

**LEGEND**

LINETYPE	DESCRIPTION
---	TITLE
- - -	FENCE
---	EAVE / GUTTER
---	OVERHEAD WIRES
---	CONCRETE KERB AND CHANNEL
---	GARDEN BED
---	TOE OF BANK
---	TOP OF BANK
---	LINE MARKINGS
---	FOOTPATH
---	LINE MARKINGS
---	RETAINING WALL
---	EDGE OF BITUMEN
---	EDGE OF CONCRETE/FORMATION
---	KERB INVERT
---	GATE

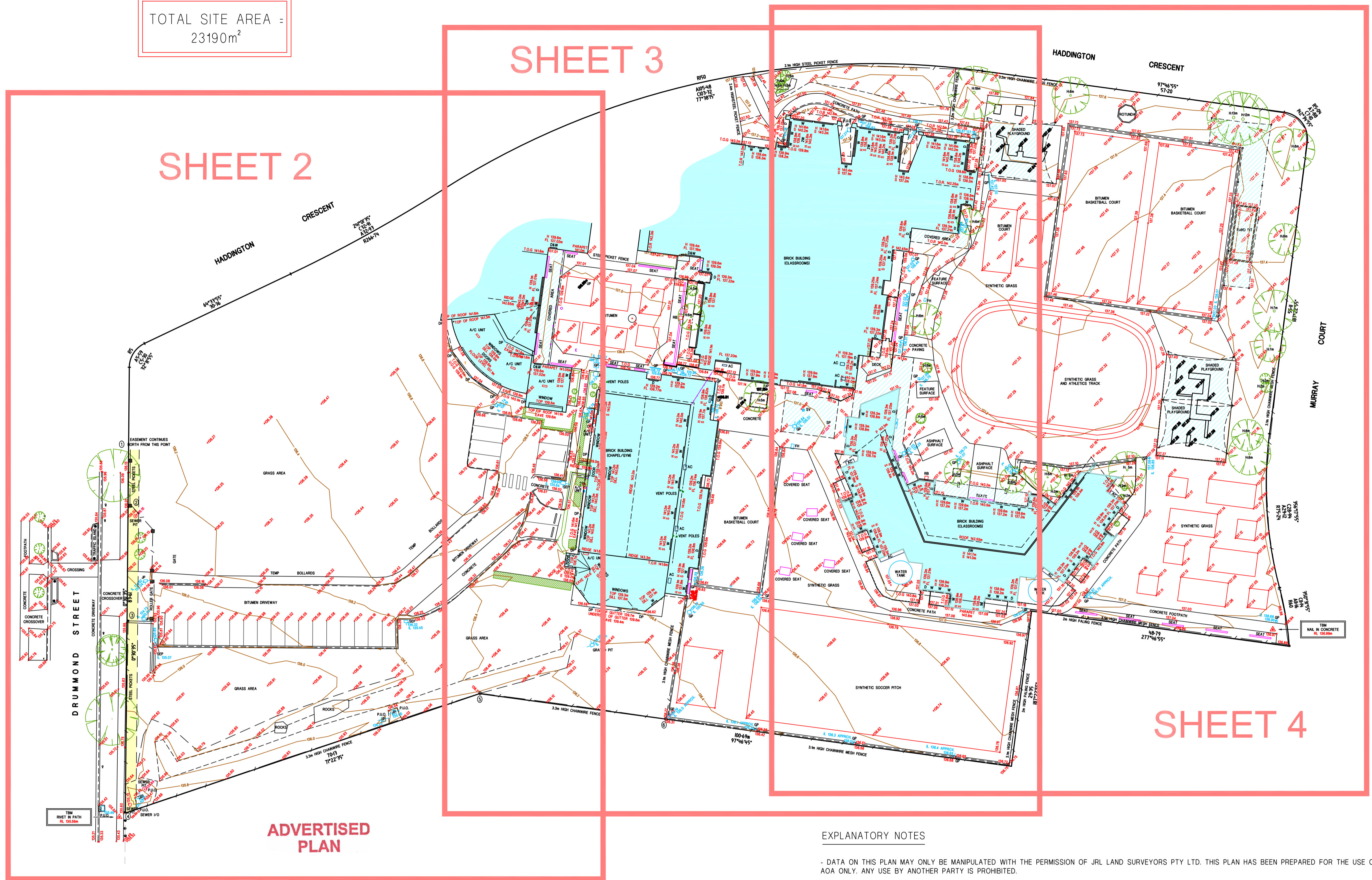
  

HATCHING	DESCRIPTION
[Blue Hatch]	SITE BUILDINGS
[White Hatch]	OPEN COVERED AREAS
[Yellow Hatch]	2.0m WIDE DRAINAGE & SEWERAGE EASEMENT
[Green Hatch]	VEGETATION

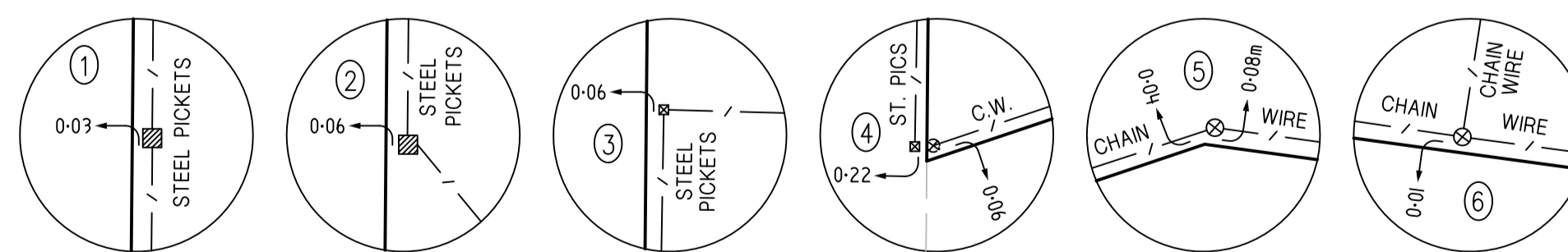
  

SYMBOL	DESCRIPTION
△	TBM
○	ELECTRICITY POLE
○	ELECTRICITY PIT
○	LIGHT POLE
○	SINGLE TREE
○	GRATED PIT
○	JUNCTION PIT
○	SIDE ENTRY PIT
○	FIRE HYDRANT
○	TELECOMMUNICATIONS PIT
○	SIGN POST
○	TOP OF GUTTER
○	UNDERSIDE OF GUTTER
○	TRAFFIC POLE
○	LOCATION OF FLOOR LEVEL MEASUREMENT
○	DOWNPIPE
○	PIT INVERT LEVEL
○	SEWER PIT
○	BOLLARDS
○	PIT UNABLE TO OPEN
○	BASKETBALL RING
○	GAS METER
○	WATER METER
○	DRINKING FOUNTAIN
○	DOOR
○	WINDOW
○	SECOND STOREY WINDOW
○	UNCLASSIFIED PIT
○	RUBBISH BIN
○	FIRE HYDRANT
○	STOP VALVE
○	FIRE HYDRANT
○	DOWN PIPE
○	AC UNIT
○	INVERT LEVEL
○	TOP OF GUTTER
○	TOP OF ROOF
○	AC UNIT
○	INVERT LEVEL
○	TOP OF GUTTER
○	TOP OF ROOF
○	PARAPET
○	SEWERAGE PIT
○	VENT PIPE

TOTAL SITE AREA = 23190m<sup>2</sup>



**ENLARGEMENTS (NOT TO SCALE)**



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**EXPLANATORY NOTES**

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- **WARNING:** FENCING ENCRDACHING INTO THE SUBJECT SITE BOUNDARIES MAY BE PROTECTED UNDER SECTION 8 OF THE LIMITATIONS OF ACTIONS ACT. JRL LAND SURVEYORS HAS NOT CONDUCTED A RE-ESTABLISHMENT SURVEY TO DETERMINE THE EXISTENCE OF ANY SUCH ENCRDACHMENTS.
- LEVEL DATUM IS AUSTRALIAN HEIGHT DATUM BASED ON WILL WILL ROOK PM28 (IRL 139.604)
- WHILE REASONABLE EFFORT HAS BEEN MADE TO LOCATE ALL FEATURES AND SERVICES WITHIN THE SURVEYED AREA, JRL LAND SURVEYORS CAN NOT BE HELD RESPONSIBLE FOR FEATURES/SERVICES CONCEALED, BURIED OR UNDER CONSTRUCTION AT THE TIME OF SURVEY.
- NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN. ANY REQUIREMENT FOR PRECISE SERVICE LOCATION CAN ONLY BE MET BY PROVING OF SERVICES ONSITE
- TREE CANOPY DIAMETERS ARE SHOWN TO APPROXIMATE SCALE
- FLOOR LEVELS ARE TYPICALLY MEASURED AT THE ENTRY TO A BUILDING. VARIATIONS WITHIN THE BUILDING MAY NOT BE DETECTED BY SURVEY.
- CONTOUR INTERVAL IS 0.20m

SCALE: 1400 @A1
REF: 20-137 D6 COMBINED
SHEET 1 of 4
REV:

RYAN LANSFIELD LICENSED SURVEYOR		
This plan and survey have been completed under my direction and supervision, in accordance with the Surveying Act 2004.		
DATE: 12/08/2022		
SURVEY BM/DG 27/10/22	DRAWN BM 03/02/23	CHECKED MC 06/02/23

SCALE: 4 0 4 8 12 16 20 40			
LENGTHS ARE IN METRES			
REV.	AMENDMENTS	DATE	APPD.

**JRL** LAND SURVEYORS  
PTV. LTD.  
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Phone: 03 9425 9944 Email: mail@jrl.net.au Web: jrl.net.au

PLAN OF RE-ESTABLISHMENT AND DETAIL SURVEY 5-9 DRUMMOND STREET GREENVALE 3059	
TITLE REFERENCES: Vol 11632 Fol 032	LAST PLAN REF: PC374395X
CLIENT: MUSK STUDIO	MUNICIPALITY: HUME CITY COUNCIL

PLAN OF FEATURE AND LEVEL SURVEY

5-9 DRUMMOND STREET  
GREENVALE 3059

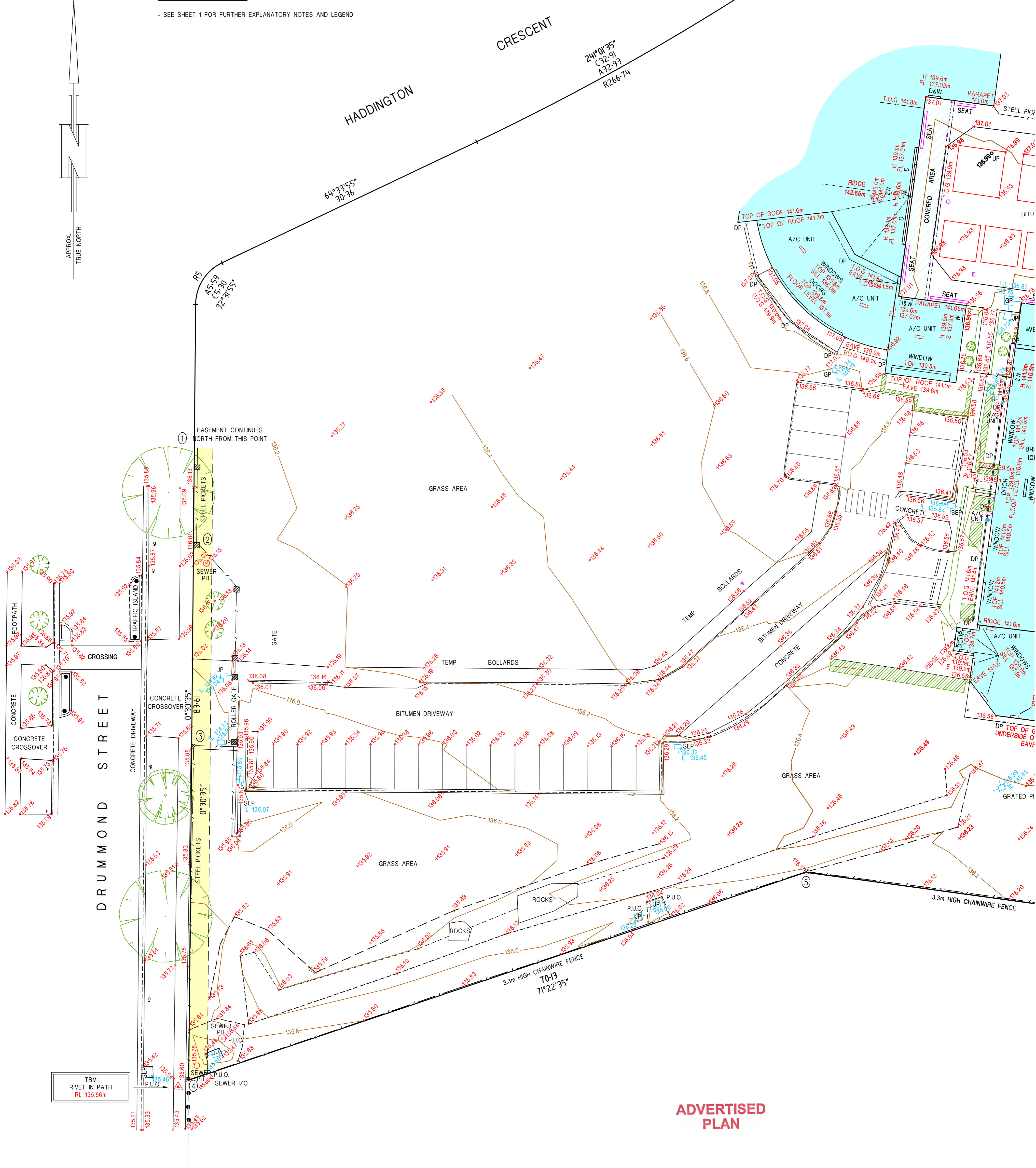
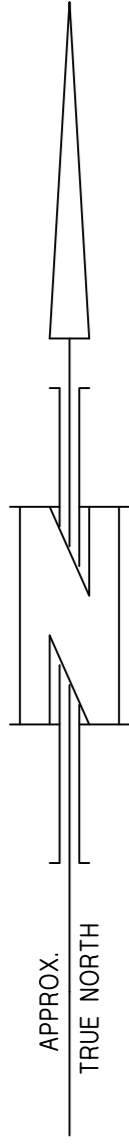
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MUNICIPALITY: HUME CITY COUNCIL

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EXPLANATORY NOTES

- SEE SHEET 1 FOR FURTHER EXPLANATORY NOTES AND LEGEND



ADVERTISED PLAN

SCALE: 1200	@A1
REF: 20-137 D6 COMBINED	
SHEET 2 of 4	
REVISION:	

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DATE:		
SURVEY BM/DG 27/10/22	DRAWN BM 03/02/23	CHECKED MC 06/02/23

SCALE:	2 0 2 4 6 8 10 20		
LENGTHS ARE IN METRES			
REV.	AMENDMENTS	DATE	APPD.

  
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PLAN OF FEATURE AND LEVEL SURVEY

5-9 DRUMMOND STREET  
GREENVALE 3059

TITLE REFERENCES: Vol 11632 Fol 032	LAST PLAN REF: PC374395X
CLIENT: MUSK STUDIO	MUNICIPALITY: HUME CITY CONCL



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PLAN

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SHEET 3 of 4	
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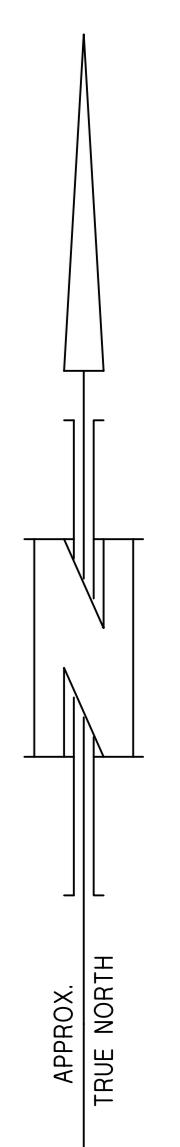
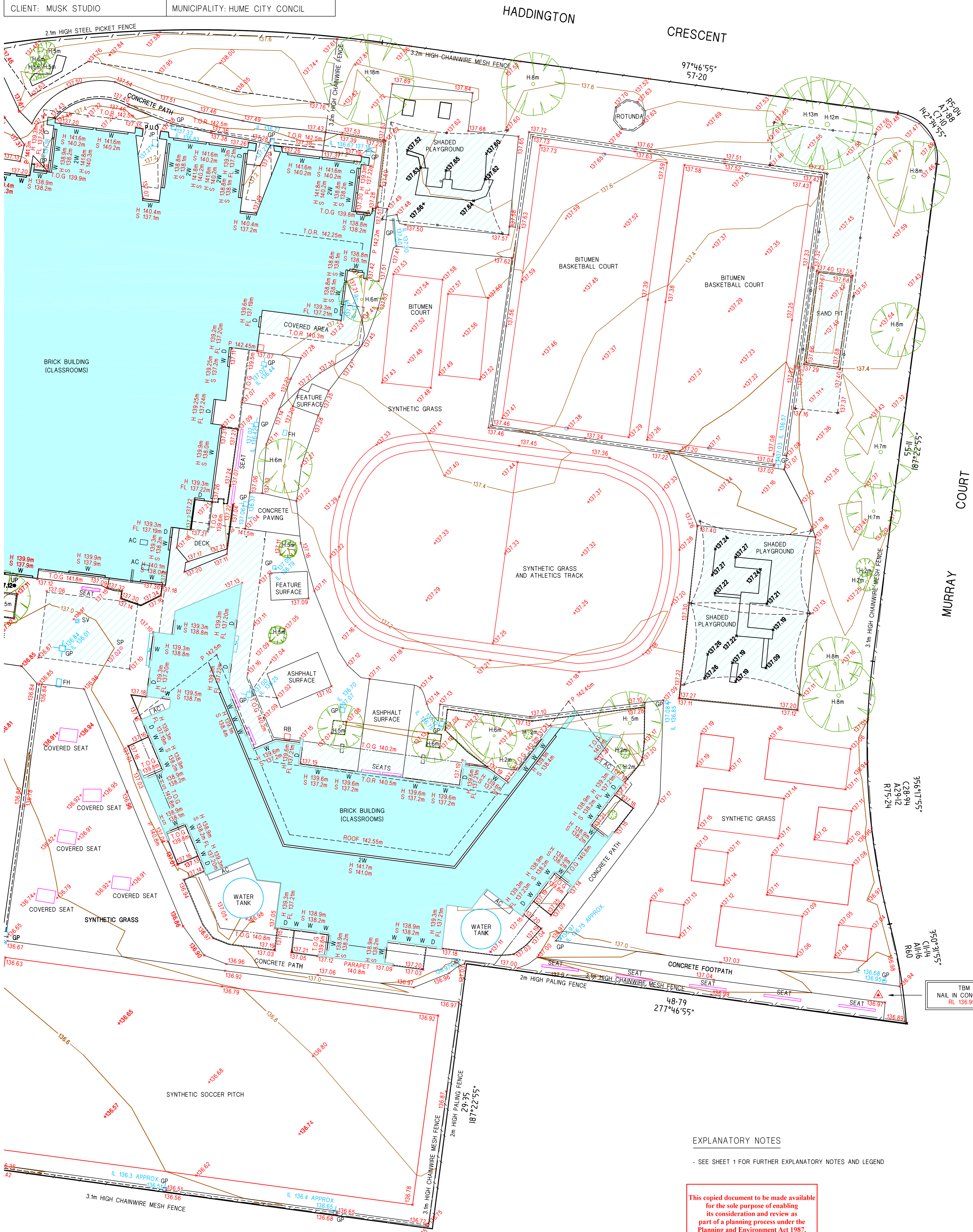
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