townhouses.

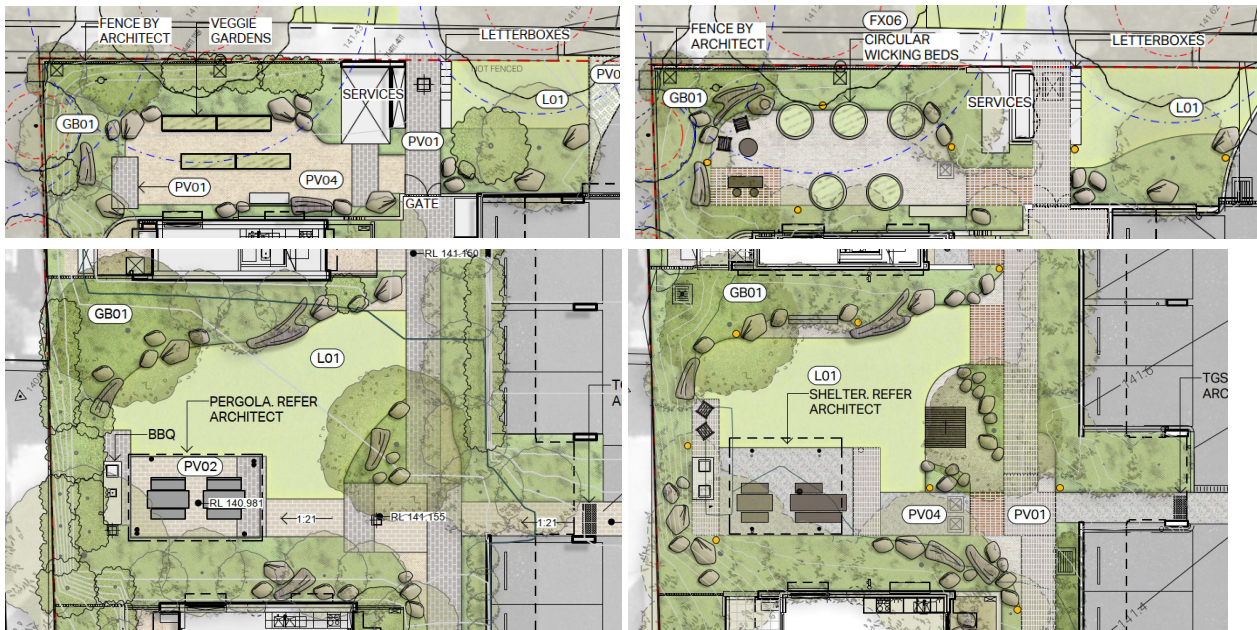


Figure 11. Decision plans (left) and proposed plans (right) showing updates to communal area design.

This change is the result of detailed design processes and a refinement of construction details.

- Removal of trees along the eastern Main South Road interface and replacement with low level planting and shrubs in the expanded garden beds in front of the balconies.

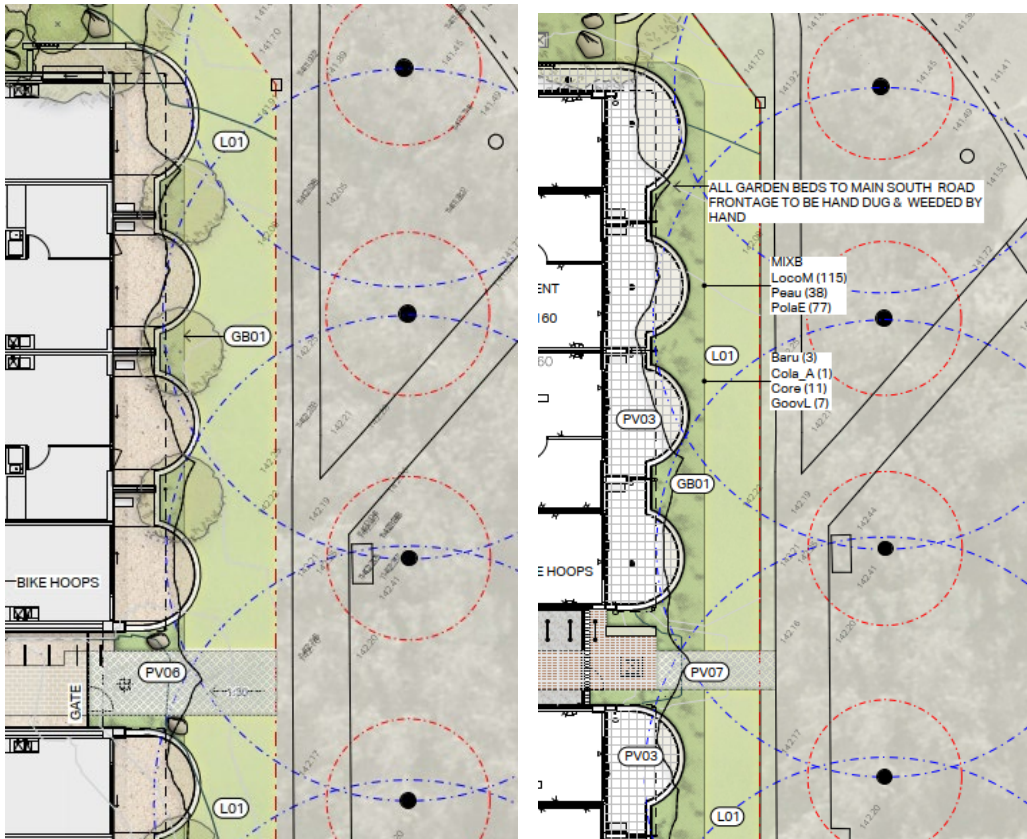


Figure 12. Decision plans (left) and proposed plans (right) showing changes to Main South Road interface.

The removal of trees from the east interface was informed by detailed design review and advice from the arborist to avoid competition and potential conflicts with the existing heritage trees and retained canopy along Main South Road. Shrub and dense low-level planting has been selected for the eastern garden beds to provide softening and visual relief between the curved brick balconies, and to provide additional low-level layers of greenery that addresses permit condition requirements.

The reduction in tree planting along this interface is appropriate given the revised landscape design continues to deliver generous areas of total tree canopy across the site from retained and newly planted trees. Refer below for further discussion about canopy cover. The design includes 2m and 3m high shrubs which will retain structural diversity in the planting along this interface and add visual interest and softening to the streetscape.

The change also remains consistent with permit condition 5(d) to provide additional lower-level planting in the east setback to Main South Road, as the plans now provide for a larger garden bed area in front of the balconies with a larger number of plants compared to the decision plans.

- Adjustments to new canopy tree planting.

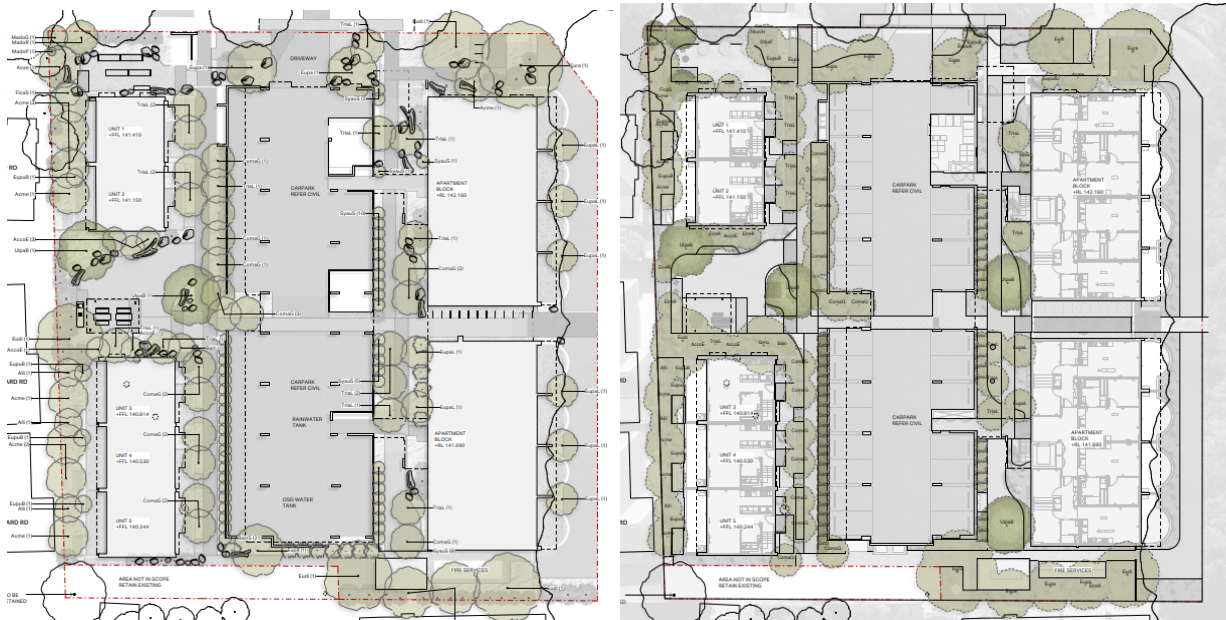


Figure 13. Decision plans (left) and proposed plans (right) showing revised canopy tree planting

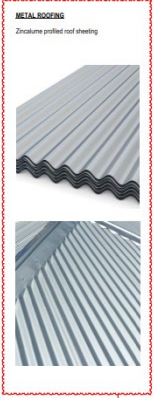
This change has occurred following architectural and landscape detailed design processes to reflect the other changes discussed above. It results in the following changes in canopy tree provision:

	Decision plans	Proposed plans
Tree mix	• 57 Type A trees • 5 Type B trees • 0 Type C trees 62 total trees	• 48 Type A trees • 6 Type B trees • 0 Type C trees 54 total trees
Proposed canopy cover (new)	20%	19.5%
Retained canopy cover	8%	8%
Total canopy cover	28%	27.5%

The changes remain appropriate for the following reasons:

- The revised landscape plan results in a very minor reduction in total canopy cover and continues to provide total canopy cover over 20% through retained and new trees.
- The removal of canopy trees along the east interface was informed by arborist advice to avoid potential conflicts and competition with retained high value heritage trees along Main South Road.
- The reduction in trees has only affected the number of small trees on the site; the number of medium (Type B) trees has increased (from 5 to 6 trees).

2 Permit Compliance Assessment

Condition	Assessment
3. Amended Plans Before the development starts, excluding demolition, bulk excavation and site preparation works, amended plans must be approved and endorsed by the responsible authority. The plans must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimensions, and be generally in accordance with the plans prepared by Lian Architects, dated 17 October 2025 but amended to show the following details:	Refer to the updated architectural plans prepared by LIAN (Rev P).
a) The balcony balustrade and roof materials clearly identified on the plans and the materials and finishes schedule.	Balcony balustrade and screening materials are updated and confirmed on elevations and in the material schedule, and roof materials have been added into the material schedule and confirmed on roof plans. Refer extracts below. BALUSTRADE & SCREENS FC Sheet, Composite Coloured & Perforated Metal  METAL ROOFING Zincalume profiled roof sheeting 

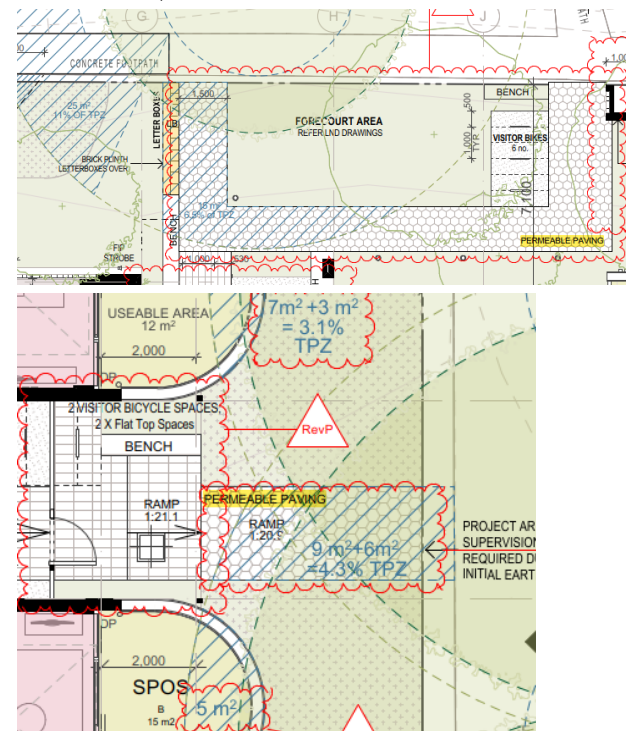
b) Dimensioned maximum building heights above natural ground level on all elevations.

Maximum building height has been noted along all elevations. Refer to TP203 and TP204. To summarise:

- Maximum height of 11.19m (east wing) and 11.52m (west wing) to Lampard Road frontage (north elevation)
- Maximum height of 11.33m (north end) and 10.95m (south end) to Main South Road frontage (east elevation)
- Maximum height of 10.95m (east wing) and 11.63 (west wing) to south boundary (south elevation)
- Maximum height of 8.80m (south end) to the west boundary (west elevation)

c) The pedestrian path to Main South Road constructed using permeable paving within the notional root zones of the street trees.

The plans have been updated to confirm permeable paving to all pedestrian paths where these are within a root zone of a tree. Refer to ground floor plan and extracts below. The total area of permeable surface remains consistent with the original decision plans (31%).



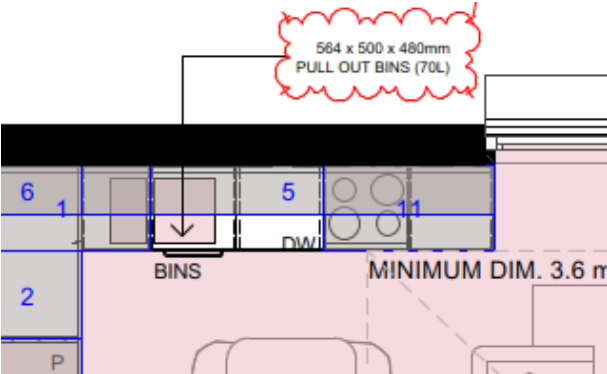
d) The shared circulation areas in the apartment buildings to contain at least one operable window.

Circulation areas and lobbies have been updated to include louvres for natural ventilation and glazed windows for natural daylight in line with relevant standards. This approach has been supported by DTP as an appropriate alternative to operable windows. The louvres are confirmed in relevant elevations. Refer to the example extract below.



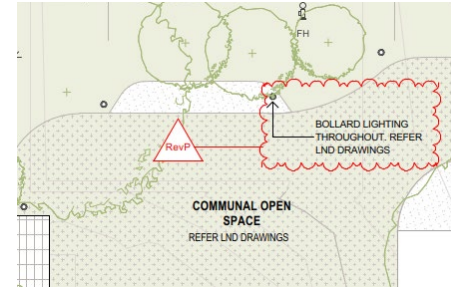
e) Minimum 0.07 cubic metres internal waste storage areas within each dwelling in accordance with Standard B5-5 (Waste and recycling)

All dwelling floor plans have been updated to confirm compliant internal waste storage areas in line with the Standard. Refer to the example extract below.

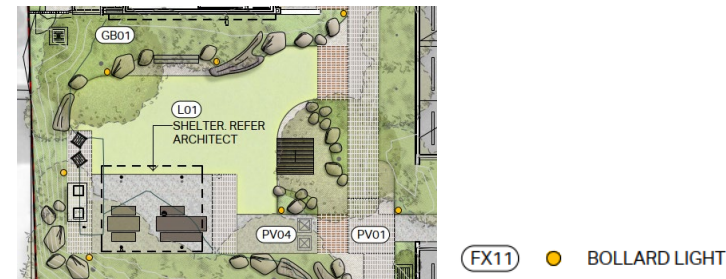


f) Lighting details to all outdoor common areas including accessways and paths within the site.

Lighting details for outdoor common areas and internal accessways/pathways are confirmed in the architectural and landscape drawings. The architectural plans include a note confirming the presence of bollard lighting as well as a reference to the landscape plans, to comply with this condition. Refer extract below



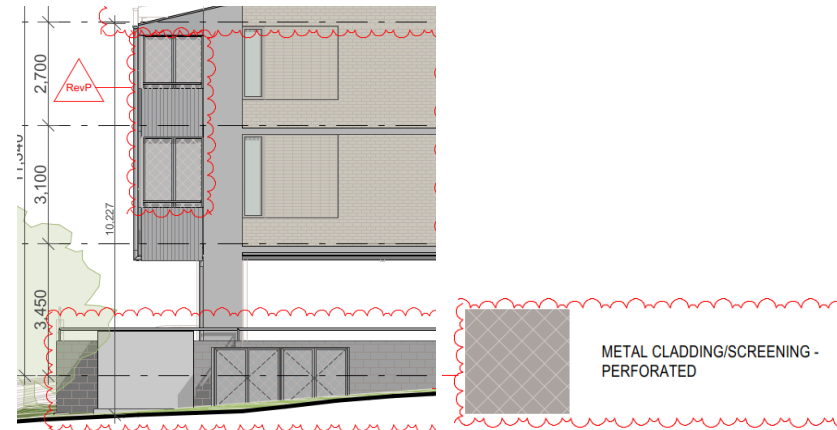
The landscape plan then also confirms the location of bollard lighting in appropriate areas to ensure safe and comfortable communal spaces whilst minimising excessive light spill. Refer extract below.



g) The southern edge of the balconies associated with dwelling 109 and 209 altered to comply with Standard B4-3 (Overlooking).

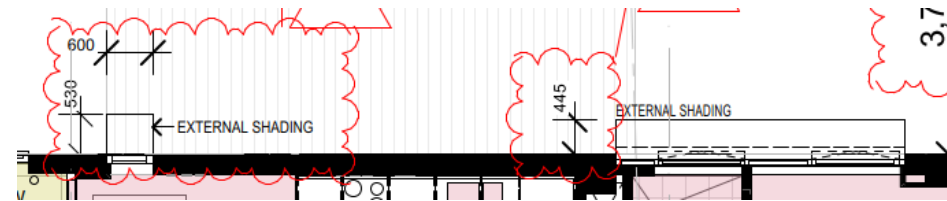
Firstly, we note that the apartment number references have changed; dwelling 109 is now 113 and dwelling 209 is now 213.

Perforated screening has been applied to the southern edge of these balconies in question to limit views to the south in accordance with the overlooking standard at B4-3. This is confirmed in the south elevation on TP204 and in the materials legend. Refer extracts below



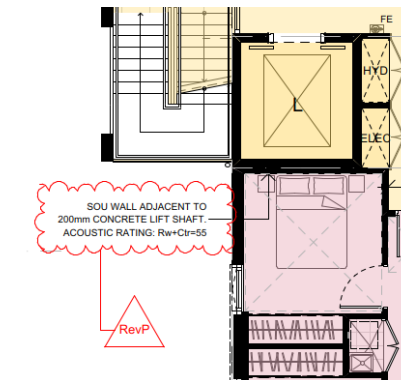
h) External shading devices shown to north-facing upper living windows of dwelling 105, 112, 205 and 212 with of the minimum horizontal depth dimensioned in accordance with Standard B5-4 (Solar protection to new north-facing windows).

Shading devices and horizontal depth dimensions are noted to the dwellings in question in line with the condition. Refer extract below.



i) Details of the proposed noise attenuation measures to the bedrooms sharing walls with the lift core which demonstrate they have been designed to limit internal noise levels in accordance with Standard B5-6 of Clause 55.05-6.

The updated plans include notations confirming bedroom walls adjacent to the lift cores are constructed to meet appropriate acoustic ratings in line with the standard. Refer extract below.



j) Structural root zone and tree protection zones of all retained trees in accordance with AS4970-2025.	The SRZ and TPZ is noted for all retained trees on the ground floor plan in accordance with the Tree Management Plan and the Australian Standard.
k) Any changes required by the Landscape Plans.	The architectural plans have been updated to reflect the current landscape plan design. Refer to the ground floor plan.
l) Any changes required by the Tree Protection Management Plan.	The plans confirm all relevant design details required by the Tree Management Plan, including location of permeable paving in root zones and building setbacks.

5. Landscape Plan

Concurrent with the endorsement of plans, a landscape plan must be approved and endorsed by the responsible authority. The landscape plan must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimensions and be generally in accordance with the landscape plans prepared by Emergent Studios, dated 17 October 2025 but modified to show:

Refer to the landscape plans prepared by Emergent Studios (RevG).

a) Any changes to ensure consistency with the development plans.	The landscape plans have been designed to reflect and align with the current architectural plans and building footprints.
b) The location of all existing vegetation with retained trees clearly indicated on all drawings.	All retained trees are identified on the plans.
c) Additional large shrub screen planting in the front setback of the townhouses to Lampard Road.	Additional planting and large shrubs and tree planting is provided in the front/north setback of the townhouse, to provide screening.

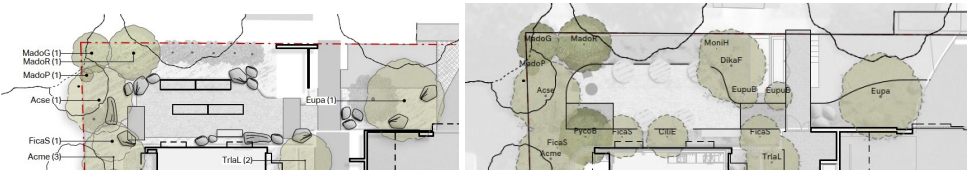


Figure 14. Decision plans (left) and proposed plans (right) showing increase of screening planting

d) Additional lower-level planting in the east setback to Main-South Road.

The landscape plans provide for a larger garden bed along the east interface in front of the residential balconies which provide for more low-level planting than the previous plans, in line with this condition. The plans confirm low-level planting mixes as well as additional shrub planting in the plant schedule. The garden beds will be hand dug and weeded by hand to ensure impacts to heritage trees are avoided; this is confirmed on the plans. Refer extract below.

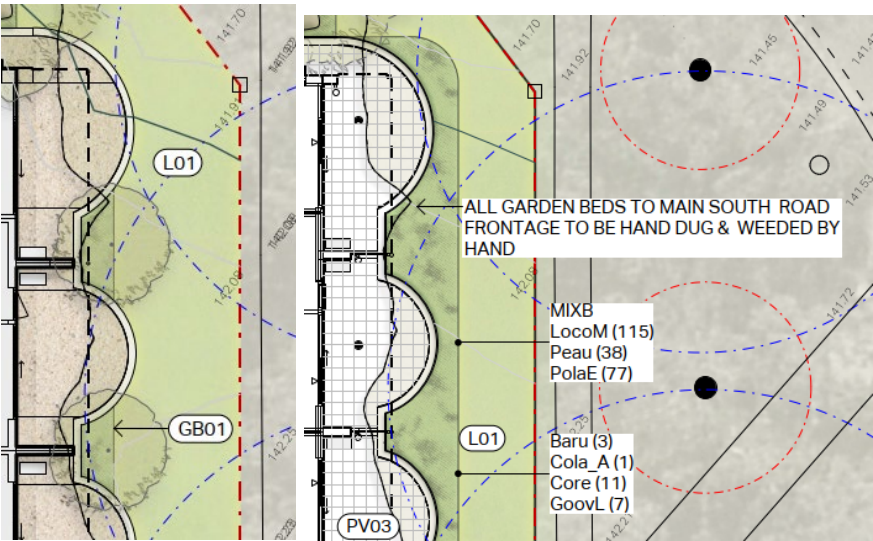


Figure 15. Decision plans (left) and proposed plans (right) showing increase in garden bed along east interface

e) A survey (including botanical names) of all existing vegetation to be retained and/or removed.

The landscape plan includes a plan (Drawing SK110) confirming the location of all existing vegetation and confirmation of whether it is retained or removed, and a reference to the arborist survey and report which confirms species details including botanical names.

NOTE:
THESE DRAWINGS ARE TO BE READ IN COORDINATION WITH THE ARBORIST REPORT PREPARED BY TREE LOGIC REF. 013416

f) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.

Planting and mix schedules are listed on drawing SK720.

8. Tree Protection Management Plan

Before the development starts, a Tree Protection Management Plan (TPMP) must be approved and endorsed by the responsible authority, in consultation with Baw Baw Shire Council. The TPMP must be prepared to the satisfaction of the responsible authority by a suitably qualified person, be generally in accordance with the Arboricultural Impact Assessment Report and Tree Management Specifications by Treelogic, dated 15 October 2025, and must include the following:

Refer to the Tree Management Plan (TMP) and appended Tree Protection Plan (TPP) prepared by Tree Logic dated 17 June 2026.

a) Measures to ensure the protection of all trees identified for retention, determined in accordance with Australian Standard AS 4970:2025 - Protection of Trees on Development Sites.

The TMP and TPP identify all relevant tree protection measures for both design and construction. The report has regard to the most current Australian Standard.

b) The location of tree protection zones (TPZ) and tree protection fencing for trees identified for retention.

Tree protection zones are identified in the TPP and TPZ requirements are outlined in Section 5 of the TMP.

c) Encroachments including site cut/fill to be listed in accordance with AS 4970:2025 - Protection of Trees on Development Sites.

Encroachments are outlined in accordance with the current Standard and discussed in detail in Section 4 of the TMP.

d) Deviations to Notional Root Zone requirements to accommodate road reserve conditions.

Refer to 3.15 of the Tree Management Report for details. To summarise:

- NRZ adjustments are not required for trees 3, 4, 5, and 6.
- There is available space around trees 2 and 7 to accommodate NRZ adjustments for the road reserve
- For trees, 2-7 (the heritage Elms), it is not considered appropriate or necessary to offset all of the NRZ road reserve encroachment into the subject site.

e) Details (including contact details) of a project arborist, including actions required to be undertaken by the project arborist at the various stages of the development.

Specific contact details cannot be confirmed until such time as the arborist is formally engaged; however, the consultant arborist contact details are listed in the Tree Management Plan to address this condition.

The Tree Management Plan and Tree Protection Plan identify all actions to be undertaken by the arborist, including supervision, active involvement (e.g. pruning), and sign offs.

f) Templates for periodic site inspections of trees by the project arborist, at the various stages of the development.

Section 6 of the Tree Management Plan outlines the arborist supervision schedule which confirms the timing and frequency of arborist supervision during construction.

g) Measures that must be incorporated into the design and construction of the development to ensure the protection of any trees identified for retention, determined in accordance with Australian Standard AS 4970:2025 - Protection of Trees on Development Sites; and

The Section 4 of the Tree Management Plan outlines all tree protection specifications for both design and construction. Relevant design details (e.g. permeable paving, setbacks) are confirmed in the architectural plans.

Section 5 of the TMP also outlines specific Tree Protection Zone requirements in accordance with the standard.

h) Specific tree protection requirements for Trees 2-7 located on the eastern boundary of the subject site, details or notations of the following:

Section 4 of the Tree Management Plan outlines all tree protection specifications, including specific protection requirements for Trees 2-7 from section 4.9

i. All pruning of street trees must be completed in accordance with Australian Standard AS 4373:2007 – Pruning of Amenity Trees by an Arborist who is suitably qualified and experienced.

Section 5 of the TMP also outlines specific Tree Protection Zone requirements in accordance with the standard.

ii. Any pruning done must be to the minimum extent and must not have an effect on the ongoing appearance, amenity and condition of the specified trees.

iii. Requirements for permanent protection measures to ensure the Notional Root Zones are permanently protected.

iv. Management of trees adjacent to residential lots and roads including placement of infrastructure such as paths, fences and road pavement.

v. Physical or landscaping requirements to ensure that Notional Root Zones are permanently protected and access to Notional Root Zones are restricted.

vi. Construction methodologies for working around large significant trees including the installation of scaffolding and any necessary infrastructure adjacent to Notional Root Zones.

i) Requirements for construction of all infrastructure. The construction requirements should include (but not be limited to):

Protection details are outlined in Section 4 of the Tree Management Plan.

i. Types and weights of machinery to be used within a Notional Root Zone.

ii. Placement of machinery within and adjacent to the Notional Root Zone when works are occurring.

iii. Requirements for supervision by a suitably qualified and experienced Arborist.

iv. Requirements for non-destructive digging.

v. Requirements for construction above grade.

vi. Product materiality including consideration of porous materials.

- vii. Requirements for installation of services within road reserves.
- viii. Depth requirements for boring services within the road reserves.

12. Sustainable Design Assessment (SDA)

Concurrent with the endorsement of plans, a Sustainability Design Assessment (SDA) must be approved and endorsed by the responsible authority. The SDA must be prepared to the satisfaction of the responsible authority and must be generally in accordance with the SDA prepared by Wrap Engineering, dated 21 October 2025.

Refer to the SDA prepared by Wrap (Rev07), dated 27 May 2026.

13. Waste Management Plan

Concurrent with endorsement of plans, a Waste Management Plan (WMP) must be approved and endorsed by the responsible authority. The WMP must be prepared to the satisfaction of the responsible authority and must be generally in accordance with the Waste Management Plan prepared by Traffix, dated 17 October 2025.

Refer to the WMP prepared by Traffix Group (Rev D), which reflects the current architectural plans and confirms details of waste management practices.

17. Stormwater Management Plan

Before the development starts, excluding demolition, bulk excavation and site preparation works, a stormwater management plan must be approved and endorsed by the responsible authority in consultation with Baw Baw Shire Council. The stormwater management plan must be prepared to the satisfaction of the responsible authority, be generally in accordance with the Water Sensitive Urban Design Report by Edge Consulting Engineers, dated 3 September 2025, and must:

Refer to the Stormwater Management Plan prepared by Edge (P03), dated 9 June 2026.

a) Include details of the proposed stormwater management system, including drainage works and retention, detention and discharges of stormwater to the drainage system.

Appendix C of the Stormwater Management Plan includes details of the stormwater management system including the location of the rainwater tanks as well as drainage connections and pits and construction details.

Appendix A of the Stormwater Management Plan also includes calculations demonstrating retention and discharge rates.

b) Set out how the stormwater management system will be managed on an ongoing basis.

Refer to Section 4.1.2 of the report for ongoing maintenance tasks and timing for the rainwater tank.