

77-83 SUTTON STREET NORTH MELBOURNE VIC 3051

25/07/23

S72 AMENDMENT SUBMISSION
REVISION_P5

ADVERTISED
PLAN

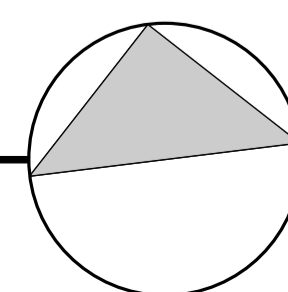
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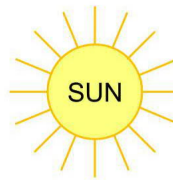


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SHEET NO.	SHEET NAME	SHEET NO.	SHEET NAME
TP000	COVER PAGE	TP152	TYPICAL FLOOR PLANS
TP001	CONTENTS	TP153	TYPICAL FLOOR PLANS
TP050	SURVEY	TP154	TYPICAL FLOOR PLANS
TP051	DEMOLITION PLAN	TP155	TYPICAL FLOOR PLANS
TP100	PROPOSED BASEMENT LEVEL 2 FLOOR PLAN	TP200	PROPOSED ELEVATIONS SHEET 1
TP101	PROPOSED BASEMENT LEVEL 1 FLOOR PLAN	TP201	PROPOSED ELEVATIONS SHEET 2
TP102	PROPOSED GROUND LEVEL FLOOR PLAN	TP202	STREETSCAPE ELEVATIONS
TP103	PROPOSED LEVEL 1 FLOOR PLAN	TP203	STREETSCAPE ELEVATIONS
TP104	PROPOSED LEVEL 2 FLOOR PLAN	TP204	STREETSCAPE ELEVATIONS
TP105	PROPOSED LEVEL 3 FLOOR PLAN	TP205	STREETSCAPE ELEVATIONS
TP106	PROPOSED LEVEL 4 FLOOR PLAN	TP300	PROPOSED SECTIONS
TP107	PROPOSED LEVEL 5 FLOOR PLAN	TP301	PROPOSED SECTIONS
TP108	PROPOSED LEVEL 6 FLOOR PLAN	TP302	STREETSCAPE SECTION
TP109	PROPOSED LEVEL 7 FLOOR PLAN	TP400	SHADOW DIAGRAMS 9AM
TP110	PROPOSED LEVEL 8 FLOOR PLAN	TP401	SHADOW DIAGRAM 12PM
TP111	PROPOSED LEVEL 9 FLOOR PLAN	TP402	SHADOW DIAGRAM 3PM
TP112	PROPOSED LEVEL 10 FLOOR PLAN	TP800	MATERIAL SCHEDULE
TP113	PROPOSED LEVEL 11 FLOOR PLAN	TP801	DEVELOPMENT SUMMARY
TP114	PROPOSED ROOF PLAN		
TP150	TYPICAL FLOOR PLANS		
TP151	TYPICAL FLOOR PLANS		

ADVERTISED PLAN





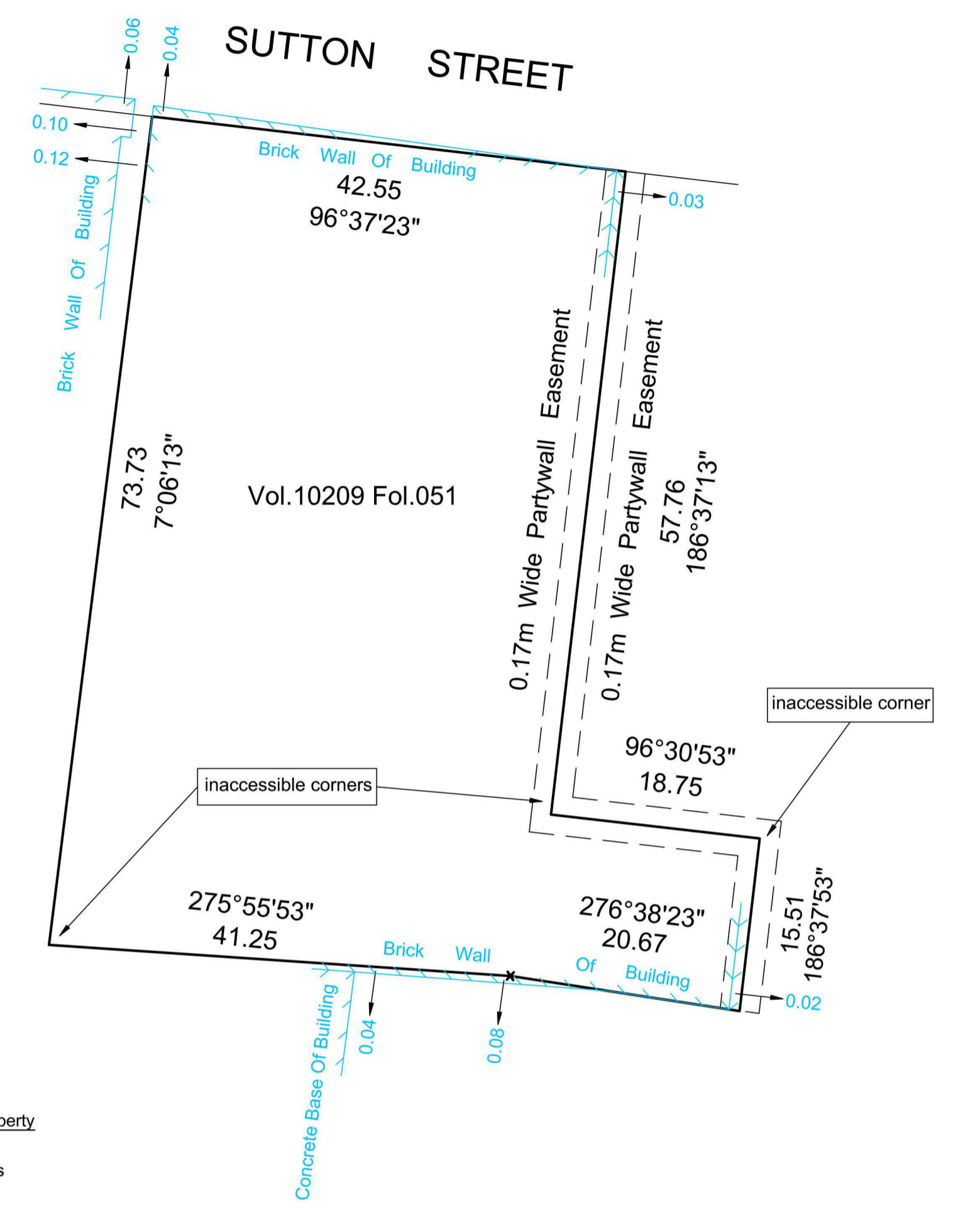
MGA 2020 Zone 55

NOTE: For Fencing Encroachments
See notations regarding possessory rights and adjustments to be made to the siting of buildings.

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CHECK SURVEY INSERT

NOT TO SCALE
Title boundaries are shown by a thick continuous line. Discrepancies between title boundary and occupation (ie. fences, etc.) have been exaggerated and are not to scale.



NOTATIONS :-
Possessory Rights
This survey re-establishes certificate of title boundaries. It does not attempt to determine possessory rights which may apply to the land. Possessory title rights apply to land occupied in excess of 15 years. If excess land is occupied amendments of title under Section 99 / 60 TLA can be considered.
LESS LAND - Siting of Buildings where fences encroach into property
Where fences encroach into the title dimensions the design and siting of the proposed buildings should be adjusted or cut back to take possessory rights of the adjoining properties into account.
MORE LAND - Siting of Buildings where fences encroach into adjoining property
Where fences encroach onto the adjoining property design and siting of the proposed buildings should remain relative to the certificate of title boundaries but can be moved over if and once an amendment of title is registered at Land Registry.

Note
For boundary encroachments see Check Survey Insert

LEGEND

- Native Tree
- Fruit Tree
- Exotic Tree
- Water Valve/ Utility
- Water Meter
- Hydrant
- Electrical Power Pole
- Electrical Pit
- Telstra Pit
- Traffic Sign Post
- Side Entry Pit
- Grated Pit
- Drainage Pit
- Sewerage Pit
- Sewer Vent/ Utility

Symbols shown are not to scale but are to the centre of objects
Tree spreads have been shown to scale

LEGEND



ADVERTISED PLAN

Neighbourhood & Site Description Plan
Includes Check Survey & Levels (A.H.D. Level Datum Vide PM281)

Notations:
The information shown on this plan is intended for Town Planning purposes only and is not intended for Working or Construction drawings.
Buildings shown on this plan are the footprints of the buildings at ground level. For roof details refer to photographs provided.
Only visible services have been located. Prior to further works all the relevant authorities should be contacted for possible location of underground services and their policies for building near them.
Overhead Cables are not shown.
The information shown on this plan has been provided as a signed hard copy plan and also in digital format. The hard copy takes precedence over the digital data and no guarantee can be given to the transfer of data to another system.
Offset dimensions shown on plan are to title boundary unless otherwise stated.
Levels on windows have been taken at window head

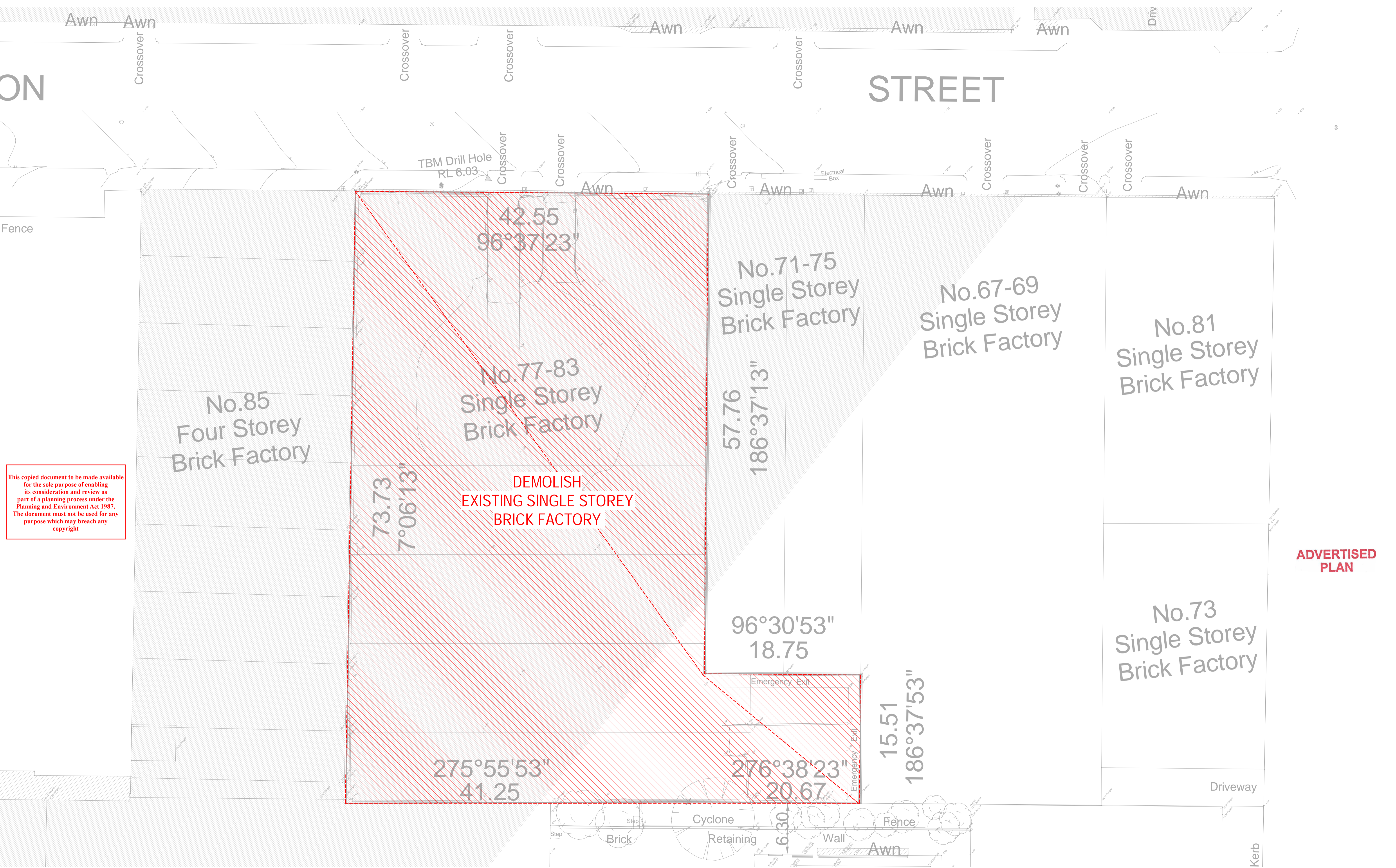
Scale: 1:600 Original Sheet Size A1
LENGTHS ARE IN METRES

Job Address: **77-83 Sutton Street - North Melbourne**
Job Reference: 14443 File No: 191018 Site Desc Plan - Ver1.dwg

I, T. Trantino, certify that this plan correctly represents the occupation as it exists on the ...18th... day of ...October... 2019.
Licensed Surveyor Date:

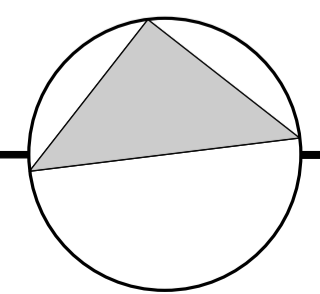
Di MASE BERRY & Co Pty Ltd
142(A) Sydney Road
Brunswick Vic 3056

LAND SURVEYORS
Tel: 9387 7577
Fax: 9387 8813

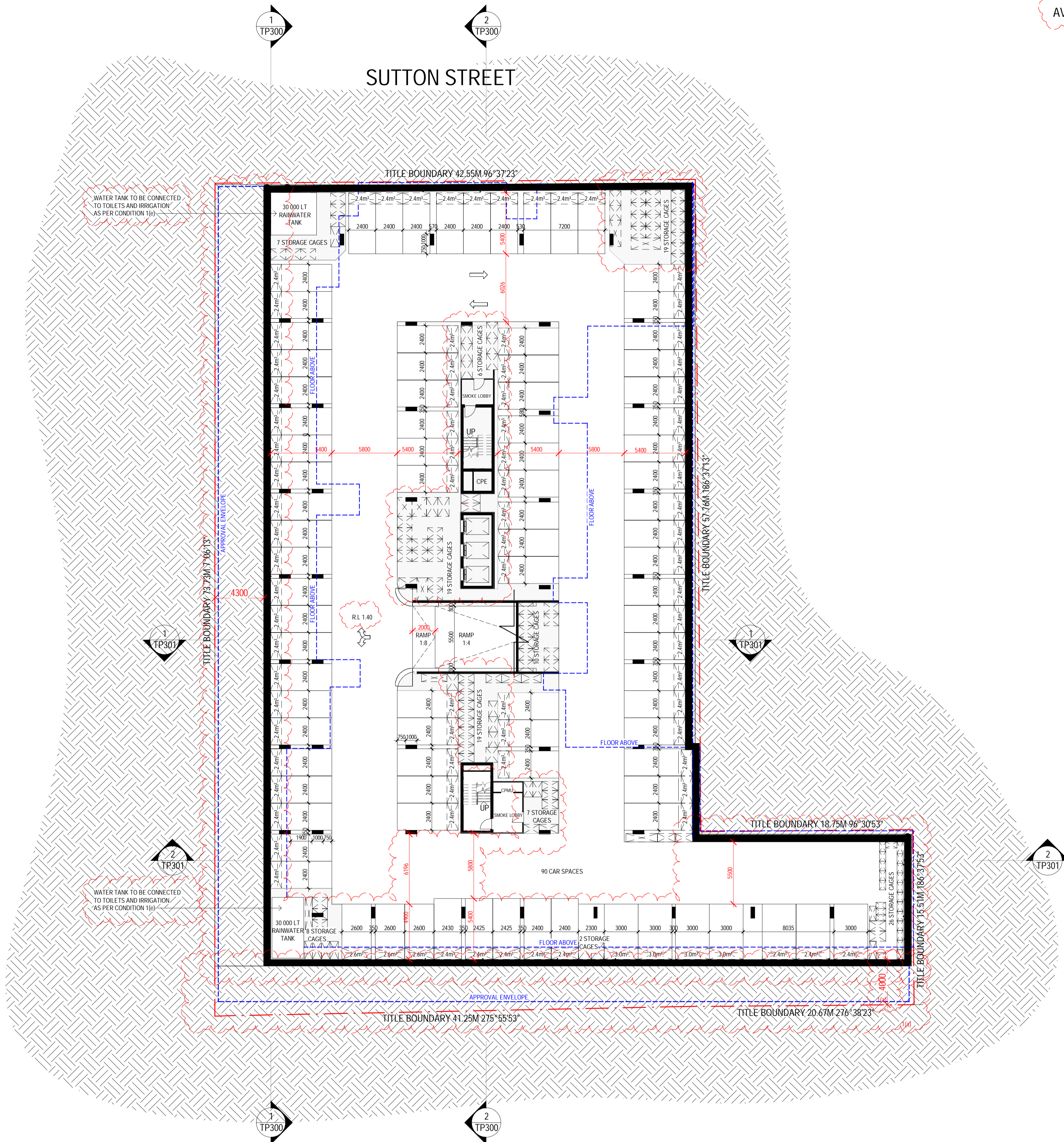


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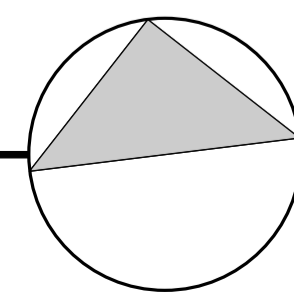


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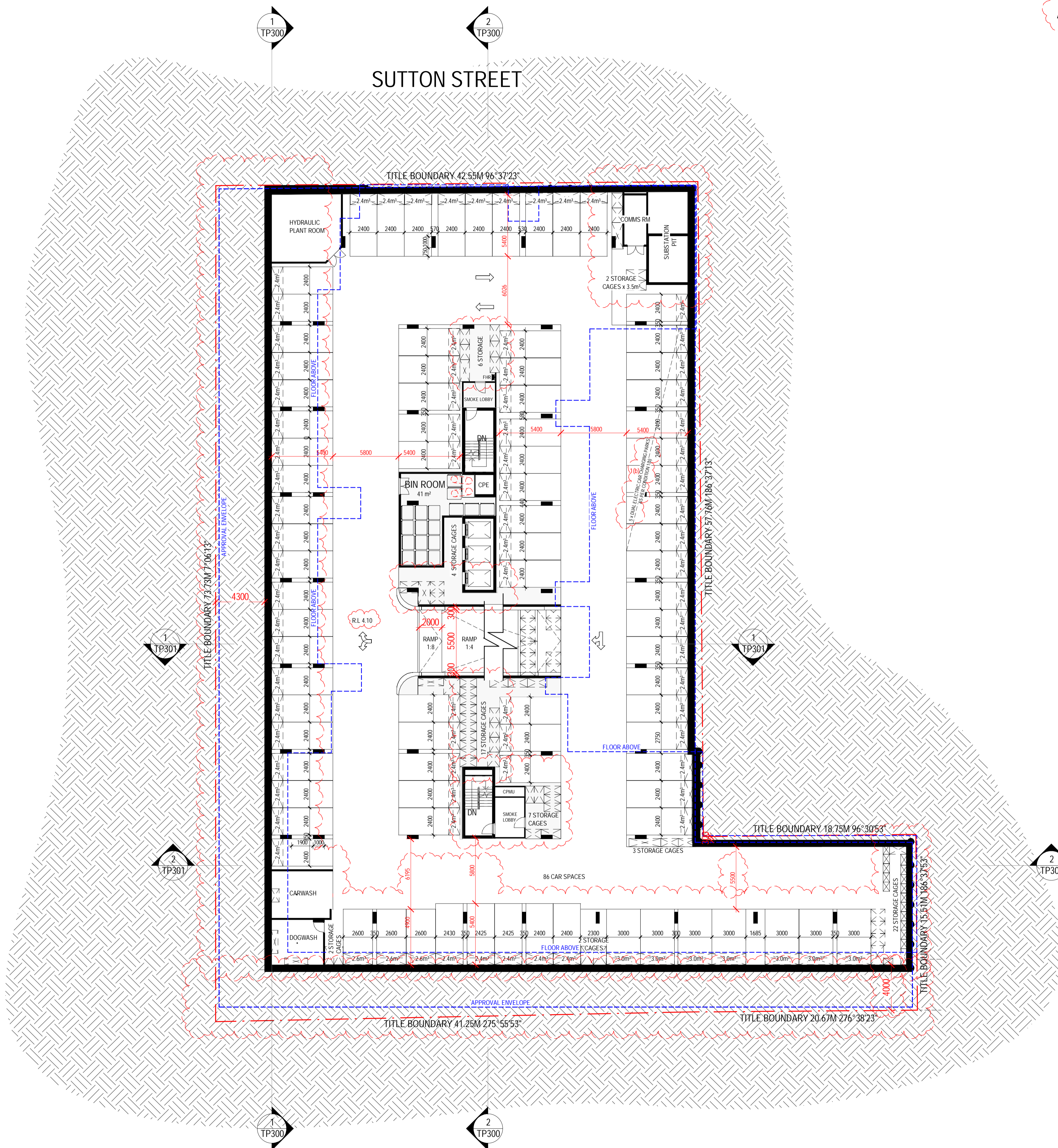


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P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
P3	DISCUSSION PLANS			01/07/2021
P4	S72 AMENDMENT/CONDITION 1 SUBMISSION			23/01/2023
P5	RFI RESPONSE			14/07/2023

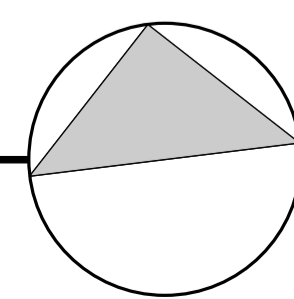


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AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)

SUTTON STREET

ADVERTISED PLAN

89 SUTTON STREET VACANT SITE

85 SUTTON STREET 6 STOREY BRICK BUILDING

71-75 SUTTON STREET SINGLE STOREY BRICK FACTORY

67-69 SUTTON STREET SINGLE STOREY BRICK FACTORY

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74-88 MARK STREET SINGLE STOREY BRICK FACTORY

62-72 MARK STREET TRIPLE STOREY RENDERED FACTORY

CARPARK

DOUBLE STOREY BRICK FACTORY

63-71 BOUNDARY ROAD SINGLE STOREY CONCRETE FACTORY

EXPOSED FIRE BOOSTER, GLASS ON BOTH SIDES WITH VISUAL LINK THROUGH TO FOOD AND DRINKS PREMISE BEHIND.

PEDESTRIAN SIGHT TRIANGLES CONVEX MIRROR

SEATING AREA AS PER CONDITION 1(K)

WINDOW SEAT

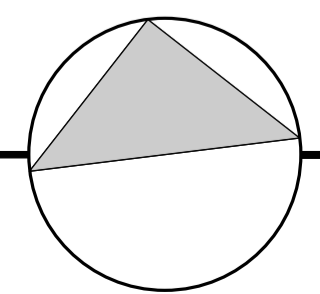
AREA SECURED OUT OF WORK HOURS

SPACES AND SHARED AREA IN ACCORDANCE WITH AS2890-6 OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES

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GATE - INTERIM UNTIL LANEWAY IS EXTENDED BEYOND SITE

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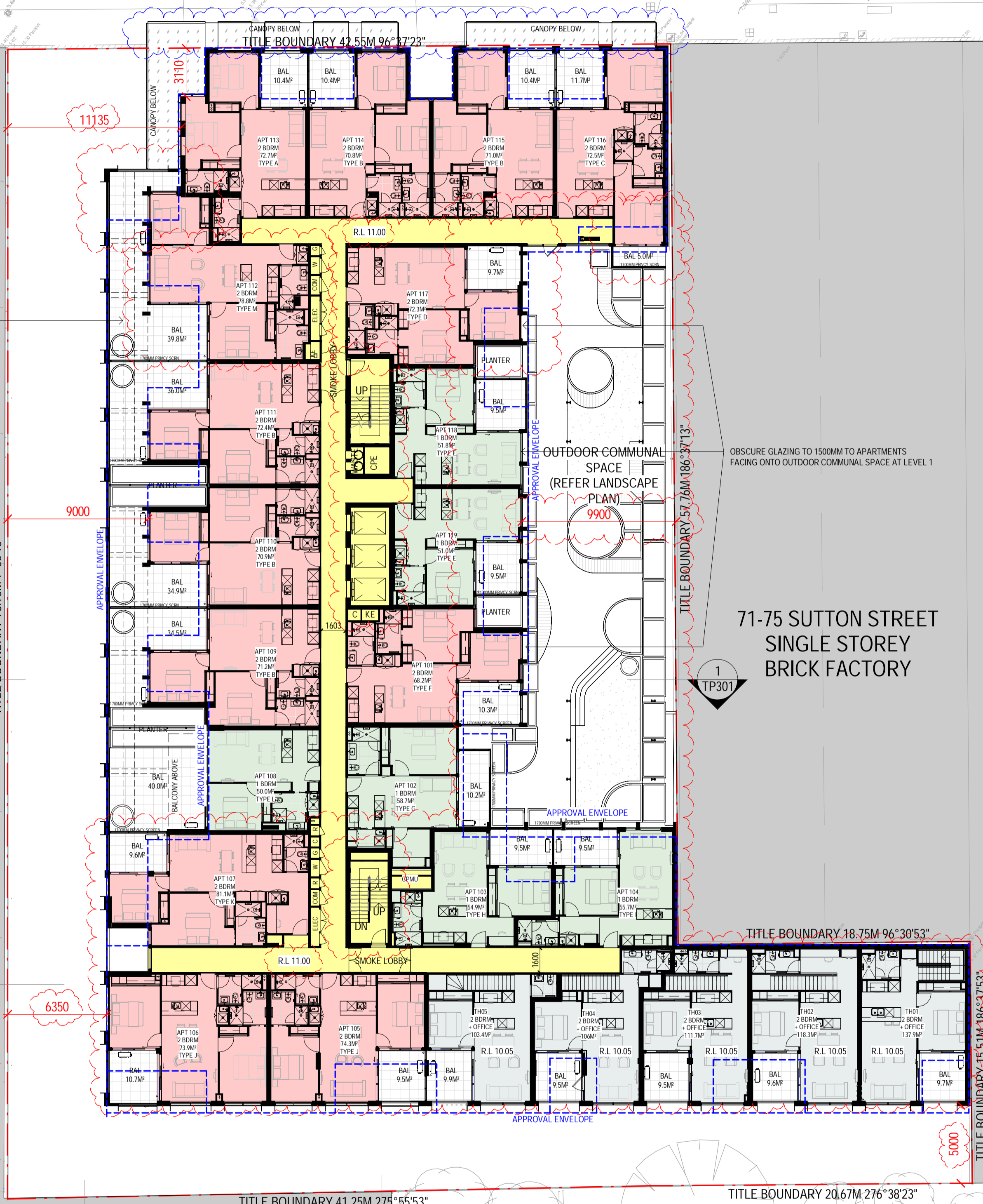
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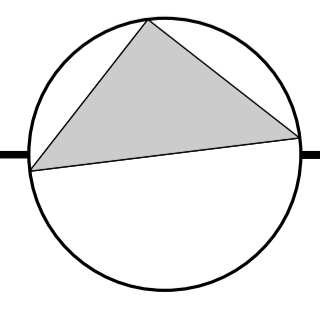
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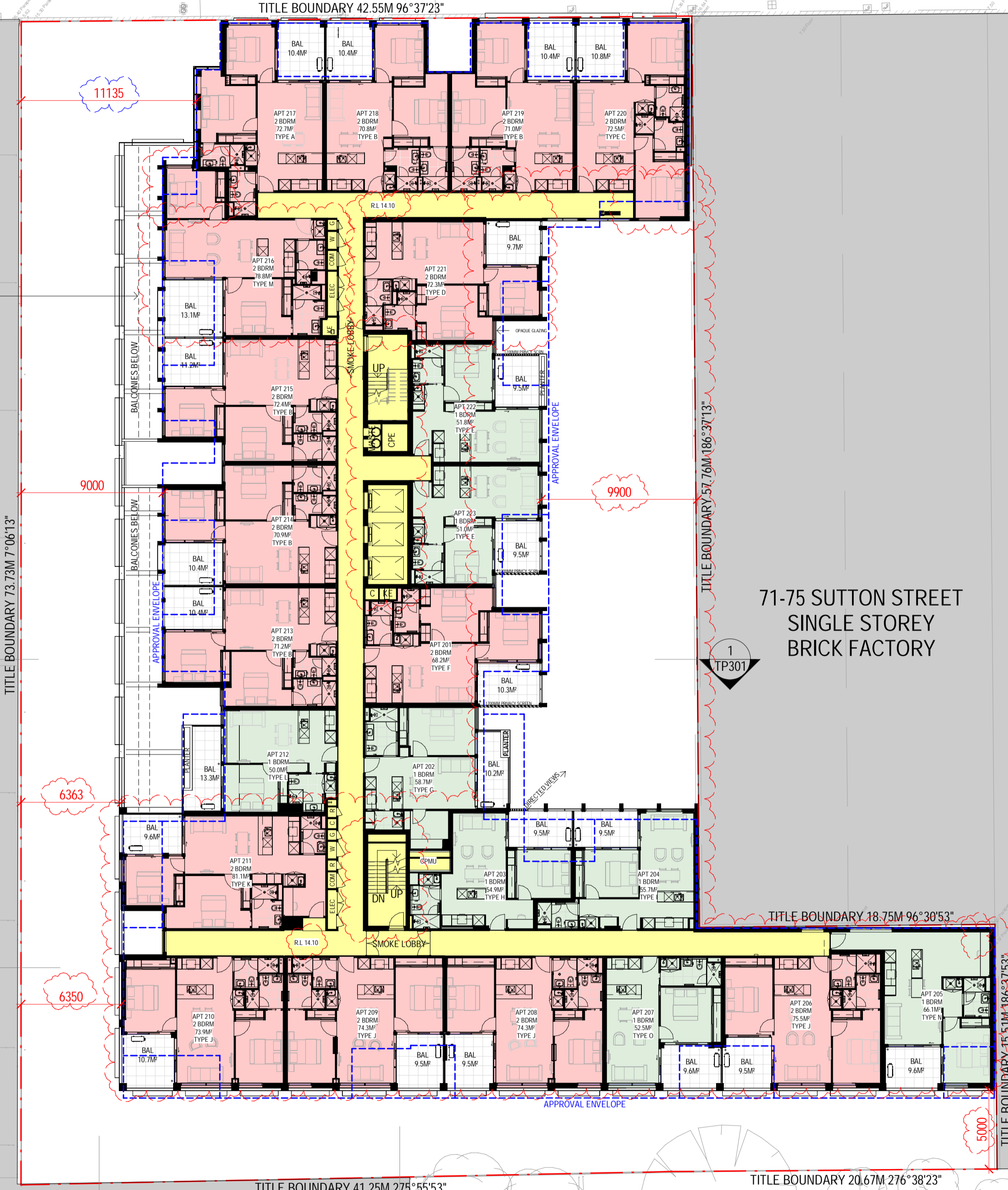
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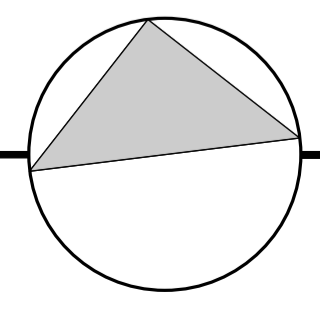
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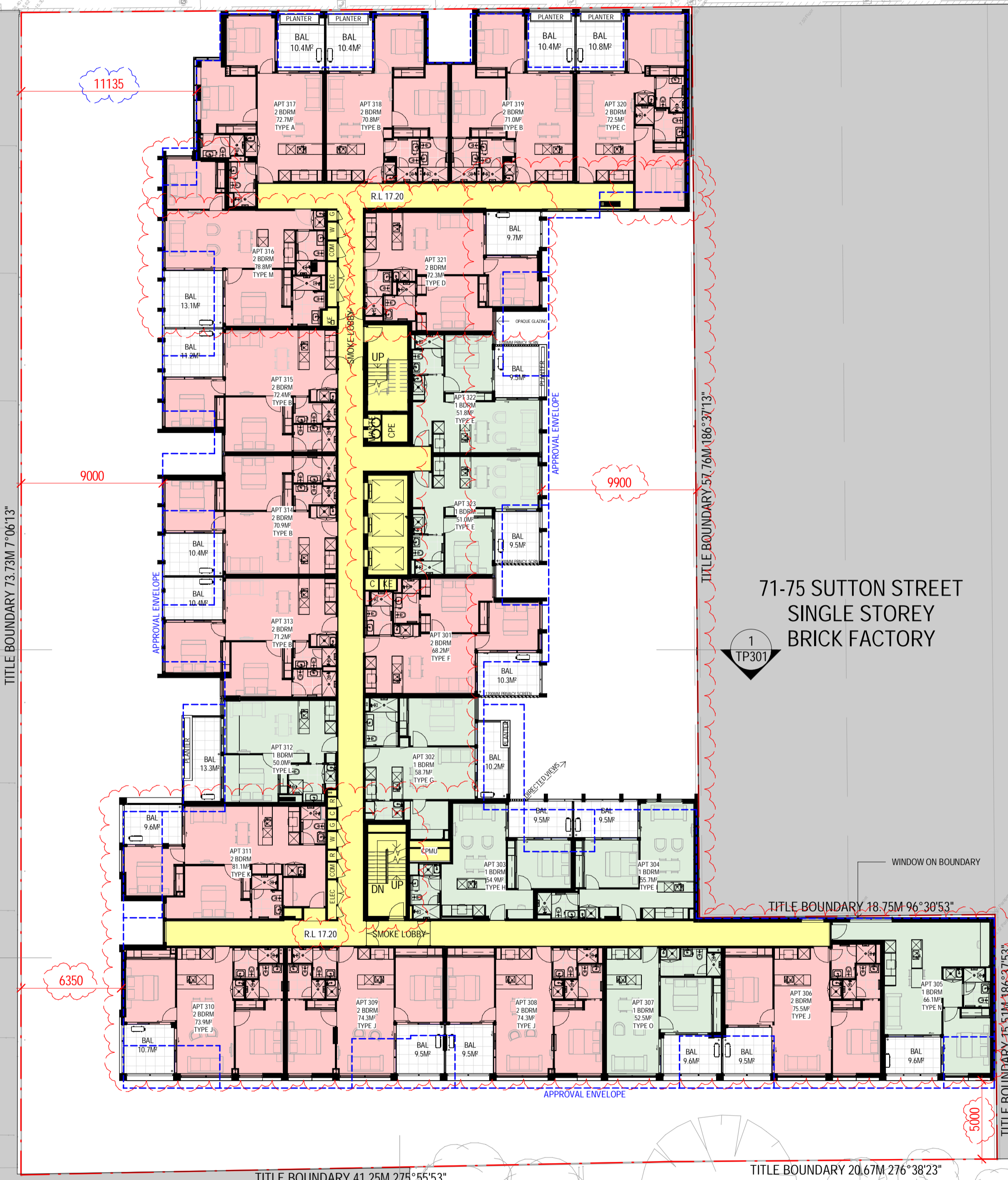
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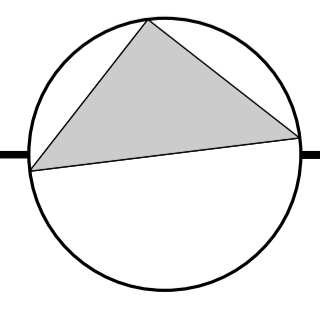
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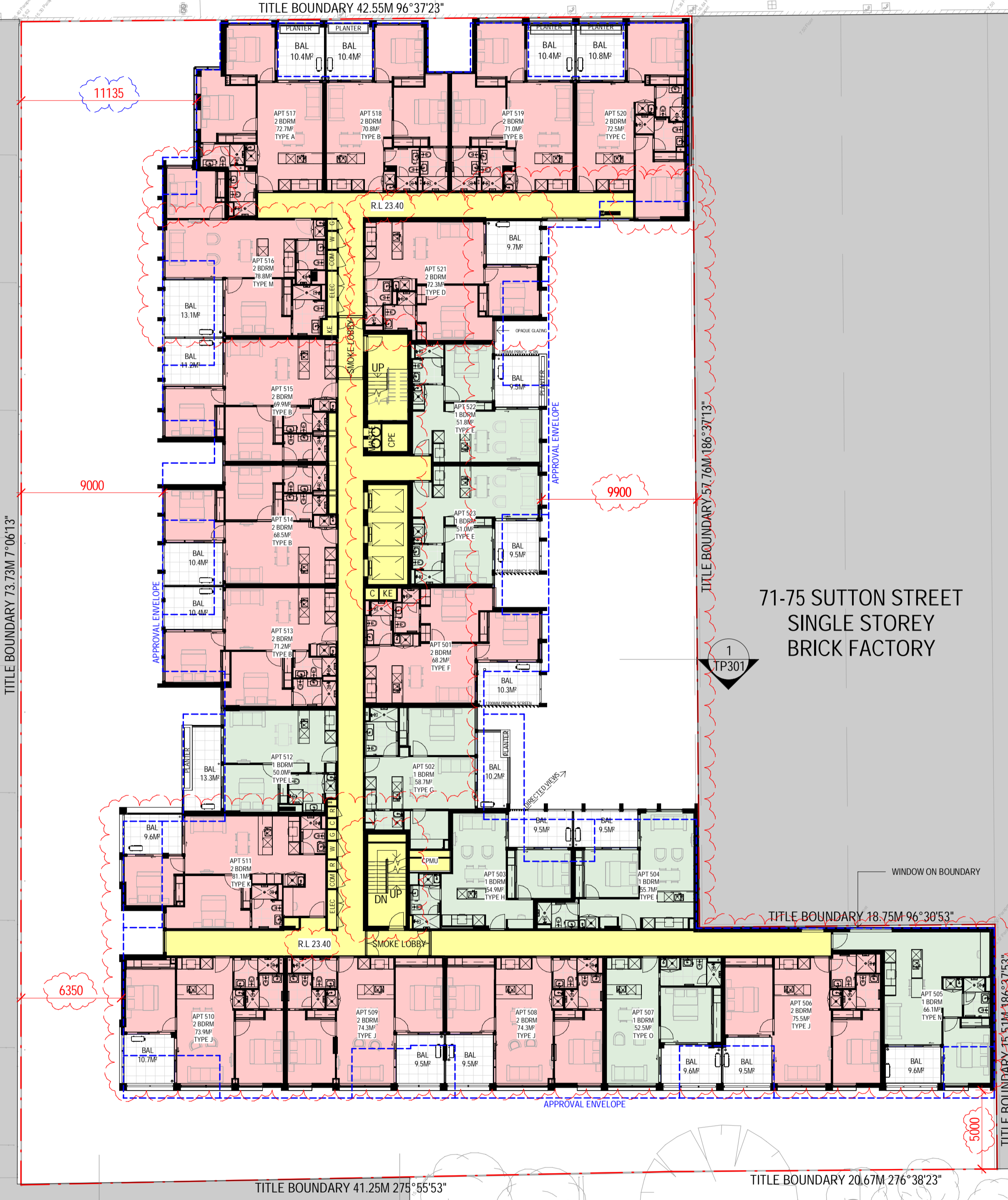
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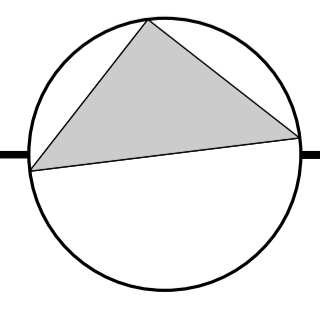
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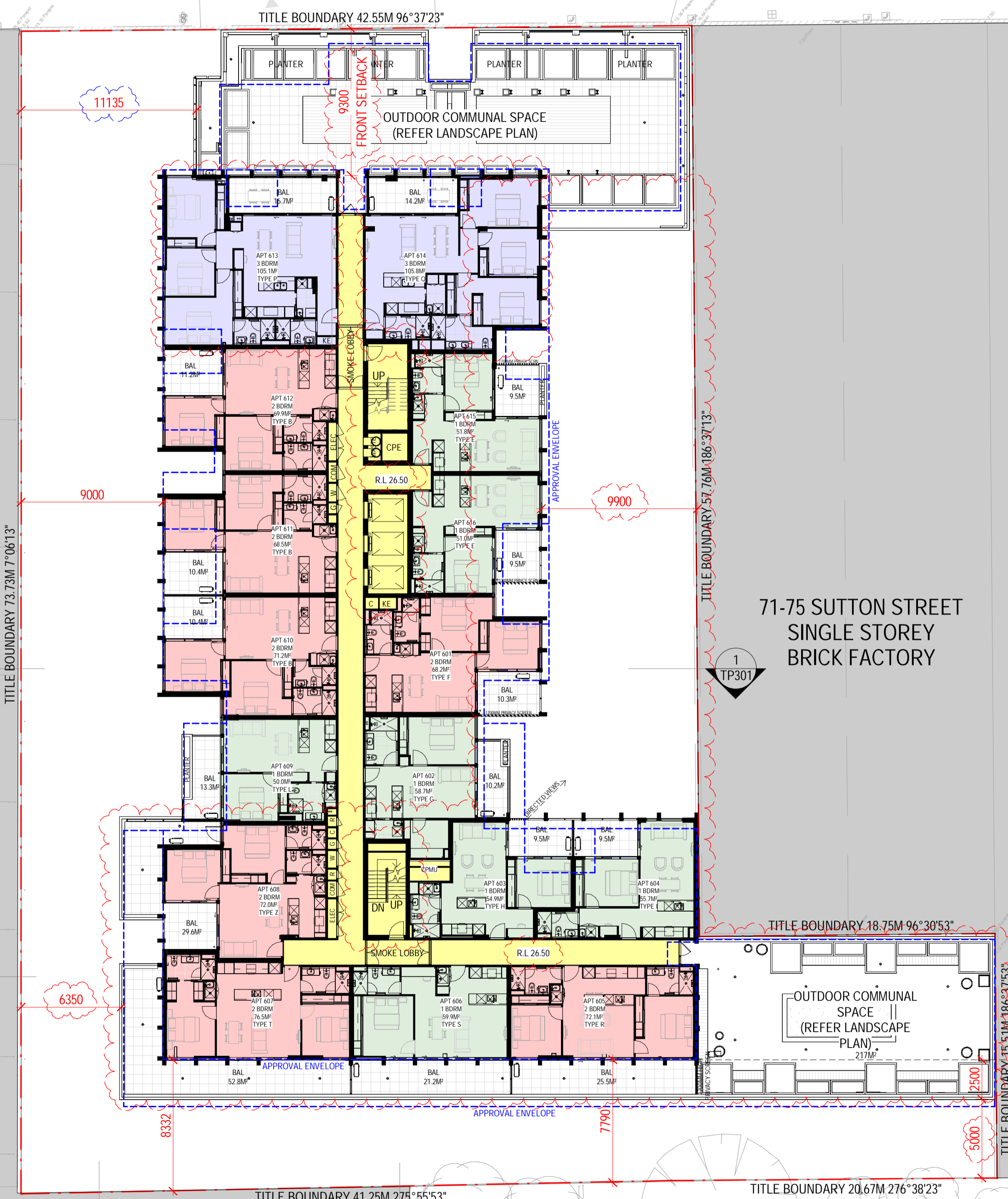
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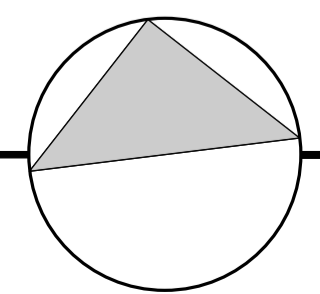
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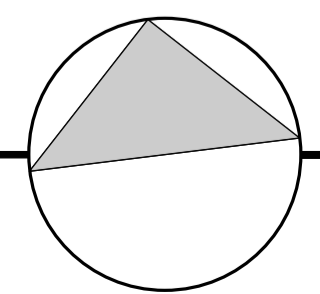
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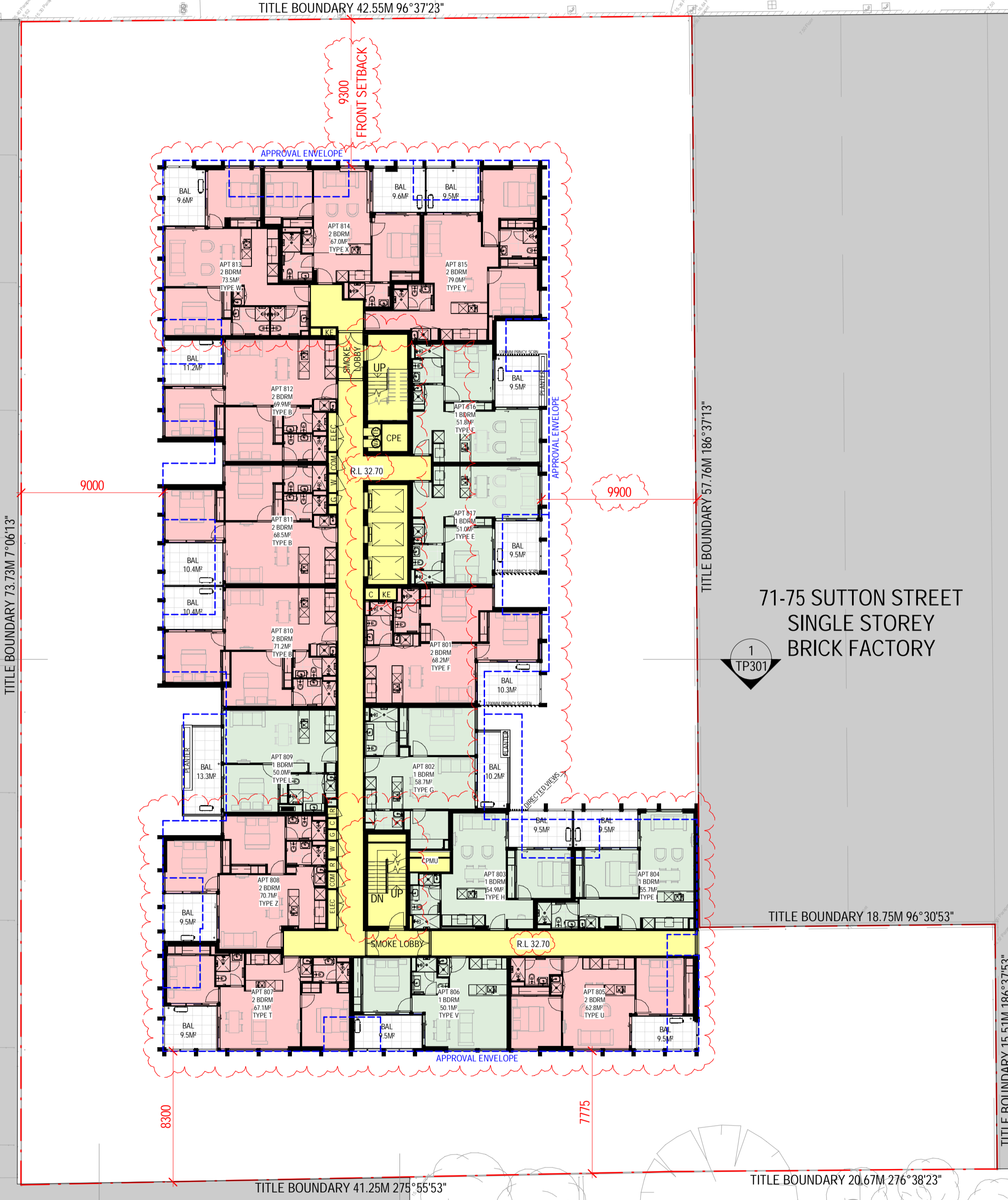
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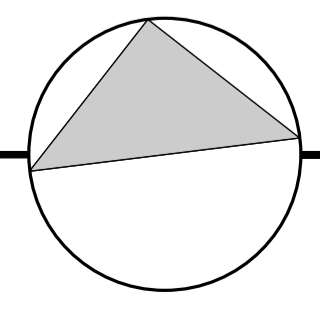
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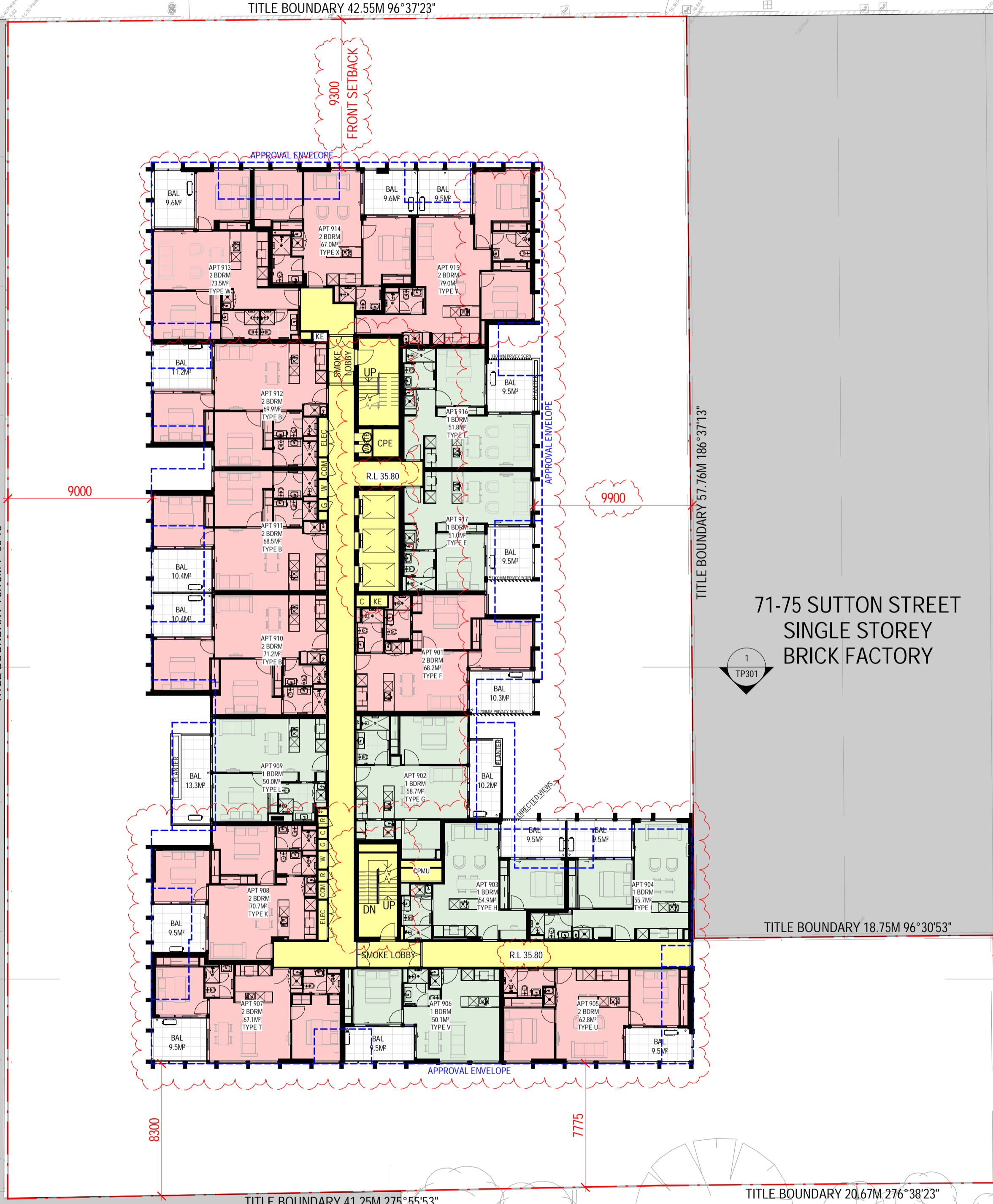
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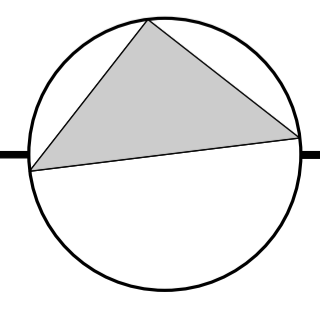
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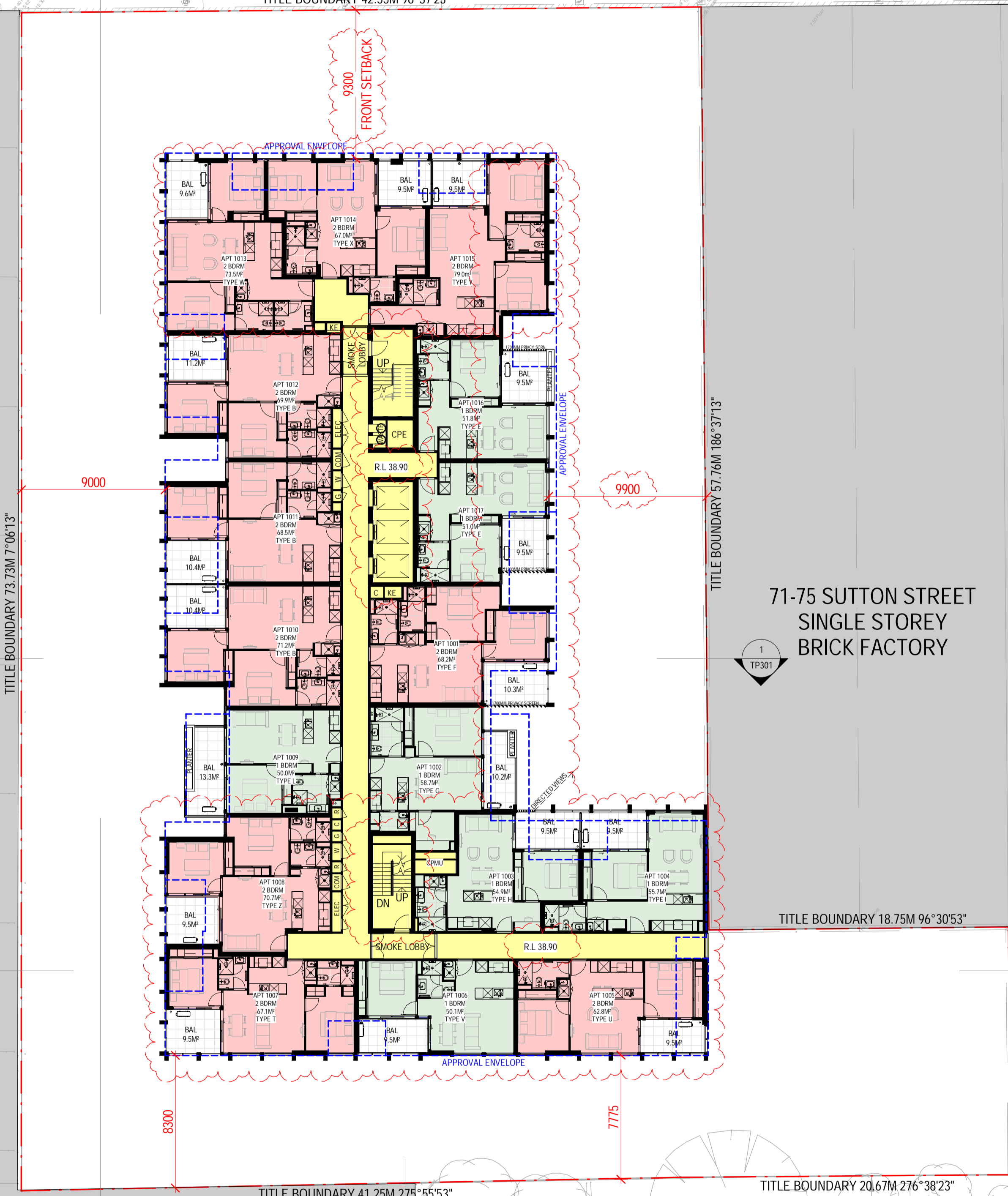
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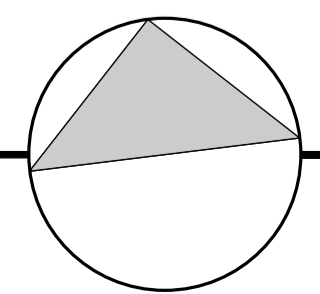
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CARPARK

DOUBLE STOREY BRICK FACTORY

63-71 BOUNDARY ROAD SINGLE STOREY CONCRETE FACTORY

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
P3	DISCUSSION PLANS			01/07/2021
P4	S72 AMENDMENT/CONDITION 1 SUBMISSION			23/01/2023
P5	RFI RESPONSE			14/07/2023



AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)

SUTTON STREET

TITLE BOUNDARY 42.55M 96°37'23"

ADVERTISED PLAN

89 SUTTON STREET VACANT SITE

85 SUTTON STREET 6 STOREY BRICK BUILDING

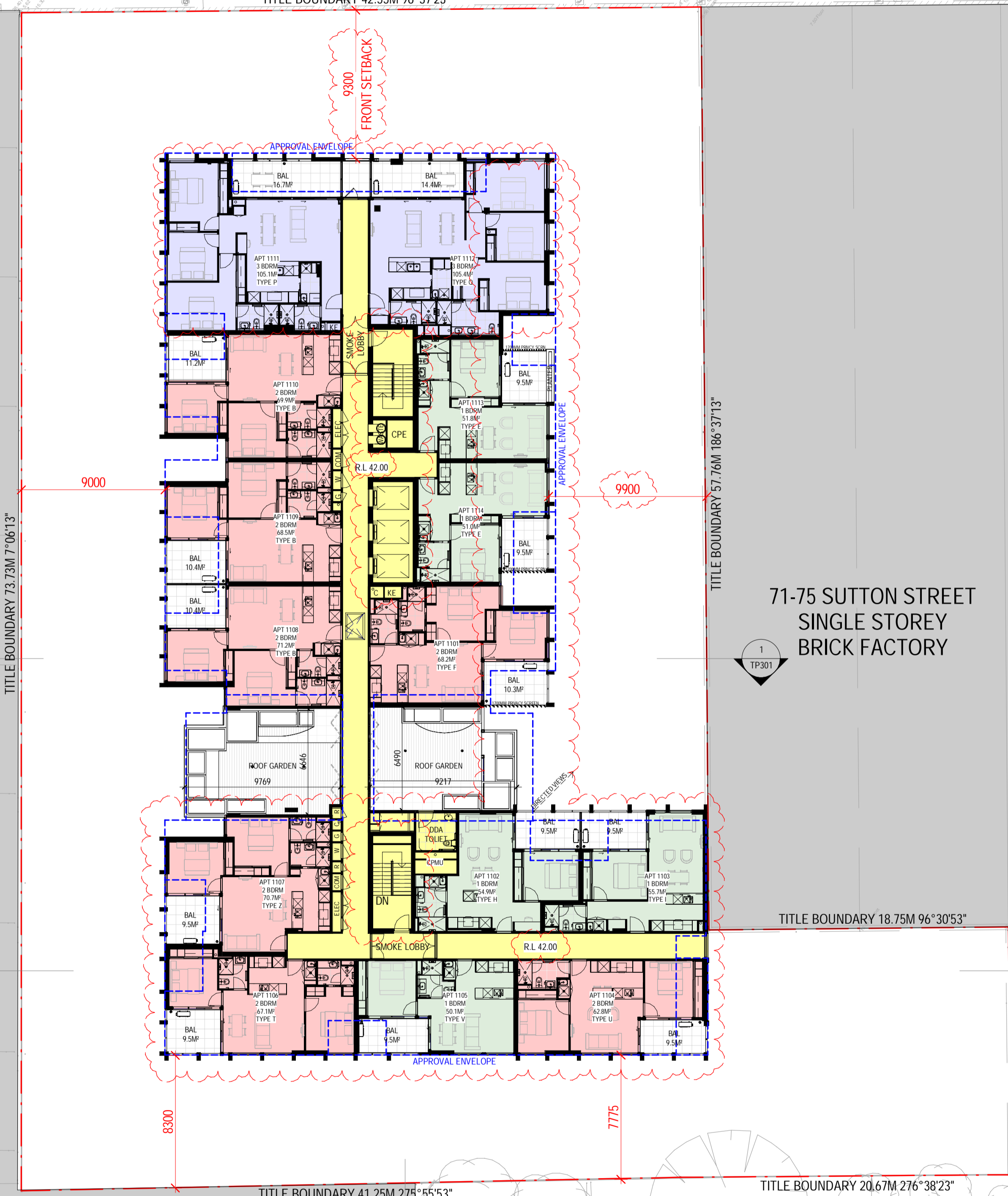
71-75 SUTTON STREET SINGLE STOREY BRICK FACTORY

67-69 SUTTON STREET SINGLE STOREY BRICK FACTORY

81 BOUNDARY ROAD SINGLE STOREY BRICK FACTORY

73 BOUNDARY ROAD SINGLE STOREY BRICK FACTORY

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74-88 MARK STREET SINGLE STOREY BRICK FACTORY

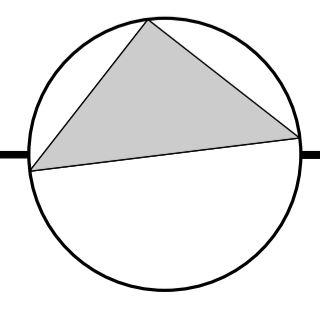
62-72 MARK STREET TRIPLE STOREY RENDERED FACTORY

CARPARK

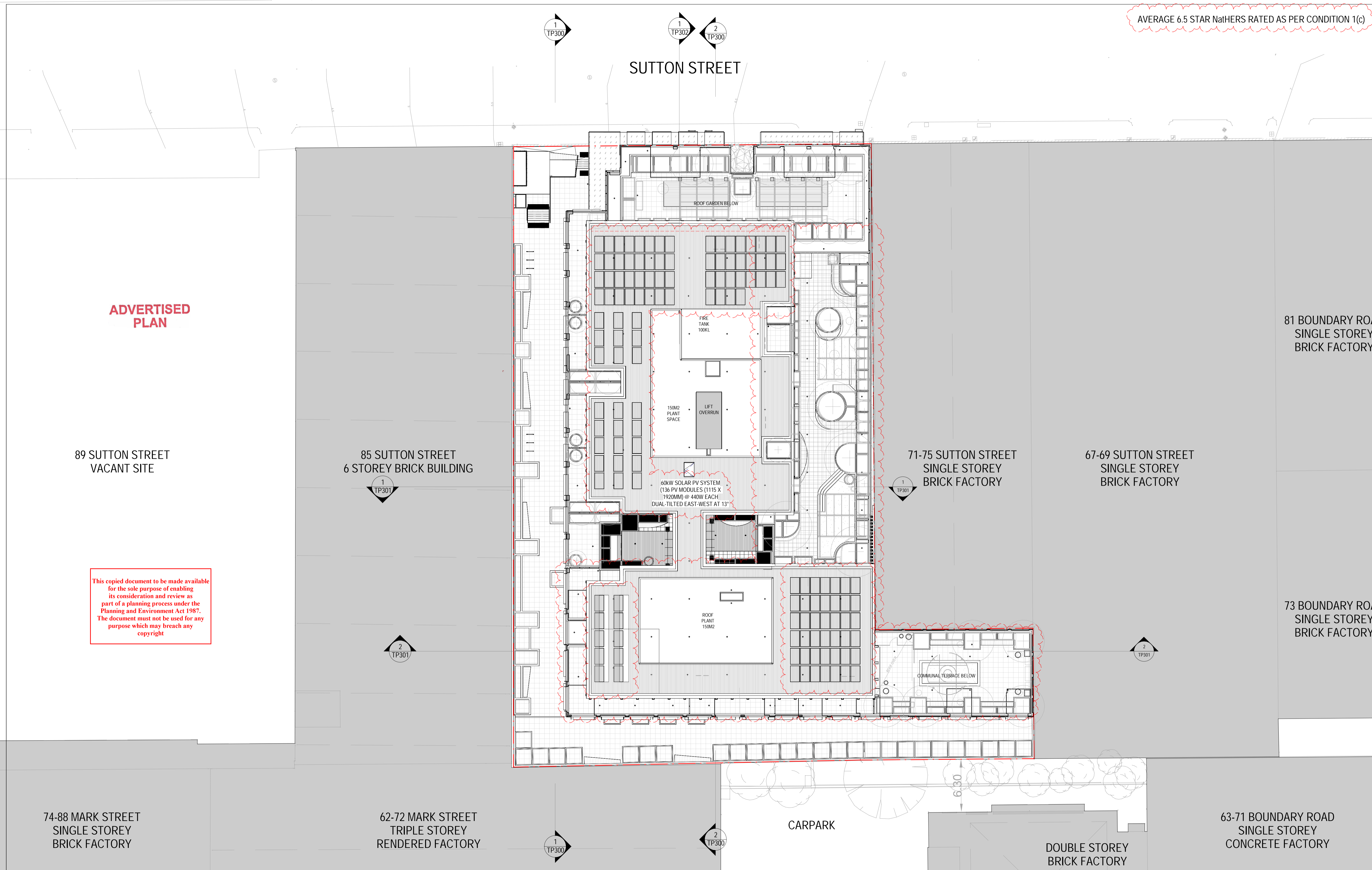
DOUBLE STOREY BRICK FACTORY

63-71 BOUNDARY ROAD SINGLE STOREY CONCRETE FACTORY

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
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P4	S72 AMENDMENT/CONDITION 1 SUBMISSION			23/01/2023
P5	RFI RESPONSE			14/07/2023



AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)



ADVERTISED PLAN

89 SUTTON STREET VACANT SITE

85 SUTTON STREET 6 STOREY BRICK BUILDING

71-75 SUTTON STREET SINGLE STOREY BRICK FACTORY

67-69 SUTTON STREET SINGLE STOREY BRICK FACTORY

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73 BOUNDARY ROAD SINGLE STOREY BRICK FACTORY

74-88 MARK STREET SINGLE STOREY BRICK FACTORY

62-72 MARK STREET TRIPLE STOREY RENDERED FACTORY

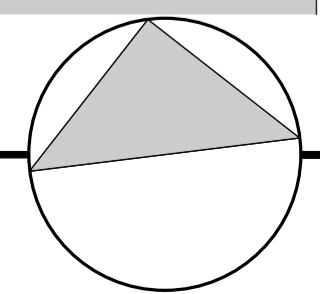
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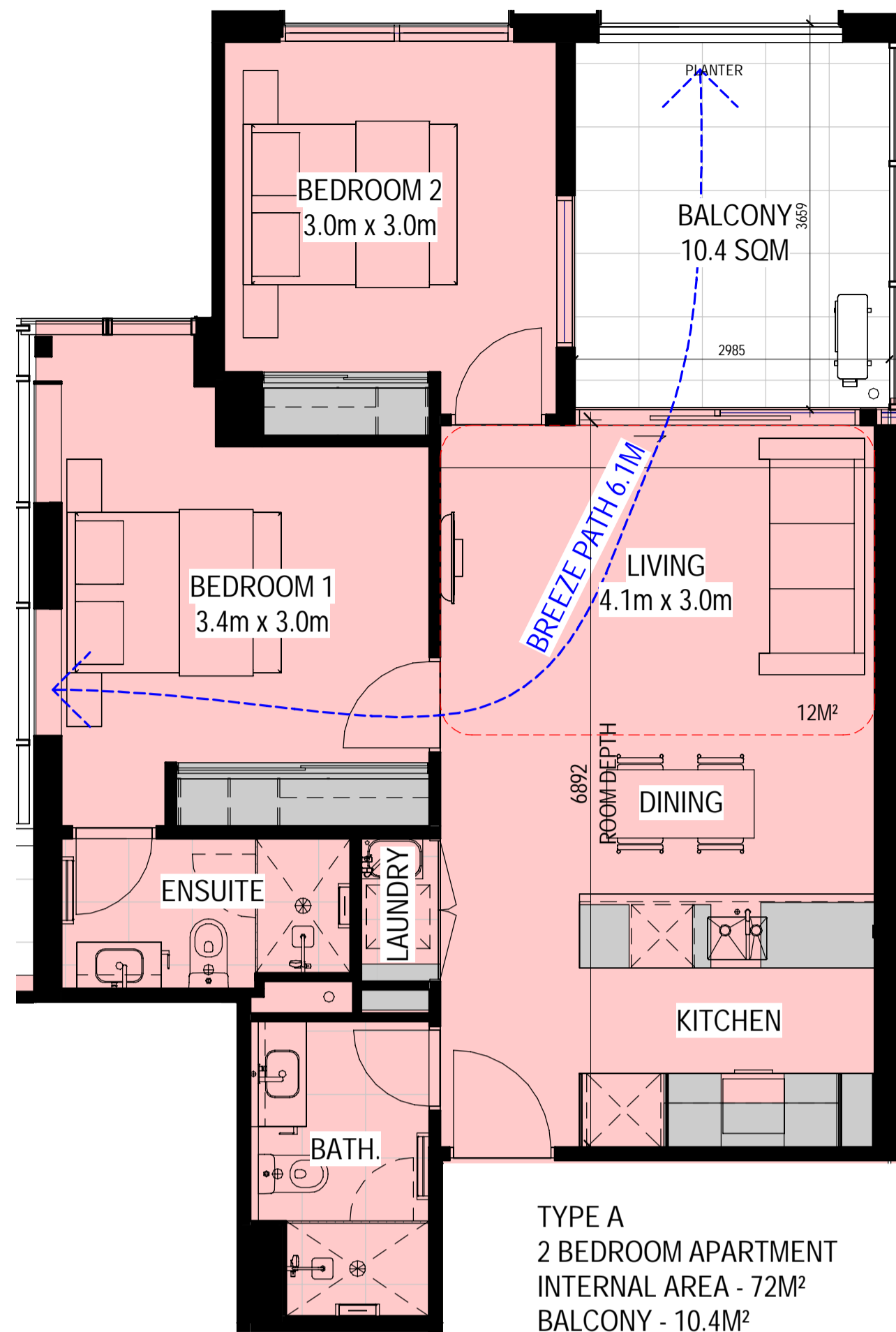
DOUBLE STOREY BRICK FACTORY

63-71 BOUNDARY ROAD SINGLE STOREY CONCRETE FACTORY

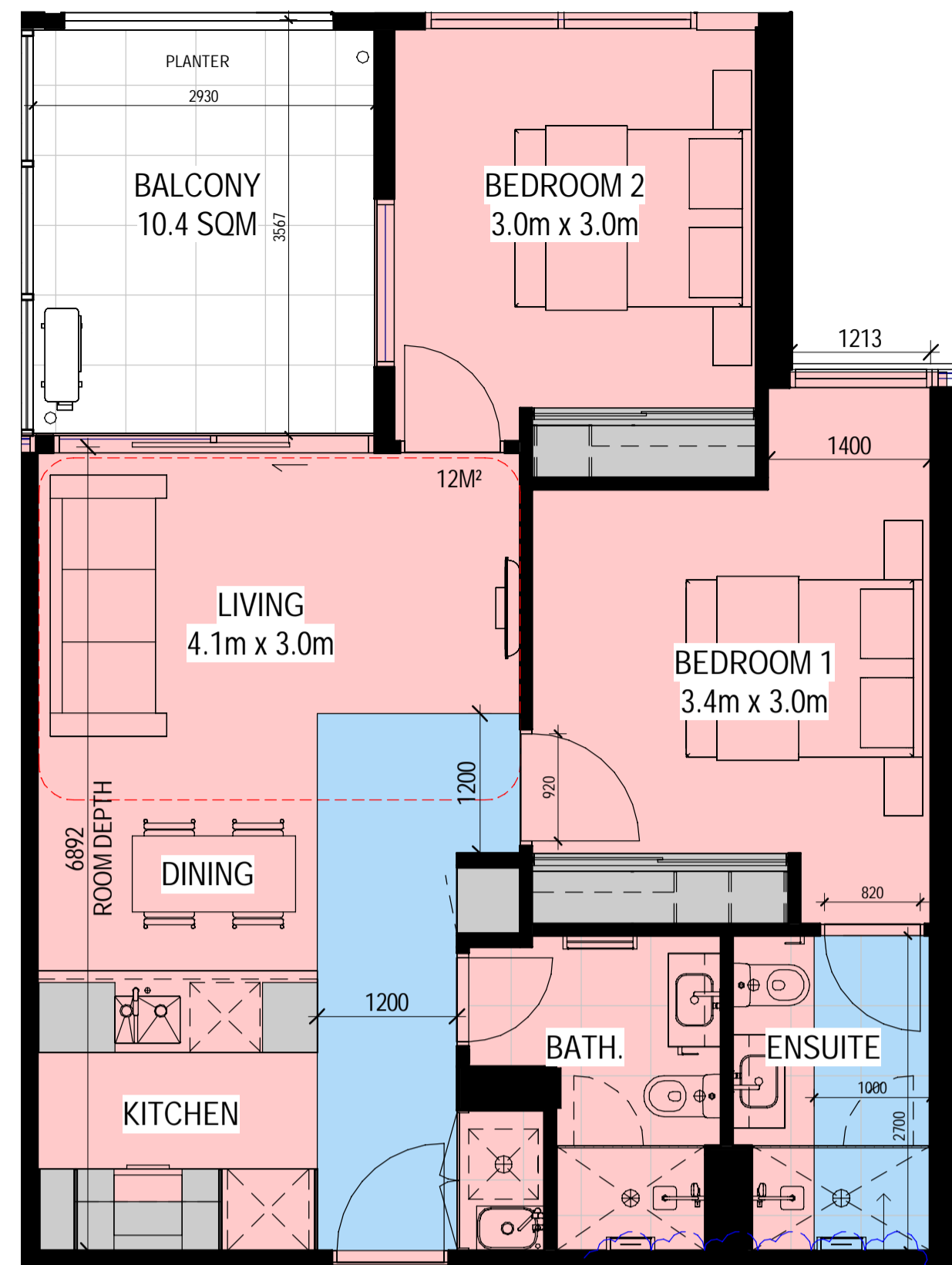
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REV	DESCRIPTION	DRN	CHK	DATE
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P3	DISCUSSION PLANS			01/07/2021
P4	S72 AMENDMENT/CONDITION 1 SUBMISSION			23/01/2023
P5	RFI RESPONSE			14/07/2023

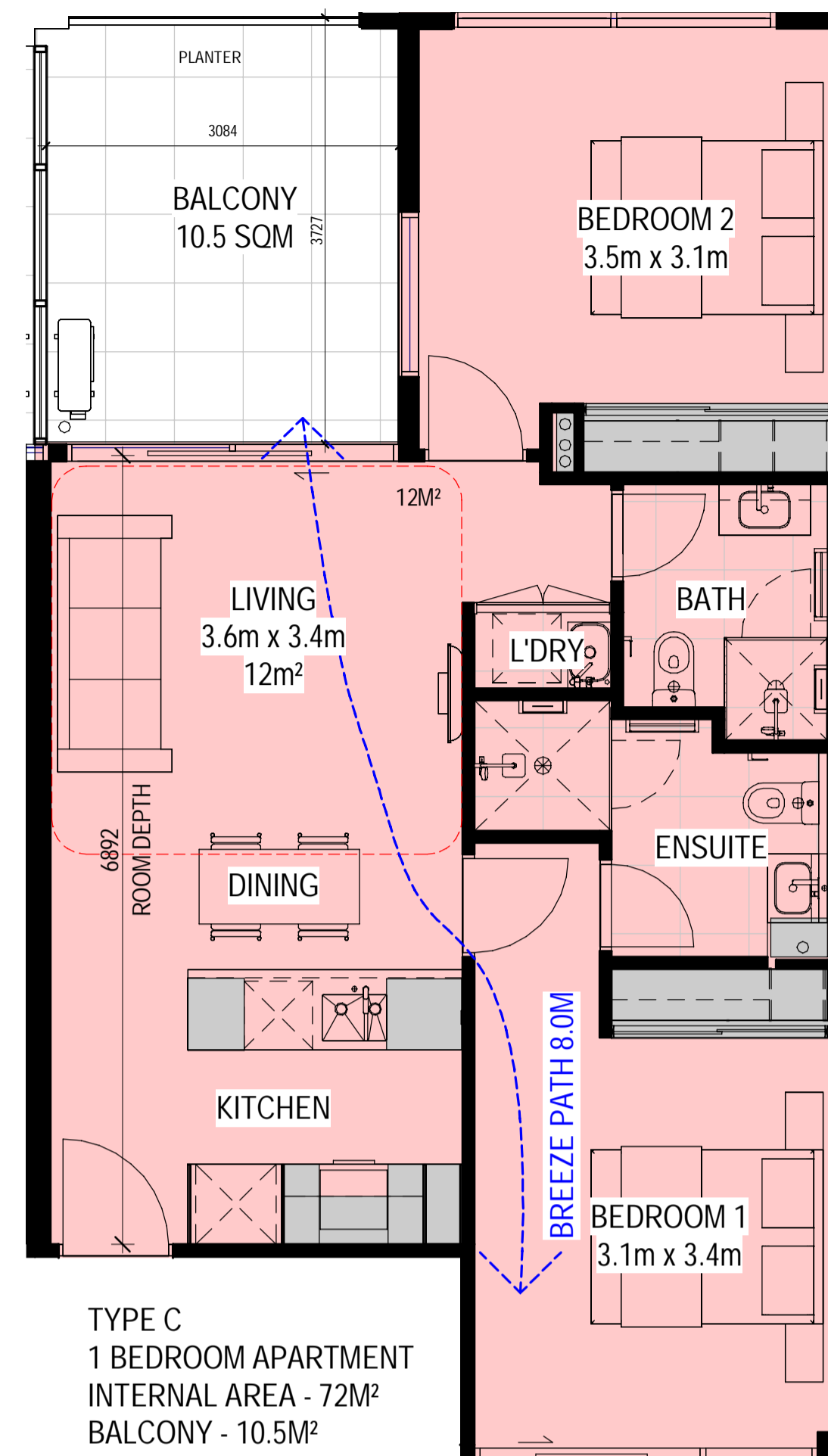




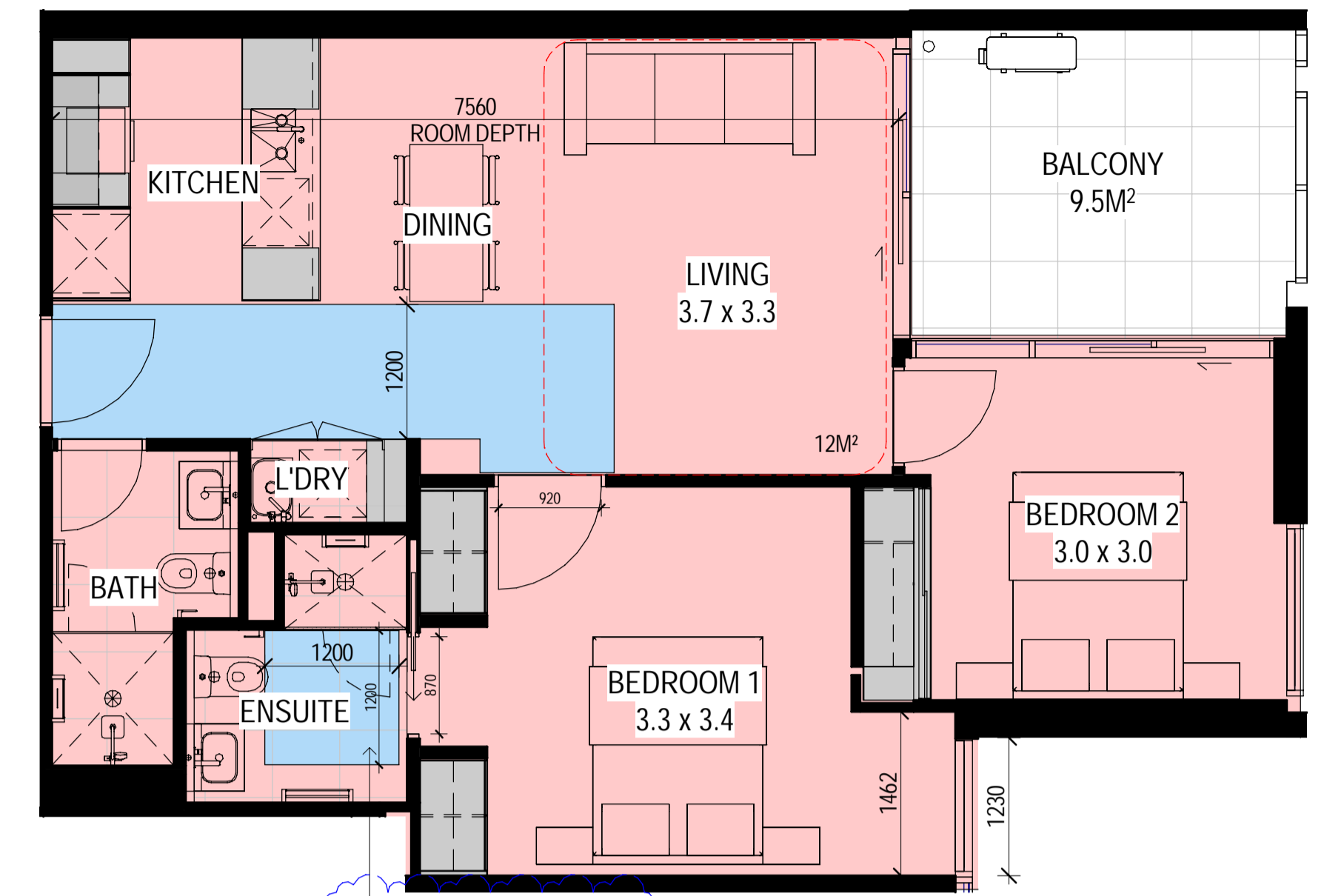
TYPE A
 2 BEDROOM APARTMENT
 INTERNAL AREA - 72M²
 BALCONY - 10.4M²
 5 INSTANCES
 INTERNAL STORAGE - 10.7M³
 OVERALL STORAGE - 15.6M³



TYPE B
 2 BEDROOM APARTMENT
 INTERNAL AREA - 70M²
 BALCONY - 10.4M²
 43 INSTANCES
 INTERNAL STORAGE - 9.4M³
 OVERALL STORAGE - 14.3M³



TYPE C
 1 BEDROOM APARTMENT
 INTERNAL AREA - 72M²
 BALCONY - 10.5M²
 5 INSTANCES
 INTERNAL STORAGE - 9.4M³
 OVERALL STORAGE - 14.6M³

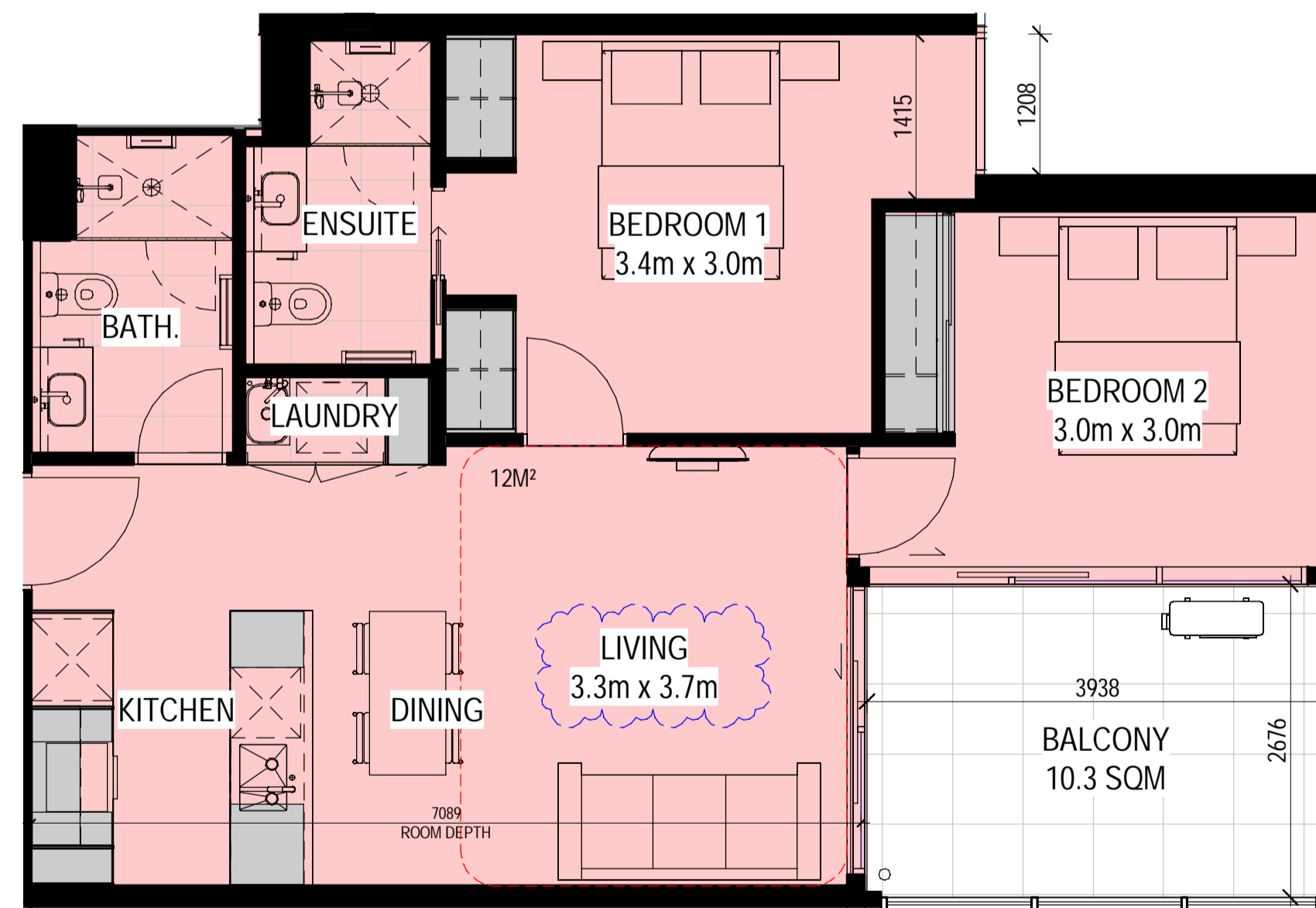


TYPE D
 1 BEDROOM APARTMENT
 INTERNAL AREA - 72M²
 BALCONY - 9.5M²
 5 INSTANCES
 INTERNAL STORAGE - 9.1M³
 OVERALL STORAGE - 14.0M³

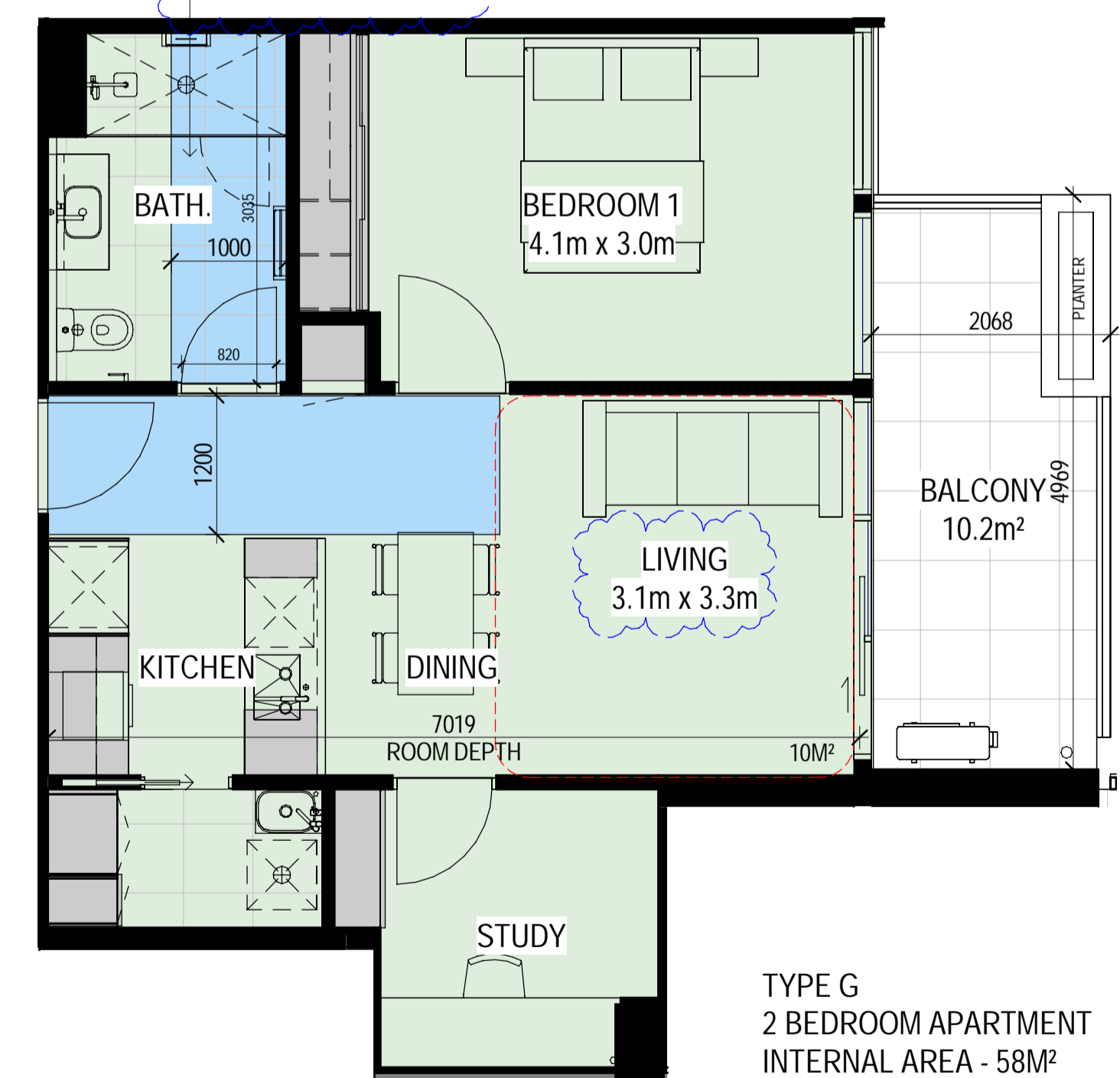
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TYPE E
 1 BEDROOM APARTMENT
 INTERNAL AREA - 52M²
 BALCONY - 9.5M²
 22 INSTANCES
 INTERNAL STORAGE - 6.4M³
 OVERALL STORAGE - 11.3M³

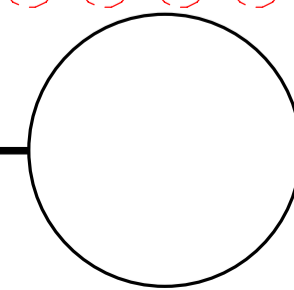


TYPE F
 2 BEDROOM APARTMENT
 INTERNAL AREA - 70.0M²
 BALCONY - 10.3M²
 11 INSTANCES
 INTERNAL STORAGE - 9.1M³
 OVERALL STORAGE - 14.0M³



TYPE G
 2 BEDROOM APARTMENT
 INTERNAL AREA - 58M²
 BALCONY - 10.2M²
 10 INSTANCES
 INTERNAL STORAGE - 9.3M³
 OVERALL STORAGE - 11.3M³

ADVERTISED PLAN



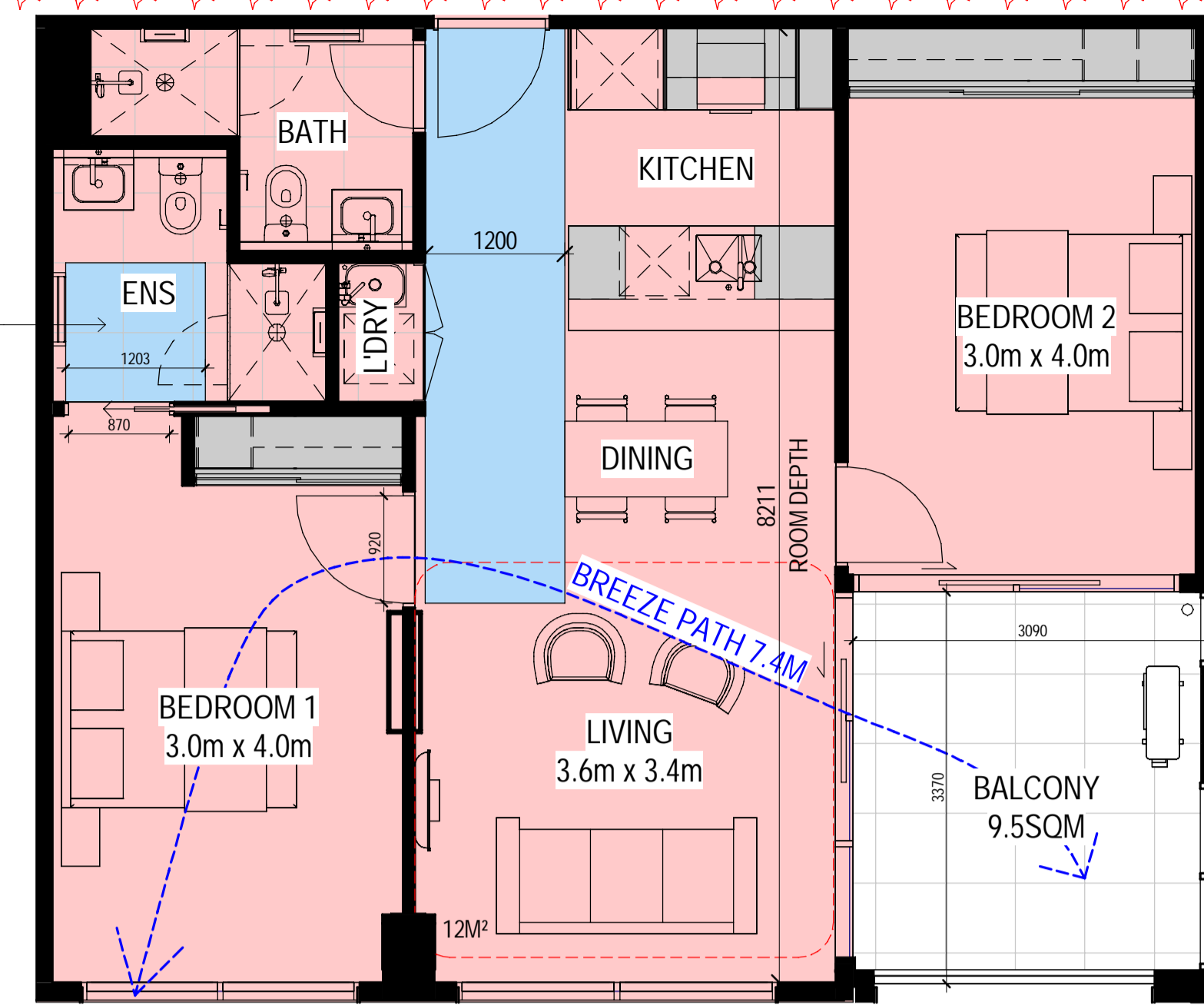


TYPE H
1 BEDROOM APARTMENT
INTERNAL AREA - 54M²
BALCONY - 9.5M²
11 INSTANCES
INTERNAL STORAGE - 7.2M³
OVERALL STORAGE - 10.0M³



TYPE I
1 BEDROOM APARTMENT
INTERNAL AREA - 55M²
BALCONY - 9.5M²
11 INSTANCES
INTERNAL STORAGE - 7.3M³
OVERALL STORAGE - 10.7M³

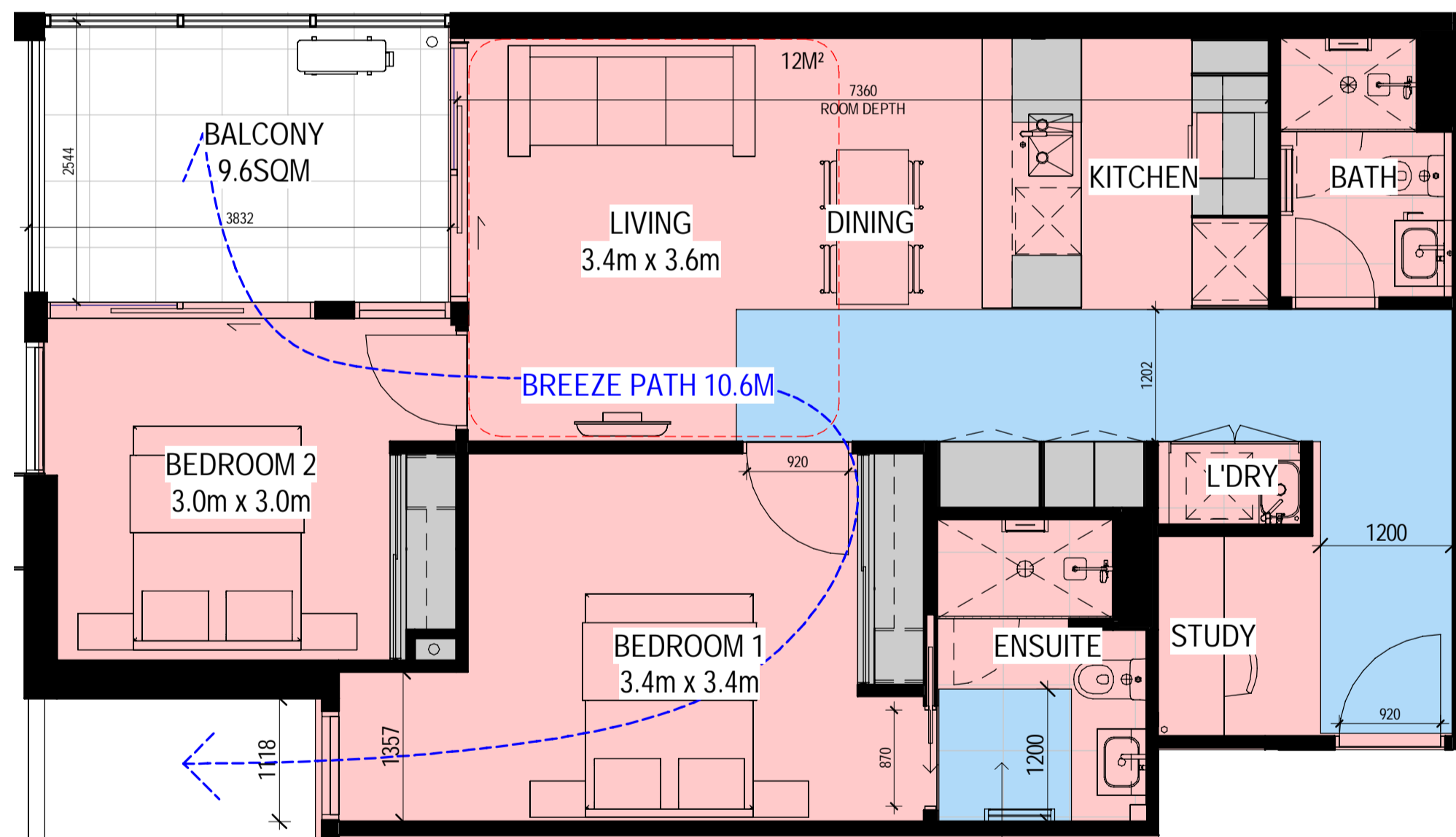
ACCESSIBLE BATHROOM
DESIGN OPTION A



TYPE J
2 BEDROOM APARTMENT
INTERNAL AREA - 74M²
BALCONY - 9.5M²
18 INSTANCES
INTERNAL STORAGE - 9.7M³
OVERALL STORAGE - 14.6M³

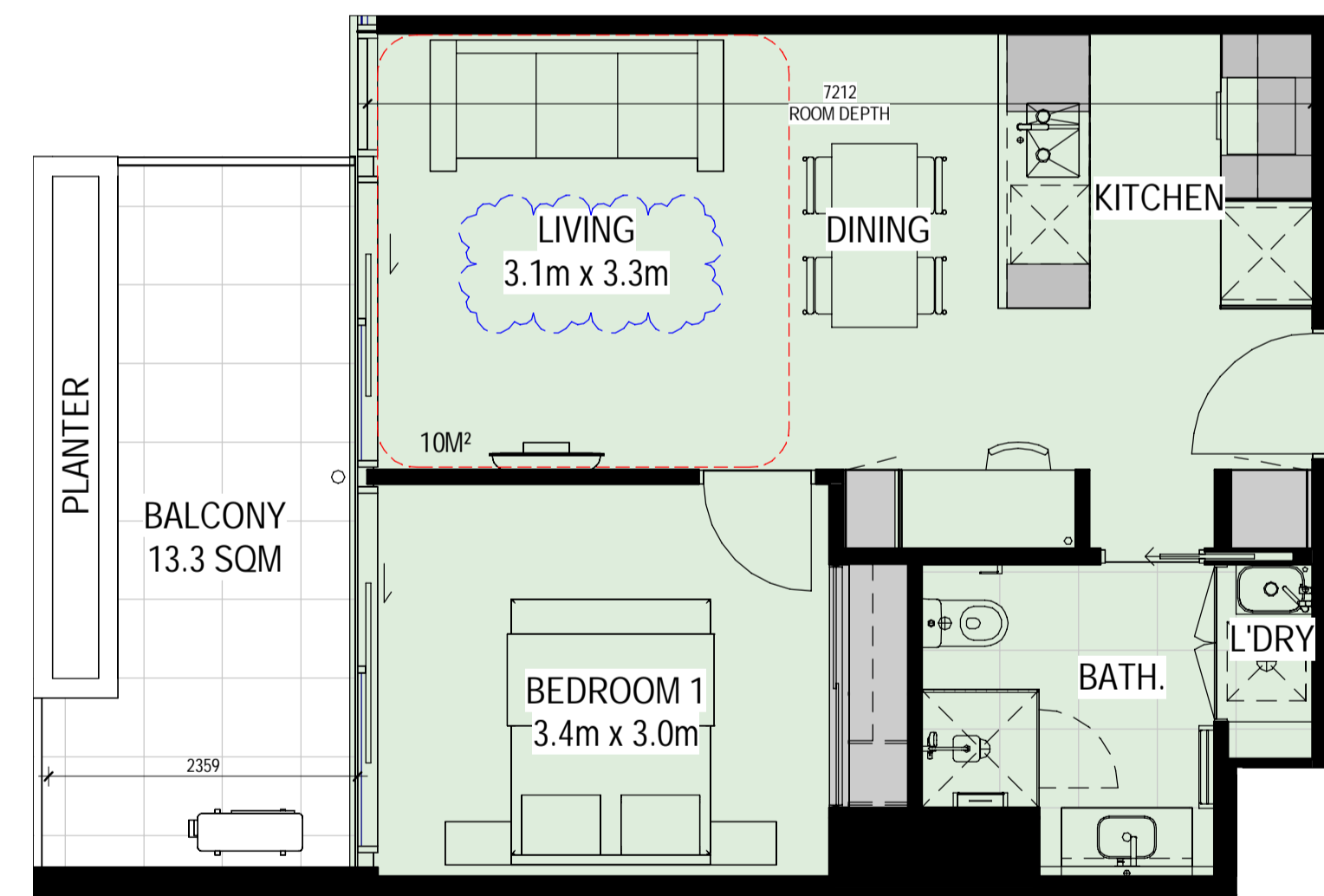
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ADVERTISED PLAN

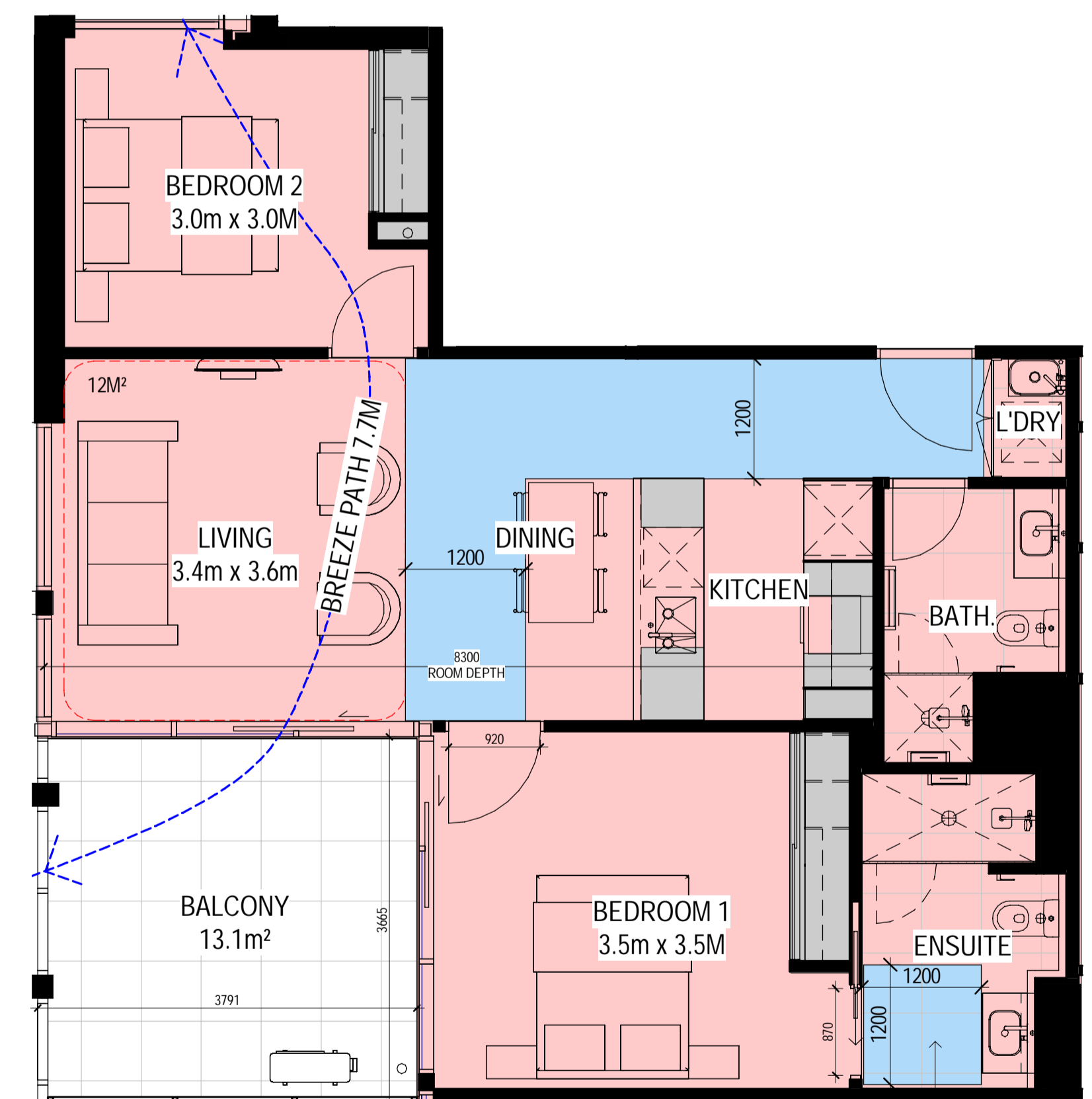


TYPE K
2 BEDROOM APARTMENT
INTERNAL AREA - 81M²
BALCONY - 9.6M²
5 INSTANCES
INTERNAL STORAGE - 11.3M³
OVERALL STORAGE - 13.7M³

ACCESSIBLE BATHROOM
DESIGN OPTION A



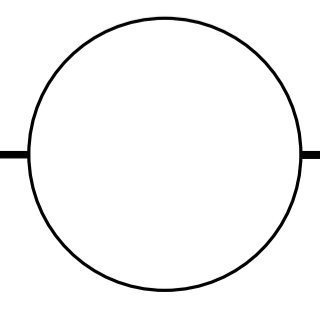
TYPE L
1 BEDROOM APARTMENT
INTERNAL AREA - 50M²
BALCONY - 13.3M²
10 INSTANCES
INTERNAL STORAGE - 6.1M³
OVERALL STORAGE - 10.1M³



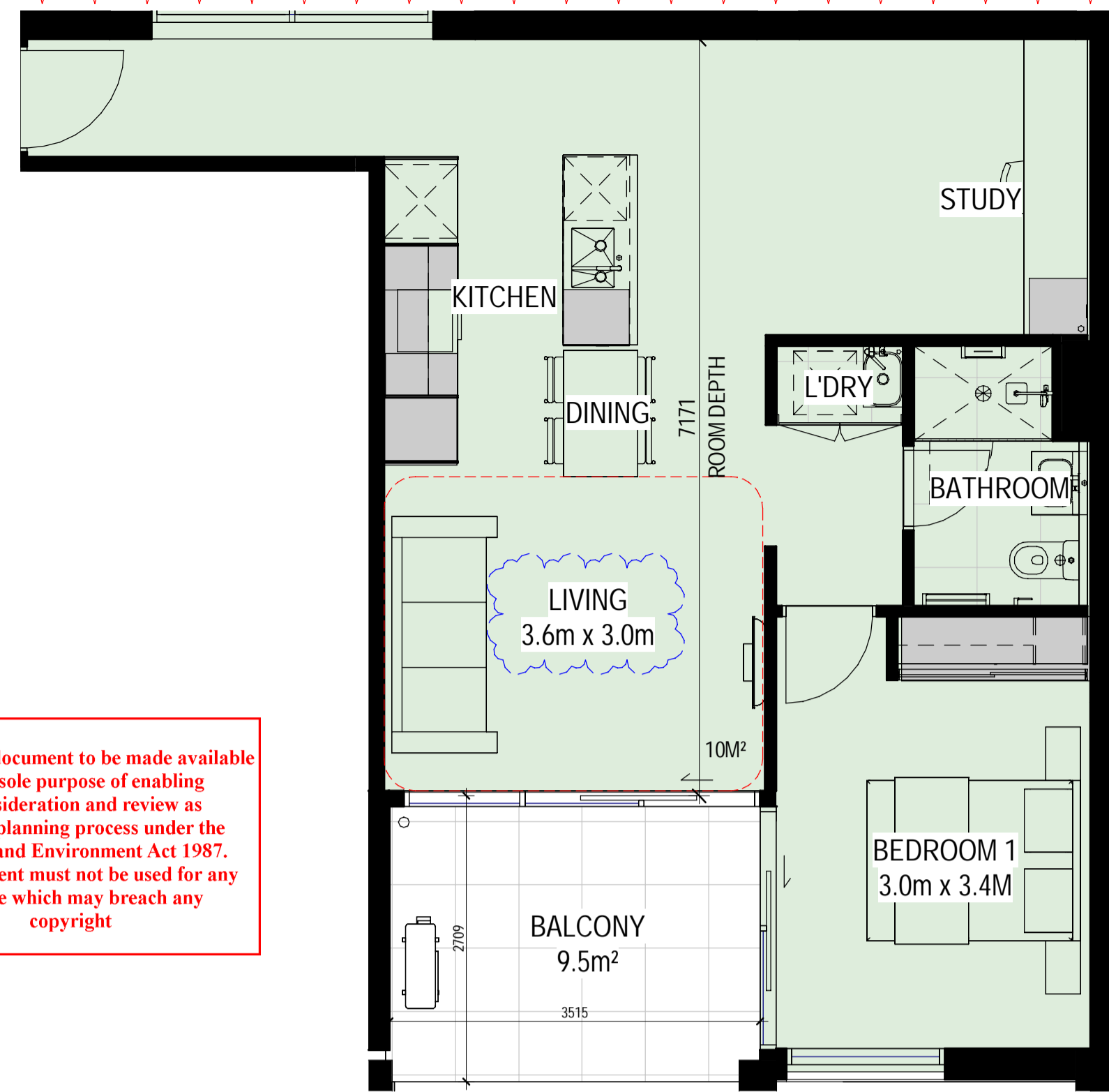
TYPE M
2 BEDROOM APARTMENT
INTERNAL AREA - 78.8M²
BALCONY - 13.1M²
5 INSTANCES
INTERNAL STORAGE - 9.1M³
OVERALL STORAGE - 14.0M³

ACCESSIBLE BATHROOM
DESIGN OPTION A

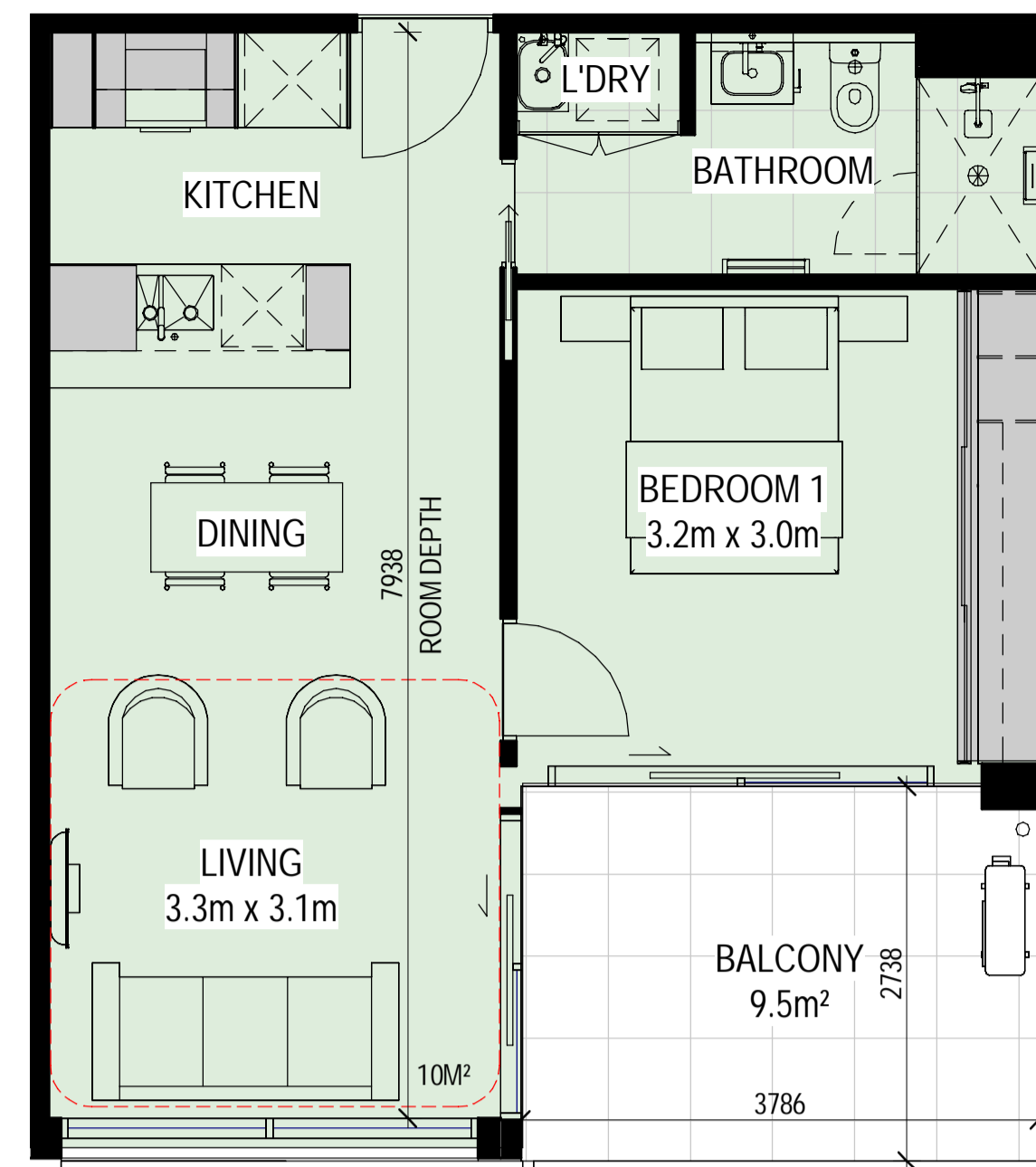
REV	DESCRIPTION	DRN	CHK	DATE
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P5	RFI RESPONSE			14/07/2023



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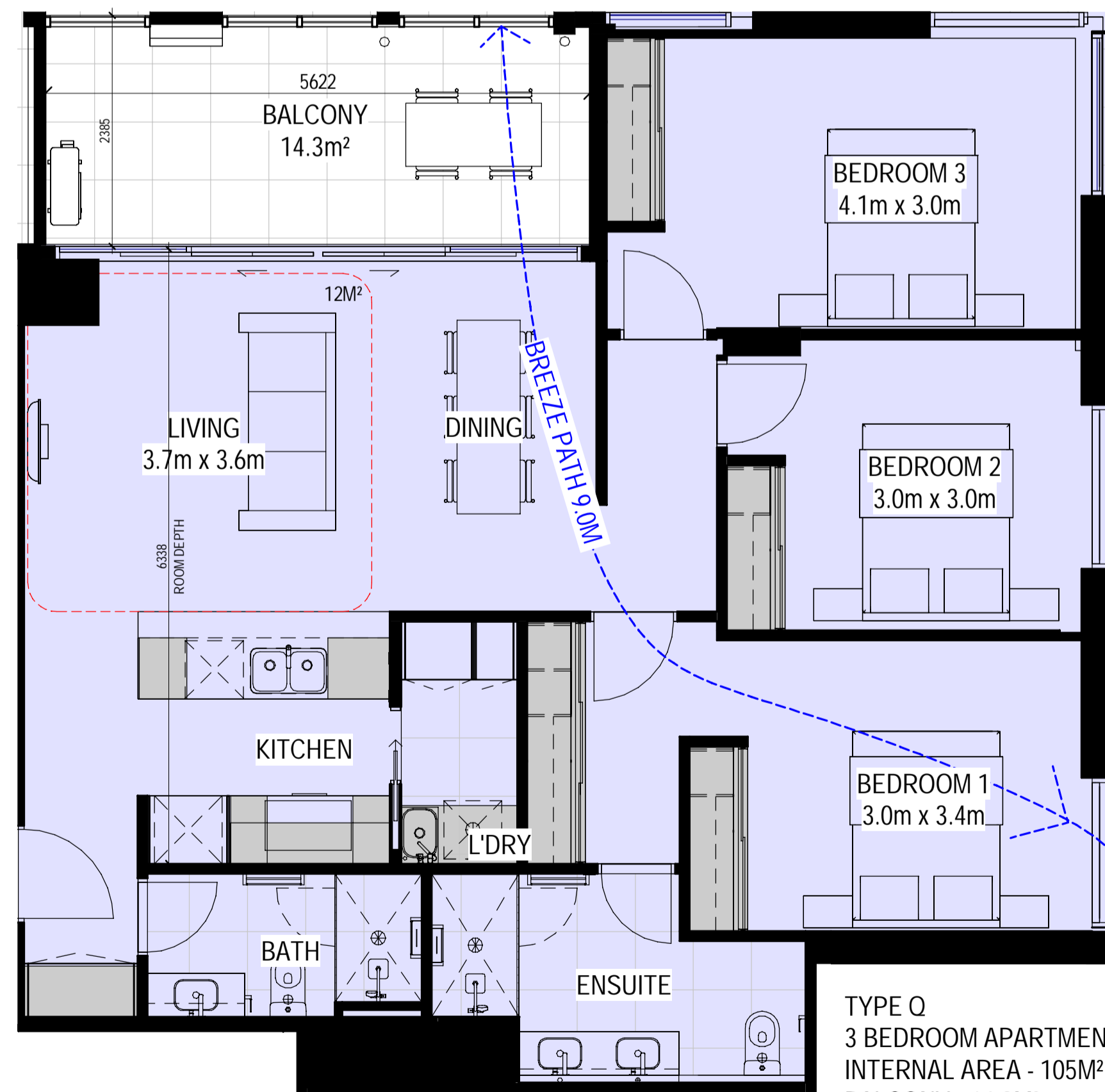
TYPE N
1 BEDROOM APARTMENT
INTERNAL AREA - 66M²
BALCONY - 9.5M²
4 INSTANCES
INTERNAL STORAGE - 6.0M³
OVERALL STORAGE - 10.9M³



TYPE O
1 BEDROOM APARTMENT
INTERNAL AREA - 52M²
BALCONY - 9.5M²
4 INSTANCES
INTERNAL STORAGE - 7.2M³
OVERALL STORAGE - 12.1M³

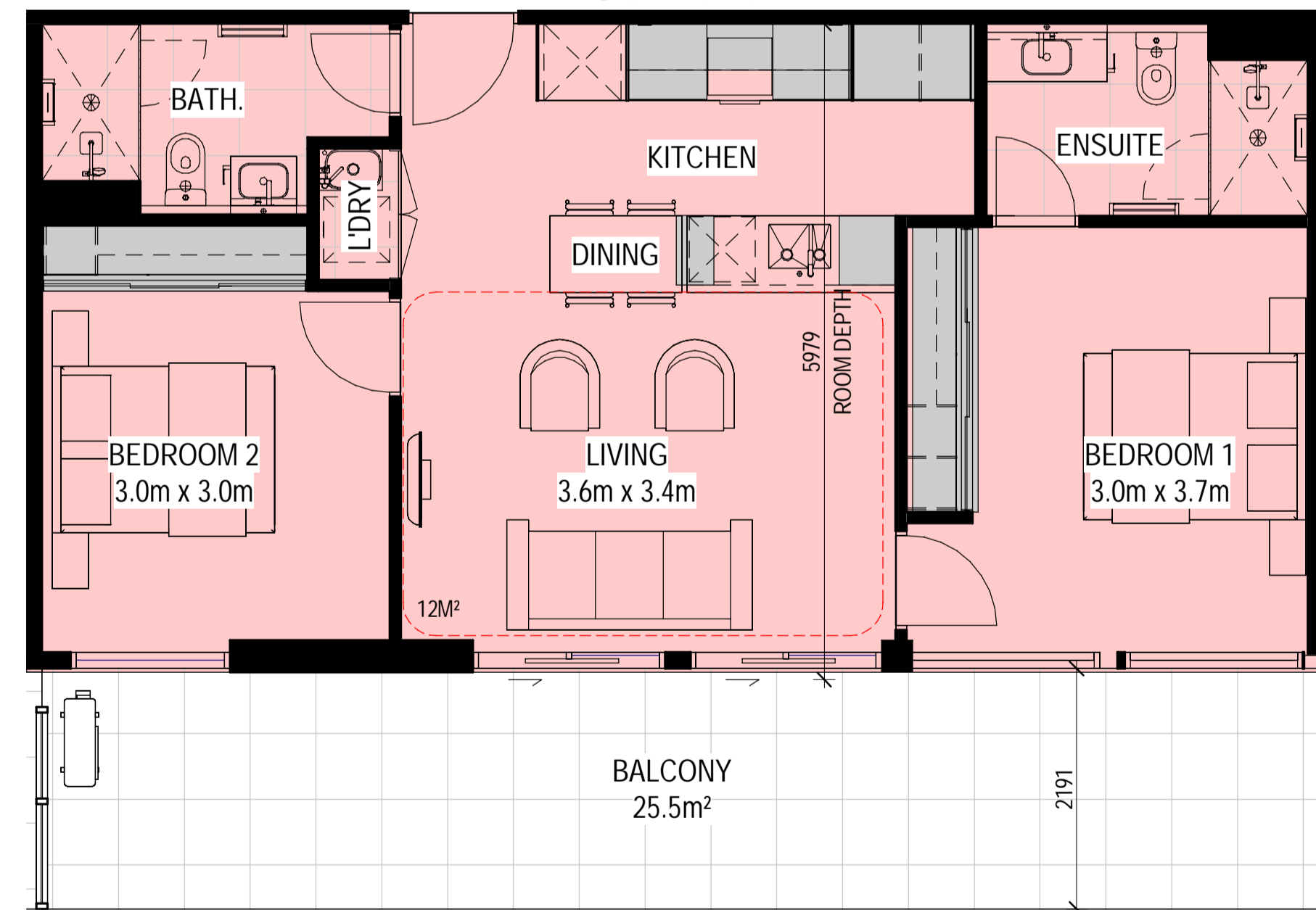


TYPE P
3 BEDROOM APARTMENT
INTERNAL AREA - 104M²
BALCONY - 16.6M²
2 INSTANCES
INTERNAL STORAGE - 18.8M³
OVERALL STORAGE - 23.7M³

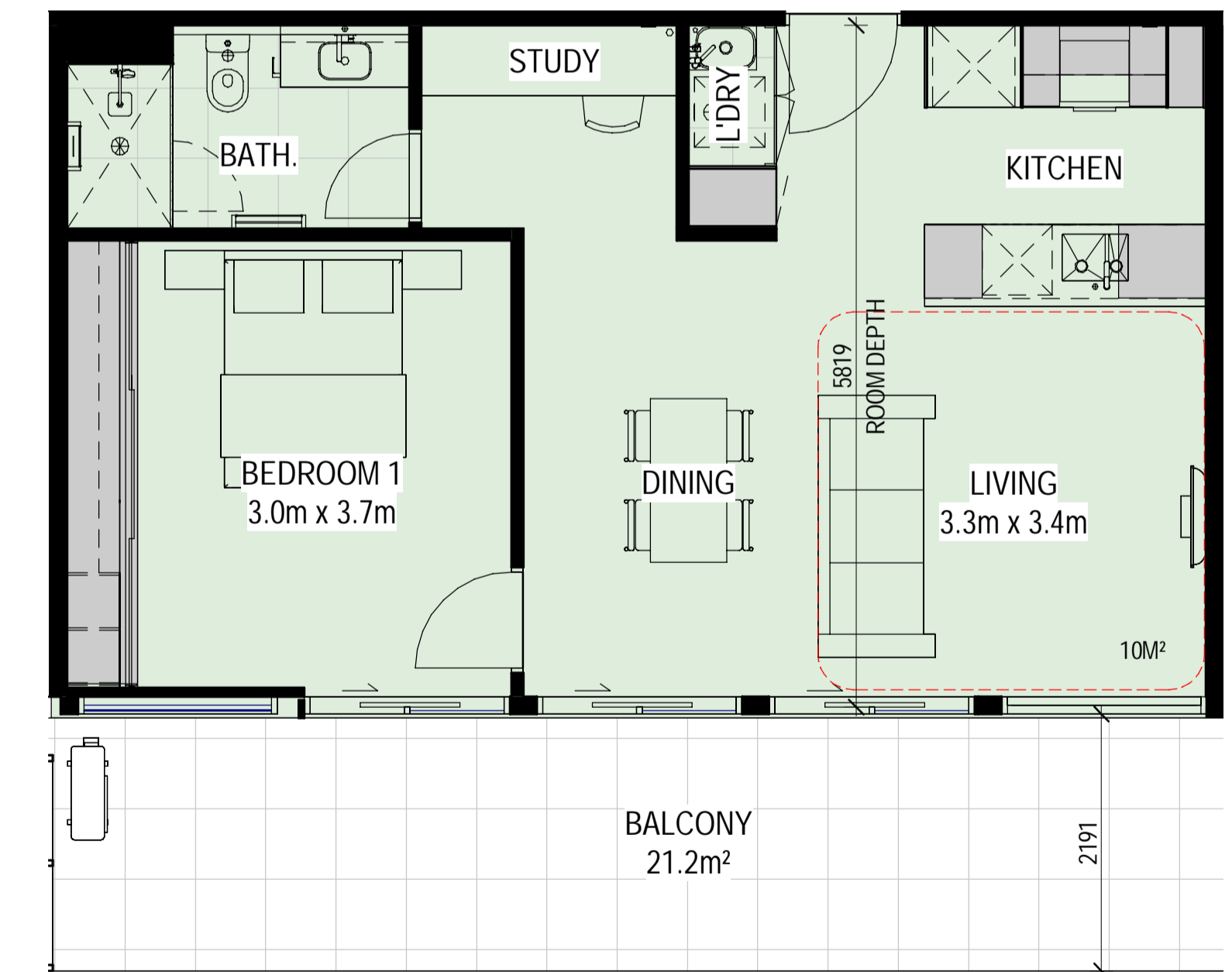


TYPE Q
3 BEDROOM APARTMENT
INTERNAL AREA - 105M²
BALCONY - 14.3M²
2 INSTANCES
INTERNAL STORAGE - 18.5M³
OVERALL STORAGE - 23.4M³

ADVERTISED PLAN

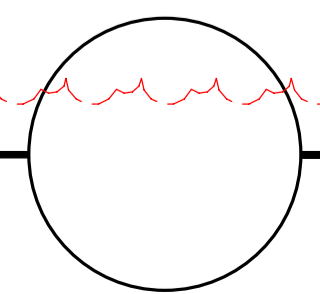


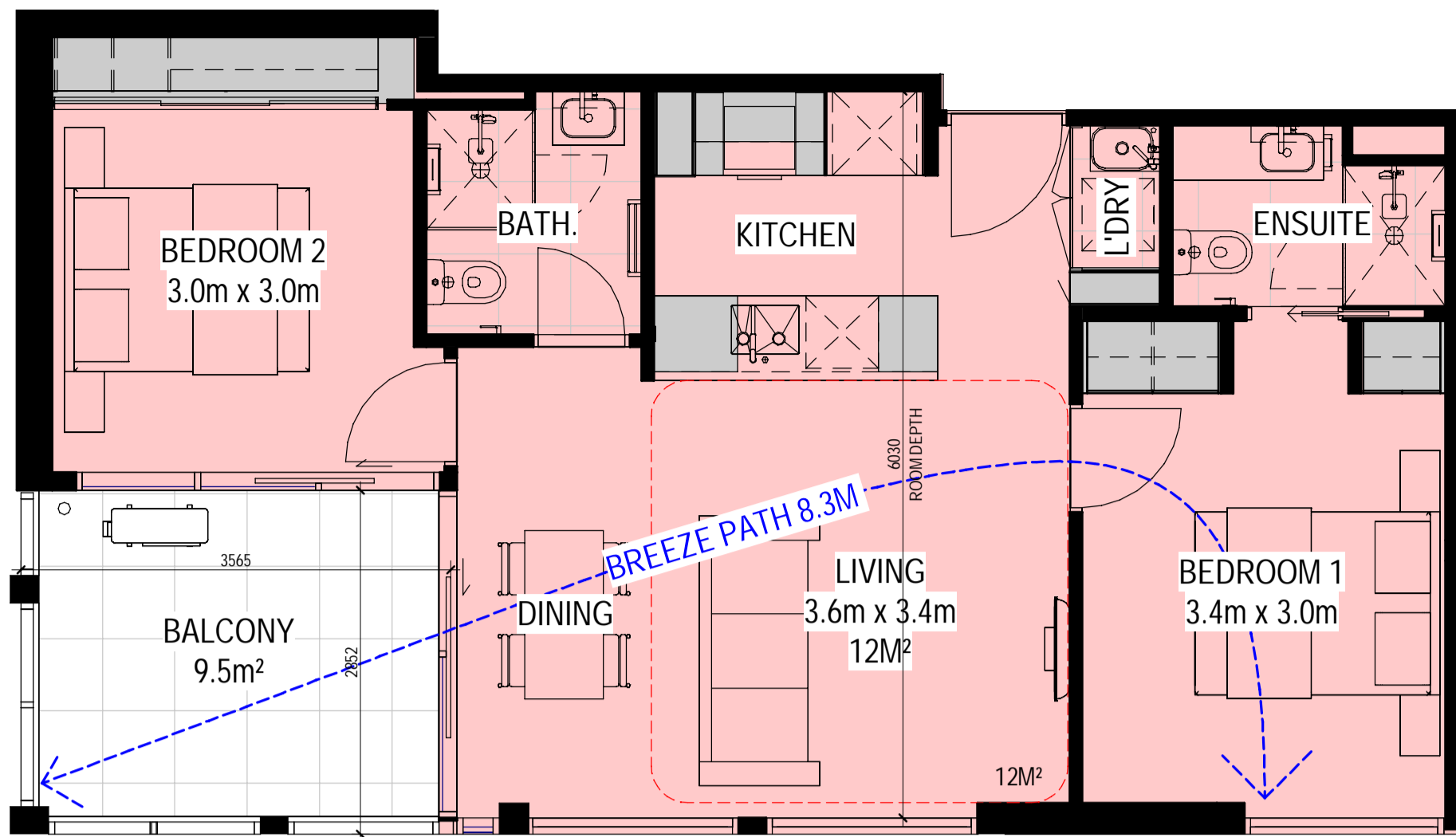
TYPE R
1 BEDROOM APARTMENT
INTERNAL AREA - 72M²
BALCONY - 25.5M²
1 INSTANCES
INTERNAL STORAGE - 11.9M³
OVERALL STORAGE - 14.3M³



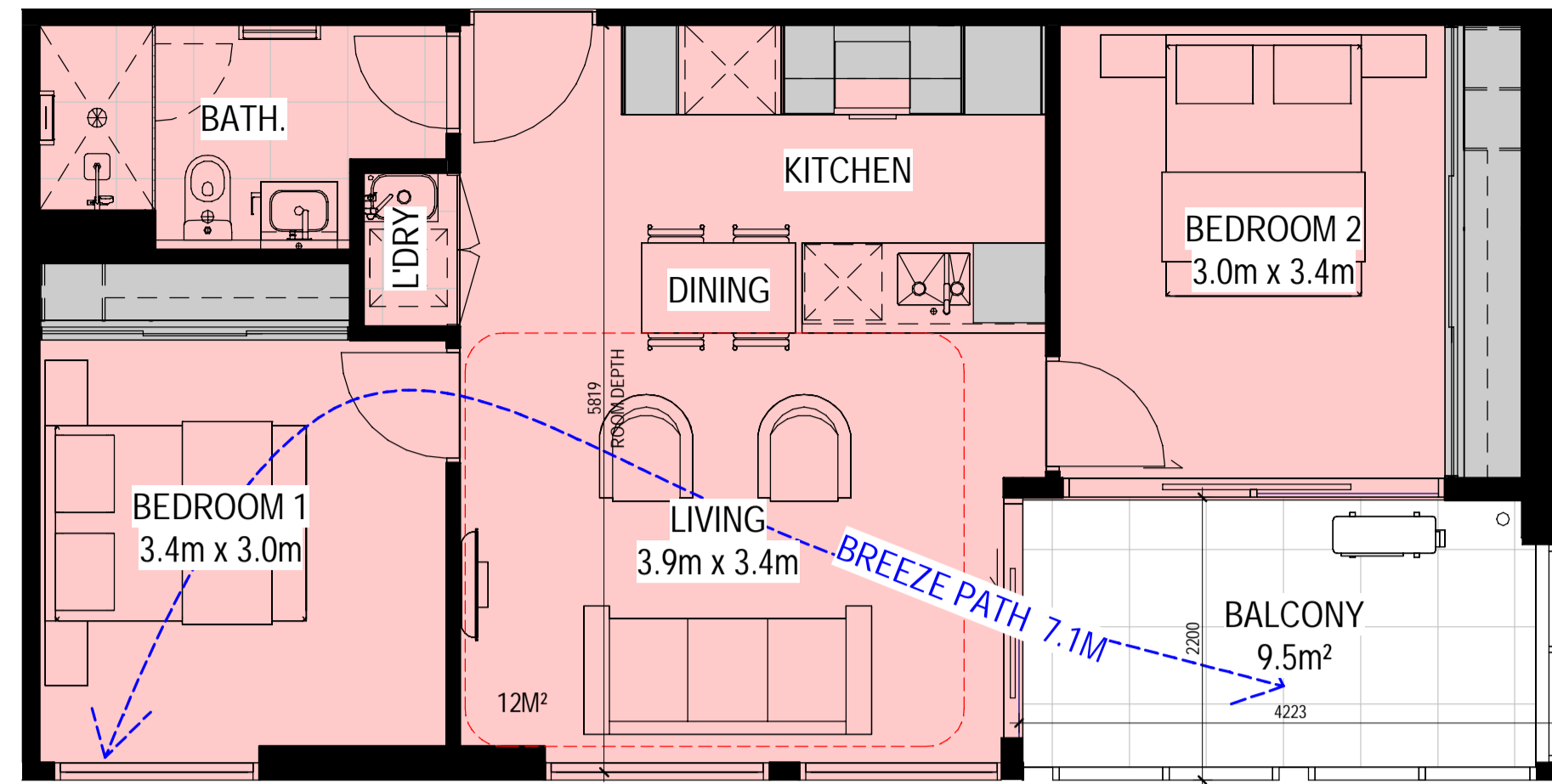
TYPE S
1 BEDROOM APARTMENT
INTERNAL AREA - 59.9M²
BALCONY - 21.2M²
1 INSTANCES
INTERNAL STORAGE - 9.1M³
OVERALL STORAGE - 11.5M³

REV	DESCRIPTION	DRN	CHK	DATE
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P5	RFI RESPONSE			14/07/2023

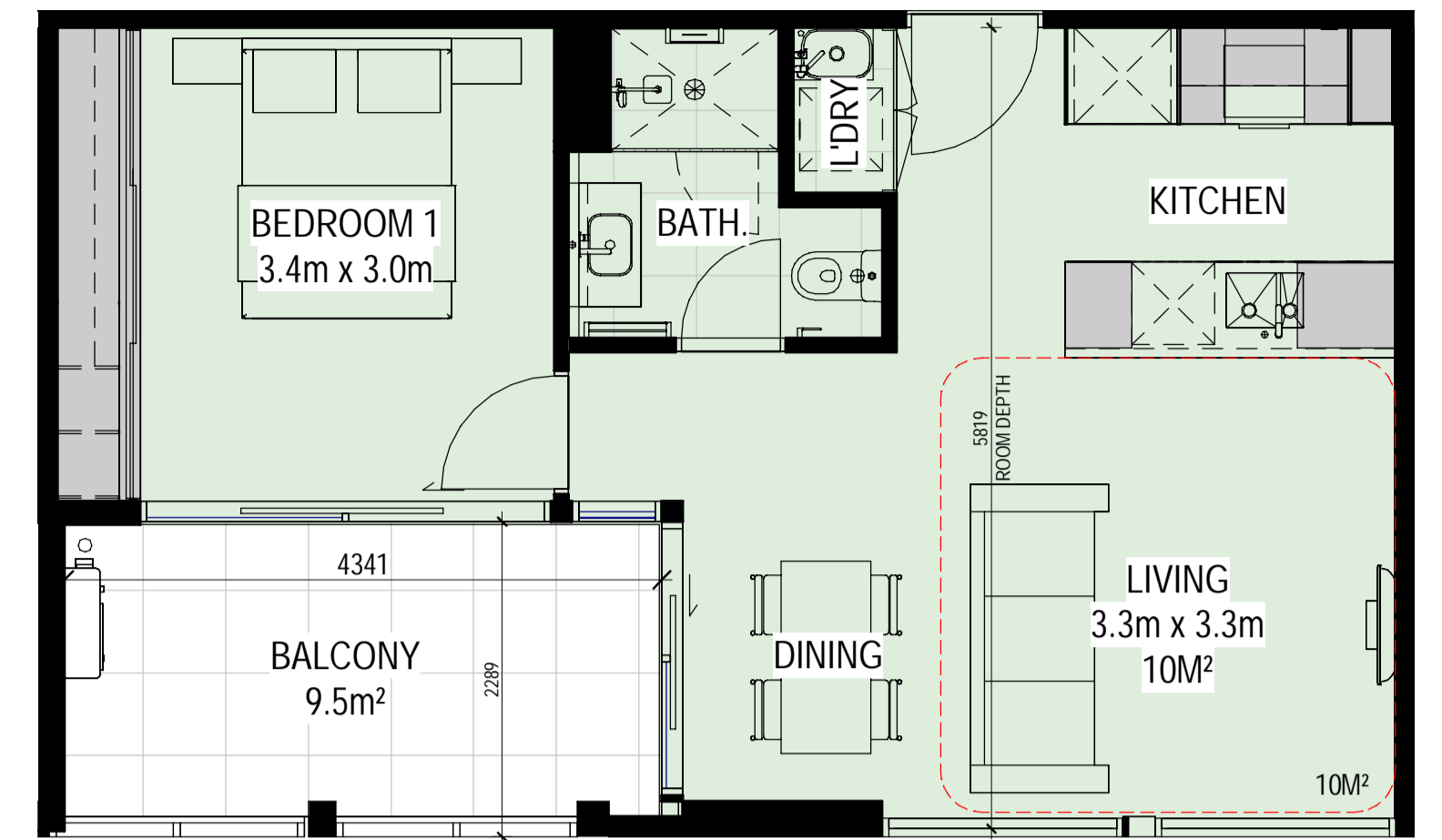




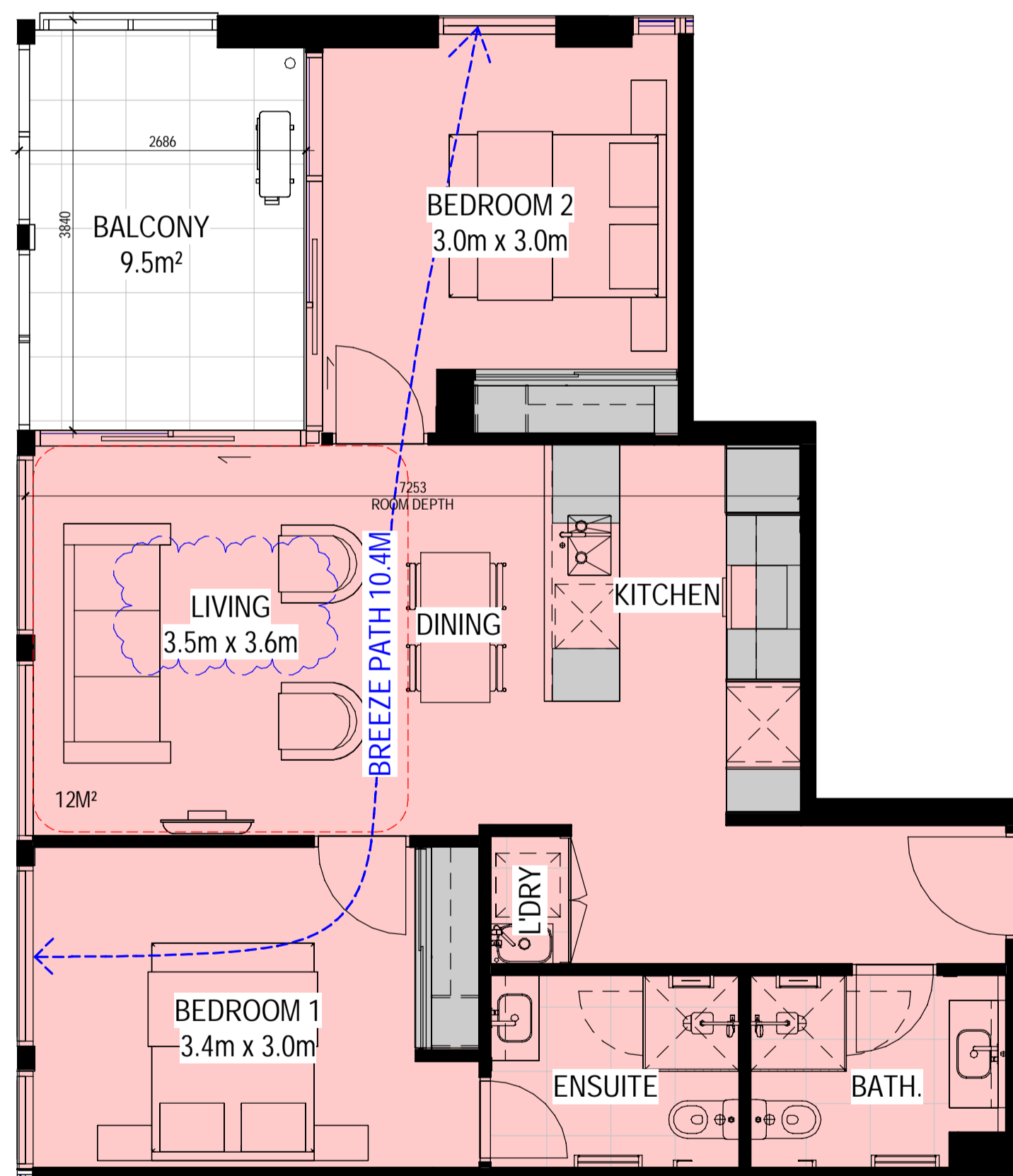
TYPE T
2 BEDROOM APARTMENT
INTERNAL AREA - 66.6M²
BALCONY - 9.5M²
6 INSTANCES
INTERNAL STORAGE - 10.1M³
OVERALL STORAGE - 15.0M³



TYPE U
2 BEDROOM APARTMENT
INTERNAL AREA - 63M²
BALCONY - 9.5M²
5 INSTANCES
INTERNAL STORAGE - 12.7M³
OVERALL STORAGE - 15.1M³

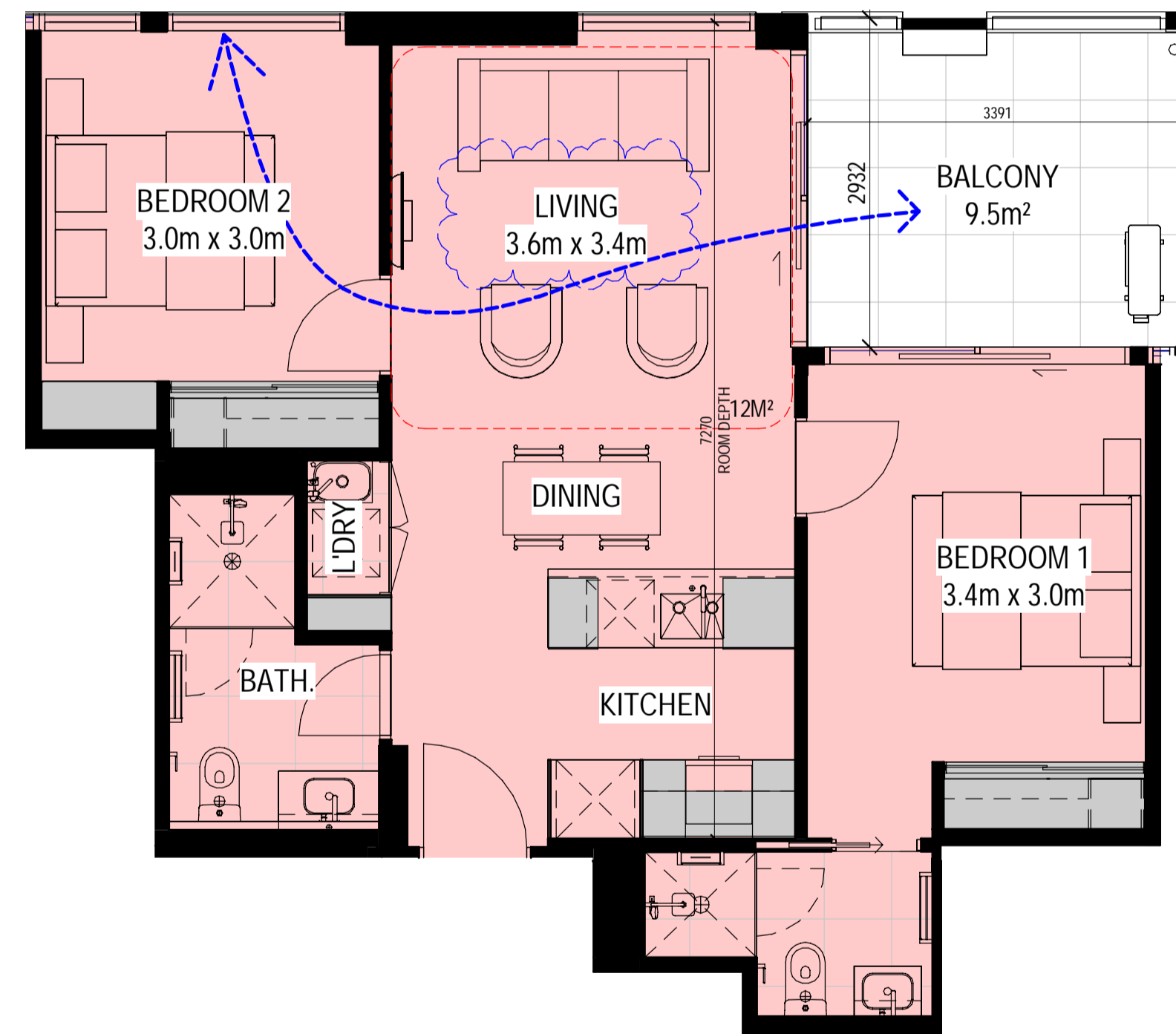


TYPE V
1 BEDROOM APARTMENT
INTERNAL AREA - 50M²
BALCONY - 9.5M²
5 INSTANCES
INTERNAL STORAGE - 7.5M³
OVERALL STORAGE - 10.0M³



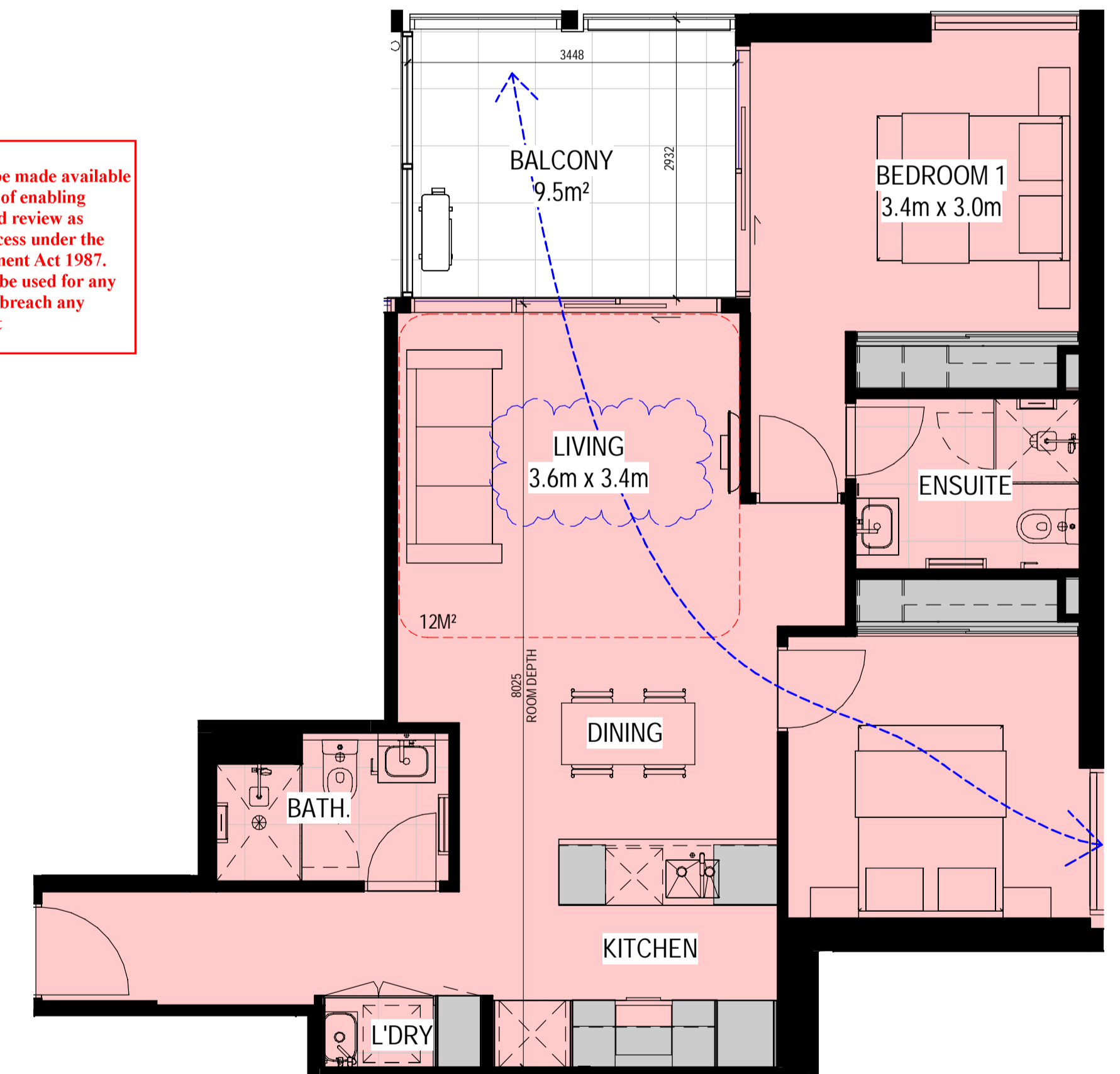
TYPE W
2 BEDROOM APARTMENT
INTERNAL AREA - 73M²
BALCONY - 9.5M²
4 INSTANCES
INTERNAL STORAGE - 10.1M³
OVERALL STORAGE - 15.0M³

ADVERTISED PLAN

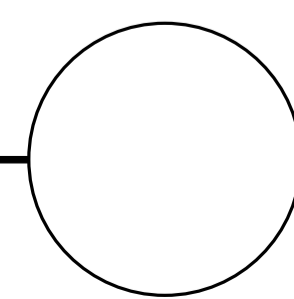


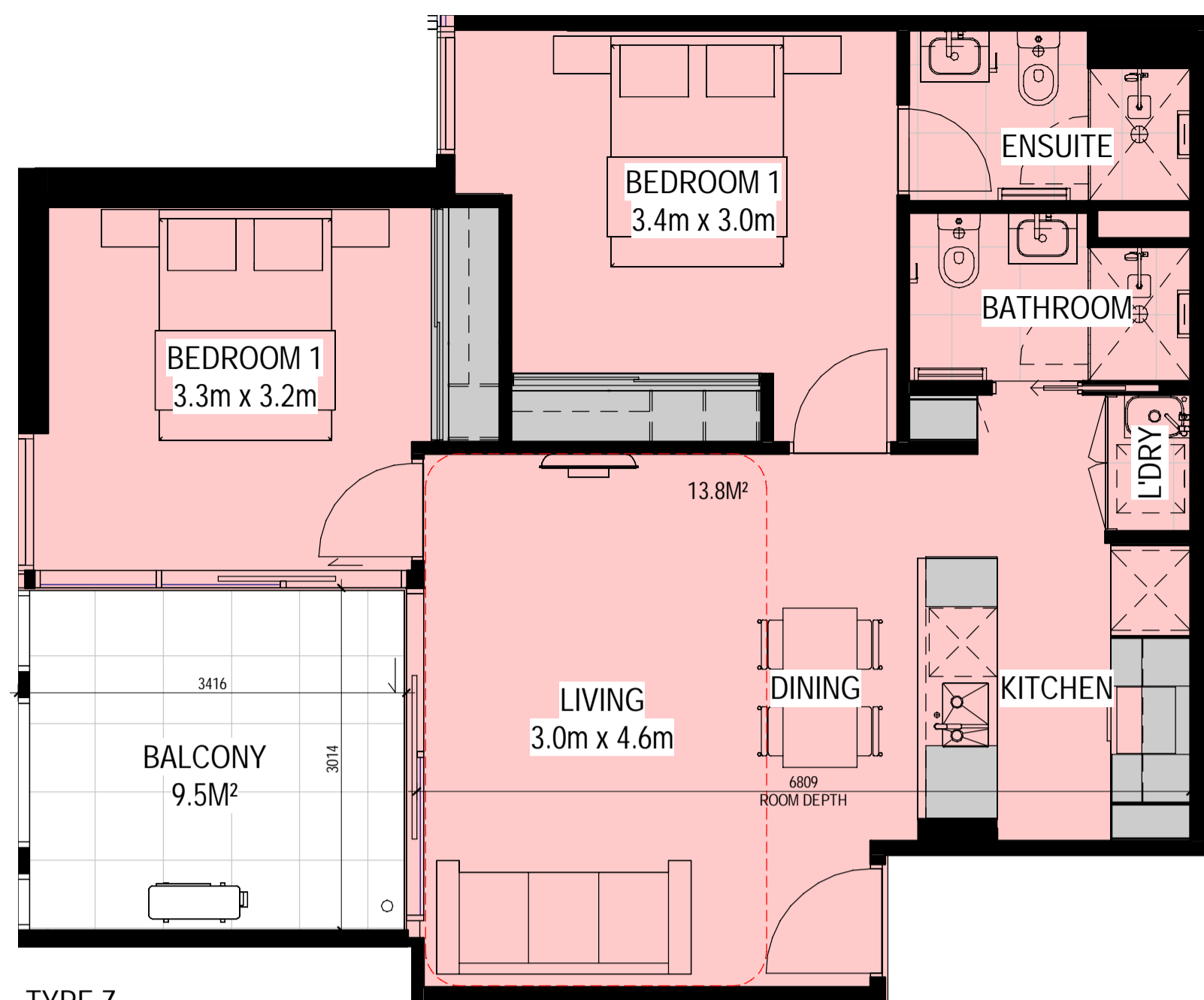
TYPE X
2 BEDROOM APARTMENT
INTERNAL AREA - 66M²
BALCONY - 9.5M²
4 INSTANCES
INTERNAL STORAGE - 9.4M³
OVERALL STORAGE - 14.3M³

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TYPE Y
2 BEDROOM APARTMENT
INTERNAL AREA - 78M²
BALCONY - 9.5M²
4 INSTANCES
INTERNAL STORAGE - 11.2M³
OVERALL STORAGE - 14.6M³

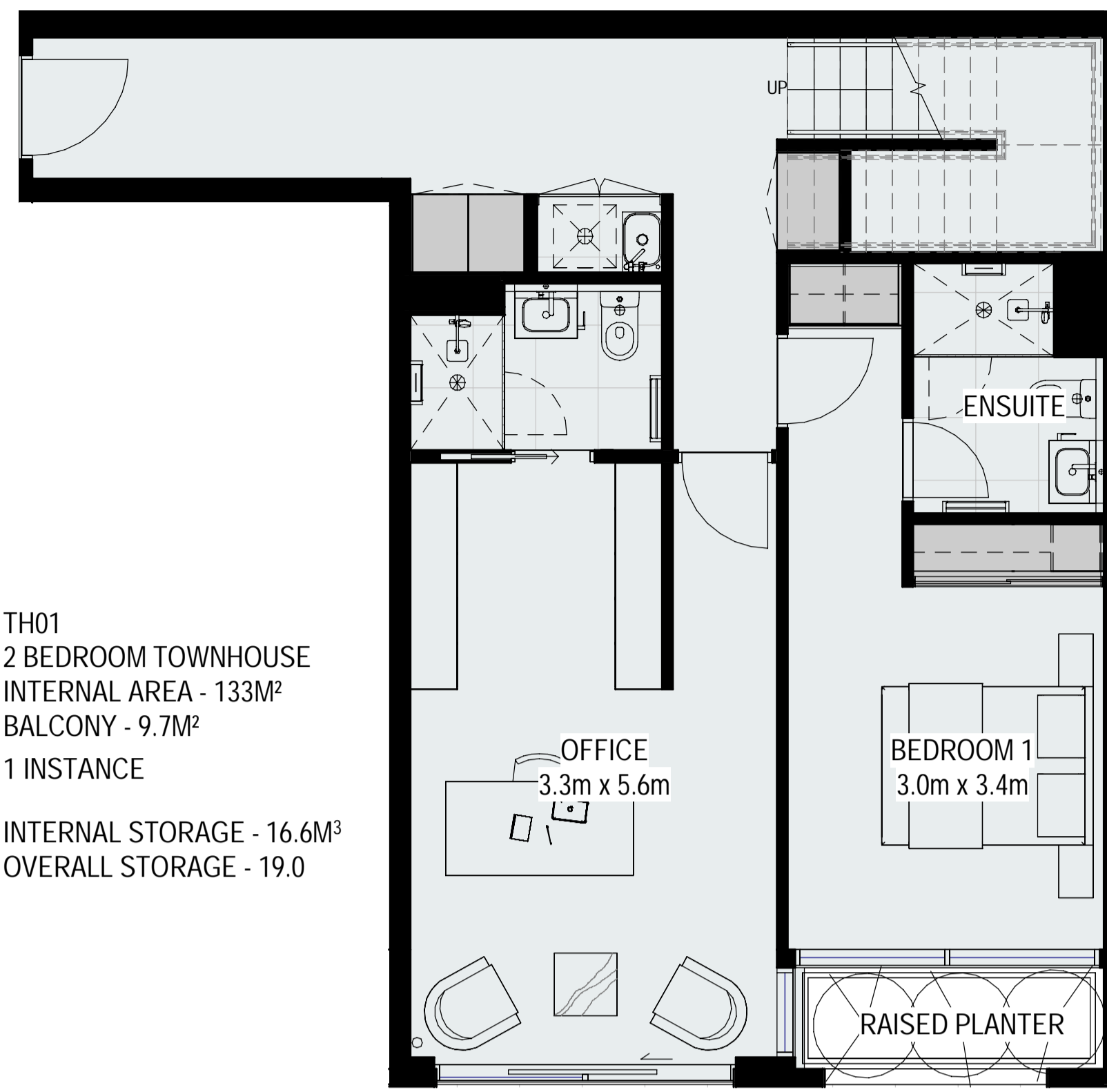




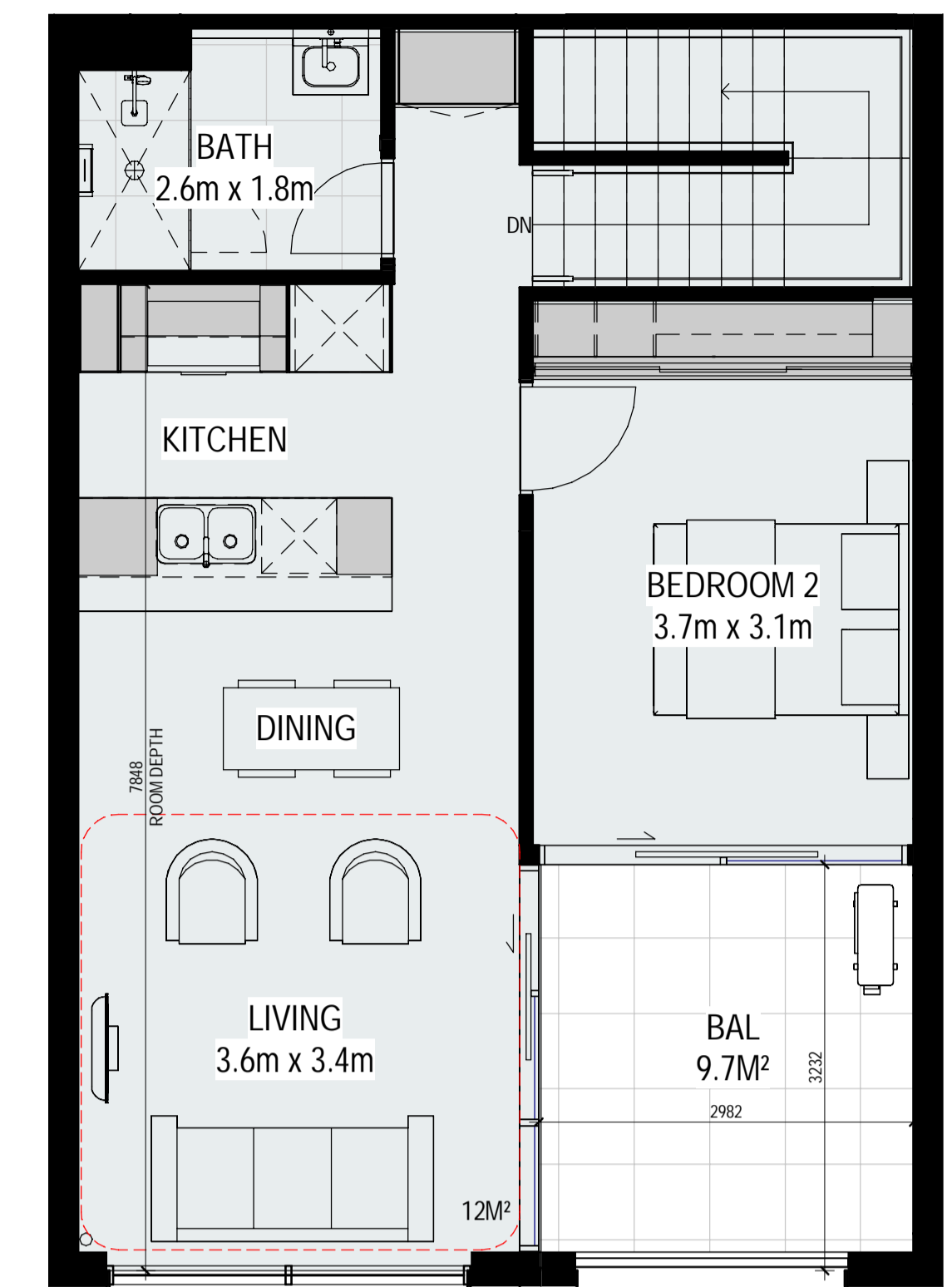
TYPE Z
 2 BEDROOM APARTMENT
 INTERNAL AREA - 70.4M²
 BALCONY - 9.5M²
 6 INSTANCES
 INTERNAL STORAGE - 10.1M³
 OVERALL STORAGE - 14.0M³

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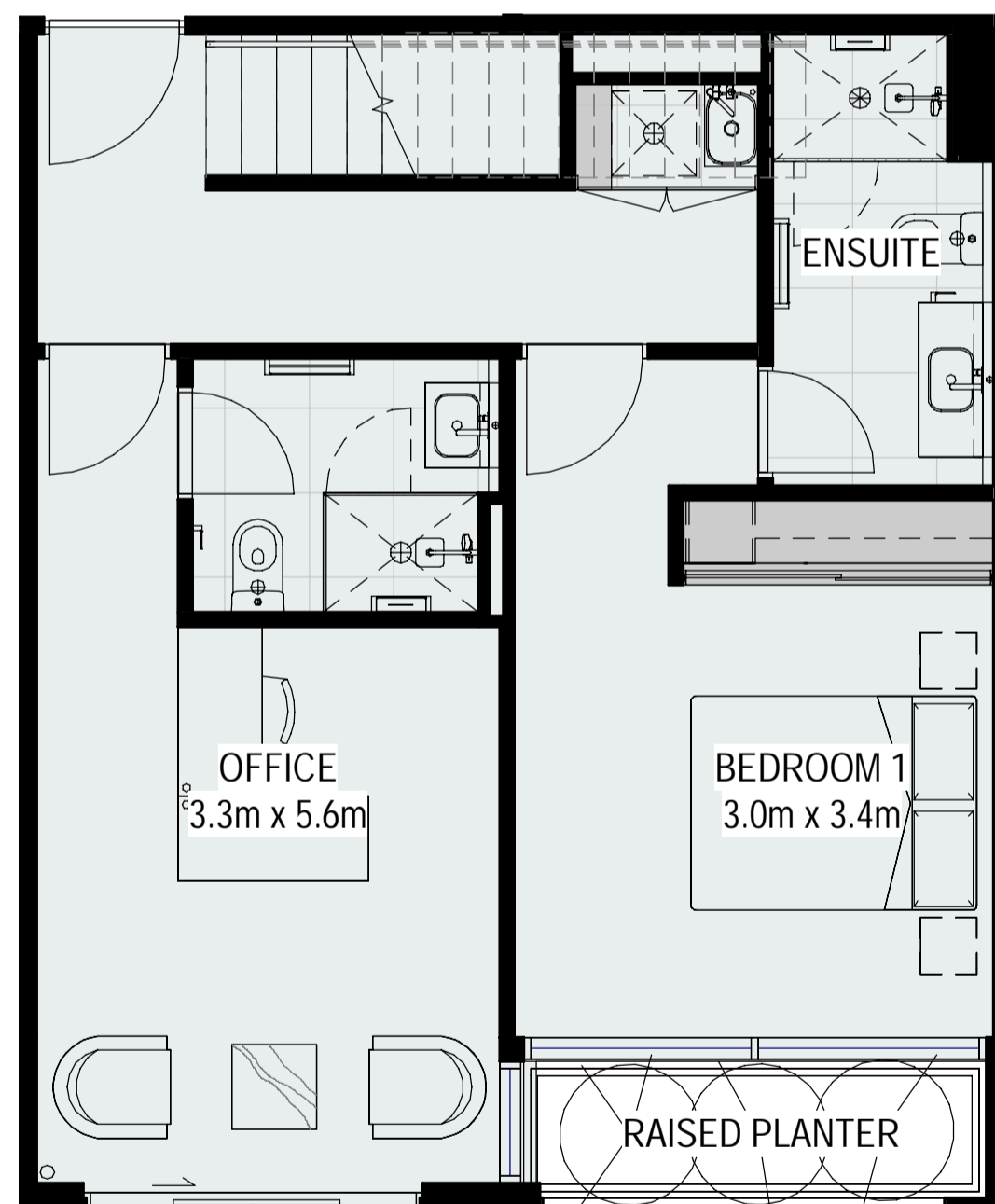
TH01
 2 BEDROOM TOWNHOUSE
 INTERNAL AREA - 133M²
 BALCONY - 9.7M²
 1 INSTANCE
 INTERNAL STORAGE - 16.6M³
 OVERALL STORAGE - 19.0



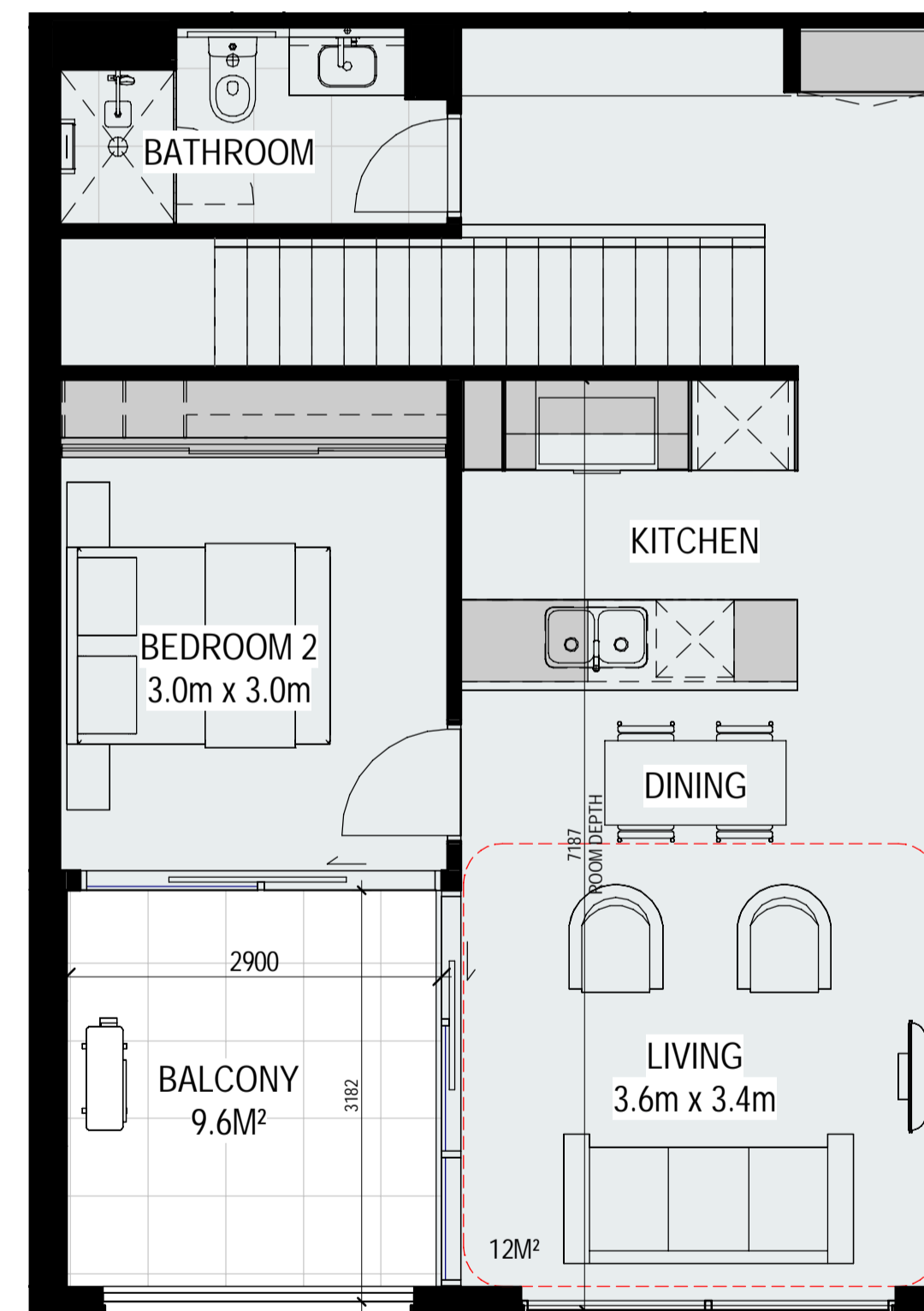
GROUND FLOOR



LEVEL 1



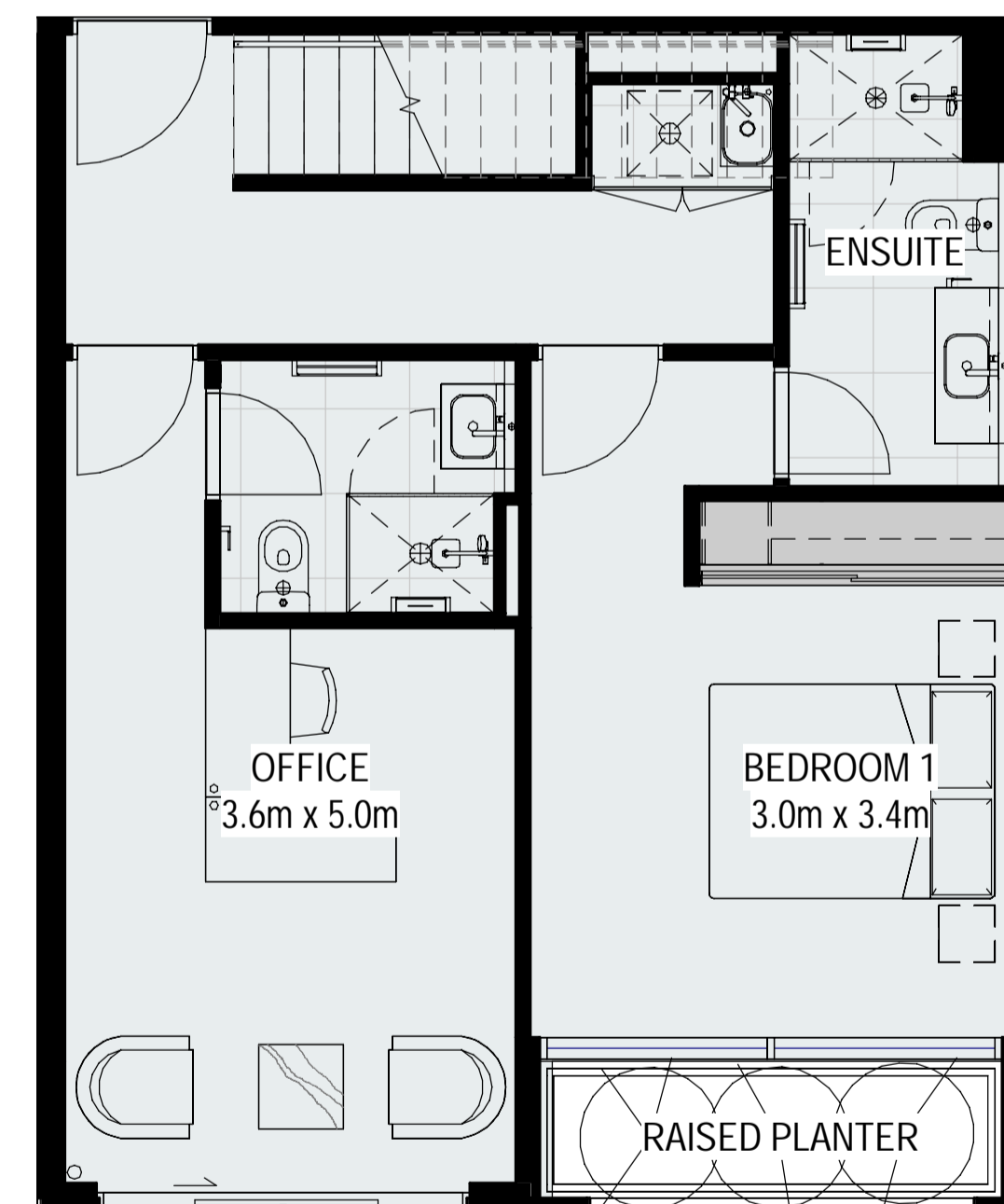
GROUND FLOOR



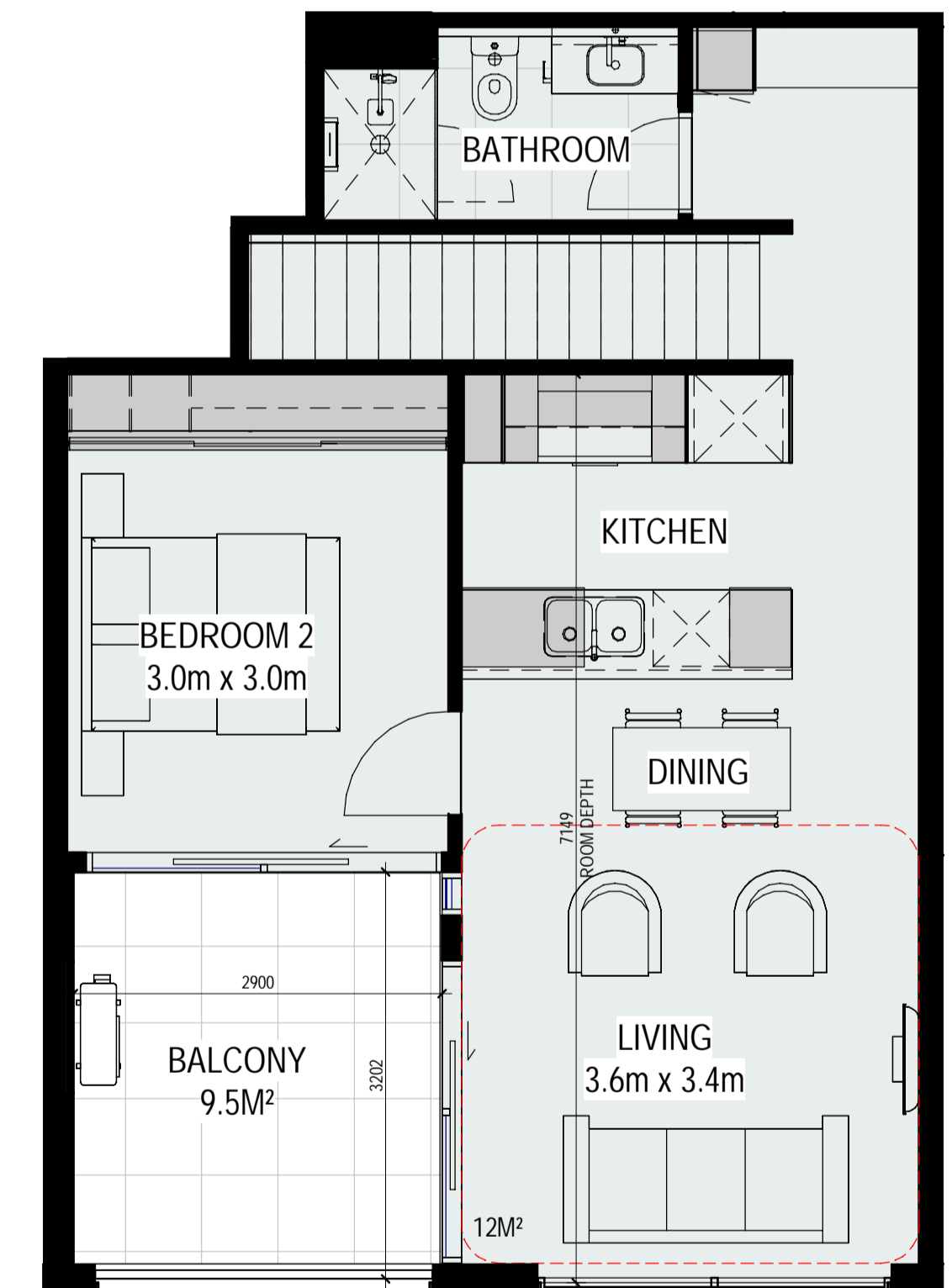
LEVEL 1

TH02
 2 BEDROOM APARTMENT
 INTERNAL AREA - 116M²
 BALCONY - 9.6M²
 1 INSTANCE

INTERNAL STORAGE - 12.2M³
 OVERALL STORAGE - 14.6M³



GROUND FLOOR

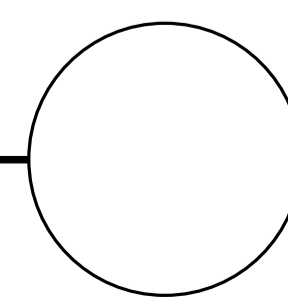


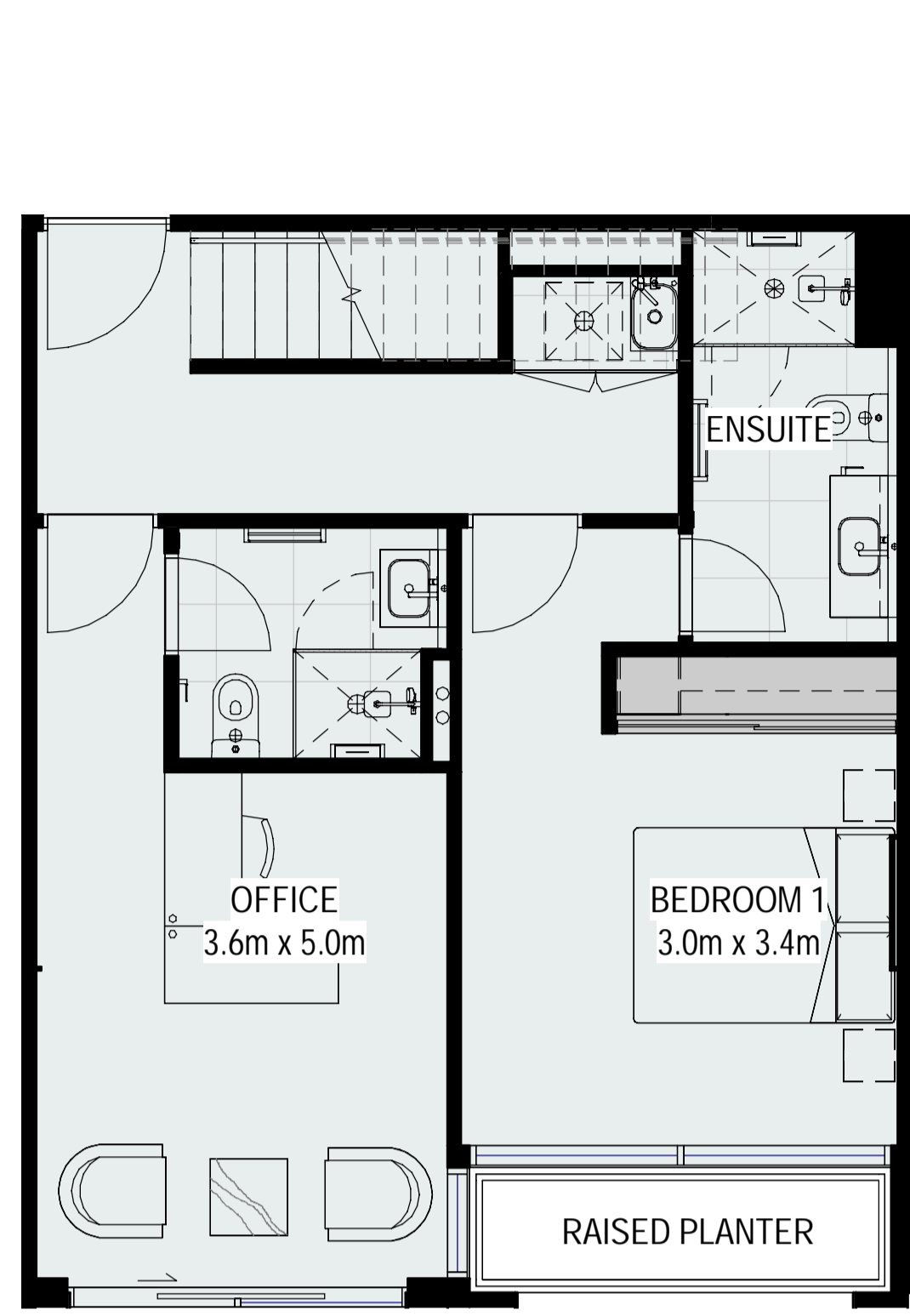
LEVEL 1

TH03
 2 BEDROOM APARTMENT
 INTERNAL AREA - 111M²
 BALCONY - 9.5M²
 1 INSTANCE

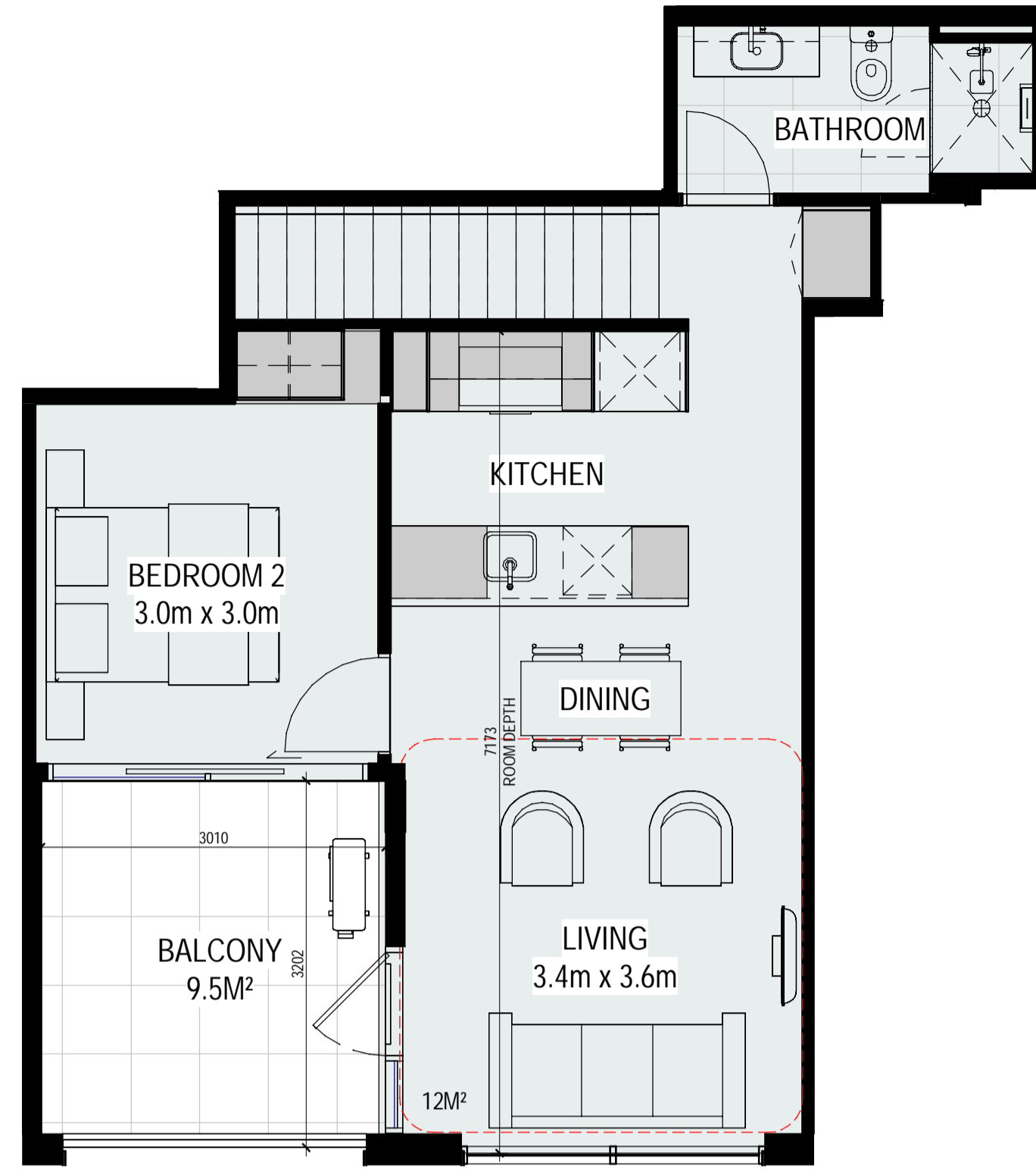
INTERNAL STORAGE - 12.0M³
 OVERALL STORAGE - 14.4M³

ADVERTISED PLAN





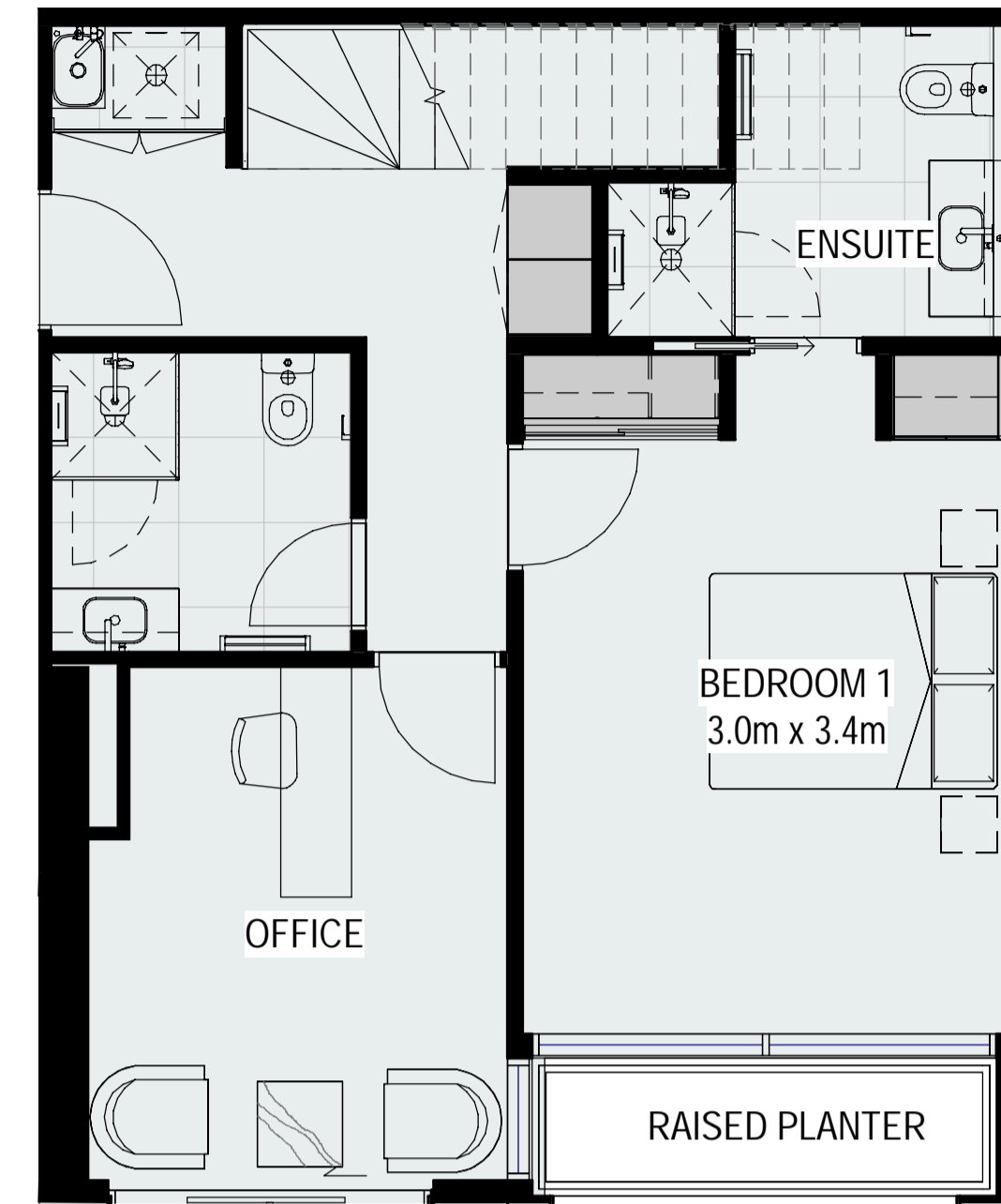
GROUND FLOOR



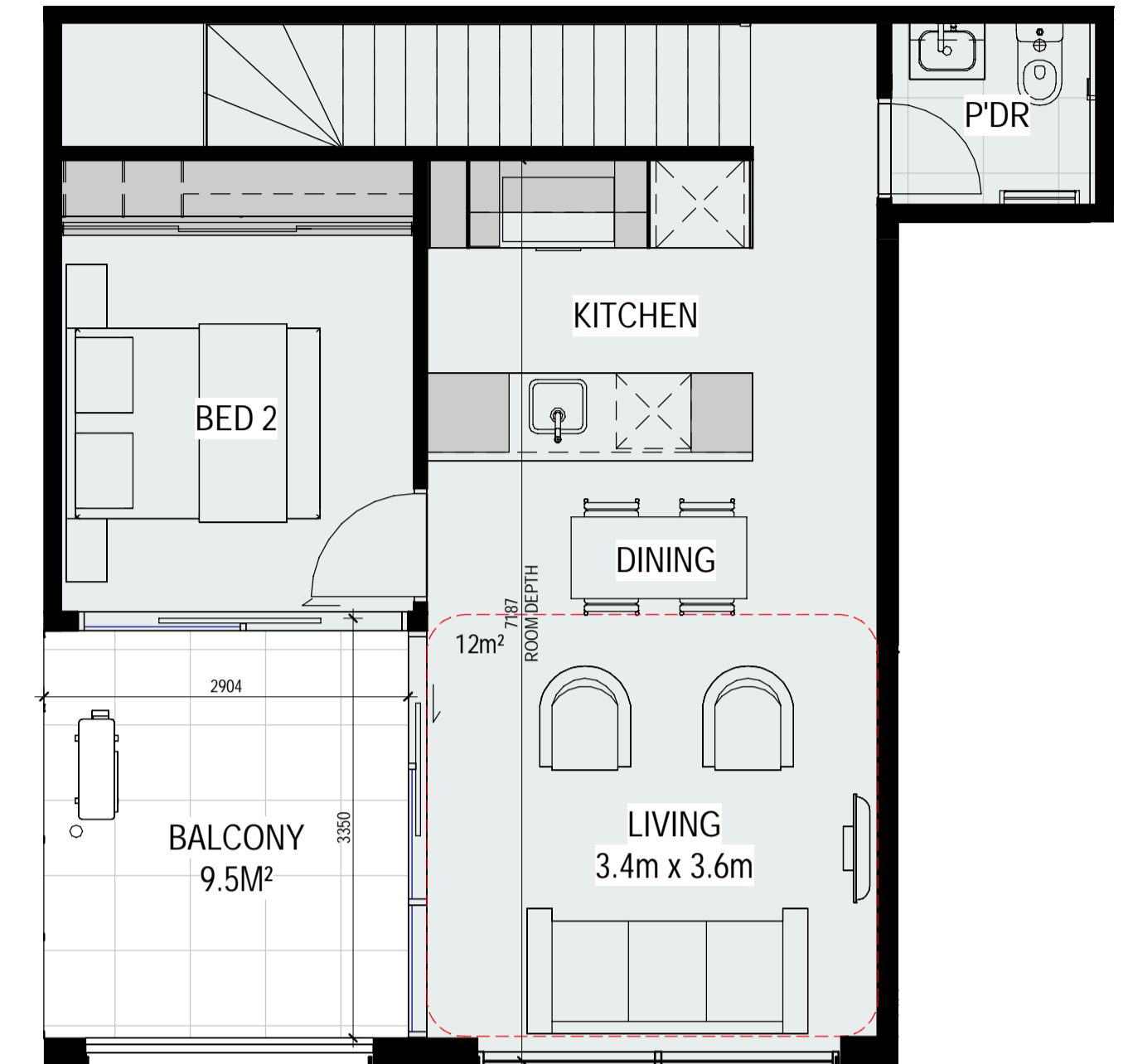
LEVEL 1

TH04
2 BEDROOM APARTMENT
INTERNAL AREA - 106.0M²
BALCONY - 9.5M²
1 INSTANCE

INTERNAL STORAGE - 9.1M³
OVERALL STORAGE - 14.0M³



GROUND FLOOR



LEVEL 1

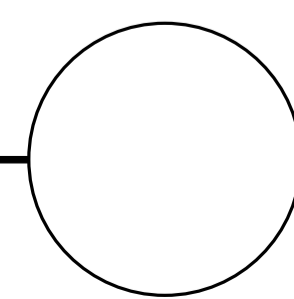
TH05
2 BEDROOM APARTMENT
INTERNAL AREA - 103.4M²
BALCONY - 9.5M²
1 INSTANCE

INTERNAL STORAGE - 14.6M³
OVERALL STORAGE - 17M³

ADVERTISED PLAN

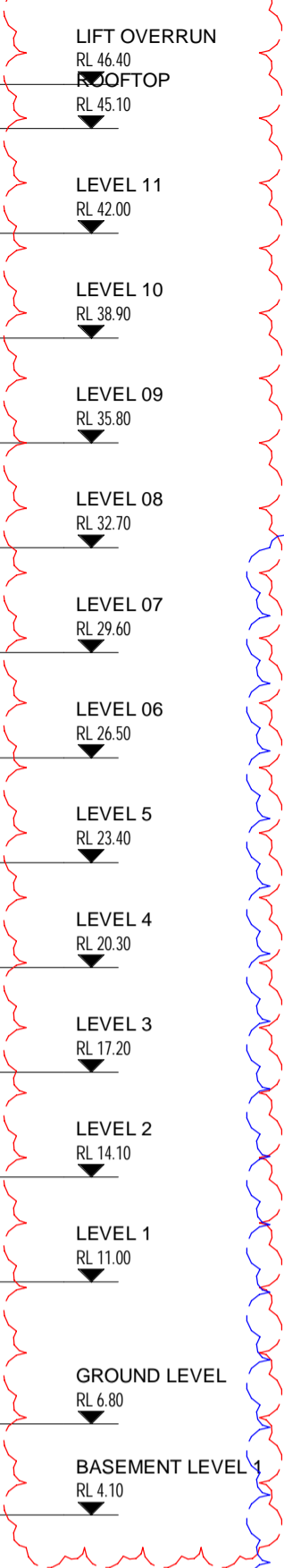
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P5	RFI RESPONSE			14/07/2023

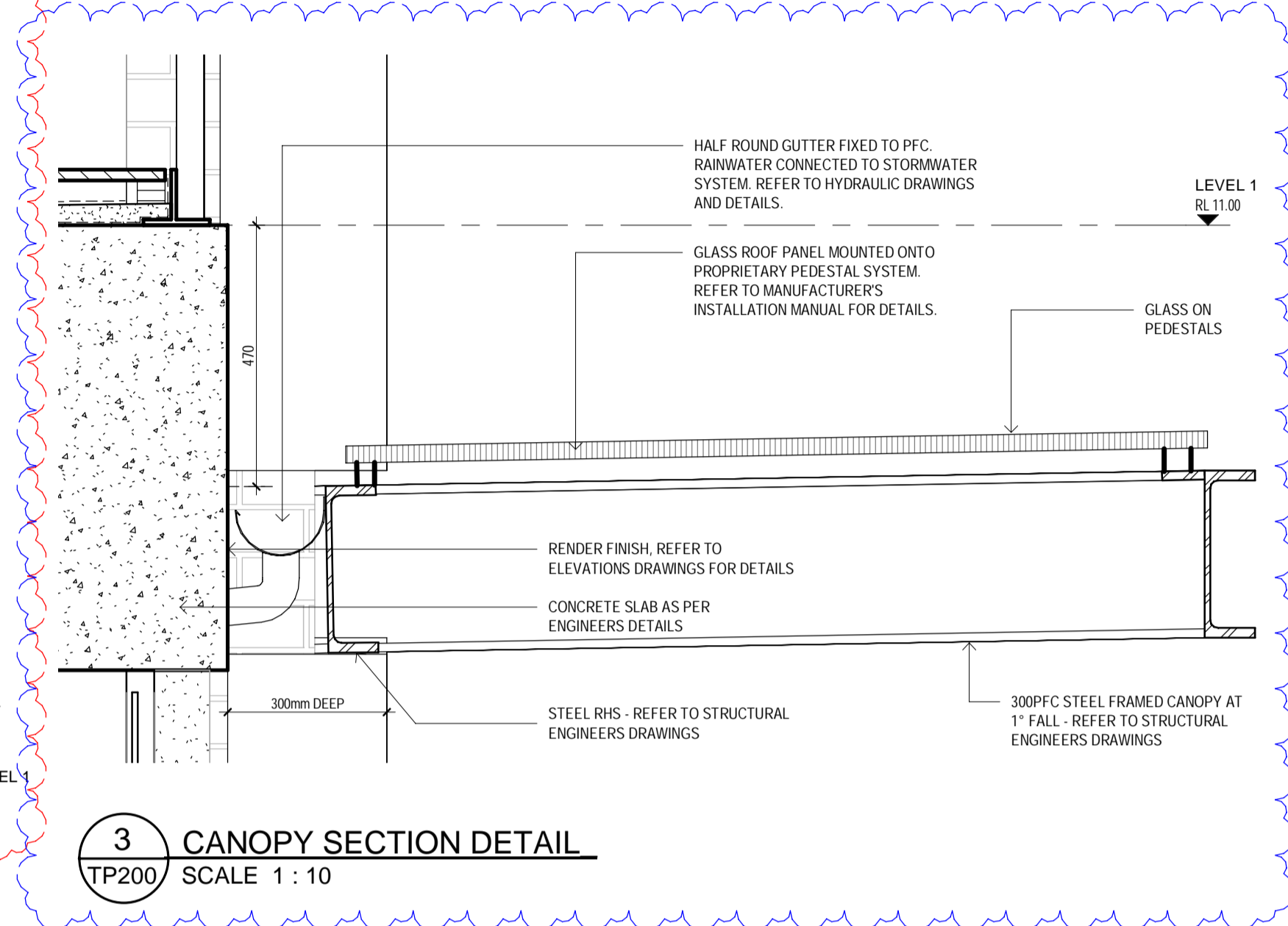




01 NORTH ELEVATION (SUTTON ST)
 TP200 SCALE 1 : 200



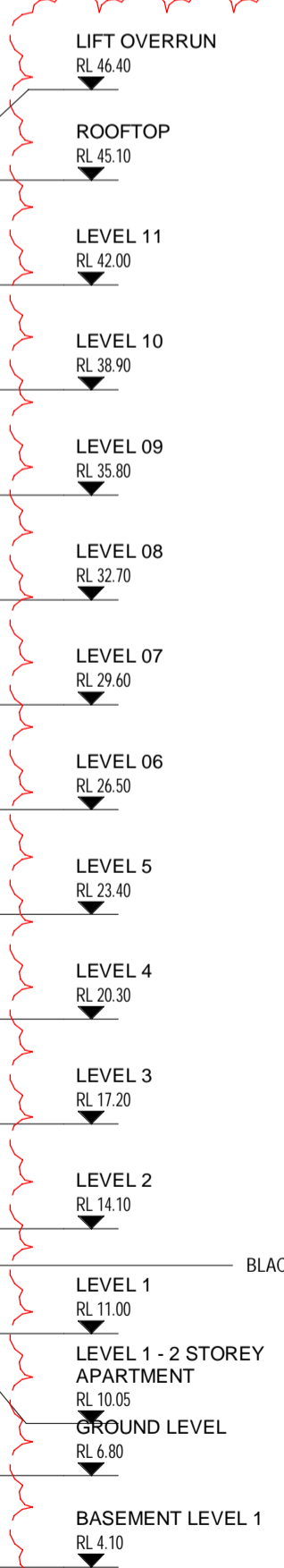
AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)
 LIGHT REFLECTIVITY FROM EXTERNAL MATERIALS AND FINISHES MUST NOT REFLECT MORE THAN 20% OF SPECULAR VISABLE LIGHT, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AS PER CONDITION 5



3 CANOPY SECTION DETAIL
 TP200 SCALE 1 : 10



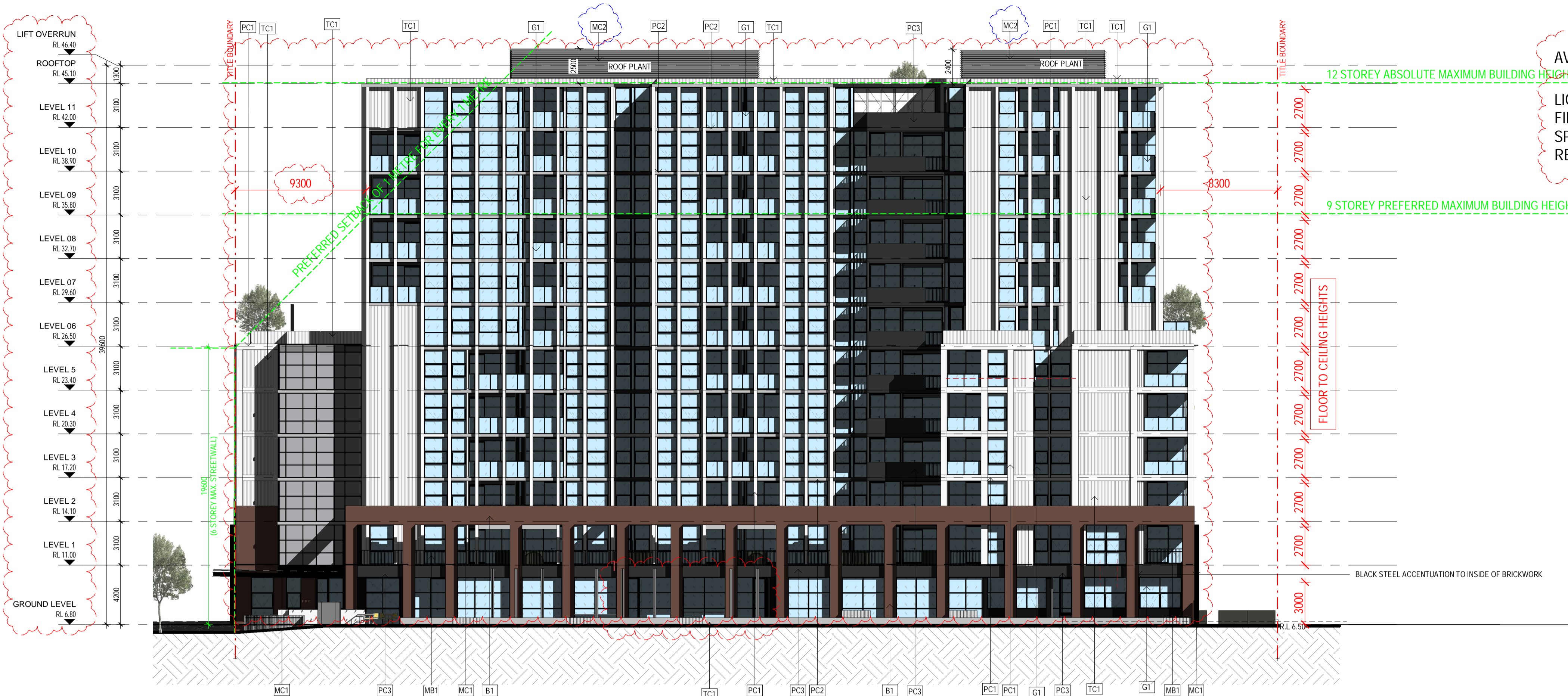
02 SOUTH ELEVATION
 TP200 SCALE 1 : 200



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AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)
 LIGHT REFLECTIVITY FROM EXTERNAL MATERIALS AND FINISHES MUST NOT REFLECT MORE THAN 20% OF SPECULAR VISABLE LIGHT, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AS PER CONDITION 5

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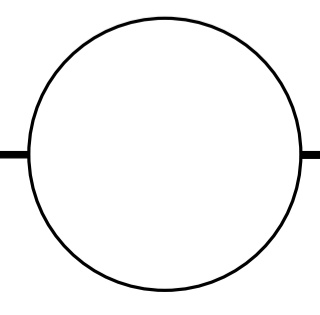
02 WEST ELEVATION
 TP201 SCALE 1 : 200



ADVERTISED PLAN

01 EAST ELEVATION
 TP201 SCALE 1 : 200

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
P3	DISCUSSION PLANS			01/07/2021
P4	S72 AMENDMENT/CONDITION 1 SUBMISSION			23/01/2023
P5	RFI RESPONSE			14/07/2023



AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)

LIGHT REFLECTIVITY FROM EXTERNAL MATERIALS AND FINISHES MUST NOT REFLECT MORE THAN 20% OF SPECULAR VISABLE LIGHT, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AS PER CONDITION 5

ADVERTISED PLAN



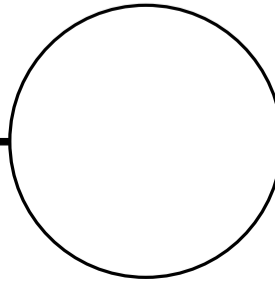
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1 STREET ELEVATION (SUTTON ST)
TP202/ SCALE 1 : 200

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REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
P3	DISCUSSION PLANS			01/07/2021
P4	S72 AMENDMENT/CONDITION 1 SUBMISSION			23/01/2023
P5	RFI RESPONSE			14/07/2023



TOWN PLANNING

PROJECT
77-83 SUTTON STREET
NORTH MELBOURNE VIC 3051

TITLE
STREETSCAPE
ELEVATIONS

DRAWN SCALE PLOT DATE JOB No.
SD 1 : 200 25/07/23 1015

DWG No. REVISION
TP202 P5

**ADVERTISED
PLAN**

AVERAGE 6.5 STAR NAtHERS RATED AS PER CONDITION 1(c)

LIGHT REFLECTIVITY FROM EXTERNAL MATERIALS AND FINISHES MUST NOT REFLECT MORE THAN 20% OF SPECULAR VISABLE LIGHT, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AS PER CONDITION 5

VERTICAL BLACK METAL BALUSTRADING TO LEVEL 1

BLACK STEEL ACCENTUATION TO INSIDE OF BRICKWORK



BLACK GLASSBACKED DOORS TO SUBSTATION
SECURITY GATE
PEDESTRIAN ENTRY TO CARPARK
BLACK SECTIONAL BAR PANEL GARAGE DOOR

FEATURE TREE
ENTRY TO FOOD & DRINK PREMISE
PUBLIC BIKE PARKING ON FOOTPATH

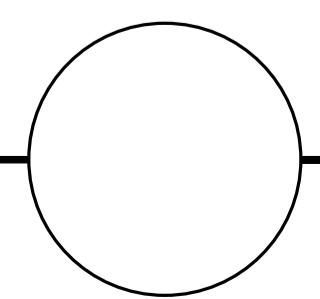
EXPOSED FIRE BOOSTER, GLASS ON BOTH SIDES WITH VISUAL LINK THROUGH TO FOOD AND DRINKS PREMISE BEHIND.

CANOPY TO SUTTON ST
MAIN APARTMENT ENTRY FROM LANEWAY

1 STREETScape - NORTH ELEVATION (SUTTON ST)
TP203 SCALE 1 : 50

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P1	RFI RESPONSE			22/10/2020
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ADVERTISED PLAN

AVERAGE 6.5 STAR NatHERS RATED AS PER CONDITION 1(c)
 LIGHT REFLECTIVITY FROM EXTERNAL MATERIALS AND FINISHES MUST NOT REFLECT MORE THAN 20% OF SPECULAR VISABLE LIGHT, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AS PER CONDITION 5



1 STREETScape - WEST ELEVATION
 TP204 SCALE 1 : 50

GAS METER

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2 STREETScape - WEST ELEVATION - 1
 TP204 SCALE 1 : 50

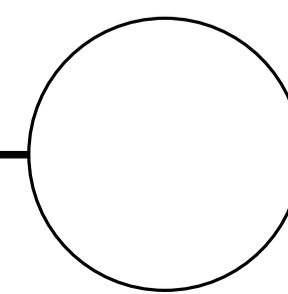
BIKE PARKING

OVERHEAD CATENARY AMBIENT LIGHTING

APARTMENT ENTRY

INTERIM FENCE & GATE SECURING SOUTHERN LANEWAY

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
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P5	RFI RESPONSE			14/07/2023





INTERIM FENCE & GATE SECURING SOUTHERN LANEWAY

1 STREETScape - SOUTH ELEVATION
TP205 SCALE 1 : 50

BLACK STEEL ACCENTUATION TO INSIDE OF BRICKWORK

ACCESS FROM GYM TO SOUTHERN LANEWAY

ACCESS THROUGH TO CORE

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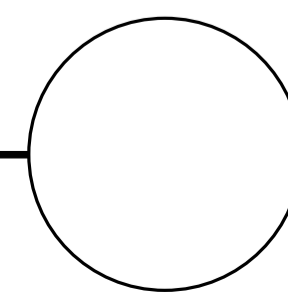
2 STREETScape - SOUTH ELEVATION - 1
TP205 SCALE 1 : 50

ENTRY TO HOME OFFICE

PLANTER

ENTRY TO HOME OFFICE

ADVERTISED PLAN



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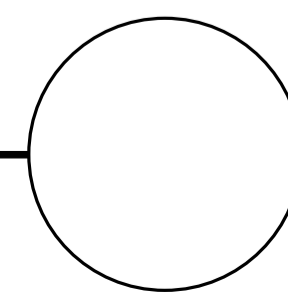
1 NORTH-SOUTH LANE SECTION
TP300 SCALE 1 : 200



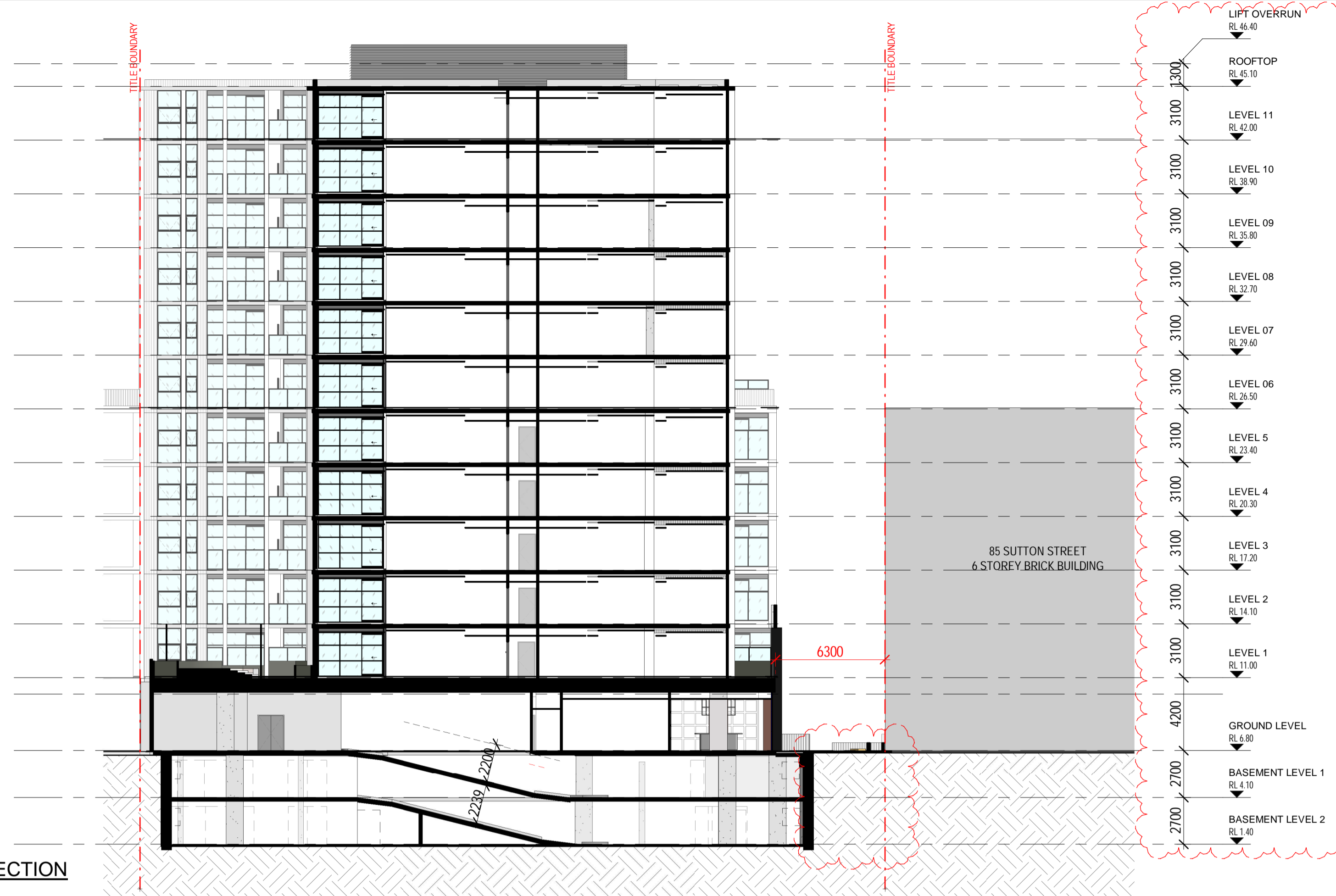
2 NORTH-SOUTH SECTION
TP300 SCALE 1 : 200

ADVERTISED PLAN

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
P3	DISCUSSION PLANS			01/07/2021
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P5	RFI RESPONSE			14/07/2023

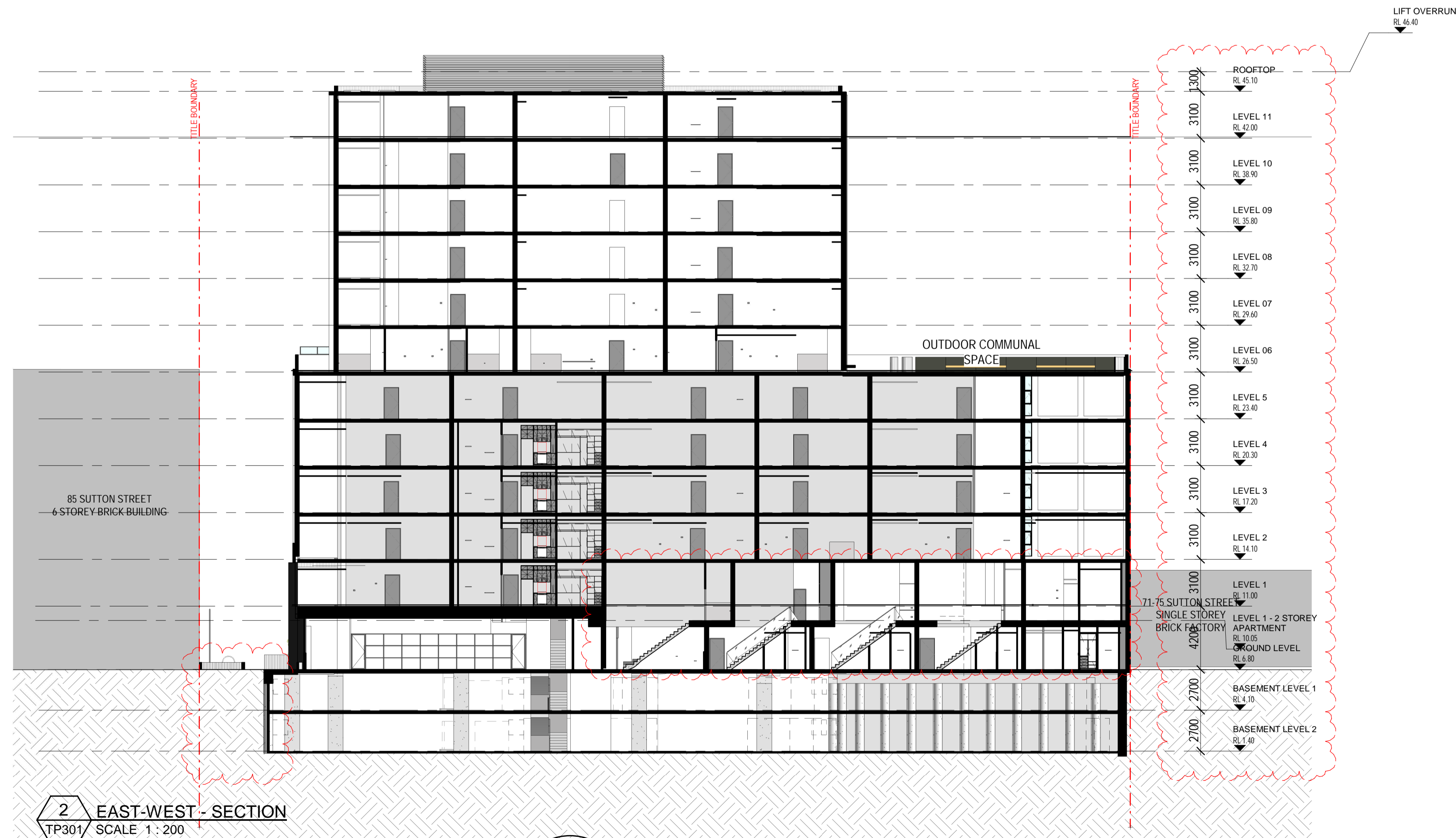


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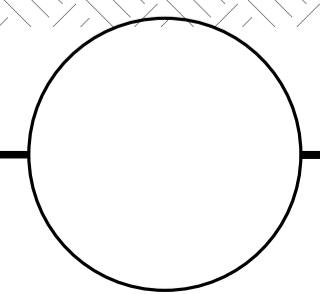
1 EAST-WEST SECTION
TP301 SCALE 1 : 200

ADVERTISED PLAN



2 EAST-WEST - SECTION
TP301 SCALE 1 : 200

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
P2	SECTION 50 AMENDMENT			23/02/2021
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ADVERTISED PLAN

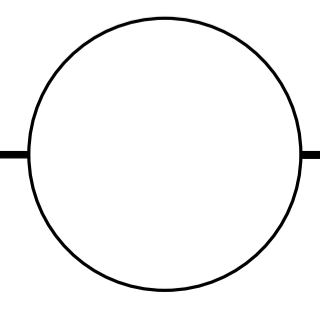
1100
19700
STREET WALL

TITLE BOUNDARY



1 STREETScape SECTION
TP302 SCALE 1 : 50

REV	DESCRIPTION	DRN	CHK	DATE
P1	RFI RESPONSE			22/10/2020
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P5	RFI RESPONSE			14/07/2023



ADVERTISED PLAN

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89 SUTTON STREET VACANT SITE

85 SUTTON STREET 6 STOREY BRICK BUILDING

71-75 SUTTON STREET SINGLE STOREY BRICK FACTORY

67-69 SUTTON STREET SINGLE STOREY BRICK FACTORY

81 BOUNDARY ROAD SINGLE STOREY BRICK FACTORY

73 BOUNDARY ROAD SINGLE STOREY BRICK FACTORY

74-88 MARK STREET SINGLE STOREY BRICK FACTORY

62-72 MARK STREET TRIPLE STOREY RENDERED FACTORY

CARPARK

DOUBLE STOREY BRICK FACTORY

63-71 BOUNDARY ROAD SINGLE STOREY CONCRETE FACTORY

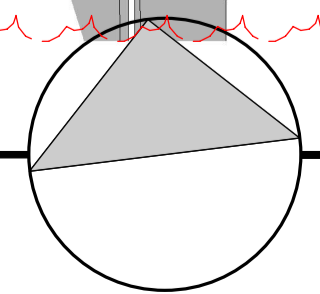
01 SHADOWS - 22 SEPTEMBER - 9AM
TP400 SCALE 1 : 250

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TOWN PLANNING

PROJECT
77-83 SUTTON STREET
NORTH MELBOURNE VIC 3051

TITLE
SHADOW DIAGRAMS 9AM

DRAWN
SCALE
PLOT DATE
JOB No.

SD
As indicated
25/07/23
1015

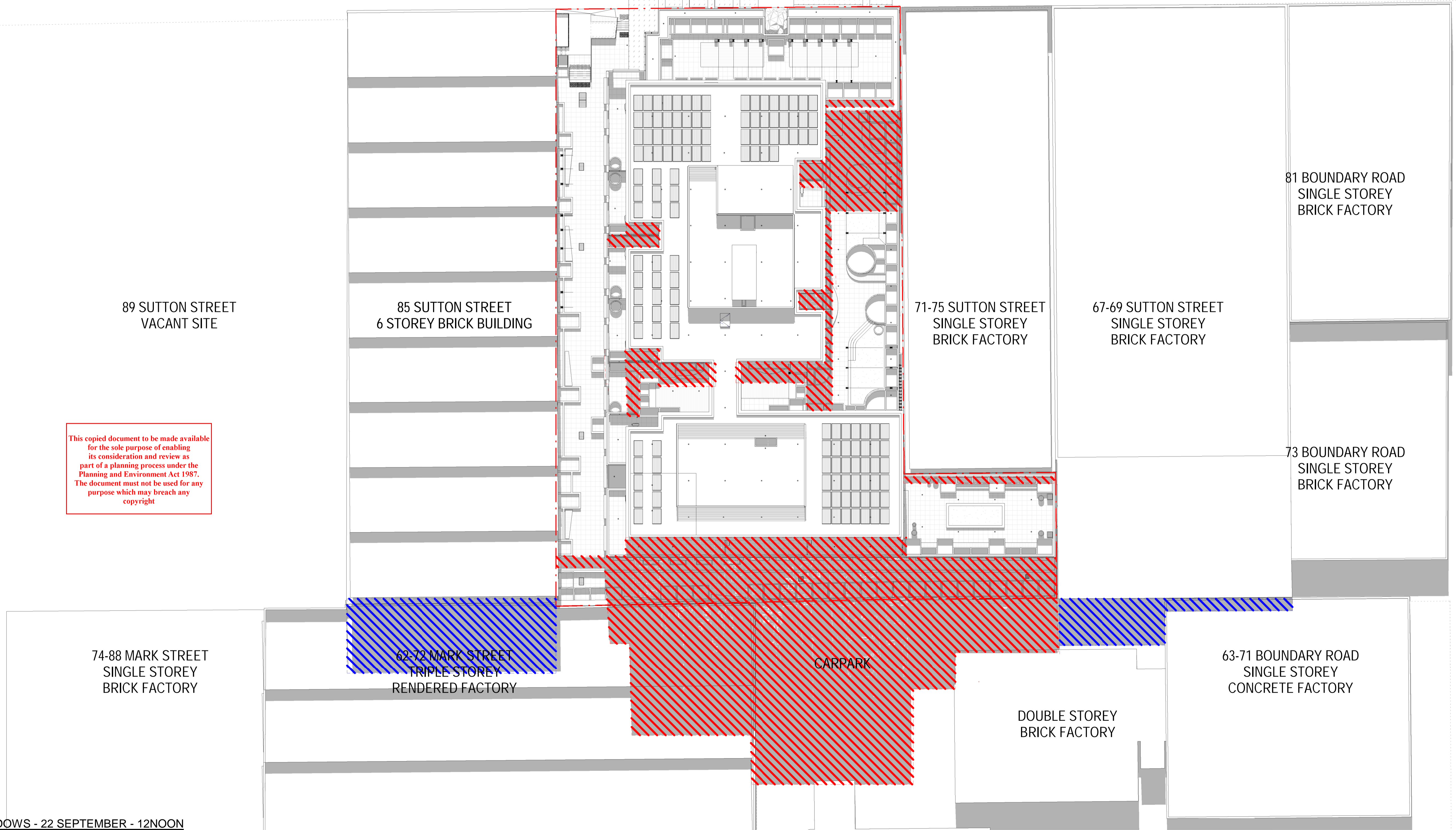
@ A1
DWG No
REVISION

TP400 P5

64-90 SUTTON STREET DOUBLE STOREY BRICK BUILDING

EXISTING NEIGHBOURING BUILDING SHADOW
 PROPOSED BUILDING SHADOW

ADVERTISED
 PLAN



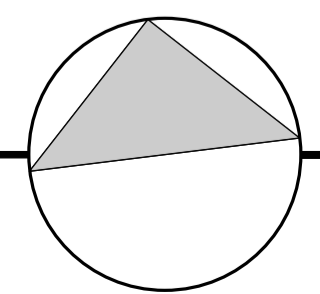
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1 SHADOWS - 22 SEPTEMBER - 12NOON
 TP401 SCALE 1 : 250

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P1	RFI RESPONSE			22.10.2020
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P5	RFI RESPONSE			14/07/2023



TOWN PLANNING

PROJECT TITLE DRAWN SCALE PLOT DATE JOB No.

77-83 SUTTON STREET NORTH MELBOURNE VIC 3051 SHADOW DIAGRAM 12PM SD As indicated 25/07/23 1015

@ A1 DWG No. REVISION

TP401 P5

ADVERTISED PLAN

81 BOUNDARY ROAD
SINGLE STOREY
BRICK FACTORY

89 SUTTON STREET
VACANT SITE

85 SUTTON STREET
6 STOREY BRICK BUILDING

71-75 SUTTON STREET
SINGLE STOREY
BRICK FACTORY

67-69 SUTTON STREET
SINGLE STOREY
BRICK FACTORY

73 BOUNDARY ROAD
SINGLE STOREY
BRICK FACTORY

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74-88 MARK STREET
SINGLE STOREY
BRICK FACTORY

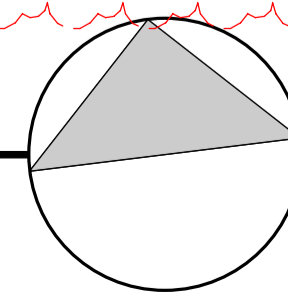
62-72 MARK STREET
TRIPLE STOREY
RENDERED FACTORY

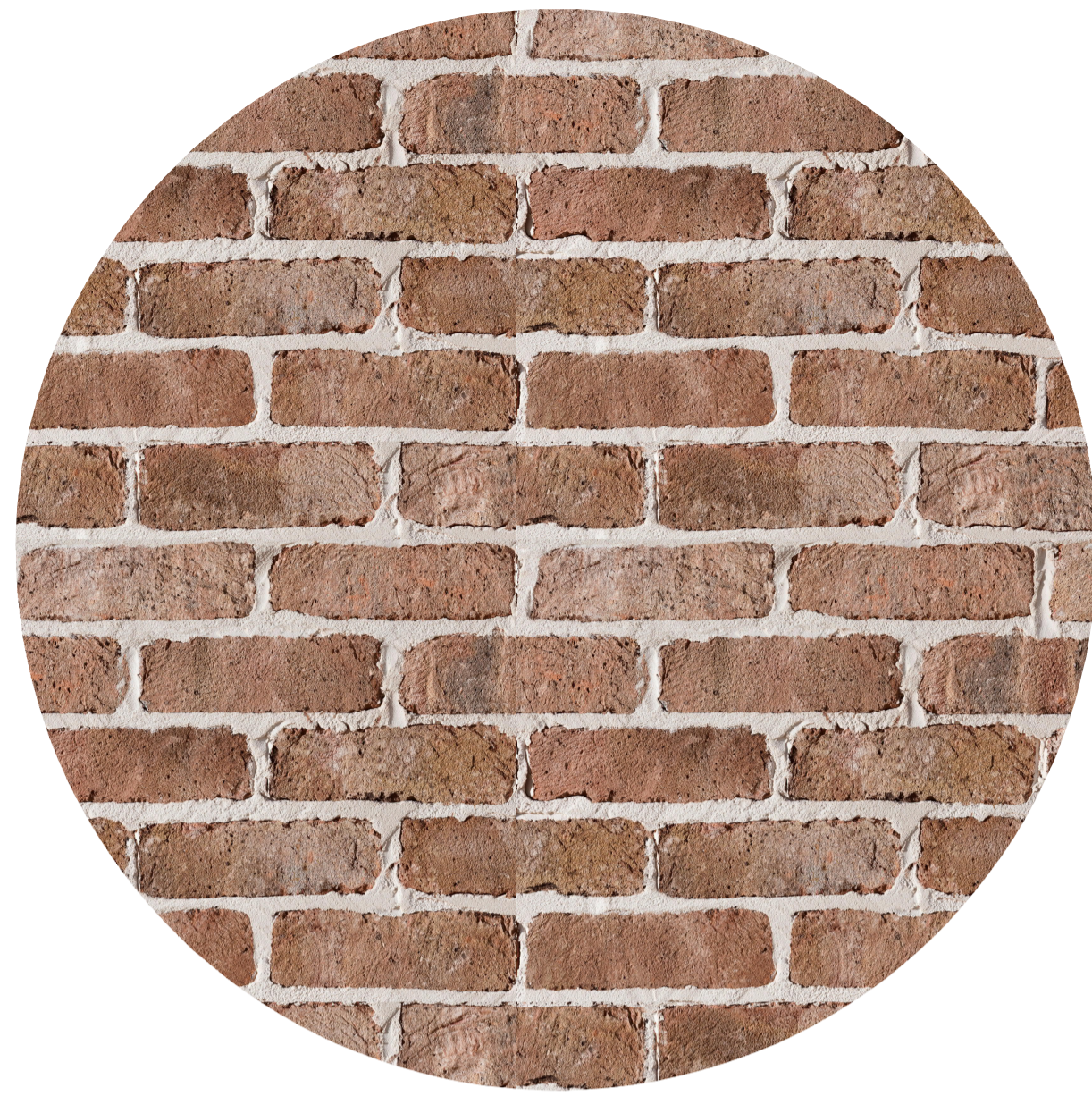
CARPARK

DOUBLE STOREY
BRICK FACTORY

63-71 BOUNDARY ROAD
SINGLE STOREY
CONCRETE FACTORY

REV	DESCRIPTION	DRN	CHK	DATE
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P5	RFI RESPONSE			14/07/2023





B1 BRICK FINISH
ROBERTSONS RUSTIC RED BRICK TILES
OR SIMILAR



PC1 CONCRETE FINISH
LIGHT GREY PRECAST CONCRETE



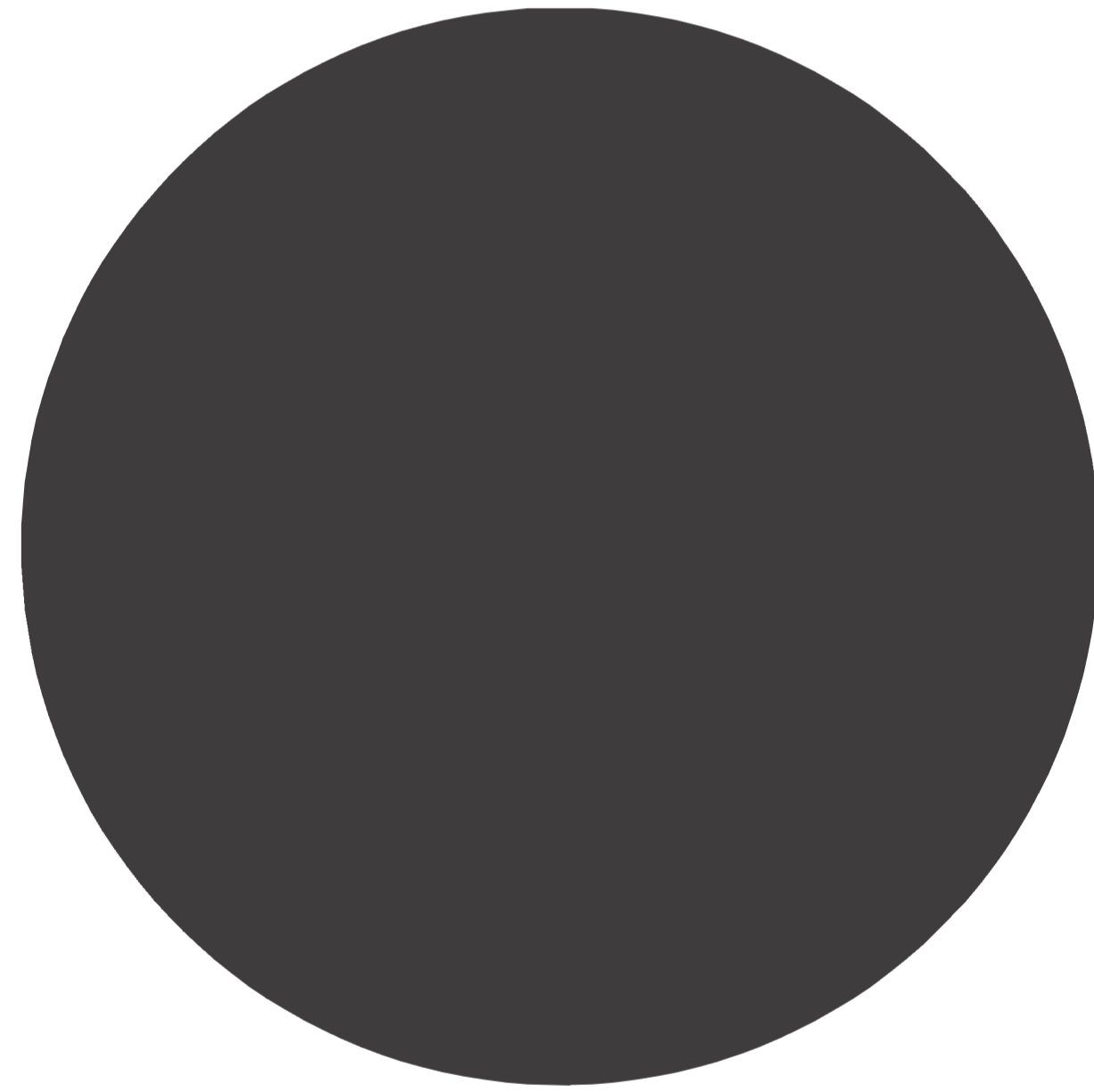
PC2 PRECAST CONCRETE
CONCRETE NATURAL FINISH OR SIMILAR



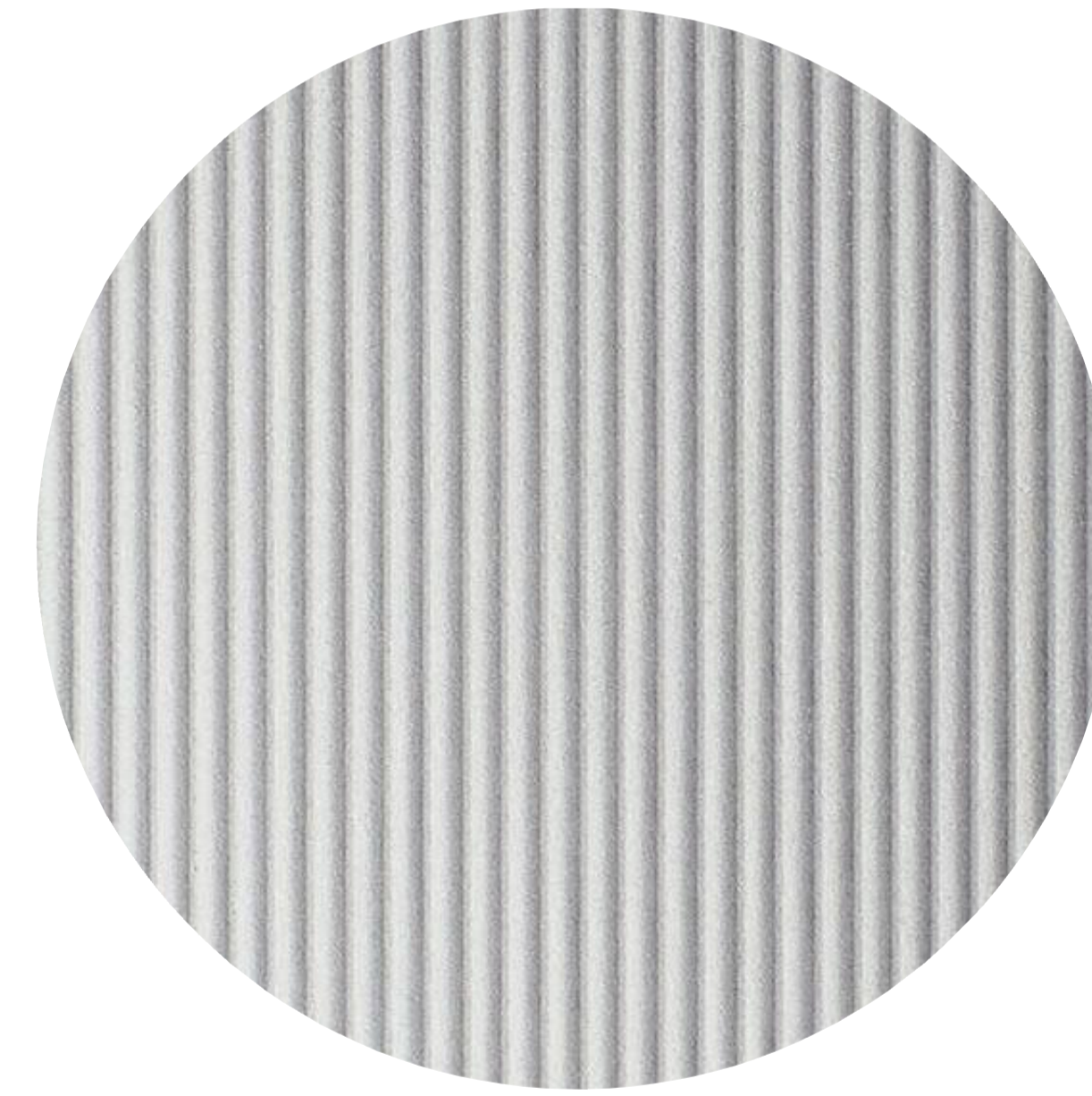
MC2 POWDERCOAT METAL LOUVERS
(ROOF PLANT)
SURFMIST OR SIMILAR



PC3 DARK GREY CONCRETE



MC1 METAL CLADDING
COLORBOND 'MONUMENT FINISH'



TC1 VERTICAL RIBBED PRECAST CONCRETE
LIGHT GREY CONCRETE

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ADVERTISED PLAN



G1
GLAZED WINDOW
FINISH_CLEAR

OP

GLAZED WINDOW
FINISH_OPAQUE



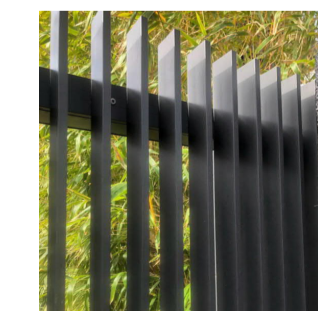
BG1
COLOUR BACKED GLASS
FINISH_BLACK



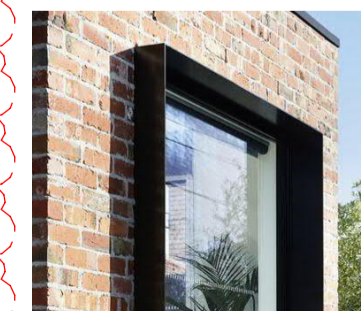
WIN
ALUMINIUM WINDOW
FRAME_BLACK OR SIMILAR



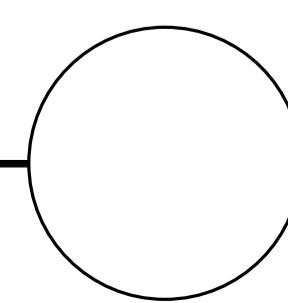
GB
GLASS BALUSTRADE
FRAME_BLACK OR SIMILAR



MB1
METAL BALUSTRADE
COLOUR 'MONUMENT'
OR SIMILAR



MF
METAL FRAMING
COLOUR 'MONUMENT'
OR SIMILAR



DEVELOPMENT SUMMARY

SITE AREA:	3439.06 SQM APPROX
GROUND FLOOR: 5 X 2 STOREY, 2 BEDROOM +OFFICE	
LEVEL 1: 6 X 1 BEDROOM APARTMENTS 13 X 2 BEDROOM APARTMENTS	
LEVEL 2: 8 X 1 BEDROOM APARTMENTS 15 X 2 BEDROOM APARTMENTS	
LEVEL 3: 8 X 1 BEDROOM APARTMENTS 15 X 2 BEDROOM APARTMENTS	
LEVEL 4: 8 X 1 BEDROOM APARTMENTS 15 X 2 BEDROOM APARTMENTS	
LEVEL 5: 8 X 1 BEDROOM APARTMENTS 15 X 2 BEDROOM APARTMENTS	
LEVEL 6: 7 X 1 BEDROOM APARTMENTS 7 X 2 EDROOM APARTMENTS 2 X 3 BEDROOM APARTMENTS	
LEVEL 7: 7 X 1 BEDROOM APARTMENTS 10 X 2 BEDROOM APARTMENTS	
LEVEL 8: 7 X 1 BEDROOM APARTMENTS 10 X 2 BEDROOM APARTMENTS	
LEVEL 9: 7 X 1 BEDROOM APARTMENTS 10 X 2 BEDROOM APARTMENTS	
LEVEL 10: 7 X 1 BEDROOM APARTMENTS 10 X 2 BEDROOM APARTMENTS	
LEVEL 11: 5 X 1 BEDROOM APARTMENTS 7 X 2 BEDROOM APARTMENTS 2 X 3 BEDROOM APARTMENTS	
OVERALL 214 APARTMENTS	5 X 2 BEDROOM + OFFICE 78 X 1 BEDROOM APARTMENTS 127 X 2 BEDROOM APARTMENTS 4 X 3 BEDROOM APARTMENTS

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ADVERTISED PLAN

AREA ANALYSIS

LEVEL	N.S.A	G.F.A (EX BALCONY)	BALCONY
BASEMENT 2		2848.3 SQM	
BASEMENT 1		2848.3 SQM	
GROUND FLOOR:	298.8 SQM	2516.7 SQM	
LEVEL 1:	1557.6 SQM	1806.4 SQM	407.1 SQM
LEVEL 2:	1543.8 SQM	1813.5 SQM	255 SQM
LEVEL 3:	1543.8 SQM	1813.5 SQM	255 SQM
LEVEL 4:	1543.8 SQM	1813.5 SQM	255 SQM
LEVEL 5:	1543.8 SQM	1813.5 SQM	255 SQM
LEVEL 6:	1089.7 SQM	1290.6 SQM	275.1 SQM
LEVEL 7:	1071.2 SQM	1264.5 SQM	178.9 SQM
LEVEL 8:	1071.2 SQM	1264.5 SQM	178.9 SQM
LEVEL 9:	1071.2 SQM	1264.5 SQM	178.9 SQM
LEVEL 10:	1071.2 SQM	1264.5 SQM	178.9 SQM
LEVEL 11:	962.6 SQM	1165.4 SQM	148 SQM
TOTAL (EX BASEMENT):	14368.7 SQM	19091.1 SQM	2565.8 SQM
TOTAL (INC BASEMENT):		24787.7 SQM	

ACCESSIBILITY

TYPE	INSTANCES
TYPE B	43
TYPE D	5
TYPE E	22
TYPE G	10
TYPE J	18
TYPE K	5
TYPE M	5
TOTAL:	108 (50.5%)

CROSS VENTILATION

TYPE	INSTANCES
TYPE A	5
TYPE C	5
TYPE J	18
TYPE K	5
TYPE M	5
TYPE P	2
TYPE Q	2
TYPE T	6
TYPE U	5
TYPE W	4
TYPE X	4
TYPE Y	4
TOTAL:	65 (30%)

PARKING/STORAGE ANALYSIS

LEVEL	CAR SPACES	BIKES	STORAGE		
			1.0M³	2.5M³	2.5M³/3.0M³ (OVERBONNET)
GROUND FLOOR	19	198	0	0	17
BASEMENT 1	86		17	50	86
BASEMENT 2	90		23	88	90
TOTAL:	195	198 (11 HORIZONTAL PARKING SPACES)	40	138	193

