

PROPOSED DEVELOPMENT  
139 - 149 Boundary Road | North Melbourne

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TOWN PLANNING



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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVL RP RESPONSE
C	31/07/2020	DEVL RP RESPONSE - FULL RE-DESIGN

Title

COVER SHEET

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP0.00

Revision

C

Scale

@A1

Date

31/07/2020

Drawn by:DRW Checked by:CHK



TP - TOWNHOUSES COUNT	
UNIT TYPE	NUMBER
TOWNHOUSE	8
TOTAL UNITS	8

TP - APARTMENT MIX		
UNIT TYPE	NUMBER	MIX %
1 BED & 1 BATH	99	36.3%
1 BED & 1 BATH + STUDY	15	5.5%
2 BED & 2 BATH	138	50.5%
2 BED + 2 BATH + STUDY	9	3.3%
3 BED & 2 BATH	12	4.4%
TOTAL UNITS	273	100.0%

GFA (EXCLUDING BALCONIES AND LANDSCAPE AREAS) OVERALL	
BASEMENT 03	
CARPARK	3130.81 m²
COMMON	65.06 m²
CORE	89.76 m²
3285.63 m²	
BASEMENT 02	
CARPARK	3130.81 m²
COMMON	65.06 m²
CORE	89.76 m²
3285.63 m²	
BASEMENT 01	
CARPARK	3159.92 m²
COMMON	173.63 m²
CORE	89.76 m²
SERVICES	58.19 m²
3481.50 m²	
LOWER GROUND FLOOR	
CARPARK	1356.26 m²
COMMON	415.48 m²
COMMUNAL	300.41 m²
CORE	98.01 m²
TOWNHOUSE	453.35 m²
2623.51 m²	
UPPER GROUND FLOOR	
APARTMENT	238.77 m²
COMMON	387.55 m²
COMMUNAL	508.41 m²
CORE	98.81 m²
RETAIL	262.72 m²
SERVICES	94.21 m²
TOWNHOUSE	481.89 m²
2072.35 m²	
LEVEL 01	
APARTMENT	1703.47 m²
COMMON	212.13 m²
CORE	98.01 m²
SERVICES	24.88 m²
2038.49 m²	
LEVEL 02	
APARTMENT	1749.08 m²
COMMON	212.13 m²
CORE	98.01 m²
SERVICES	24.88 m²
2084.09 m²	
LEVEL 03	
APARTMENT	1749.08 m²
COMMON	212.13 m²
CORE	98.01 m²
SERVICES	24.88 m²
2084.09 m²	

GFA (EXCLUDING BALCONIES AND LANDSCAPE AREAS) OVERALL	
LEVEL 04	
APARTMENT	1749.08 m²
COMMON	212.13 m²
CORE	98.01 m²
SERVICES	24.88 m²
2084.09 m²	
LEVEL 05	
APARTMENT	1749.08 m²
COMMON	212.13 m²
CORE	98.01 m²
SERVICES	24.88 m²
2084.09 m²	
LEVEL 06	
APARTMENT	1471.71 m²
COMMON	199.97 m²
CORE	98.01 m²
SERVICES	24.88 m²
1794.57 m²	
LEVEL 07	
APARTMENT	1471.71 m²
COMMON	199.97 m²
CORE	98.01 m²
SERVICES	24.88 m²
1794.57 m²	
LEVEL 08	
APARTMENT	1471.71 m²
COMMON	199.97 m²
CORE	98.01 m²
SERVICES	24.88 m²
1794.57 m²	
LEVEL 09	
APARTMENT	1471.71 m²
COMMON	199.97 m²
CORE	98.01 m²
SERVICES	24.88 m²
1794.57 m²	
LEVEL 10	
APARTMENT	1471.71 m²
COMMON	199.97 m²
CORE	98.01 m²
SERVICES	24.88 m²
1794.57 m²	
LEVEL 11	
APARTMENT	731.67 m²
COMMON	109.31 m²
CORE	62.98 m²
SERVICES	12.32 m²
916.28 m²	
TOTAL GFA	35012.61 m²

TP - NSA TOWNHOUSES	
LEVEL	AREA
LOWER GROUND FLOOR	453 m <sup>2</sup>
UPPER GROUND FLOOR	482 m <sup>2</sup>
TOTAL NSA	935 m <sup>2</sup>

TP - NSA APARTMENTS (EXCLUDING BALCONIES)	
LEVEL	AREA
UPPER GROUND FLOOR	239 m²
LEVEL 01	1703 m²
LEVEL 02	1749 m²
LEVEL 03	1749 m²
LEVEL 04	1749 m²
LEVEL 05	1749 m²
LEVEL 06	1472 m²
LEVEL 07	1472 m²
LEVEL 08	1472 m²
LEVEL 09	1472 m²
LEVEL 10	1472 m²
LEVEL 11	732 m²
TOTAL NSA	17029 m²

TP - NLA (RETAIL)	
USE	AREA
UPPER GROUND FLOOR	
	262.7 m <sup>2</sup>
TOTAL NLA	262.7 m <sup>2</sup>

TP - BALCONY AREAS	
LEVEL	AREA
LOWER GROUND FLOOR	637 m <sup>2</sup>
UPPER GROUND FLOOR	577 m <sup>2</sup>
LEVEL 01	266 m <sup>2</sup>
LEVEL 02	276 m <sup>2</sup>
LEVEL 03	276 m <sup>2</sup>
LEVEL 04	276 m <sup>2</sup>
LEVEL 05	276 m <sup>2</sup>
LEVEL 06	235 m <sup>2</sup>
LEVEL 07	235 m <sup>2</sup>
LEVEL 08	235 m <sup>2</sup>
LEVEL 09	235 m <sup>2</sup>
LEVEL 10	235 m <sup>2</sup>
LEVEL 11	354 m <sup>2</sup>
TOTAL BALCONY	4114 m <sup>2</sup>

TP - COMMUNAL LANDSCAPE AREAS (INCLUDING ROOF GARDEN)	
LOWER GROUND FLOOR	483.5 m²
UPPER GROUND FLOOR	476.2 m²
LEVEL 11	236.6 m²
TOTAL COMMUNAL LANDSCAPE	1196.2 m²

TP - COMMUNAL AREA (EXCLUDING ROOF GARDEN)	
LOWER GROUND FLOOR	300.4 m <sup>2</sup>
UPPER GROUND FLOOR	508.4 m <sup>2</sup>
TOTAL COMMUNAL	808.8 m <sup>2</sup>

TP - CAR PARKING SCHEDULE		
LEVEL	USE	NUMBER
LOWER GROUND FLOOR		
LOWER GROUND FLOOR	RES.	41
		41
BASEMENT 01		
BASEMENT 01	COM.	9
BASEMENT 01	DDA	1
BASEMENT 01	RES.	71
BASEMENT 01	TANDEM RES.	4
		85
BASEMENT 02		
BASEMENT 02	RES.	95
BASEMENT 02	TANDEM RES.	4
		99
BASEMENT 03		
BASEMENT 03	RES.	97
BASEMENT 03	TANDEM RES.	4
		101
TOTAL PARKING		326

TP - BIKE VISITORS SCHEDULE - HORIZONTAL	
LEVEL	BIKE COUNT
UPPER GROUND FLOOR	26
LOWER GROUND FLOOR	36
TOTAL	62

TP - BIKE RESIDENTS SCHEDULE	
LEVEL	BIKE COUNT
LOWER GROUND FLOOR	50
BASEMENT 01	63
BASEMENT 02	109
BASEMENT 03	140
TOTAL	362

TP - STORE SCHEDULE	
LEVEL	NUMBER
LOWER GROUND FLOOR	41
BASEMENT 01	67
BASEMENT 02	95
BASEMENT 03	97
TOTAL STORES	300

STORAGE CAGES - 4M3 OVER BONNET	
LEVEL	STORAGE COUNT
BASEMENT 03	88
BASEMENT 02	86
BASEMENT 01	65
LOWER GROUND FLOOR	39
	278

STORAGE CAGES - 4M3 FULL HEIGHT	
LEVEL	STORAGE COUNT
BASEMENT 03	9
BASEMENT 02	9
BASEMENT 01	2
LOWER GROUND FLOOR	2
	22

TP - APARTMENT AND TOWNHOUSES BREAKDOWN		
UNIT TYPE		NUMBER
UPPER GROUND FLOOR		
2 BED + 2 BATH + STUDY		3
		3
LEVEL 01		
1 BED & 1 BATH		9
1 BED & 1 BATH + STUDY		3
2 BED & 2 BATH		12
2 BED + 2 BATH + STUDY		2
3 BED & 2 BATH		1
		27
LEVEL 02		
1 BED & 1 BATH		9
1 BED & 1 BATH + STUDY		3
2 BED & 2 BATH		14
2 BED + 2 BATH + STUDY		1
3 BED & 2 BATH		1
		28
LEVEL 03		
1 BED & 1 BATH		9
1 BED & 1 BATH + STUDY		3
2 BED & 2 BATH		14
2 BED + 2 BATH + STUDY		1
3 BED & 2 BATH		1
		28
LEVEL 04		
1 BED & 1 BATH		9
1 BED & 1 BATH + STUDY		3
2 BED & 2 BATH		14
2 BED + 2 BATH + STUDY		1
3 BED & 2 BATH		1
		28
LEVEL 05		
1 BED & 1 BATH		9
1 BED & 1 BATH + STUDY		3
2 BED & 2 BATH		14
2 BED + 2 BATH + STUDY		1
3 BED & 2 BATH		1
		28
LEVEL 06		
1 BED & 1 BATH		10
2 BED & 2 BATH		13
3 BED & 2 BATH		1
		24
LEVEL 07		
1 BED & 1 BATH		10
2 BED & 2 BATH		13
3 BED & 2 BATH		1
		24
LEVEL 08		
1 BED & 1 BATH		10
2 BED & 2 BATH		13
3 BED & 2 BATH		1
		24
LEVEL 09		
1 BED & 1 BATH		10
2 BED & 2 BATH		13
3 BED & 2 BATH		1
		24
LEVEL 10		
1 BED & 1 BATH		10
2 BED & 2 BATH		13
3 BED & 2 BATH		1
		24
LEVEL 11		
1 BED & 1 BATH		4
2 BED & 2 BATH		5
3 BED & 2 BATH		2
		11
TOTAL UNITS		273

<b><u>FLOOR AREA RATIO TABLE</u></b>	
GFA (EXC. BALC. AND BASEM.):	23,605m <sup>2</sup>
SITE AREA:	4,548m <sup>2</sup>
FLOOR AREA RATIO:	$\frac{\text{TOTAL GFA}}{\text{SITE AREA}} = \frac{5.19}{1}$
<b><u>SITE COVERAGE</u></b>	
TOTAL BUILDING AREA:	2,522m <sup>2</sup>
TOTAL SITE AREA:	4,548m <sup>2</sup>
SITE COVERAGE:	$\frac{\text{BUILDING AREA} \times 100}{\text{TOTAL SITE AREA}} = 55.5\%$
<b><u>PERMEABLE AREA</u></b>	
TOTAL SITE AREA:	4,548m <sup>2</sup>
TOTAL PERMEABLE AREA:	1,037m <sup>2</sup>
PERMEABLE AREA (%):	22.8%

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## ADVERTISED PLAN

TP - APARTMENT SUMMARY SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
UPPER GROUND FLOOR		
UG.01	2 BED + 2 BATH + STUDY	79 m²
UG.02	2 BED + 2 BATH + STUDY	80 m²
UG.03	2 BED + 2 BATH + STUDY	79 m²
		239 m²
LEVEL 01		
1.01	1 BED & 1 BATH	51 m²
1.02	1 BED & 1 BATH	50 m²
1.03	1 BED & 1 BATH	50 m²
1.04	2 BED & 2 BATH	66 m²
1.05	2 BED & 2 BATH	67 m²
1.06	2 BED & 2 BATH	67 m²
1.07	2 BED & 2 BATH	66 m²
1.08	2 BED & 2 BATH	68 m²
1.09	1 BED & 1 BATH	53 m²
1.10	1 BED & 1 BATH + STUDY	59 m²
1.11	1 BED & 1 BATH + STUDY	55 m²
1.12	1 BED & 1 BATH	50 m²
1.13	2 BED & 2 BATH	67 m²
1.14	2 BED & 2 BATH	67 m²
1.15	1 BED & 1 BATH	50 m²
1.16	1 BED & 1 BATH + STUDY	55 m²
1.17	2 BED & 2 BATH	69 m²
1.18	2 BED & 2 BATH	69 m²
1.19	2 BED & 2 BATH	75 m²
1.20	3 BED & 2 BATH	88 m²
1.21	2 BED & 2 BATH	69 m²
1.22	2 BED & 2 BATH	69 m²
1.23	2 BED + 2 BATH + STUDY	83 m²
1.24	2 BED + 2 BATH + STUDY	87 m²
1.25	1 BED & 1 BATH	50 m²
1.26	1 BED & 1 BATH	50 m²
1.27	1 BED & 1 BATH	50 m²
		1703 m²

LEVEL 02		
2.01	1 BED & 1 BATH	52 m²
2.02	1 BED & 1 BATH	50 m²
2.03	1 BED & 1 BATH	50 m²
2.04	2 BED & 2 BATH	66 m²
2.05	2 BED & 2 BATH	67 m²
2.06	2 BED & 2 BATH	67 m²
2.07	2 BED & 2 BATH	66 m²
2.08	2 BED & 2 BATH	68 m²
2.09	1 BED & 1 BATH	53 m²
2.10	1 BED & 1 BATH + STUDY	59 m²
2.11	1 BED & 1 BATH + STUDY	55 m²
2.12	1 BED & 1 BATH	50 m²
2.13	2 BED & 2 BATH	67 m²
2.14	2 BED & 2 BATH	67 m²
2.15	1 BED & 1 BATH	50 m²
2.16	1 BED & 1 BATH + STUDY	55 m²
2.17	2 BED & 2 BATH	69 m²
2.18	2 BED & 2 BATH	69 m²
2.19	2 BED & 2 BATH	75 m²
2.20	3 BED & 2 BATH	88 m²
2.21	2 BED & 2 BATH	69 m²
2.22	2 BED & 2 BATH	69 m²
2.23	2 BED & 2 BATH	69 m²
2.24	2 BED & 2 BATH	69 m²
2.25	2 BED + 2 BATH + STUDY	77 m²
2.26	1 BED & 1 BATH	50 m²
2.27	1 BED & 1 BATH	50 m²
2.28	1 BED & 1 BATH	50 m²
		1749 m²

LEVEL 03		
3.01	1 BED & 1 BATH	52 m²
3.02	1 BED & 1 BATH	50 m²
3.03	1 BED & 1 BATH	50 m²
3.04	2 BED & 2 BATH	66 m²
3.05	2 BED & 2 BATH	67 m²
3.06	2 BED & 2 BATH	67 m²
3.07	2 BED & 2 BATH	66 m²
3.08	2 BED & 2 BATH	68 m²
3.09	1 BED & 1 BATH	53 m²
3.10	1 BED & 1 BATH + STUDY	59 m²
3.11	1 BED & 1 BATH + STUDY	55 m²
3.12	1 BED & 1 BATH	50 m²

TP - APARTMENT SUMMARY SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
3.13	2 BED & 2 BATH	67 m²
3.14	2 BED & 2 BATH	67 m²
3.15	1 BED & 1 BATH	50 m²
3.16	1 BED & 1 BATH + STUDY	55 m²
3.17	2 BED & 2 BATH	69 m²
3.18	2 BED & 2 BATH	69 m²
3.19	2 BED & 2 BATH	75 m²
3.20	3 BED & 2 BATH	88 m²
3.21	2 BED & 2 BATH	69 m²
3.22	2 BED & 2 BATH	69 m²
3.23	2 BED & 2 BATH	69 m²
3.24	2 BED & 2 BATH	69 m²
3.25	2 BED + 2 BATH + STUDY	77 m²
3.26	1 BED & 1 BATH	50 m²
3.27	1 BED & 1 BATH	50 m²
3.28	1 BED & 1 BATH	50 m²
		1749 m²

LEVEL 04		
4.01	1 BED & 1 BATH	52 m²
4.02	1 BED & 1 BATH	50 m²
4.03	1 BED & 1 BATH	50 m²
4.04	2 BED & 2 BATH	66 m²
4.05	2 BED & 2 BATH	67 m²
4.06	2 BED & 2 BATH	67 m²
4.07	2 BED & 2 BATH	66 m²
4.08	2 BED & 2 BATH	68 m²
4.09	1 BED & 1 BATH	53 m²
4.10	1 BED & 1 BATH + STUDY	59 m²
4.11	1 BED & 1 BATH + STUDY	55 m²
4.12	1 BED & 1 BATH	50 m²
4.13	2 BED & 2 BATH	67 m²
4.14	2 BED & 2 BATH	67 m²
4.15	1 BED & 1 BATH	50 m²
4.16	1 BED & 1 BATH + STUDY	55 m²
4.17	2 BED & 2 BATH	69 m²
4.18	2 BED & 2 BATH	69 m²
4.19	2 BED & 2 BATH	75 m²
4.20	3 BED & 2 BATH	88 m²
4.21	2 BED & 2 BATH	69 m²
4.22	2 BED & 2 BATH	69 m²
4.23	2 BED & 2 BATH	69 m²
4.24	2 BED & 2 BATH	69 m²
4.25	2 BED + 2 BATH + STUDY	77 m²
4.26	1 BED & 1 BATH	50 m²
4.27	1 BED & 1 BATH	50 m²
4.28	1 BED & 1 BATH	50 m²
		1749 m²

LEVEL 05		
5.01	1 BED & 1 BATH	52 m²
5.02	1 BED & 1 BATH	50 m²
5.03	1 BED & 1 BATH	50 m²
5.04	2 BED & 2 BATH	66 m²
5.05	2 BED & 2 BATH	67 m²
5.06	2 BED & 2 BATH	67 m²
5.07	2 BED & 2 BATH	66 m²
5.08	2 BED & 2 BATH	68 m²
5.09	1 BED & 1 BATH	53 m²
5.10	1 BED & 1 BATH + STUDY	59 m²
5.11	1 BED & 1 BATH + STUDY	55 m²
5.12	1 BED & 1 BATH	50 m²
5.13	2 BED & 2 BATH	67 m²
5.14	2 BED & 2 BATH	67 m²
5.15	1 BED & 1 BATH	50 m²
5.16	1 BED & 1 BATH + STUDY	55 m²
5.17	2 BED & 2 BATH	69 m²
5.18	2 BED & 2 BATH	69 m²
5.19	2 BED & 2 BATH	75 m²
5.20	3 BED & 2 BATH	88 m²
5.21	2 BED & 2 BATH	69 m²
5.22	2 BED & 2 BATH	69 m²
5.23	2 BED & 2 BATH	69 m²
5.24	2 BED & 2 BATH	69 m²
5.25	2 BED + 2 BATH + STUDY	77 m²
5.26	1 BED & 1 BATH	50 m²
5.27	1 BED & 1 BATH	50 m²
5.28	1 BED & 1 BATH	50 m²
		1749 m²

TP - APARTMENT SUMMARY SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
LEVEL 06		
6.01	1 BED & 1 BATH	51 m²
6.02	1 BED & 1 BATH	50 m²
6.03	1 BED & 1 BATH	50 m²
6.04	2 BED & 2 BATH	67 m²
6.05	2 BED & 2 BATH	68 m²
6.06	2 BED & 2 BATH	67 m²
6.07	2 BED & 2 BATH	66 m²
6.08	2 BED & 2 BATH	69 m²
6.09	2 BED & 2 BATH	67 m²
6.10	1 BED & 1 BATH	50 m²
6.11	1 BED & 1 BATH	50 m²
6.12	2 BED & 2 BATH	67 m²
6.13	2 BED & 2 BATH	67 m²
6.14	1 BED & 1 BATH	50 m²
6.15	1 BED & 1 BATH	50 m²
6.16	2 BED & 2 BATH	67 m²
6.17	2 BED & 2 BATH	65 m²
6.18	3 BED & 2 BATH	98 m²
6.19	2 BED & 2 BATH	68 m²
6.20	2 BED & 2 BATH	68 m²
6.21	2 BED & 2 BATH	68 m²
6.22	1 BED & 1 BATH	50 m²
6.23	1 BED & 1 BATH	50 m²
6.24	1 BED & 1 BATH	50 m²
		1472 m²

LEVEL 07		
7.01	1 BED & 1 BATH	51 m²
7.02	1 BED & 1 BATH	50 m²
7.03	1 BED & 1 BATH	50 m²
7.04	2 BED & 2 BATH	67 m²
7.05	2 BED & 2 BATH	68 m²
7.06	2 BED & 2 BATH	67 m²
7.07	2 BED & 2 BATH	66 m²
7.08	2 BED & 2 BATH	69 m²
7.09	2 BED & 2 BATH	67 m²
7.10	1 BED & 1 BATH	50 m²
7.11	1 BED & 1 BATH	50 m²
7.12	2 BED & 2 BATH	67 m²
7.13	2 BED & 2 BATH	67 m²
7.14	1 BED & 1 BATH	50 m²
7.15	1 BED & 1 BATH	50 m²
7.16	2 BED & 2 BATH	67 m²
7.17	2 BED & 2 BATH	65 m²
7.18	3 BED & 2 BATH	98 m²
7.19	2 BED & 2 BATH	68 m²
7.20	2 BED & 2 BATH	68 m²
7.21	2 BED & 2 BATH	68 m²
7.22	1 BED & 1 BATH	50 m²
7.23	1 BED & 1 BATH	50 m²
7.24	1 BED & 1 BATH	50 m²
		1472 m²

LEVEL 08		
8.01	1 BED & 1 BATH	51 m²
8.02	1 BED & 1 BATH	50 m²
8.03	1 BED & 1 BATH	50 m²
8.04	2 BED & 2 BATH	67 m²
8.05	2 BED & 2 BATH	68 m²
8.06	2 BED & 2 BATH	67 m²
8.07	2 BED & 2 BATH	66 m²
8.08	2 BED & 2 BATH	69 m²
8.09	2 BED & 2 BATH	67 m²
8.10	1 BED & 1 BATH	50 m²
8.11	1 BED & 1 BATH	50 m²
8.12	2 BED & 2 BATH	67 m²
8.13	2 BED & 2 BATH	67 m²
8.14	1 BED & 1 BATH	50 m²
8.15	1 BED & 1 BATH	50 m²
8.16	2 BED & 2 BATH	67 m²
8.17	2 BED & 2 BATH	65 m²
8.18	3 BED & 2 BATH	98 m²
8.19	2 BED & 2 BATH	68 m²
8.20	2 BED & 2 BATH	68 m²
8.21	2 BED & 2 BATH	68 m²
8.22	1 BED & 1 BATH	50 m²
8.23	1 BED & 1 BATH	50 m²
8.24	1 BED & 1 BATH	50 m²
		1472 m²

TP - APARTMENT SUMMARY SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
LEVEL 09		
9.01	1 BED & 1 BATH	51 m²
9.02	1 BED & 1 BATH	50 m²
9.03	1 BED & 1 BATH	50 m²
9.04	2 BED & 2 BATH	67 m²
9.05	2 BED & 2 BATH	68 m²
9.06	2 BED & 2 BATH	67 m²
9.07	2 BED & 2 BATH	66 m²
9.08	2 BED & 2 BATH	69 m²
9.09	2 BED & 2 BATH	67 m²
9.10	1 BED & 1 BATH	50 m²
9.11	1 BED & 1 BATH	50 m²
9.12	2 BED & 2 BATH	67 m²
9.13	2 BED & 2 BATH	67 m²
9.14	1 BED & 1 BATH	50 m²
9.15	1 BED & 1 BATH	50 m²
9.16	2 BED & 2 BATH	67 m²
9.17	2 BED & 2 BATH	65 m²
9.18	3 BED & 2 BATH	98 m²
9.19	2 BED & 2 BATH	68 m²
9.20	2 BED & 2 BATH	68 m²
9.21	2 BED & 2 BATH	68 m²
9.22	1 BED & 1 BATH	50 m²
9.23	1 BED & 1 BATH	50 m²
9.24	1 BED & 1 BATH	50 m²
		1472 m²

LEVEL 10		
10.01	1 BED & 1 BATH	51 m²
10.02	1 BED & 1 BATH	50 m²
10.03	1 BED & 1 BATH	50 m²
10.04	2 BED & 2 BATH	67 m²
10.05	2 BED & 2 BATH	68 m²
10.06	2 BED & 2 BATH	67 m²
10.07	2 BED & 2 BATH	66 m²
10.08	2 BED & 2 BATH	69 m²
10.09	2 BED & 2 BATH	67 m²
10.10	1 BED & 1 BATH	50 m²
10.11	1 BED & 1 BATH	50 m²
10.12	2 BED & 2 BATH	67 m²
10.13	2 BED & 2 BATH	67 m²
10.14	1 BED & 1 BATH	50 m²
10.15	1 BED & 1 BATH	50 m²
10.16	2 BED & 2 BATH	67 m²
10.17	2 BED & 2 BATH	65 m²
10.18	3 BED & 2 BATH	98 m²
10.19	2 BED & 2 BATH	68 m²
10.20	2 BED & 2 BATH	68 m²
10.21	2 BED & 2 BATH	68 m²
10.22	1 BED & 1 BATH	50 m²
10.23	1 BED & 1 BATH	50 m²
10.24	1 BED & 1 BATH	50 m²
		1472 m²

LEVEL 11		
11.01	3 BED & 2 BATH	97 m²
11.02	1 BED & 1 BATH	50 m²
11.03	2 BED & 2 BATH	67 m²
11.04	2 BED & 2 BATH	65 m²
11.05	3 BED & 2 BATH	98 m²
11.06	2 BED & 2 BATH	68 m²
11.07	2 BED & 2 BATH	68 m²
11.08	2 BED & 2 BATH	68 m²
11.09	1 BED & 1 BATH	50 m²
11.10	1 BED & 1 BATH	50 m²
11.11	1 BED & 1 BATH	51 m²
		732 m²
273		17029 m²

TP - TOWNHOUSES SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
TH01	TOWNHOUSE	111 m²
TH02	TOWNHOUSE	110 m²
TH03	TOWNHOUSE	110 m²
TH04	TOWNHOUSE	110 m²
TH05	TOWNHOUSE	112 m²
TH06	TOWNHOUSE	126 m²
TH07	TOWNHOUSE	127 m²
TH08	TOWNHOUSE	127 m²
		935 m²

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ABN 29 108 008 519

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Urban Design

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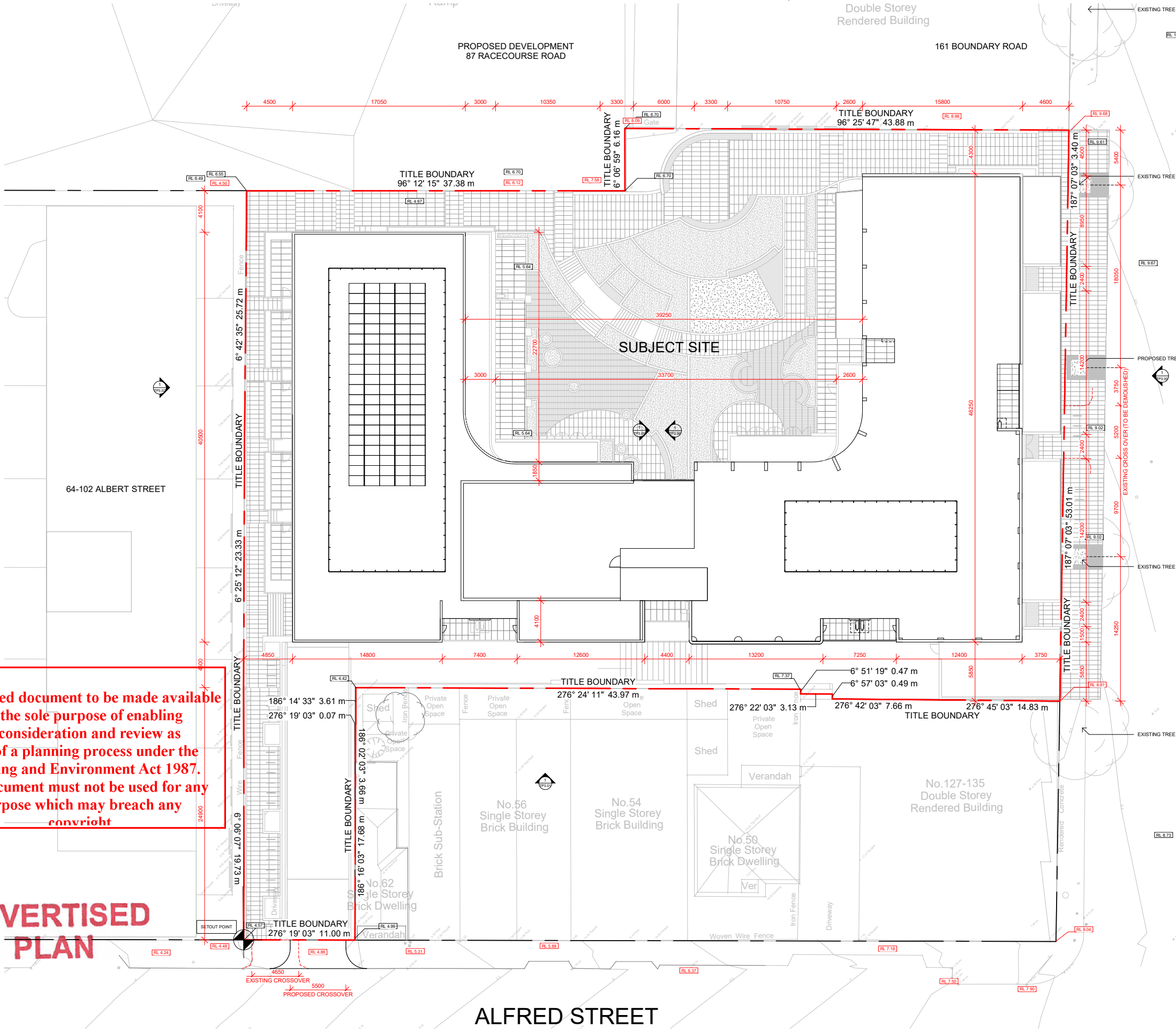
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MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne  
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEWLP RFP RESPONSE
C	31/07/2020	DEWLP RFP RESPONSE - FULL RE-DESIGN

Title  
SITE PLAN  
Sheet  
PRELIMINARY  
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TOWN PLANNING  
Sheet No.  
TP1.01  
Revision  
C  
Scale  
1 : 200@A1  
Date  
31/07/2020

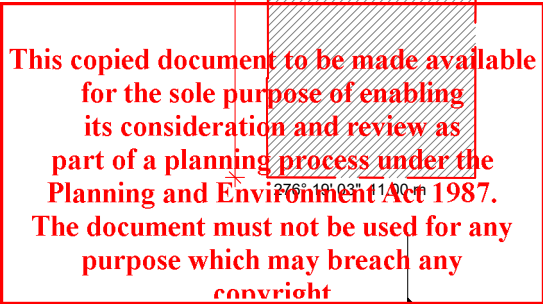


18113

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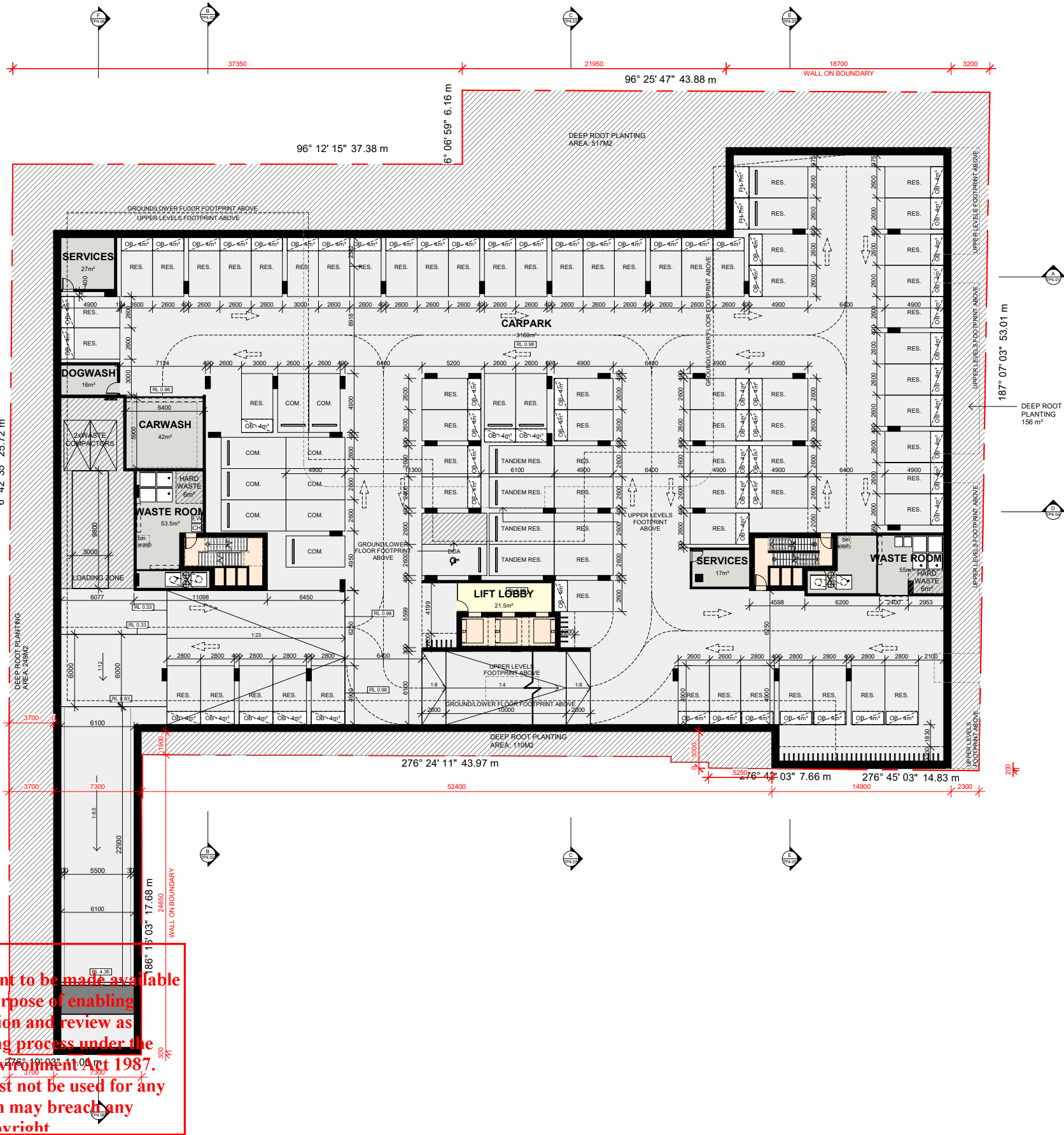


STORAGE CAGES - 4M3 OVER BONNET - BASEMENT 2	
LEVEL	NUMBER
BASEMENT 02	86



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TP - PARKING SCHEDULE - BASEMENT 1		
LEVEL	USE	NUMBER
BASEMENT 01	COM.	9
BASEMENT 01	DDA	1
BASEMENT 01	RES.	71
BASEMENT 01	TANDEM RES.	4

TP - BIKE SCHEDULE - BASEMENT 1		
LEVEL	USE	NUMBER
BASEMENT 01	BIKES	63

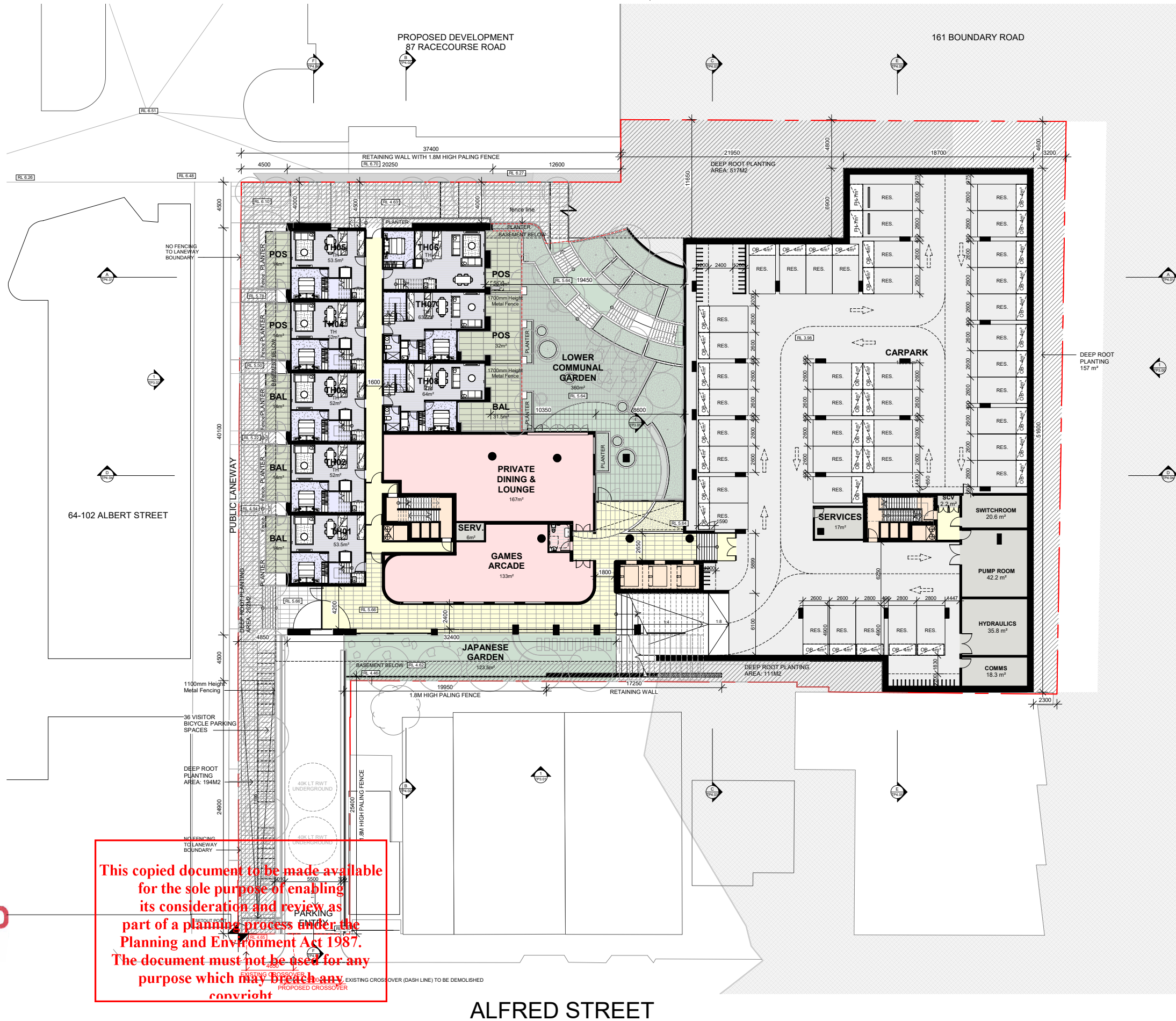
STORAGE CAGES - 4M3 FULL HEIGHT - BASEMENT 1	
LEVEL	NUMBER
BASEMENT 01	2

STORAGE CAGES - 4M3 OVER BONNET - BASEMENT 1	
LEVEL	NUMBER
BASEMENT 01	65

No.	Date	Notes
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TP - PARKING SCHEDULE - LOWER GROUND FLOOR		
LEVEL	USE	NUMBER
LOWER GROUND FLOOR	RES.	41

TP - BIKE SCHEDULE - LOWER GROUND FLOOR		
LEVEL	USE	NUMBER
LOWER GROUND FLOOR	BIKES	50
LOWER GROUND FLOOR	FLAT TOP	18

STORAGE CAGES - 4M3 FULL HEIGHT - LOWER GROUND FLOOR	
LEVEL	NUMBER
LOWER GROUND FLOOR	2

STORAGE CAGES - 4M3 OVER BONNET - LOWER GROUND FLOOR	
LEVEL	NUMBER
LOWER GROUND FLOOR	39



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Client  
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Amendments	
No.	Date
A	09/12/2019
B	23/03/2020
C	31/07/2020

Title  
LOWER GROUND FLOOR PLAN  
Sheet  
PRELIMINARY  
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TOWN PLANNING  
Sheet No.  
TP2.03  
Revision  
C  
Scale  
1 : 200@A1  
Date  
31/07/2020



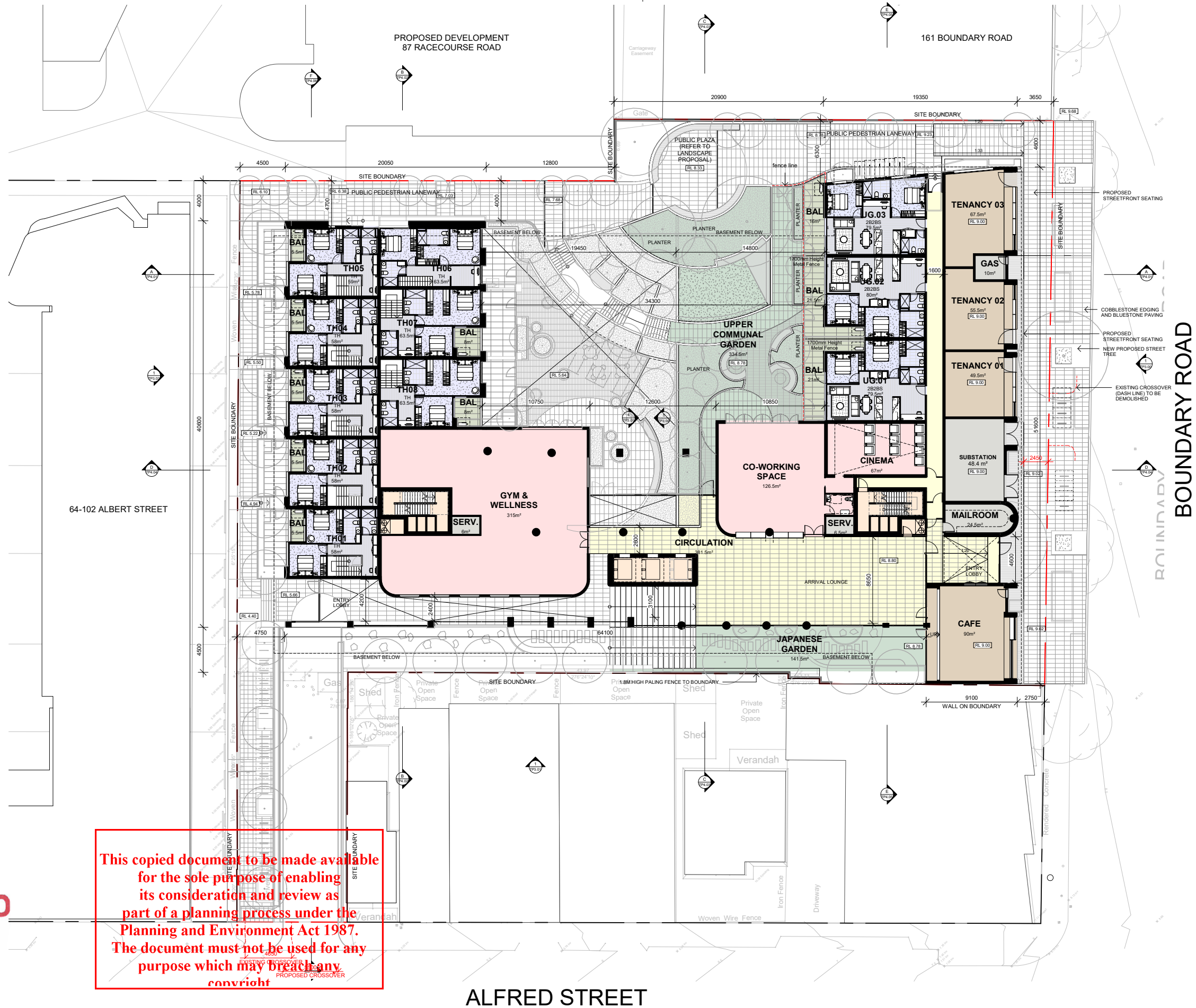
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MIXED USE DEVELOPMENT  
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Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVELOP RESPONSE - FULL RE-DESIGN
C	31/07/2020	DEVELOP RESPONSE - FULL RE-DESIGN

Title

UPPER GROUND FLOOR PLAN

Sheet

PRELIMINARY  
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TOWN PLANNING

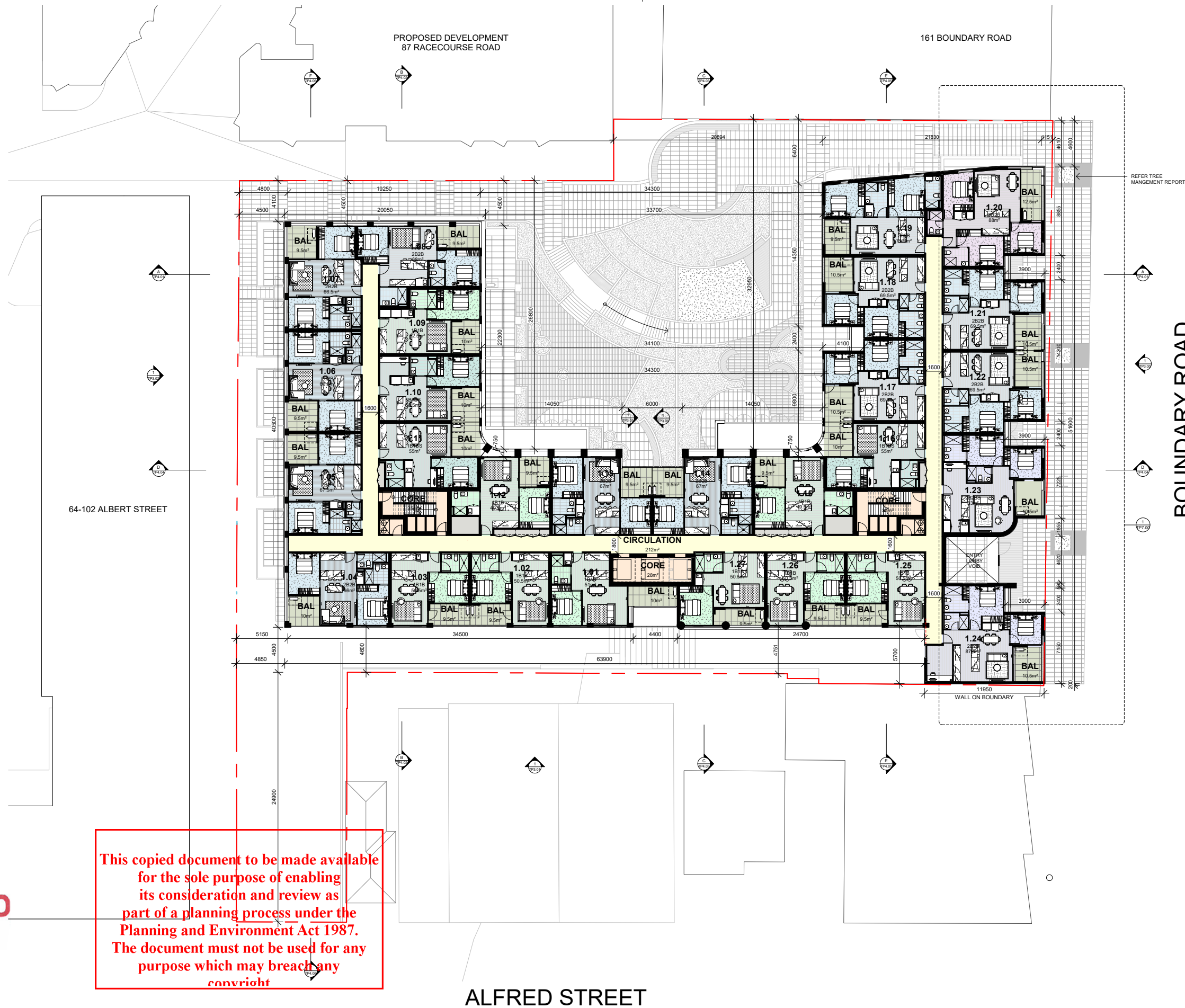
Sheet No.  
TP2.04  
Revision  
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   Urban Design

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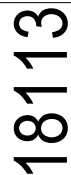
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The architectural floor plan illustrates a proposed development situated between Alfred Street to the south and 64-102 Albert Street to the west. The site is bounded by a wall on the east side. The plan shows a complex arrangement of rooms, including numerous balconies (BAL) and central circulation areas. Key dimensions are provided throughout the drawing, such as 4800, 19250, 34300, and 63900. A red dashed line indicates the boundary of the proposed development. A north arrow is located near the top center of the plan.

**PROPOSED DEVELOPMENT**  
87 RACECOURSE ROAD

64-102 ALBERT STREET

CIRCULATION

WALL ON BOUNDARY

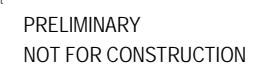
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## ADVERTISED PLAN

BOUNDARY ROAD

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PROPOSED DEVELOPMENT  
87 RACECOURSE ROAD

64-102 ALBERT STREET

ALFRED STREET

WALL ON BOUNDARY

CIRCULATION

BAL

5.08

5.09

5.10

5.11

5.12

5.13

5.14

5.15

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5.19

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5.23

5.24

5.25

5.01

5.02

5.03

5.04

5.05

5.06

5.07

5.11a

5.11b

5.12a

5.12b

5.13a

5.13b

5.14a

5.14b

5.15a

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5.16b

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5.17b

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5.22a

5.22b

5.23a

5.23b

5.24a

5.24b

5.25a

5.25b

5.01a

5.01b

5.02a

5.02b

5.03a

5.03b

5.04a

5.04b

5.05a

5.05b

5.06a

5.06b

5.07a

5.07b

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5.21p

5.21q

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5.21u

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5.21w

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5.22i

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PROPOSED DEVELOPMENT  
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64-102 ALBERT STREET

ALFRED STREET

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ALFRED STREET

PROPOSED DEVELOPMENT  
87 RACECOURSE ROAD

64-102 ALBERT STREET

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MIXED USE DEVELOPMENT  
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Client

BLUE EARTH GROUP

## Amendments

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Title

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87 RACECOURSE ROAD

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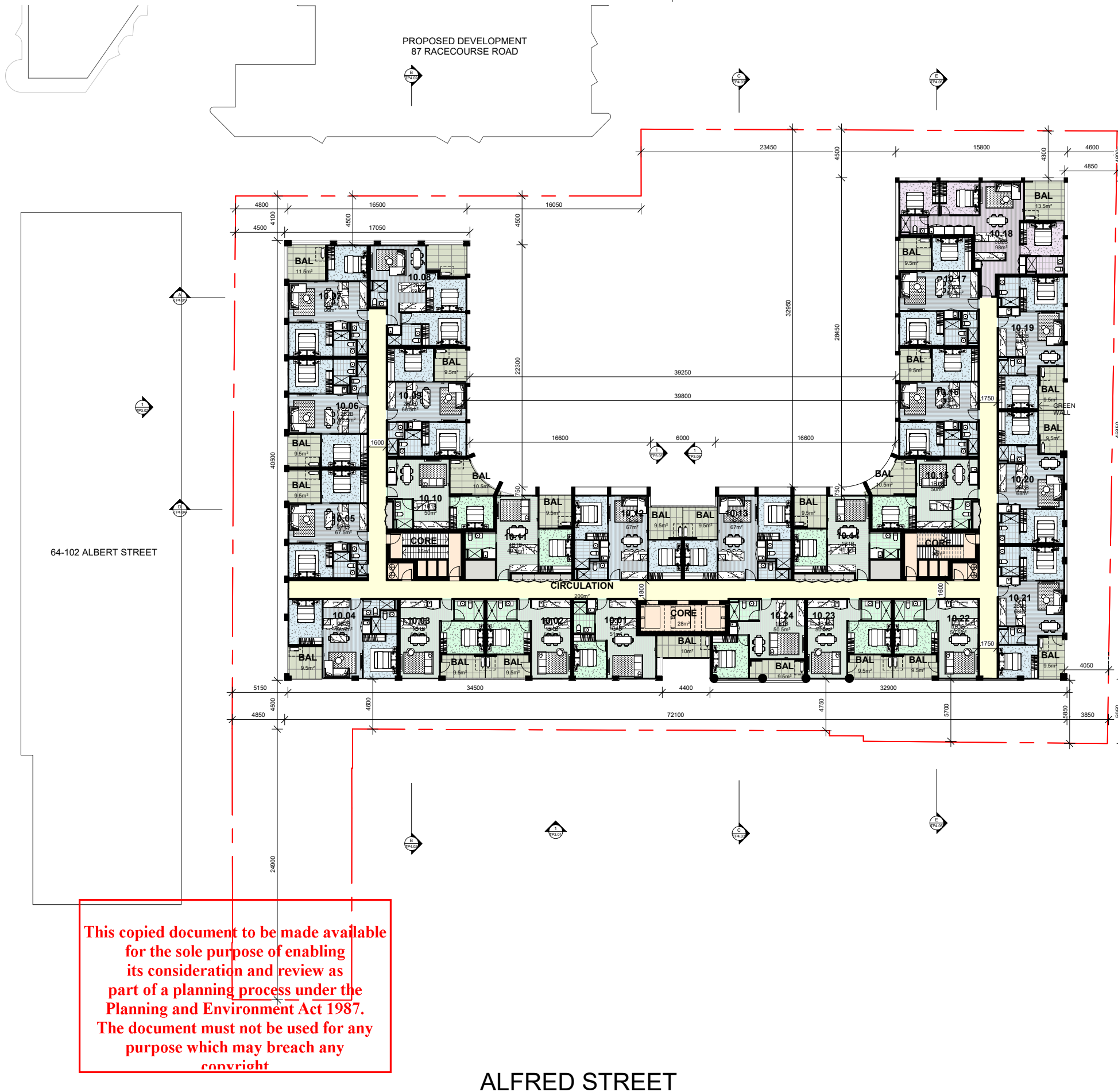
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ALFRED STREET

BOUNDARY ROAD



CHT Architects Pty Ltd  
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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	27/03/2020	DEVELOPER RESPONSE
C	31/07/2020	DEVELOPER RESPONSE - FULL RE-DESIGN

Title

LEVEL 10

Sheet

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TOWN PLANNING

Sheet No.

TP2.14

Revision

C

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Date

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## Amendments

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Title

Sheet

Sheet No.

vision

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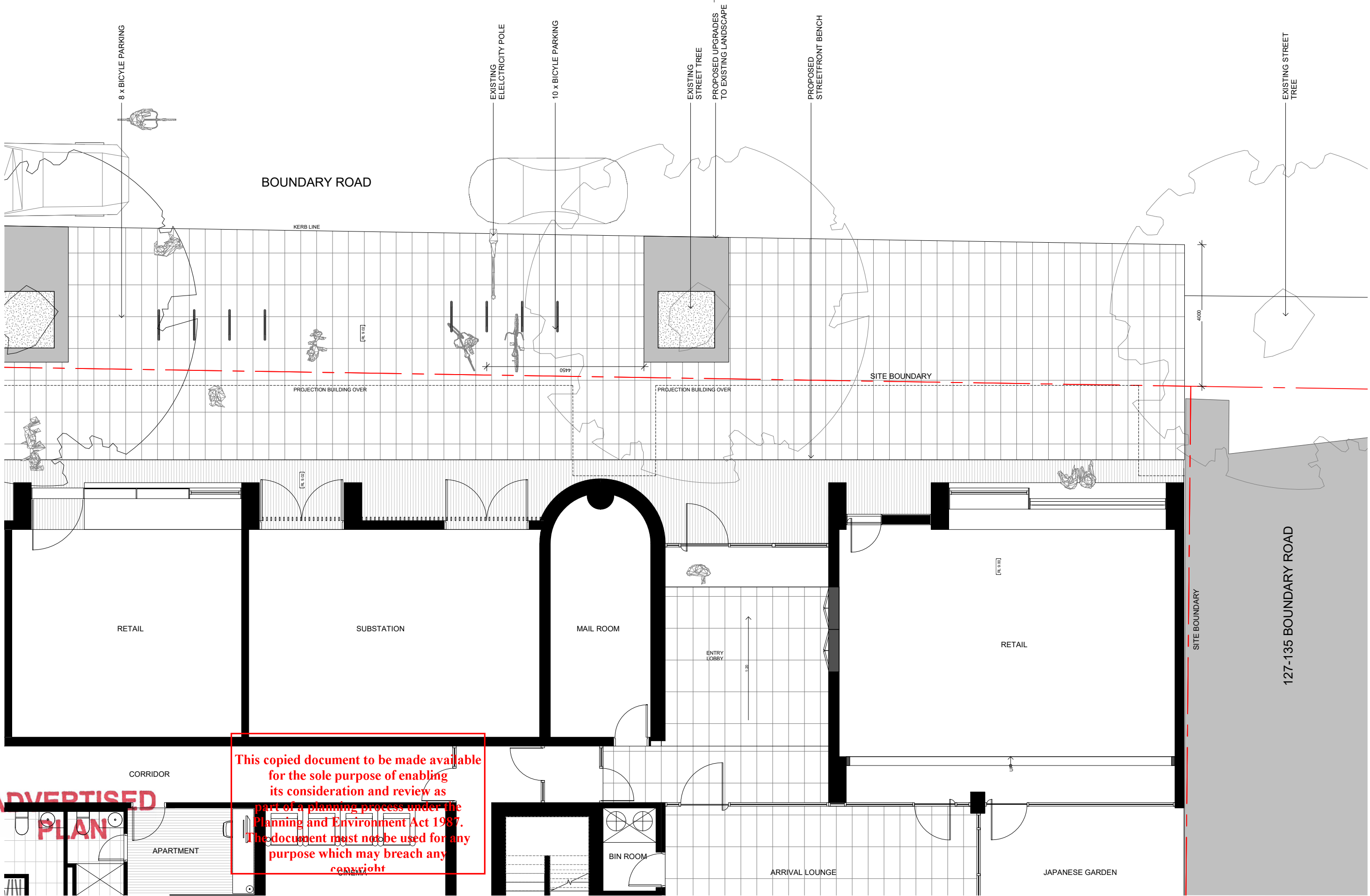


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1 BUILDING A - BOUNDARY ROAD FACADE - DETAIL PLAN A  
SCALE 1:50



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Project  
MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne  
Client  
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
1	27/03/2020	DELWP RFI RESPONSE
2	31/07/2020	DELWP RFI RESPONSE - FULL RE-DESIGN

Title  
BOUNDARY ROAD FACADE - DETAIL  
PLAN - A  
Sheet  
PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.  
TP2.17A  
Revision  
C  
Scale  
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Date  
31/07/2020

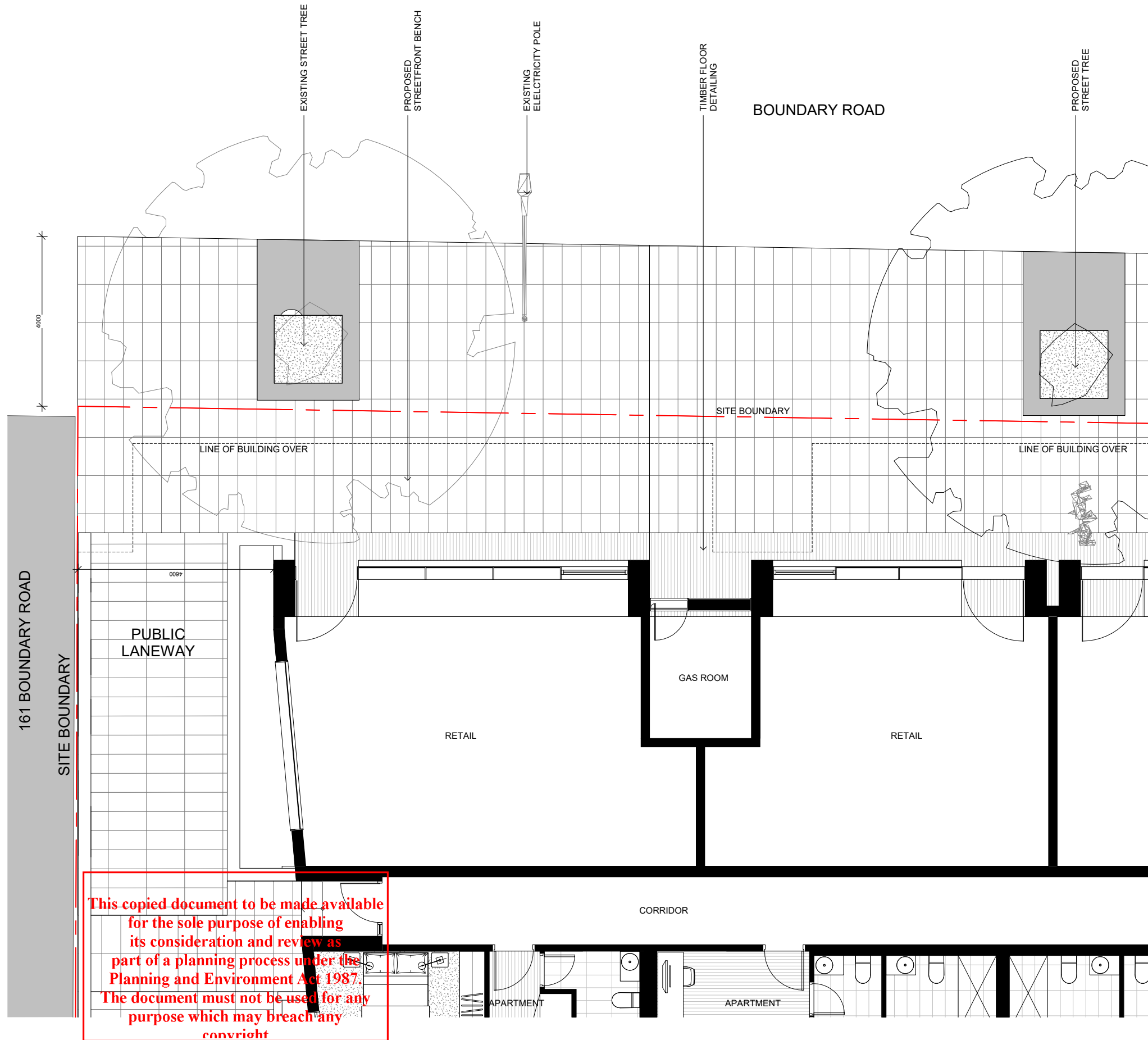
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1 BUILDING A - BOUNDARY ROAD FACADE - DETAIL PLAN B  
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ABN 29 108 008 519  
Architecture  
Interior Design  
Urban Design

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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
8	27/03/2020	DELWP RFI RESPONSE
12	31/07/2020	DELWP RFI RESPONSE - FULL RE-DESIGN

Title

BOUNDARY ROAD FACADE - DETAIL  
PLAN - B

Sheet

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TOWN PLANNING

Sheet No.

TP2.17B C

Revision

Scale

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Date

31/07/2020

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1 BUILDING A - BOUNDARY ROAD FACADE - DETAIL ELEVATION A  
SCALE 1:50

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	ALUMINIUM	AL01	BLACK MATT POWDERCOAT FINISH
	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	LV01	BLACK POWDERCOAT ZINC, MINI WAVE FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINI WAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINI WAVE FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC01	NATURAL CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	METAL CLADDING	TM01	BLACK POWDERCOAT ZINC, MINI WAVE FINISH

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139 - 149 Boundary Road, North Melbourne  
Client  
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
1	27/03/2020	DELWP RFI RESPONSE
2	31/07/2020	DELWP RFI RESPONSE - FULL RE-DESIGN

Title  
BOUNDARY ROAD FACADE - DETAIL  
ELEVATION - A  
Sheet  
PRELIMINARY  
NOT FOR CONSTRUCTION

TOWN PLANNING  
Sheet No.  
TP2.18A  
Revision  
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139 - 149 Boundary Road, North Melbourne  
Client  
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
8	27/03/2020	DELWP RFI RESPONSE
7	31/07/2020	DELWP RFI RESPONSE - FULL RE-DESIGN

Title  
BOUNDARY ROAD FACADE - DETAIL  
ELEVATION - B  
Sheet  
PRELIMINARY  
NOT FOR CONSTRUCTION

TOWN PLANNING  
Sheet No.  
TP2.18B  
Revision  
C  
Scale  
1 : 50 @ A1  
Date  
31/07/2020  
18113  
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1 BUILDING A - BOUNDARY ROAD FACADE - DETAIL ELEVATION B  
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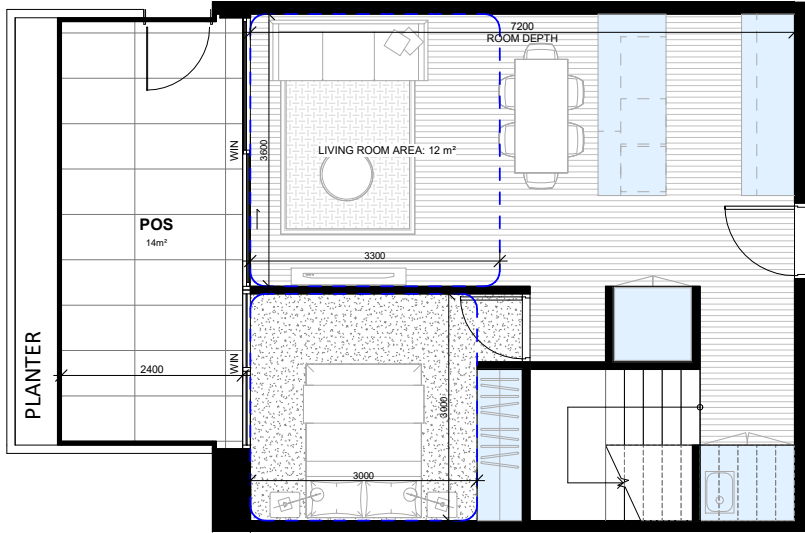
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	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINI WAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINI WAVE FINISH

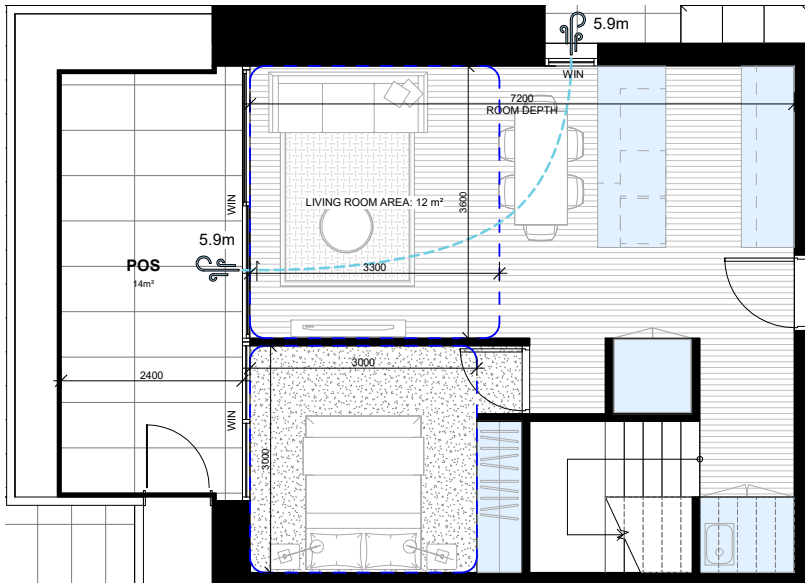
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KEY IMAGE	MATERIAL	TAG	DESCRIPTION
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	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	

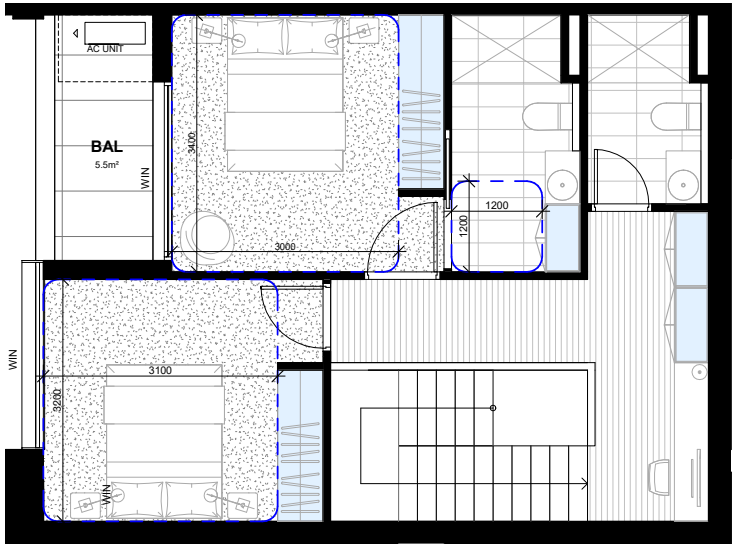




1 TOWNHOUSE TYPE 1 LOWER GROUND  
SCALE 1 : 50

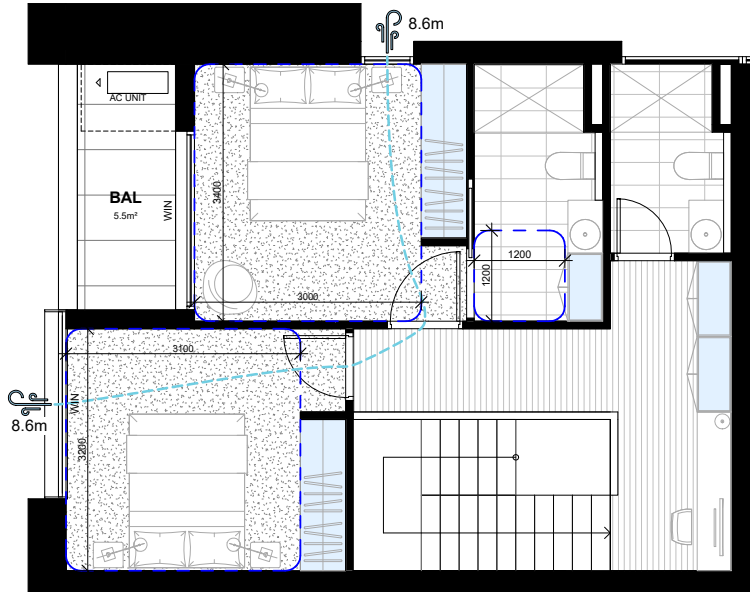


3 TOWNHOUSE TYPE 1A LOWER GROUND  
SCALE 1 : 50



2 TOWNHOUSE TYPE 1 UPPER GROUND  
SCALE 1 : 50

D17 D19 D20 D24 D25 D26 D27



4 TOWNHOUSE TYPE 1A UPPER GROUND  
SCALE 1 : 50

D17 D19 D20 D24 D25 D26 D27

LEGEND	
D17	STANDARD 'D17' COMPLIANT
D19	STANDARD 'D19' COMPLIANT
D20	STANDARD 'D20' COMPLIANT
D24	STANDARD 'D24' COMPLIANT
D25	STANDARD 'D25' COMPLIANT
D26	STANDARD 'D26' COMPLIANT
D27	STANDARD 'D27' COMPLIANT
D28	DUAL ASPECT APARTMENT STANDARD 'D28' NOT APPLICABLE
	NON COMPLIANT STANDARD

UNIT TYPE: TOWN HOUSE 3 BED & 2 BATH AREA: 110m² + 19.1m² (POS)  
TOWNHOUSE.: TH01, TH02, TH03 & TH04.

TOWNHOUSE TYPE 1 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	3 m³
WARDROBE	3 m³
WARDROBE	4 m³
WARDROBE	4 m³
TOTAL INTERNAL STORAGE	21 m³

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UNIT TYPE: TOWN HOUSE 3 BED & 2 BATH AREA: 112.5m² + 19.3m² (POS)  
TOWNHOUSE: TH05.

TOWNHOUSE TYPE 1A INTERNAL STORAGE SCHEDULE	
CUPBOARD	3 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	3 m³
WARDROBE	3 m³
WARDROBE	4 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	21 m³

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

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ABN 29 108 008 519  
Architecture  
Interior Design  
Urban Design

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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVELOP RFP RESPONSE
C	31/07/2020	DEVELOP RFP RESPONSE - FULL RE-DESIGN

Title

APARTMENT DESIGN GUIDELINES  
01 - TOWNHOUSES

Sheet

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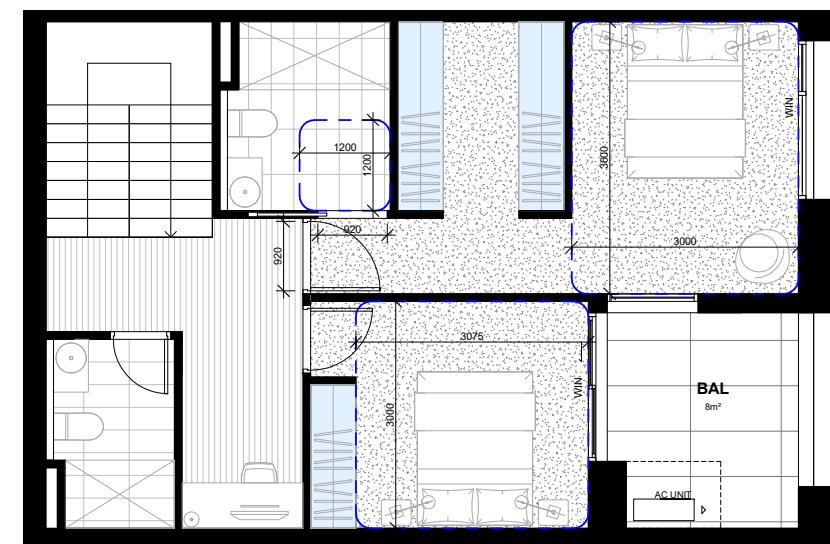
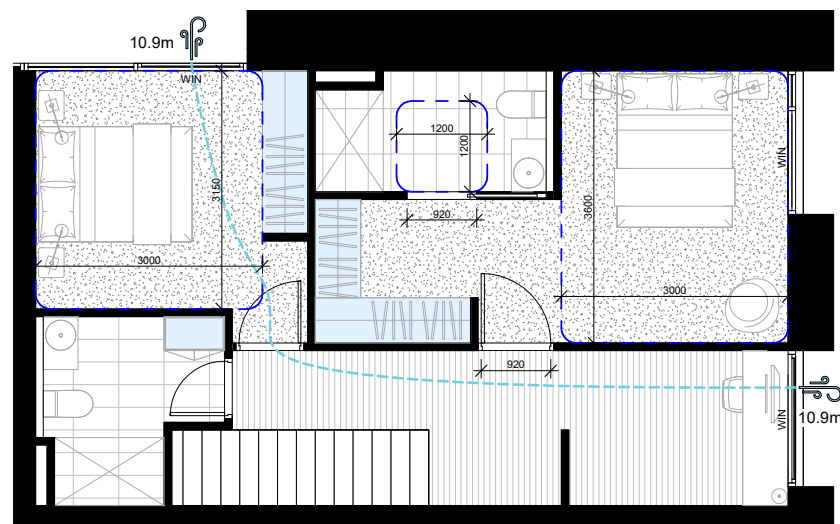
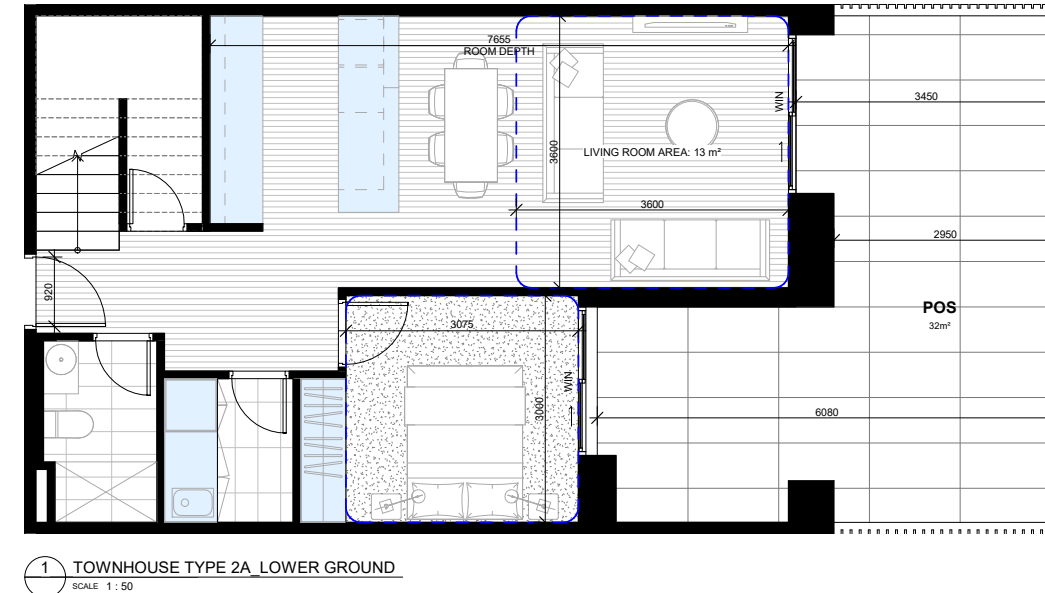
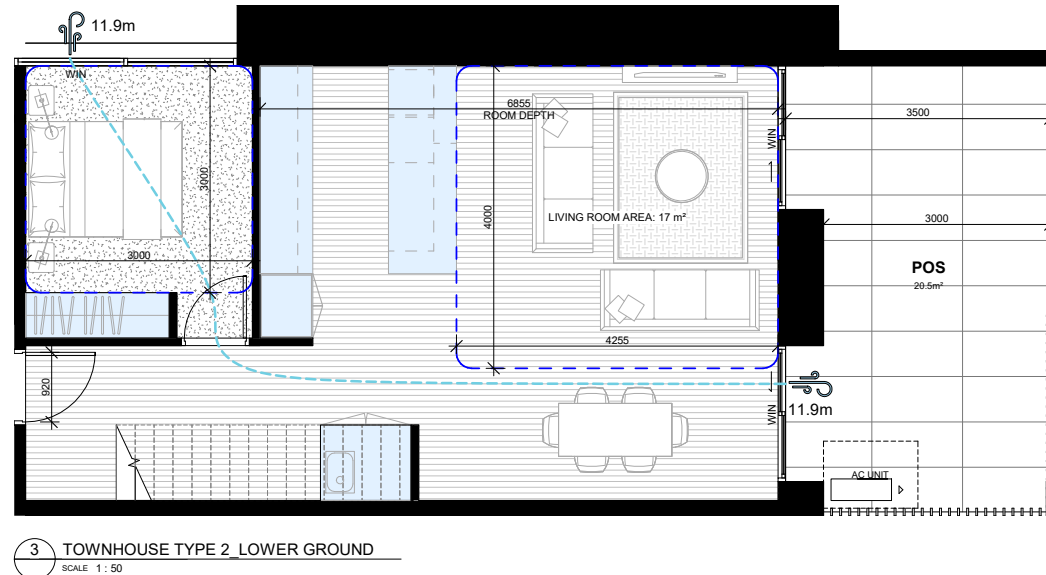
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LEGEND	
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	STANDARD "D19" COMPLIANT
	STANDARD "D20" COMPLIANT
	STANDARD "D24" COMPLIANT
	STANDARD "D25" COMPLIANT
	STANDARD "D26" COMPLIANT
	STANDARD "D27" COMPLIANT
	DUAL ASPECT APARTMENT STANDARD "D28" NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

4	TOWNHOUSE TYPE 2 UPPER GROUND	D17	D19	D20	D24	D25	D26	D27
	SCALE 1 : 50							

2

TOWNHOUSE TYPE 2A UPPER GROUND

SCALE 1 : 50

D17

D19

D20

D24

D25

D26

D27

UNIT TYPE: 1 BED & 1 BATH

AREA: 50m<sup>2</sup> + 9.5m<sup>2</sup> (balcony)

TOWNHOUSE: TH07, TH08

TYPE 02 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m <sup>3</sup>
ISLAND BENCH	1 m <sup>3</sup>
KITCHEN BENCH	1 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
WARDROBE	3 m <sup>3</sup>
WARDROBE	4 m <sup>3</sup>
WARDROBE	4 m <sup>3</sup>
WARDROBE	3 m <sup>3</sup>
TOTAL INTERNAL STORAGE	20 m <sup>3</sup>

## TOWN PLANNING

## APARTMENT DESIGN GUIDELINES

### 02 - TOWNHOUSES

PRELIMINARY  
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Sheet No.	Revision
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4 APARTMENT TYPE 3  
SCALE 1:50

## ADVERTISED PLAN



2 APARTMENT TYPE 3A  
SCALE 1:50

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3 APARTMENT TYPE 3B  
SCALE 1 : 50

**NOTES:**

**CEILING HEIGHTS:**  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

**DOORS:**  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

**SHOWERS:**  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

LEGEND	
	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D20' COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	DUAL ASPECT APARTMENT STANDARD 'D28' NOT APPLICABLE
	NON COMPLIANT STANDARD





4 APARTMENT TYPE 3C  
SCALE 1:50

## ADVERTISED PLAN



5 APARTMENT TYPE 3D  
SCALE 1 : 50

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6 APARTMENT TYPE 4  
SCALE 1 : 50

**NOTES:**

**CEILING HEIGHTS:**  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

**DOORS:**  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

**SHOWERS:**  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

LEGEND	
	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D20' COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	DUAL ASPECT APARTMENT STANDARD 'D28' NOT APPLICABLE
	NON COMPLIANT STANDARD

**NOTES:**

**CEILING HEIGHTS:**  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

**DOORS:**  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

**SHOWERS:**  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.



2 APARTMENT TYPE 5  
SCALE 1:50

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3 APARTMENT TYPE 6  
SCALE 1 : 50

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4 APARTMENT TYPE 7  
SCALE 1:50










**NOTES:**

**CEILING HEIGHTS:**  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

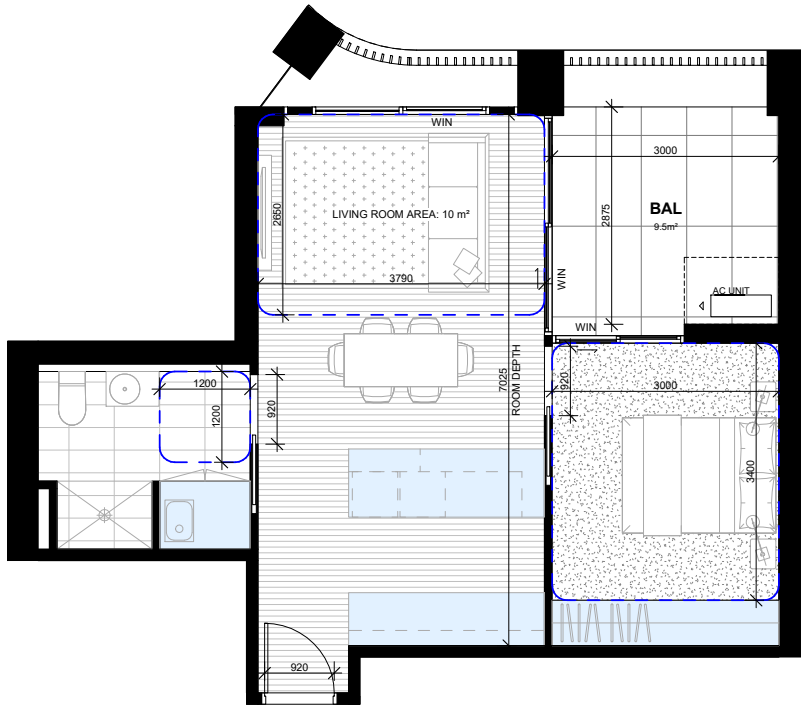
**DOORS:**  
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BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
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WITH READILY REMOVABLE HINGES.

**SHOWERS:**  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

### LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D20' COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	DUAL ASPECT APARTMENT STANDARD 'D25' NOT APPLICABLE
	NON COMPLIANT STANDARD

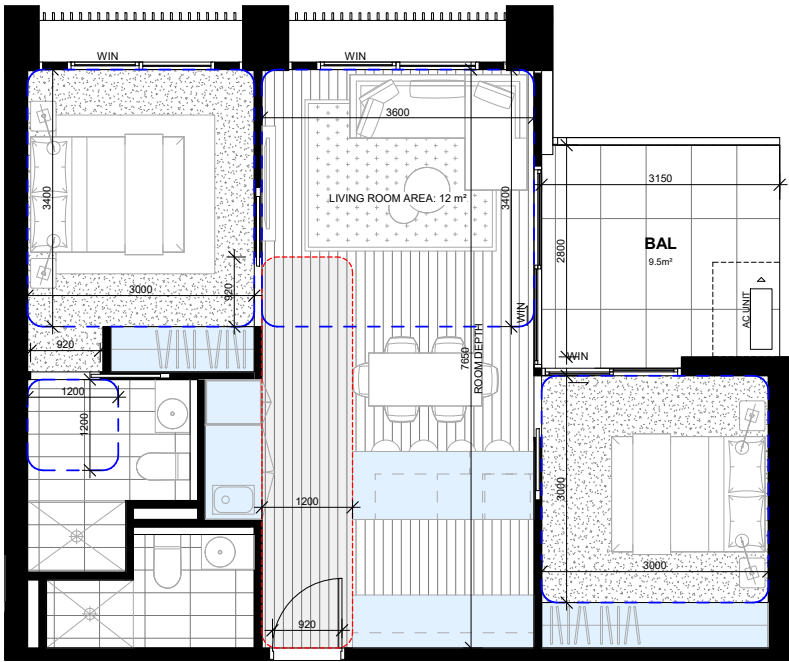
## ADVERTISED PLAN



D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 1 BED & 1 BATH  
AREA: 49.5m<sup>2</sup> + 9.5m<sup>2</sup> (balcony)  
APT: 1.12, 1.15, 2.12, 2.15, 3.12, 3.15, 4.12, 4.15, 5.12, 5.15, 6.11, 6.14, 7.11, 7.14, 8.11, 8.14, 9.11, 9.14, 10.11, 10.14

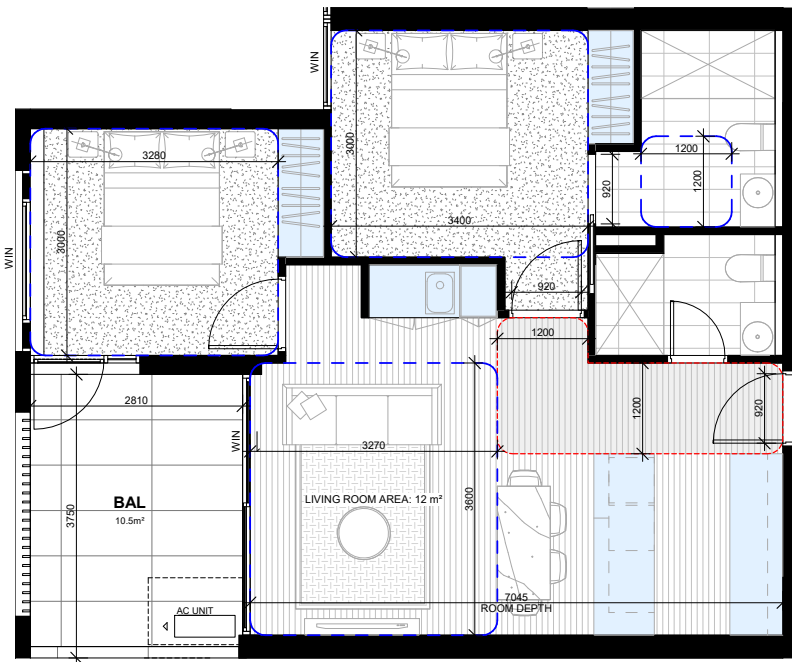
1 APARTMENT TYPE 8  
SCALE 1 : 50



D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 2 BED & 2 BATH  
AREA: 67m<sup>2</sup> + 9.3m<sup>2</sup> (balcony)  
APT: 1.13, 1.14, 2.13, 2.14, 3.13, 3.14, 4.13, 4.14, 5.13, 5.14, 6.12, 6.13, 7.12, 7.13, 8.12, 8.13, 9.12, 9.13, 10.12, 10.13

2 APARTMENT TYPE 09  
SCALE 1 : 50



D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 2 BED & 2 BATH  
AREA: 69.5m<sup>2</sup> + 10.5m<sup>2</sup> (balcony)  
APT: 1.17, 1.18, 1.21, 1.22, 2.17, 2.18, 2.21, 2.22, 2.23, 2.24, 3.17, 3.18, 3.21, 3.22, 3.23, 3.24, 4.17, 4.18, 4.21, 4.22, 4.23, 4.24, 5.17, 5.18, 5.21, 5.22, 5.23, 5.24,

3 APARTMENT TYPE 10  
SCALE 1 : 50

LEGEND	
D17	STANDARD 'D17' COMPLIANT
D19	STANDARD 'D19' COMPLIANT
D20	STANDARD 'D20' COMPLIANT
D24	STANDARD 'D24' COMPLIANT
D25	STANDARD 'D25' COMPLIANT
D26	STANDARD 'D26' COMPLIANT
D27	STANDARD 'D27' COMPLIANT
D25	'DUAL ASPECT' APARTMENT STANDARD 'D25' NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

TYPE 08 INTERNAL STORAGE SCHEDULE	
ISLAND BENCH	1 m <sup>3</sup>
KITCHEN BENCH	1 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
WARDROBE	5 m <sup>3</sup>
TOTAL INTERNAL STORAGE	10 m <sup>3</sup>

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TYPE 09 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m <sup>3</sup>
ISLAND BENCH	1 m <sup>3</sup>
KITCHEN BENCH	1 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
WARDROBE	3 m <sup>3</sup>
WARDROBE	5 m <sup>3</sup>
TOTAL INTERNAL STORAGE	13 m <sup>3</sup>

TYPE 10 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m <sup>3</sup>
ISLAND BENCH	1 m <sup>3</sup>
KITCHEN BENCH	1 m <sup>3</sup>
LAUNDRY	2 m <sup>3</sup>
WARDROBE	3 m <sup>3</sup>
WARDROBE	2 m <sup>3</sup>
TOTAL INTERNAL STORAGE	10 m <sup>3</sup>

ADVERTISED  
PLAN



CHT Architects Pty Ltd  
ABN 29 108 008 519  
Architecture  
Interior Design  
Urban Design

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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVELOP RESPONSE
C	31/07/2020	DEVELOP RPT RESPONSE - FULL RE-DESIGN

Title

APARTMENT DESIGN GUIDELINES  
06 - APARTMENTS

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP2.25

Revision

C

Scale

1 : 50@A1

Date

31/07/2020



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1 APARTMENT TYPE 11  
SCALE 1 : 50

ADVERTISED PLAN

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2 APARTMENT TYPE 12  
SCALE 1 : 50

Project	MIXED USE DEVELOPMENT 139 - 149 Boundary Road, North Melbourne
Client	BLUE EARTH GROUP

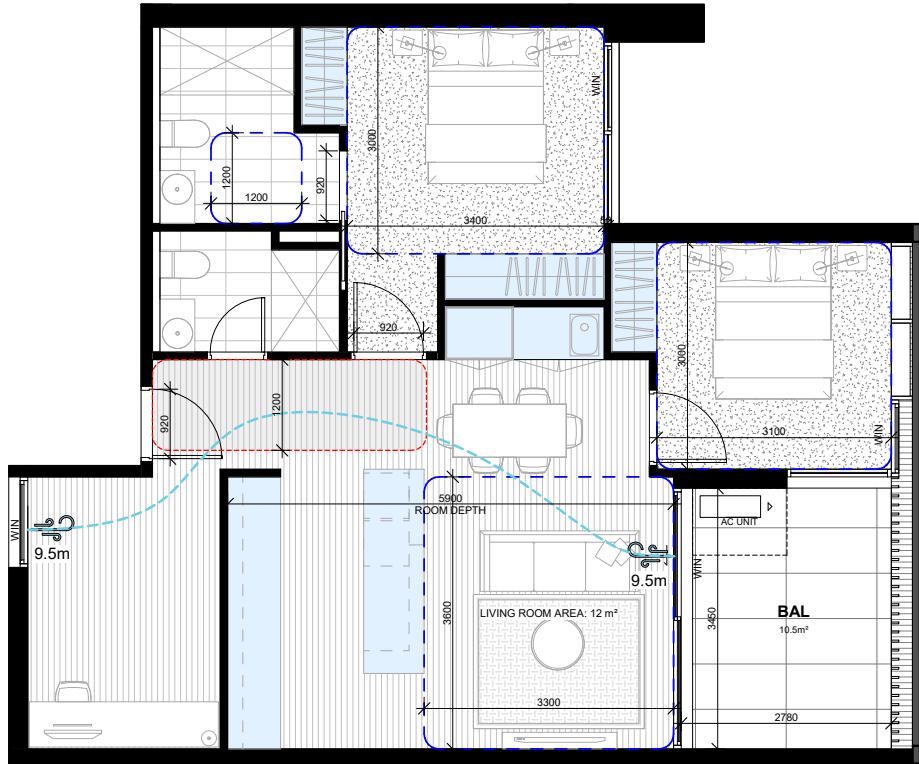


3 APARTMENT TYPE 13  
SCALE 1 : 50

D17 D19 D20 D24 D25 D26 D27

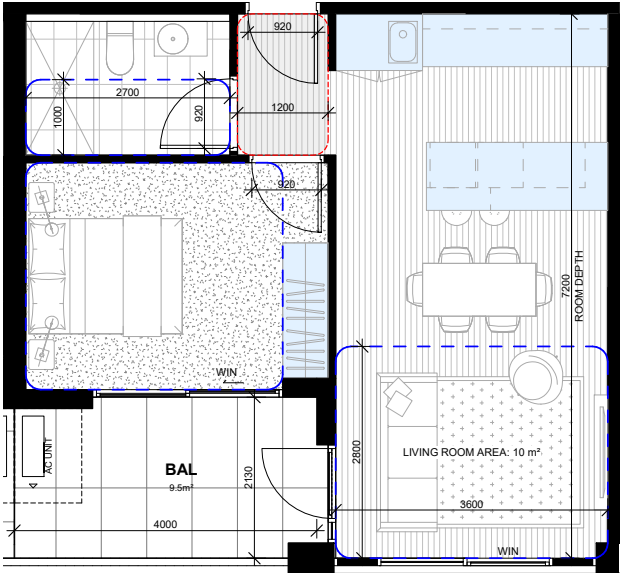
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	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D20' COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	'DUAL ASPECT' APARTMENT STANDARD 'D28' NOT APPLICABLE
	NON COMPLIANT STANDARD

**SHOWERS:**  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.



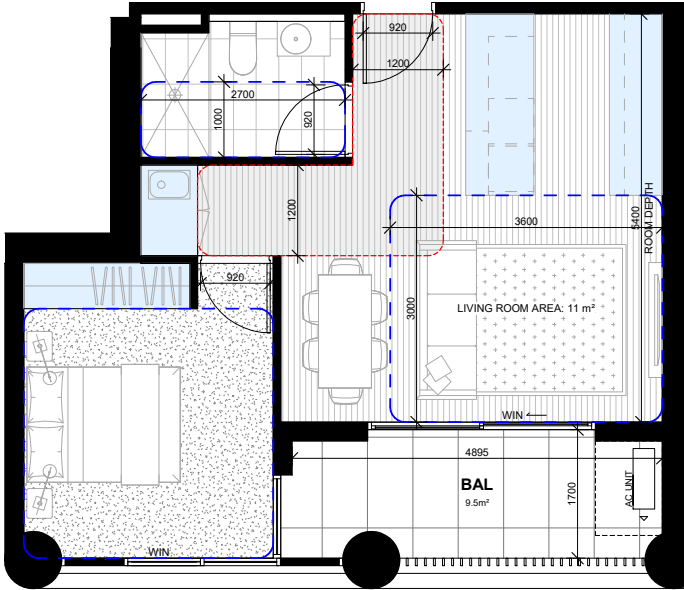
UNIT TYPE: 2 BED & 2 BATH + STUDY  
AREA: 87.5m² + 10.6m² (balcony)  
APT: 1.24

1 APARTMENT TYPE 14  
SCALE 1 : 50



UNIT TYPE: 1 BED & 1 BATH  
AREA: 50.5m² + 9.3m² (balcony)  
APT: 1.02, 1.03, 1.25, 1.26, 2.02, 2.03, 2.26, 2.27, 3.02, 3.03, 3.26, 3.27, 4.02, 4.03, 4.26, 4.27, 5.02, 5.03, 5.26, 5.27, 6.02, 6.03, 6.22, 6.23, 7.02, 7.03, 7.22, 7.23, 8.02, 8.03, 8.22, 8.23, 9.02, 9.03, 9.22, 9.23, 10.02, 10.03, 10.22, 10.23, 11.09, 11.10

2 APARTMENT TYPE 15  
SCALE 1 : 50



UNIT TYPE: 1 BED & 1 BATH  
AREA: 50.5m² + 9.4m² (balcony)  
APT: 1.27, 2.28, 3.28, 4.28, 5.28, 6.24, 7.24, 8.24, 9.24, 10.24, 11.11

3 APARTMENT TYPE 16  
SCALE 1 : 50

LEGEND	
D17	STANDARD 'D17' COMPLIANT
D19	STANDARD 'D19' COMPLIANT
D20	STANDARD 'D20' COMPLIANT
D24	STANDARD 'D24' COMPLIANT
D25	STANDARD 'D25' COMPLIANT
D26	STANDARD 'D26' COMPLIANT
D27	STANDARD 'D27' COMPLIANT
D28	'DUAL ASPECT' APARTMENT STANDARD 'D25' NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

TYPE 14 INTERNAL STORAGE SCHEDULE	
CUPBOARD	2 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	2 m³
LAUNDRY	2 m³
WARDROBE	2 m³
WARDROBE	2 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	14 m³

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TYPE 15 INTERNAL STORAGE SCHEDULE	
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	7 m³

TYPE 16 INTERNAL STORAGE SCHEDULE	
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	4 m³
TOTAL INTERNAL STORAGE	8 m³



CHT Architects Pty Ltd  
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Project  
MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne  
Client  
BLUE EARTH GROUP

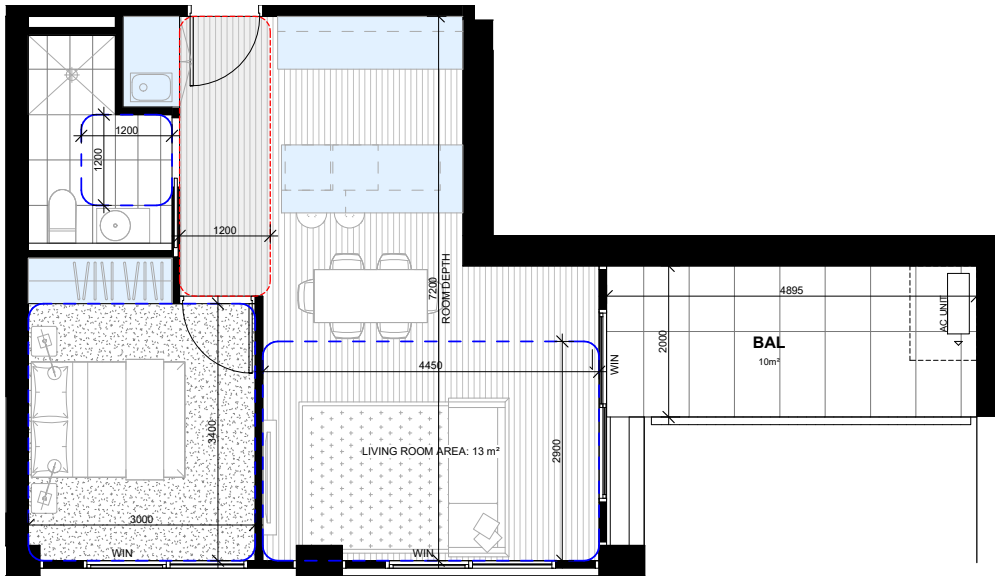
Amendments		
No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEWLP RFI RESPONSE
C	31/07/2020	DEWLP RFI RESPONSE - FULL RE-DESIGN

Title  
APARTMENT DESIGN GUIDELINES  
08 - APARTMENTS  
Sheet  
PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.  
TP2.27  
Scale  
1 : 50@A1  
Date  
31/07/2020

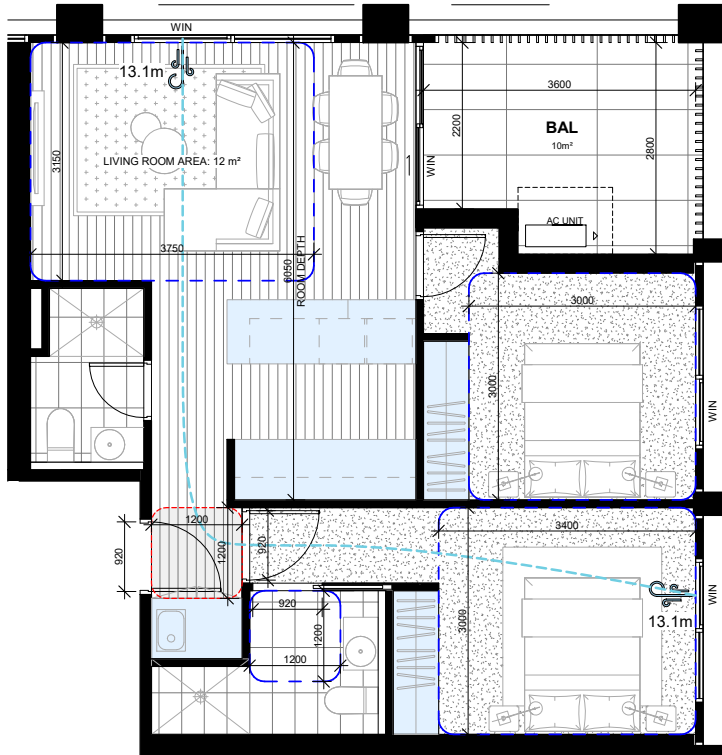
Revision  
C  
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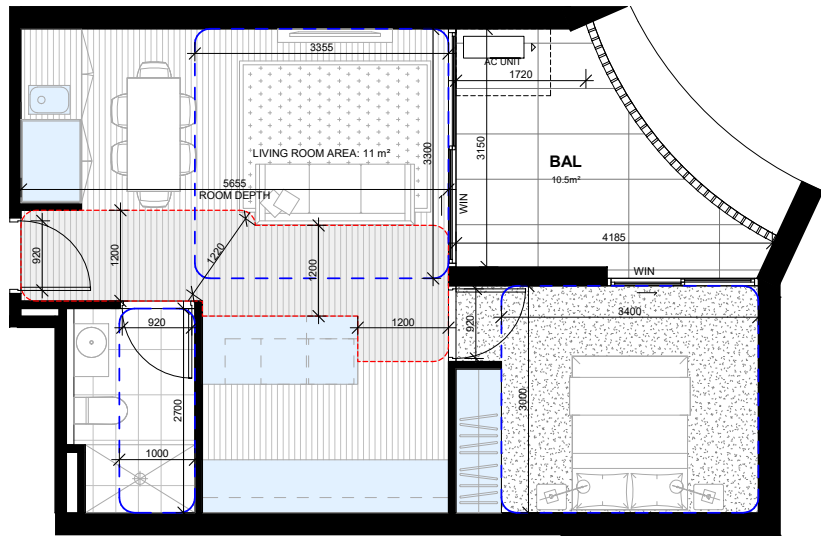
UNIT TYPE: 1 BED & 1 BATH  
AREA: 51m² + 10m² (balcony)  
APT: 1.01, 2.01, 3.01, 4.01, 5.01, 6.01, 7.01, 8.1, 9.01, 10.01

3 APARTMENT TYPE 17  
SCALE 1 : 50



UNIT TYPE: 2 BED & 2 BATH  
AREA: 69.5m² + 10m² (balcony)  
APT: 6.08, 7.08, 8.08, 9.08, 10.08

1 APARTMENT TYPE 18  
SCALE 1 : 50



UNIT TYPE: 1 BED & 1 BATH  
AREA: 50m² + 10.4m² (balcony)  
APT: 6.10, 6.15, 7.10, 7.15, 8.10, 8.15, 9.10, 9.15, 10.10, 10.15, 11.02

2 APARTMENT TYPE 19  
SCALE 1 : 50

LEGEND	
D17	STANDARD 'D17' COMPLIANT
D19	STANDARD 'D19' COMPLIANT
D20	STANDARD 'D20' COMPLIANT
D24	STANDARD 'D24' COMPLIANT
D25	STANDARD 'D25' COMPLIANT
D26	STANDARD 'D26' COMPLIANT
D27	STANDARD 'D27' COMPLIANT
D28	'DUAL ASPECT' APARTMENT STANDARD 'D25' NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

TYPE 17 INTERNAL STORAGE SCHEDULE	
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	7 m³

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TYPE 18 INTERNAL STORAGE SCHEDULE	
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	11 m³

TYPE 19 INTERNAL STORAGE SCHEDULE	
CUPBOARD	2 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	2 m³
LAUNDRY	2 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	10 m³



CHT Architects Pty Ltd  
ABN 29 108 008 519

Architecture  
Interior Design  
Urban Design

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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVELOPER RESPONSE
C	31/07/2020	DEVELOPER RESPONSE - FULL RE-DESIGN

Title

APARTMENT DESIGN GUIDELINES  
09 - APARTMENTS

Sheet

PRELIMINARY  
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Sheet No.

TP2.28

Revision

C

Scale

1 : 50@A1

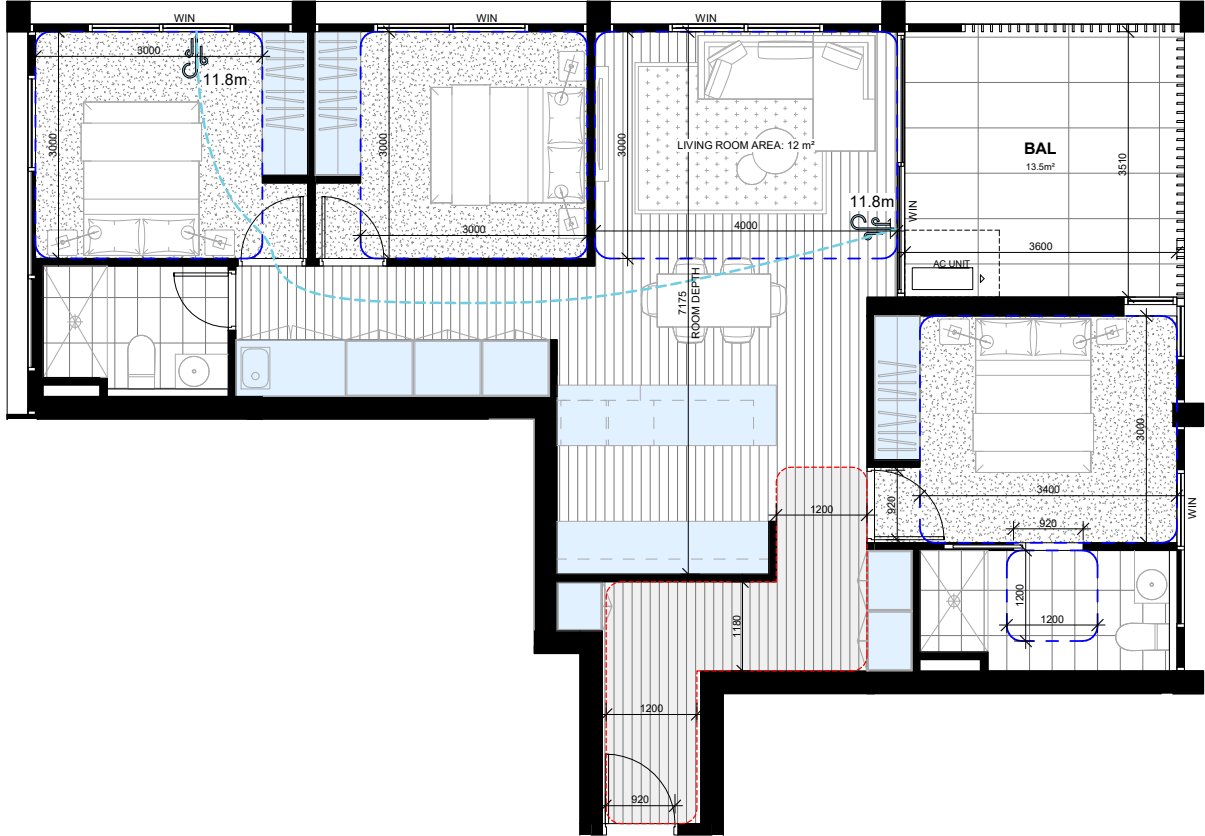
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31/07/2020



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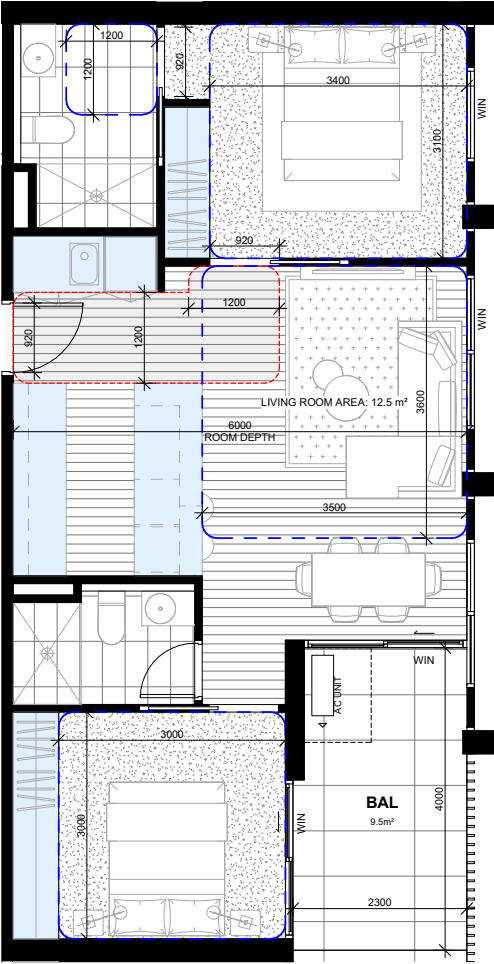
D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 3 BED & 2 BATH  
AREA: 98m² + 13.4m² (balcony)  
APT: 6.18, 7.18, 8.18, 9.18, 10.18, 11.05

1 APARTMENT TYPE 20  
SCALE 1:50

TYPE 20 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
CUPBOARD	2 m³
CUPBOARD	2 m³
CUPBOARD	2 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	3 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	23 m³

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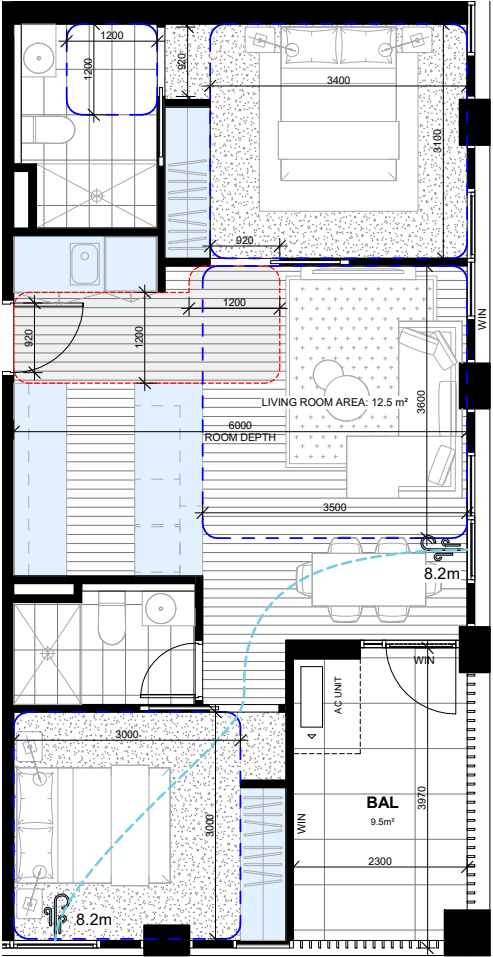


D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 2 BED & 2 BATH  
AREA: 68m² + 9.6m² (balcony)  
APT: 6.19, 6.20, 7.19, 7.20, 8.19, 8.20, 9.19, 9.20,  
10.19, 10.20, 11.06, 11.07

2 APARTMENT TYPE 21  
SCALE 1:50

TYPE 21 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	5 m³
TOTAL INTERNAL STORAGE	14 m³



D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 2 BED & 2 BATH  
AREA: 68m² + 9.6m² (balcony)  
APT: 6.21, 7.21, 8.21, 9.21, 10.21, 11.08

3 APARTMENT TYPE 21A  
SCALE 1:50

TYPE 21A INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	12 m³

LEGEND	
D17	STANDARD D17 COMPLIANT
D19	STANDARD D19 COMPLIANT
D20	STANDARD D20 COMPLIANT
D24	STANDARD D24 COMPLIANT
D25	STANDARD D25 COMPLIANT
D26	STANDARD D26 COMPLIANT
D27	STANDARD D27 COMPLIANT
D28	DUAL ASPECT APARTMENT STANDARD D28 NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.



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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
1	31/07/2020	DEVELOPER RESPONSE - FULL RE-DESIGN
2		
3		
4		
5		
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7		
8		
9		
10		

Title

APARTMENT DESIGN GUIDELINES  
10 - APARTMENTS

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP2.29

Revision

C

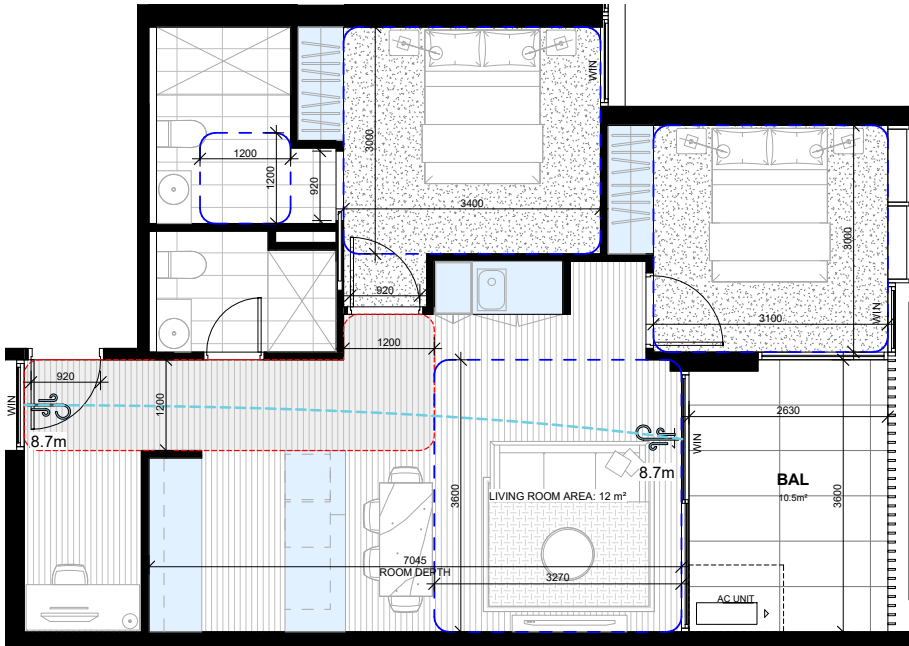
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Date

31/07/2020

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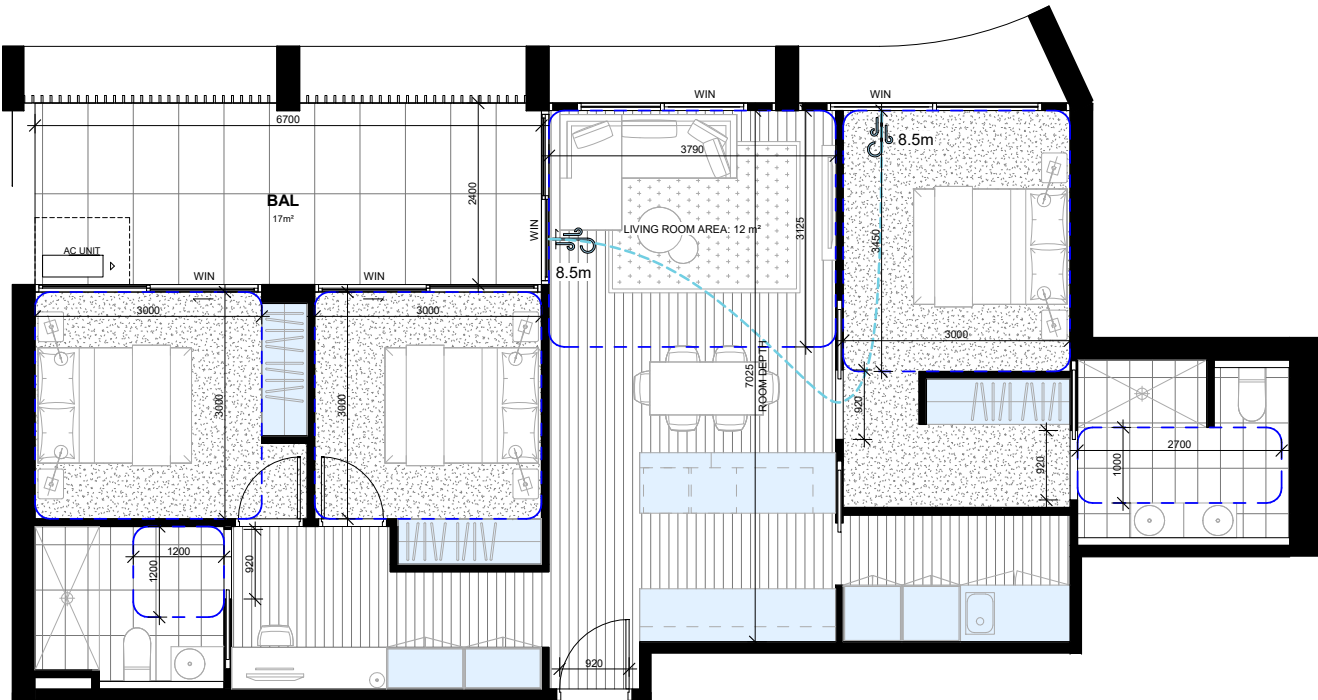


UNIT TYPE: 2 BED & 2 BATH + STUDY  
AREA: 76.7m<sup>2</sup> + 10.6m<sup>2</sup> (balcony)  
APT: 2.25, 3.25, 4.25, 5.25

1 APARTMENT TYPE 14A  
SCALE: 1 : 50

TYPE 14A INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	2 m³
TOTAL INTERNAL STORAGE	10 m³

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UNIT TYPE: 2 BED & 2 BATH + STUDY  
AREA: 76.7m<sup>2</sup> + 10.6m<sup>2</sup> (balcony)  
APT: 2.25, 3.25, 4.25, 5.25

2 APARTMENT TYPE 22  
SCALE: 1 : 50

TYPE 22 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	3 m³
WARDROBE	3 m³
TOTAL INTERNAL STORAGE	19 m³

D17 D19 D20 D24 D25 D26 D27

LEGEND	
D17	STANDARD D17 COMPLIANT
D19	STANDARD D19 COMPLIANT
D20	STANDARD D20 COMPLIANT
D24	STANDARD D24 COMPLIANT
D25	STANDARD D25 COMPLIANT
D26	STANDARD D26 COMPLIANT
D27	STANDARD D27 COMPLIANT
D28	DUAL ASPECT APARTMENT STANDARD D25 NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

DOORS:  
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE  
BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL  
PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm &  
IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED  
WITH READILY REMOVABLE HINGES.

SHOWERS:  
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE  
SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
HAVE A REMOVABLE SCREEN.

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TOWN PLANNING



CHT Architects Pty Ltd  
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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
1	31/07/2020	DEWLP RFI RESPONSE - FULL RE-DESIGN
2		
3		
4		
5		
6		
7		
8		
9		
10		

Title

APARTMENT DESIGN GUIDELINES  
11 - APARTMENTS

Sheet

PRELIMINARY  
NOT FOR CONSTRUCTION

Sheet No.

TP2.30

Revision

C

Scale

1 : 50@A1

Date

31/07/2020

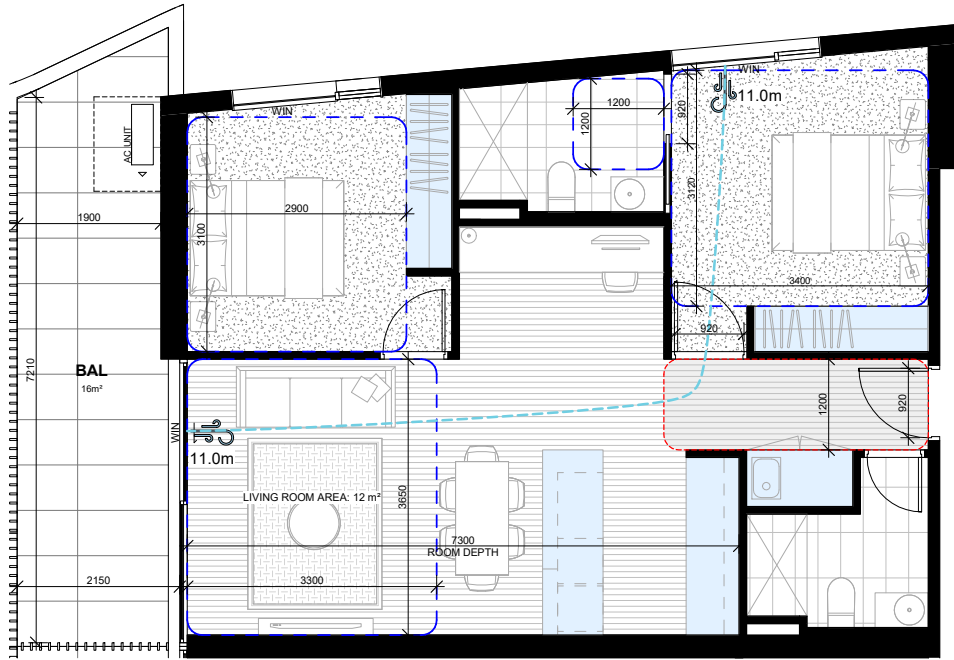
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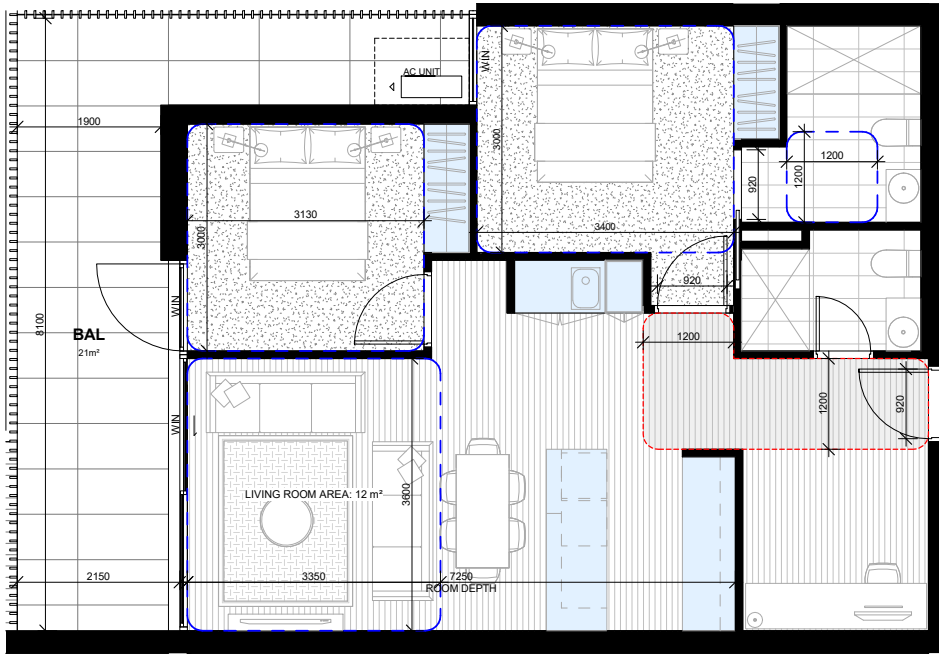


D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 2 BED & 2 BATH + STUDY  
AREA: 79.4m² + 16.1m² (balcony)  
APT: UG.03

1 APARTMENT TYPE 23  
SCALE 1 : 50

TYPE 23 INTERNAL STORAGE SCHEDULE	
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	4 m³
WARDROBE	4 m³
TOTAL INTERNAL STORAGE	12 m³



D17 D19 D20 D24 D25 D26 D27

UNIT TYPE: 2 BED & 2 BATH + STUDY  
AREA: 79.5m² + 21.1m² (balcony)  
APT: UG.01, UG.02

2 APARTMENT TYPE 24  
SCALE 1 : 50

TYPE 24 INTERNAL STORAGE SCHEDULE	
CUPBOARD	1 m³
ISLAND BENCH	1 m³
KITCHEN BENCH	1 m³
LAUNDRY	2 m³
WARDROBE	3 m³
WARDROBE	2 m³
TOTAL INTERNAL STORAGE	10 m³

LEGEND

D17	STANDARD 'D17' COMPLIANT
D19	STANDARD 'D19' COMPLIANT
D20	STANDARD 'D20' COMPLIANT
D24	STANDARD 'D24' COMPLIANT
D25	STANDARD 'D25' COMPLIANT
D26	STANDARD 'D26' COMPLIANT
D27	STANDARD 'D27' COMPLIANT
D28	'DUAL ASPECT' APARTMENT STANDARD 'D25' NOT APPLICABLE
	NON COMPLIANT STANDARD

NOTES:

CEILING HEIGHTS:  
LOWER GROUND FLOOR - MINIMUM 2.9M CEILING HEIGHT  
UPPER GROUND FLOOR - MINIMUM 3.6M CEILING HEIGHT

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SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL  
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TOWN PLANNING



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Project

MIXED USE DEVELOPMENT  
139 - 149 Boundary Road, North Melbourne

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
1	31/07/2020	DEWLP RFI RESPONSE - FULL RE-DESIGN

Title

APARTMENT DESIGN GUIDELINES  
12 - APARTMENTS

Sheet

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Sheet No.

TP2.31

Revision

C

Scale

1 : 50@A1

Date

31/07/2020

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STANDARD 'D17' ACCESSIBILITY ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D17' COMPLIANT?
TYPE 01	TOWNHOUSE	4	NO
TYPE 01A	TOWNHOUSE	1	NO
TYPE 02	TOWNHOUSE	1	NO
TYPE 02A	TOWNHOUSE	2	NO
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	YES
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	YES
TYPE 04	2 BED & 2 BATH	5	NO
TYPE 05	1 BED & 1 BATH	5	YES
TYPE 06	1 BED & 1 BATH + STUDY	5	YES
TYPE 07	1 BED & 1 BATH + STUDY	10	YES
TYPE 08	1 BED & 1 BATH	20	NO
TYPE 09	2 BED & 2 BATH	20	YES
TYPE 10	2 BED & 2 BATH	28	YES
TYPE 11	2 BED & 2 BATH	5	NO
TYPE 12	3 BED & 2 BATH	5	YES
TYPE 13	2 BED + 2 BATH + STUDY	1	YES
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	YES
TYPE 16	1 BED & 1 BATH	11	YES
TYPE 17	1 BED & 1 BATH	10	YES
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	YES
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	YES
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	NO
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	YES
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		39	
% COMPLIANCE REQUIRED		50%	
% COMPLIANCE ACHIEVED		86%	

STANDARD 'D20'S' STORAGE ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D20' COMPLIANT?
TYPE 01	TOWNHOUSE	4	YES
TYPE 01A	TOWNHOUSE	1	YES
TYPE 02	TOWNHOUSE	1	YES
TYPE 02A	TOWNHOUSE	2	YES
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	YES
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	YES
TYPE 04	2 BED & 2 BATH	5	YES
TYPE 05	1 BED & 1 BATH	5	YES
TYPE 06	1 BED & 1 BATH + STUDY	5	YES
TYPE 07	1 BED & 1 BATH + STUDY	10	YES
TYPE 08	1 BED & 1 BATH	20	YES
TYPE 09	2 BED & 2 BATH	20	YES
TYPE 10	2 BED & 2 BATH	28	YES
TYPE 11	2 BED & 2 BATH	5	YES
TYPE 12	3 BED & 2 BATH	5	YES
TYPE 13	2 BED + 2 BATH + STUDY	1	YES
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	YES
TYPE 16	1 BED & 1 BATH	11	YES
TYPE 17	1 BED & 1 BATH	10	YES
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	YES
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	YES
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	YES
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	YES
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		281	
% COMPLIANCE REQUIRED		100%	
% COMPLIANCE ACHIEVED		100%	

STANDARD 'D25' INTERNAL AMENITY ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D25' COMPLIANT?
TYPE 01	TOWNHOUSE	4	YES
TYPE 01A	TOWNHOUSE	1	YES
TYPE 02	TOWNHOUSE	1	YES
TYPE 02A	TOWNHOUSE	2	YES
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	YES
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	YES
TYPE 04	2 BED & 2 BATH	5	YES
TYPE 05	1 BED & 1 BATH	5	YES
TYPE 06	1 BED & 1 BATH + STUDY	5	YES
TYPE 07	1 BED & 1 BATH + STUDY	10	YES
TYPE 08	1 BED & 1 BATH	20	YES
TYPE 09	2 BED & 2 BATH	20	YES
TYPE 10	2 BED & 2 BATH	28	YES
TYPE 11	2 BED & 2 BATH	5	YES
TYPE 12	3 BED & 2 BATH	5	YES
TYPE 13	2 BED + 2 BATH + STUDY	1	YES
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	YES
TYPE 16	1 BED & 1 BATH	11	YES
TYPE 17	1 BED & 1 BATH	10	YES
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	YES
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	YES
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	YES
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	YES
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		281	
% COMPLIANCE REQUIRED		100%	
% COMPLIANCE ACHIEVED		100%	

STANDARD 'D27' NATURAL VENTILATION ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D27' COMPLIANT?
TYPE 01	TOWNHOUSE	4	NO
TYPE 01A	TOWNHOUSE	1	YES
TYPE 02	TOWNHOUSE	1	YES
TYPE 02A	TOWNHOUSE	2	NO
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	NO
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	NO
TYPE 04	2 BED & 2 BATH	5	YES
TYPE 05	1 BED & 1 BATH	5	NO
TYPE 06	1 BED & 1 BATH + STUDY	5	NO
TYPE 07	1 BED & 1 BATH + STUDY	10	NO
TYPE 08	1 BED & 1 BATH	20	NO
TYPE 09	2 BED & 2 BATH	20	NO
TYPE 10	2 BED & 2 BATH	28	NO
TYPE 11	2 BED & 2 BATH	5	YES
TYPE 12	3 BED & 2 BATH	5	YES
TYPE 13	2 BED + 2 BATH + STUDY	1	NO
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	NO
TYPE 16	1 BED & 1 BATH	11	NO
TYPE 17	1 BED & 1 BATH	10	NO
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	NO
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	NO
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	YES
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	NO
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		61	
% COMPLIANCE REQUIRED		40%	
% COMPLIANCE ACHIEVED		22%	

STANDARD 'D19' PRIVATE OPEN SPACE ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D19' COMPLIANT?
TYPE 01	TOWNHOUSE	4	YES
TYPE 01A	TOWNHOUSE	1	YES
TYPE 02	TOWNHOUSE	1	YES
TYPE 02A	TOWNHOUSE	2	YES
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	YES
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	YES
TYPE 04	2 BED & 2 BATH	5	YES
TYPE 05	1 BED & 1 BATH	5	YES
TYPE 06	1 BED & 1 BATH + STUDY	5	YES
TYPE 07	1 BED & 1 BATH + STUDY	10	YES
TYPE 08	1 BED & 1 BATH	20	YES
TYPE 09	2 BED & 2 BATH	20	YES
TYPE 10	2 BED & 2 BATH	28	YES
TYPE 11	2 BED & 2 BATH	5	YES
TYPE 12	3 BED & 2 BATH	5	NO
TYPE 13	2 BED + 2 BATH + STUDY	1	YES
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	YES
TYPE 16	1 BED & 1 BATH	11	YES
TYPE 17	1 BED & 1 BATH	10	YES
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	YES
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	YES
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	YES
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	YES
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		276	
% COMPLIANCE REQUIRED		100%	
% COMPLIANCE ACHIEVED		98%	

STANDARD 'D24' FUNCTIONAL LAYOUT ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D24' COMPLIANT?
TYPE 01	TOWNHOUSE	4	YES
TYPE 01A	TOWNHOUSE	1	YES
TYPE 02	TOWNHOUSE	1	YES
TYPE 02A	TOWNHOUSE	2	YES
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	YES
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	YES
TYPE 04	2 BED & 2 BATH	5	YES
TYPE 05	1 BED & 1 BATH	5	YES
TYPE 06	1 BED & 1 BATH + STUDY	5	YES
TYPE 07	1 BED & 1 BATH + STUDY	10	YES
TYPE 08	1 BED & 1 BATH	20	YES
TYPE 09	2 BED & 2 BATH	20	YES
TYPE 10	2 BED & 2 BATH	28	YES
TYPE 11	2 BED & 2 BATH	5	YES
TYPE 12	3 BED & 2 BATH	5	YES
TYPE 13	2 BED + 2 BATH + STUDY	1	YES
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	YES
TYPE 16	1 BED & 1 BATH	11	YES
TYPE 17	1 BED & 1 BATH	10	YES
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	YES
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	YES
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	YES
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	YES
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		281	
% COMPLIANCE REQUIRED		100%	
% COMPLIANCE ACHIEVED		100%	

STANDARD 'D26' WINDOWS ASSESSMENT			
TYPE	DESCRIPTION	QTY	STANDARD 'D26' COMPLIANT?
TYPE 01	TOWNHOUSE	4	YES
TYPE 01A	TOWNHOUSE	1	YES
TYPE 02	TOWNHOUSE	1	YES
TYPE 02A	TOWNHOUSE	2	YES
TYPE 03	2 BED & 2 BATH	5	YES
TYPE 03A	2 BED & 2 BATH	31	YES
TYPE 03B	2 BED & 2 BATH	10	YES
TYPE 3C	2 BED & 2 BATH	5	YES
TYPE 3D	2 BED & 2 BATH	6	YES
TYPE 04	2 BED & 2 BATH	5	YES
TYPE 05	1 BED & 1 BATH	5	YES
TYPE 06	1 BED & 1 BATH + STUDY	5	YES
TYPE 07	1 BED & 1 BATH + STUDY	10	YES
TYPE 08	1 BED & 1 BATH	20	YES
TYPE 09	2 BED & 2 BATH	20	YES
TYPE 10	2 BED & 2 BATH	28	YES
TYPE 11	2 BED & 2 BATH	5	YES
TYPE 12	3 BED & 2 BATH	5	YES
TYPE 13	2 BED + 2 BATH + STUDY	1	YES
TYPE 14	2 BED + 2 BATH + STUDY	1	YES
TYPE 14A	2 BED + 2 BATH + STUDY	4	YES
TYPE 15	1 BED & 1 BATH	42	YES
TYPE 16	1 BED & 1 BATH	11	YES
TYPE 17	1 BED & 1 BATH	10	YES
TYPE 18	2 BED & 2 BATH	5	YES
TYPE 19	1 BED & 1 BATH	10	YES
TYPE 20	3 BED & 2 BATH	6	YES
TYPE 21	2 BED & 2 BATH	12	YES
TYPE 21A	2 BED & 2 BATH	6	YES
TYPE 22	3 BED & 2 BATH	1	YES
TYPE 23	2 BED + 2 BATH + STUDY	1	YES
TYPE 24	2 BED + 2 BATH + STUDY	2	YES
TOTAL NO. OF APARTMENTS + TOWNHOUSES		281	
TOTAL NO. OF COMPLIANT UNITS		281	
% COMPLIANCE REQUIRED		100%	
% COMPLIANCE ACHIEVED		100%	

STANDARD 'D7' COMMUNAL OPEN SPACE ASSESSMENT	
TOTAL NO. OF APARTMENTS	281
REQUIRED MINIMUM AREA OF COMMUNAL OPEN SPACE	250m²
AREA OF COMMUNAL OPEN SPACE ACHIEVED	2005m²

OVERALL DEVELOPMENT BADS COMPLIANCE ASSESSMENT			
STANDARD 'D7' COMPLIANT	STANDARD 'D17' COMPLIANT	STANDARD 'D19' COMPLIANT	STANDARD 'D20' COMPLIANT
D7	D17	D19	D20
STANDARD 'D24' COMPLIANT	STANDARD 'D25' COMPLIANT	STANDARD 'D26' COMPLIANT	STANDARD 'D27' COMPLIANT
D24	D25	D26	D27

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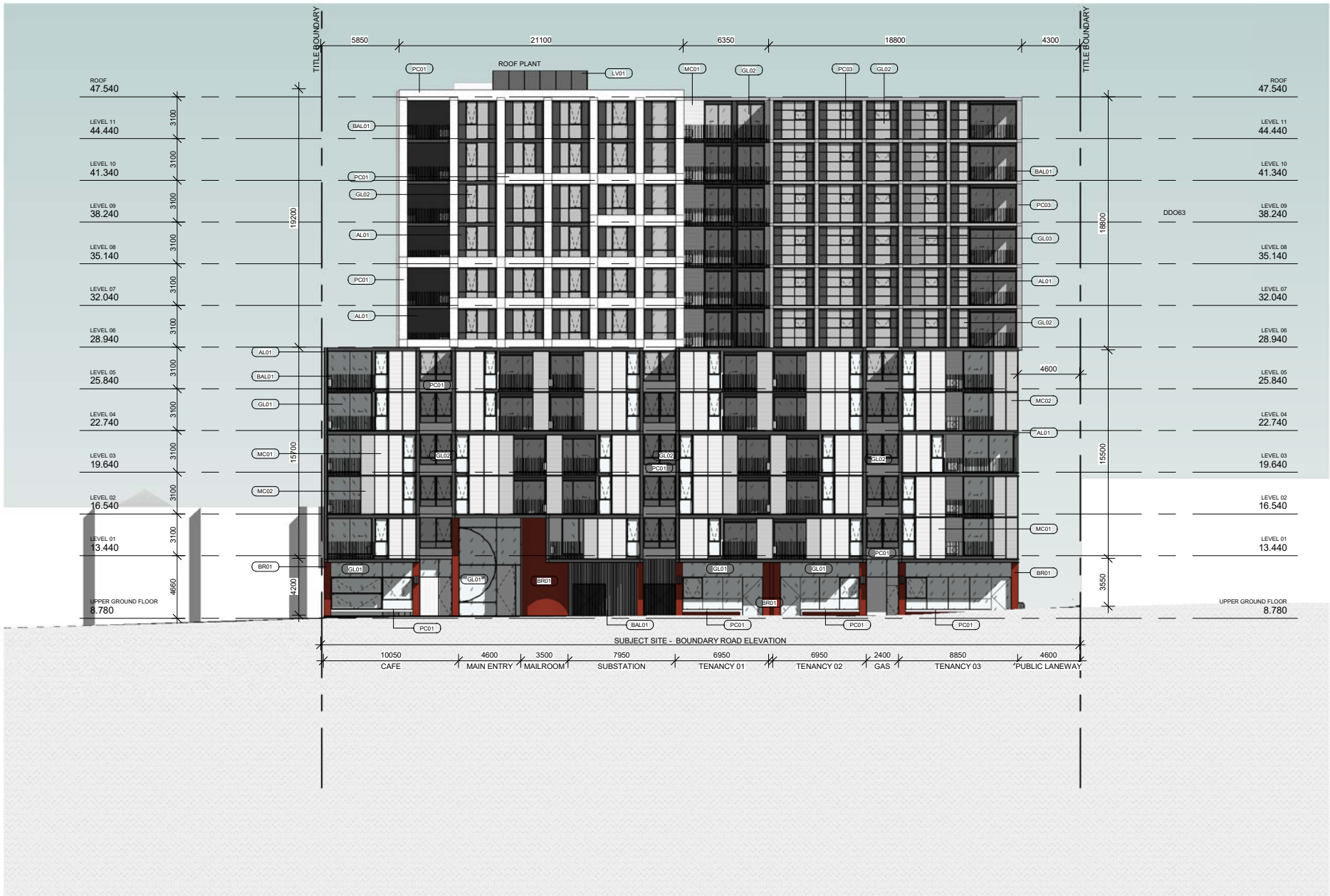
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Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DELIVER RESPONSE
C	31/07/2020	DELIVER RESPONSE - FULL RE-DESIGN
---	---	---



1 EAST ELEVATION  
SCALE 1:200

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	ALUMINIUM	AL01	BLACK MATT POWDERCOAT FINISH
	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

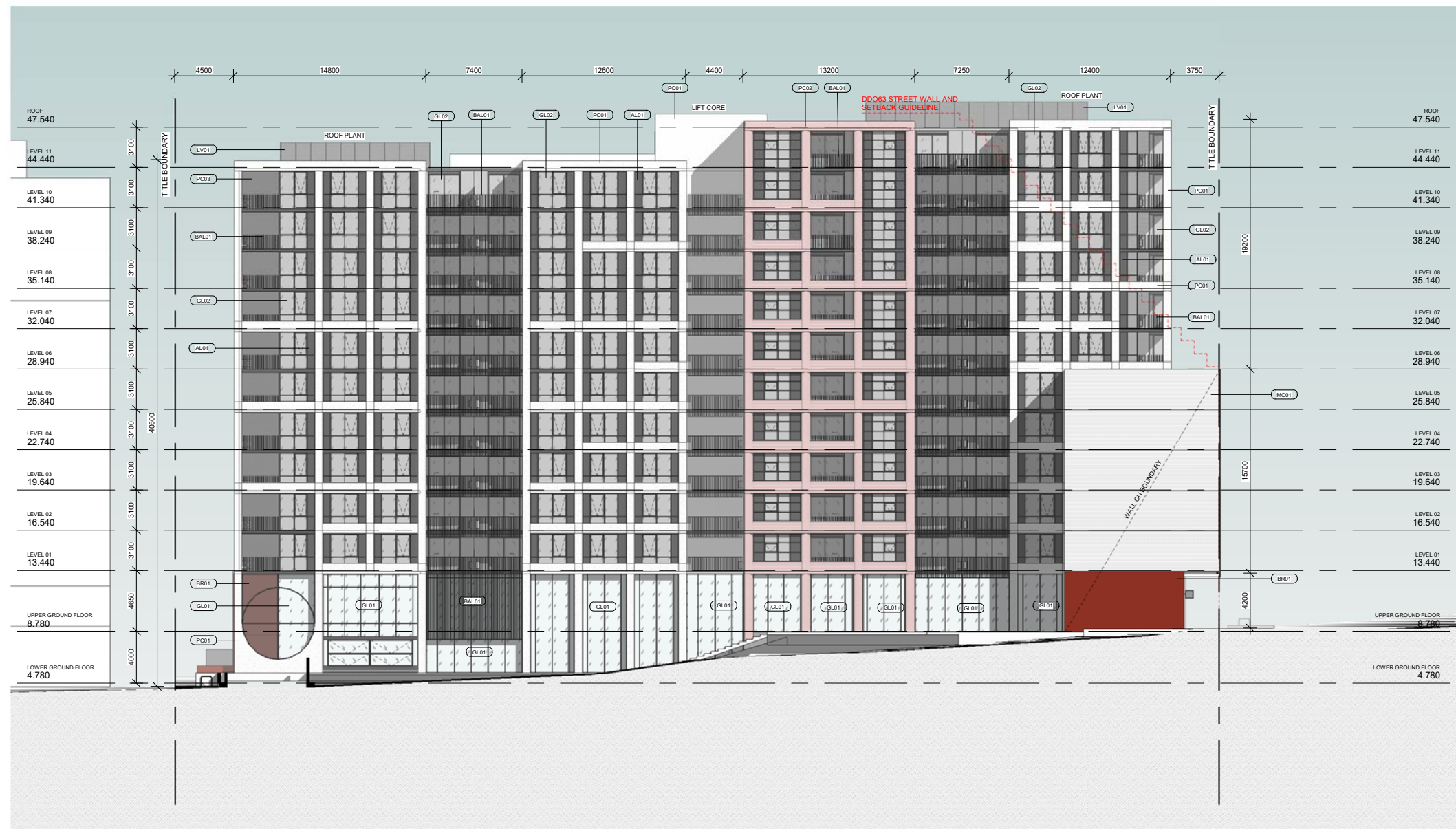
TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINIWAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINIWAVE FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC01	NATURAL CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH





TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	


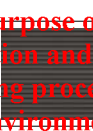
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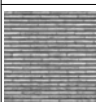

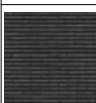


1 SOUTH ELEVATION  
SCALE 1 : 200

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	ALUMINIUM	AL01	BLACK MATT POWDERCOAT FINISH
	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLIPPING	LV01 MC01	BLACK POWDERCOAT ZINC, MINI WAVE FINISH
	METAL CLIPPING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINI WAVE FINISH
	METAL CLIPPING		





TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC01	NATURAL CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH


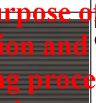

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	


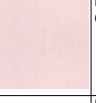



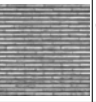




1 WEST ELEVATION  
SCALE 1 : 200

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	ALUMINIUM	AL01	BLACK MATT POWDERCOAT FINISH
	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINI WAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINI WAVE FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC01	NATURAL CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	

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Project  
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Client  
BLUE EARTH GROUP





Amendments		
No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVELOPER RESPONSE
C	31/07/2020	DEVELOPER RESPONSE - FULL RE-DESIGN




Title  
ELEVATIONS  
Sheet  
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
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TP3.02  
Revision  
C  
Scale  
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Date  
31/07/2020  
18113

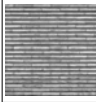




1 NORTH ELEVATION  
SCALE 1 : 200

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
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	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINIWAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINIWAVE FINISH

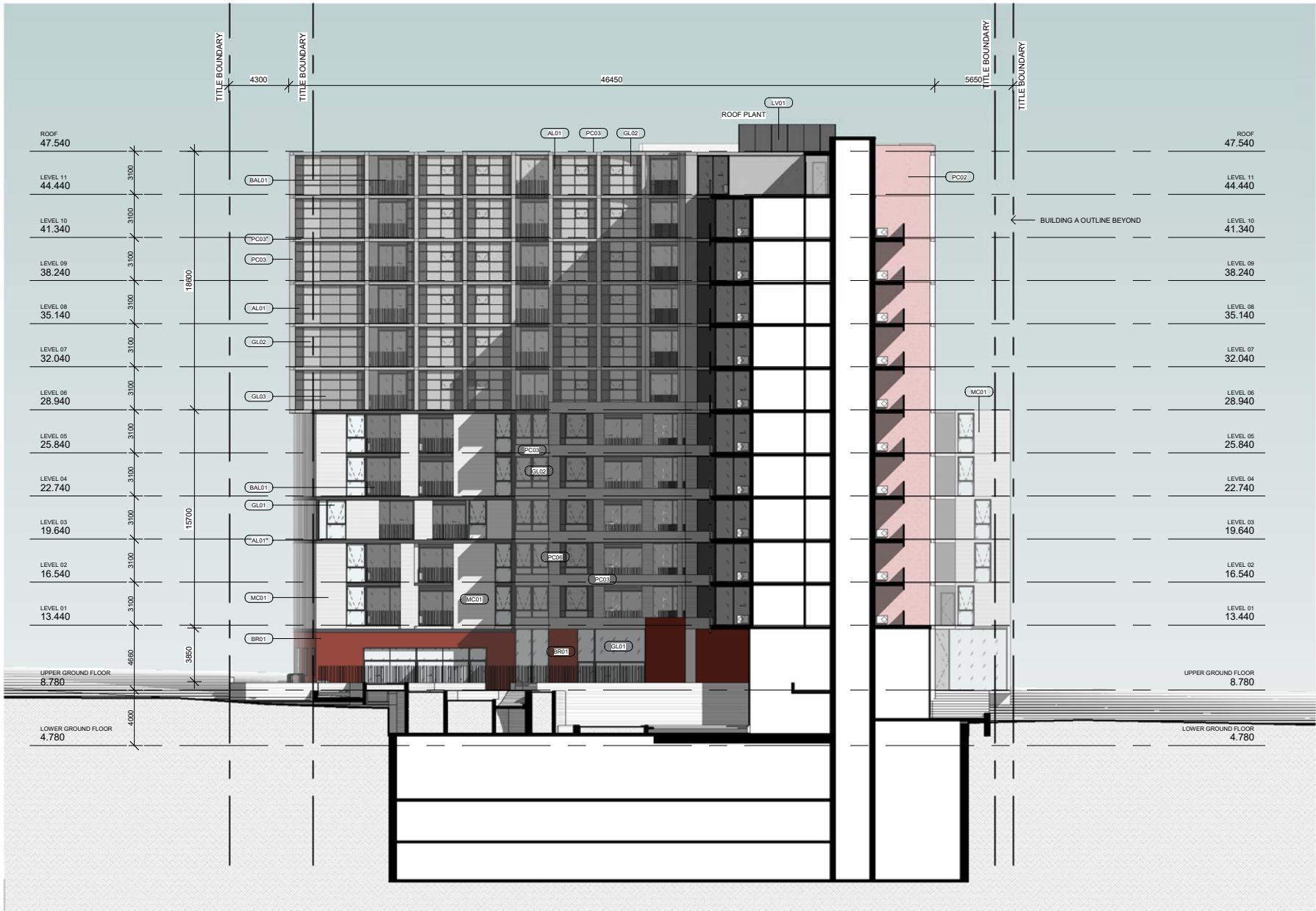
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KEY IMAGE	MATERIAL	TAG	DESCRIPTION
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	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	

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1 INTERNAL WEST ELEVATION CENTRAL COURTYARD  
SCALE 1 : 200

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	ALUMINIUM	AL01	BLACK MATT POWDERCOAT FINISH
	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINIWAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINIWAVE FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC01	NATURAL CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	

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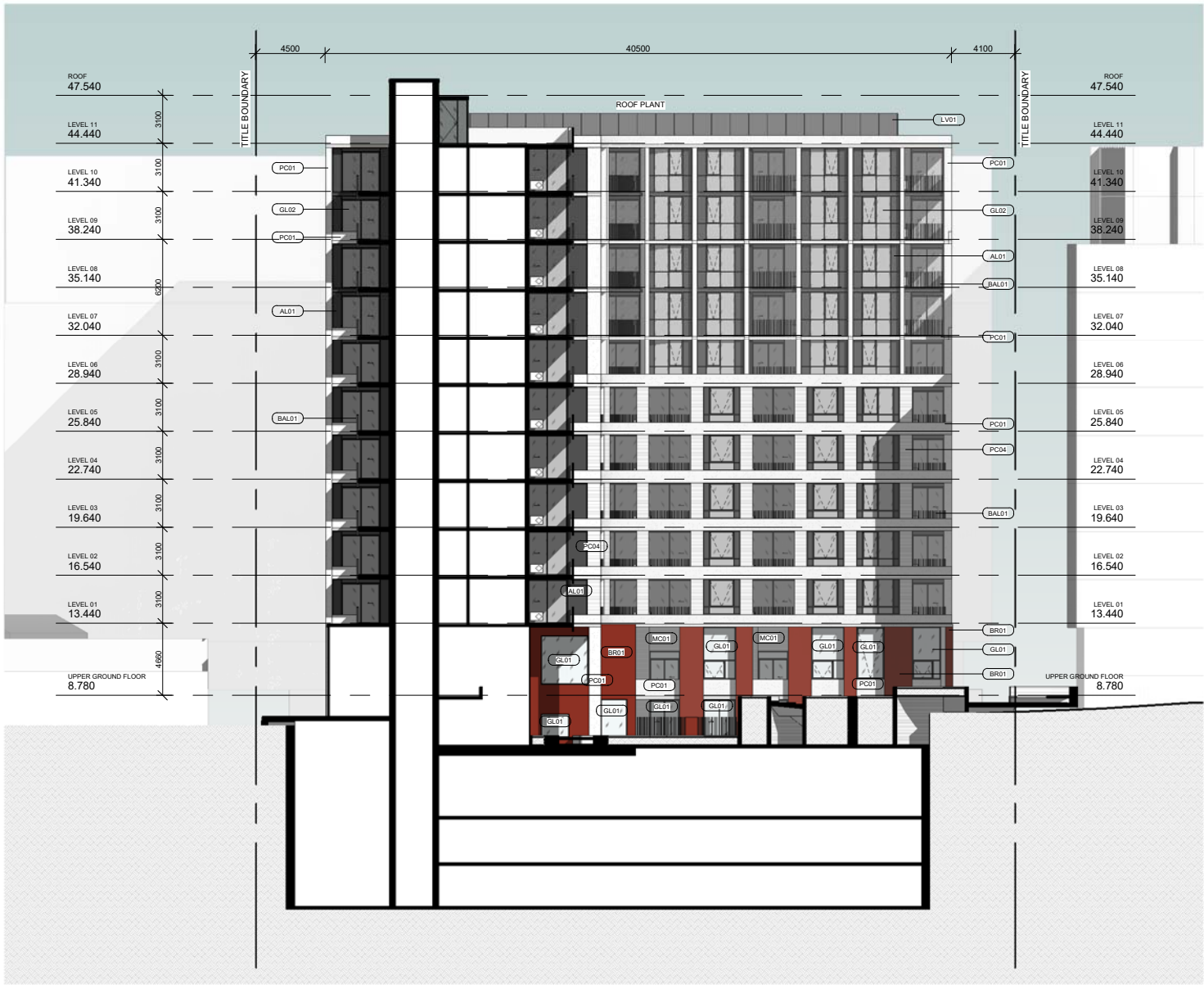
Amendments		
No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVELOPER RESPONSE
C	31/07/2020	DEVELOPER RESPONSE - FULL RE-DESIGN

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ELEVATIONS  
Sheet  
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TOWN PLANNING  
Sheet No.  
TP3.05  
Revision  
C  
Scale  
1 : 200@A1  
Date  
31/07/2020




18113






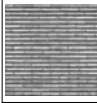

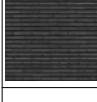



1 INTERNAL EAST ELEVATION CENTRAL COURTYARD  
SCALE 1 : 200

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	ALUMINIUM	AL01	BLACK MATT POWDERCOAT FINISH
	BRICK	BR01	RED TONE BRICK FINISH
	GLAZING	GL01	DOUBLE GLAZING - CLEAR FINISH
	GLAZING	GL02	DOUBLE GLAZING - DARK TINTED FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	GLAZING	GL03	SPANDREL GLASS - DARK TINTED FINISH
	METAL CLADDING	MC01	BLACK POWDERCOAT ZINC, MINIWAVE FINISH
	METAL CLADDING	MC02	BLACK POWDERCOAT ZINC, PERFORATED MINIWAVE FINISH

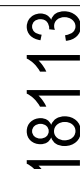
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	PRECAST CONCRETE	PC01	NATURAL CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC02	RED TINTED CONCRETE TONE, SMOOTH FINISH
	PRECAST CONCRETE	PC03	DARK GREY CONCRETE TONE, SMOOTH FINISH

TP - MATERIAL SCHEDULE			
KEY IMAGE	MATERIAL	TAG	DESCRIPTION
	PRECAST CONCRETE	PC04	NATURAL CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC05	RED TINTED CONCRETE TONE, RECKLI FINISH
	PRECAST CONCRETE	PC06	DARK GREY CONCRETE TONE, RECKLI FINISH
	TF01	TM01	

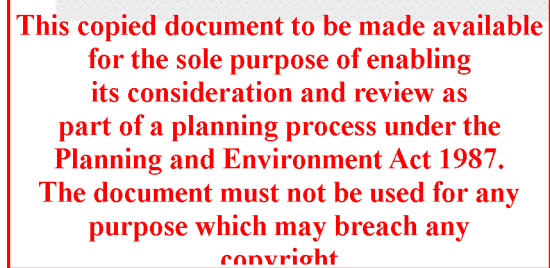
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No.	Date	Notes
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B	23/03/2020	DEVELOPER RESPONSE - FULL RE-DESIGN
C	31/07/2020	DEVELOPER RESPONSE - FULL RE-DESIGN

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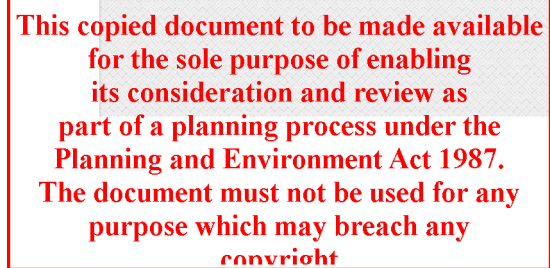


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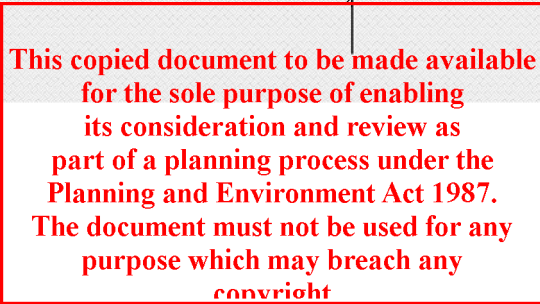




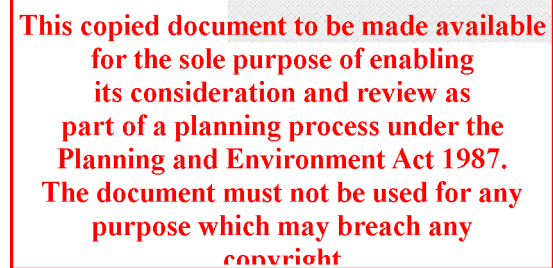
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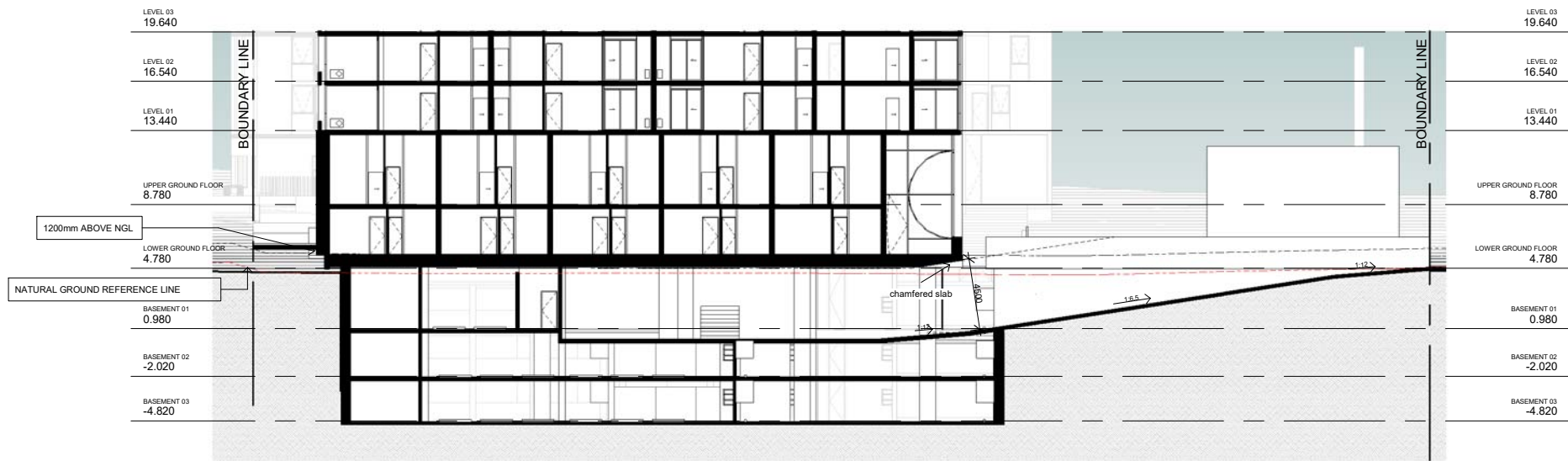
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Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEVL RP RESPONSE
C	31/07/2020	DEVL RP RESPONSE - FULL RE-DESIGN

Title

SECTION F-F

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TOWN PLANNING

Sheet No.

TP4.06

Revision

C

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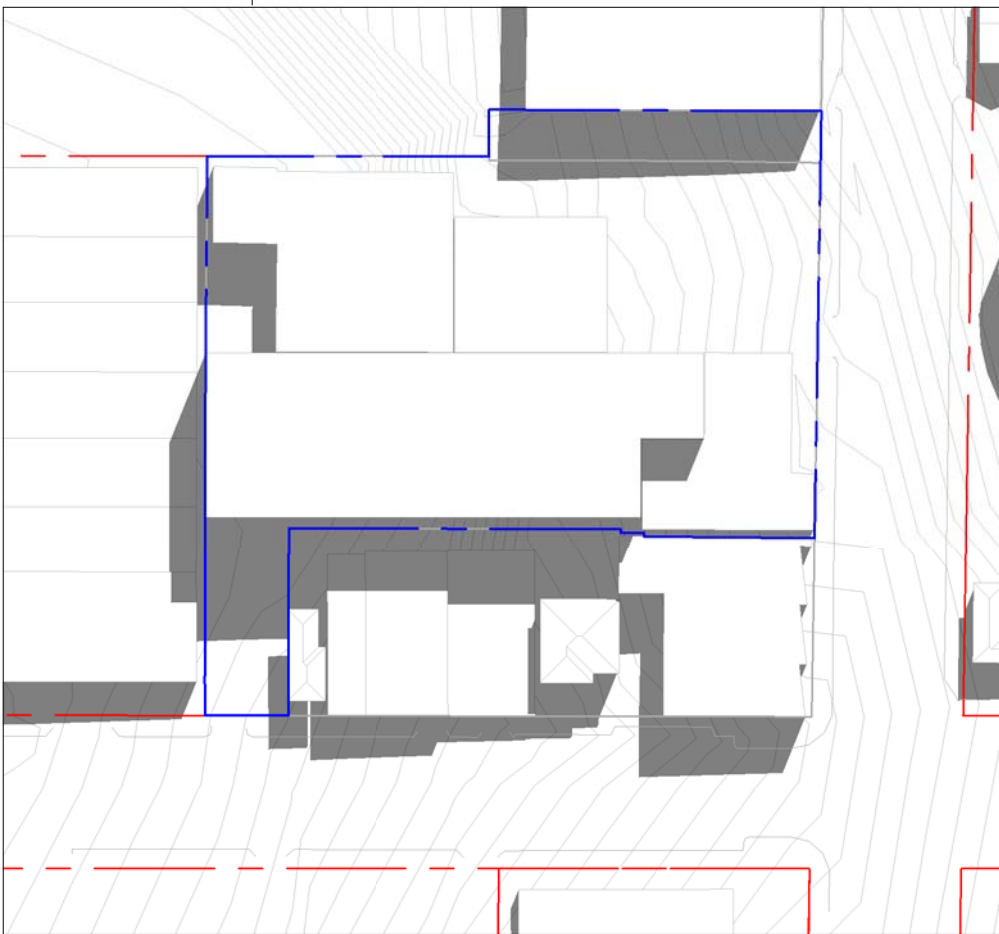
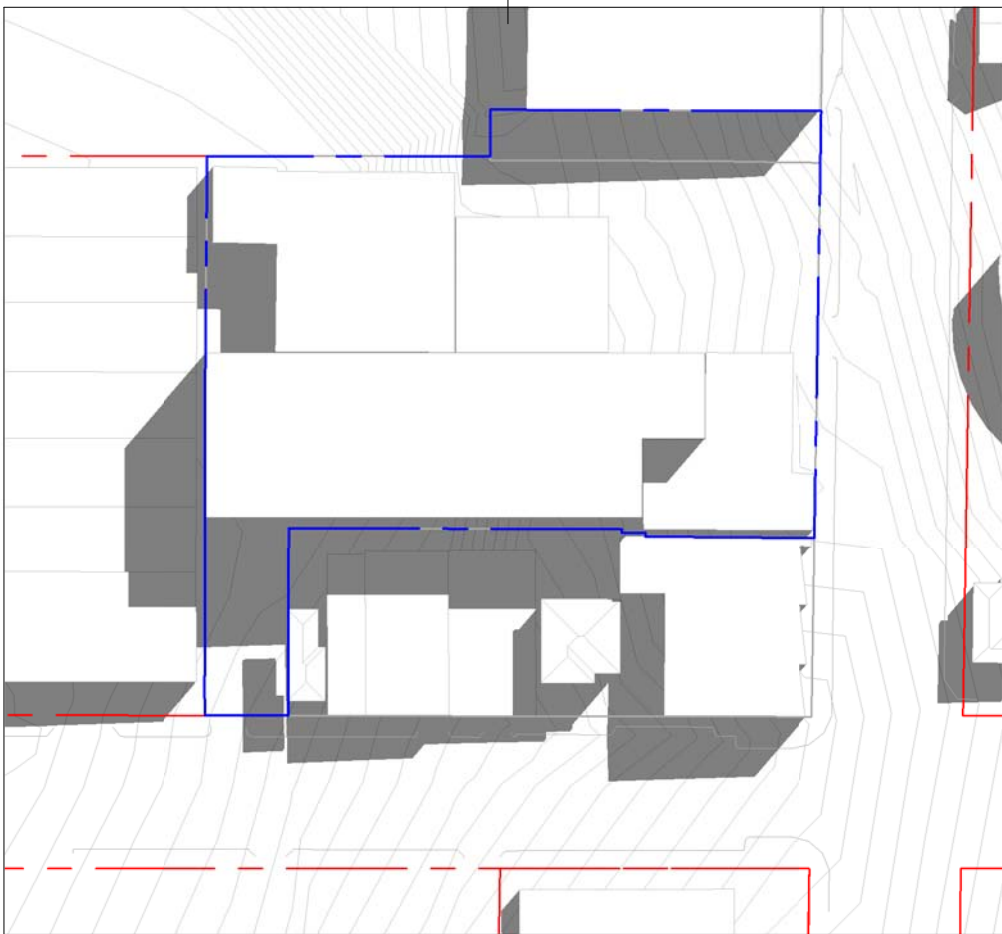
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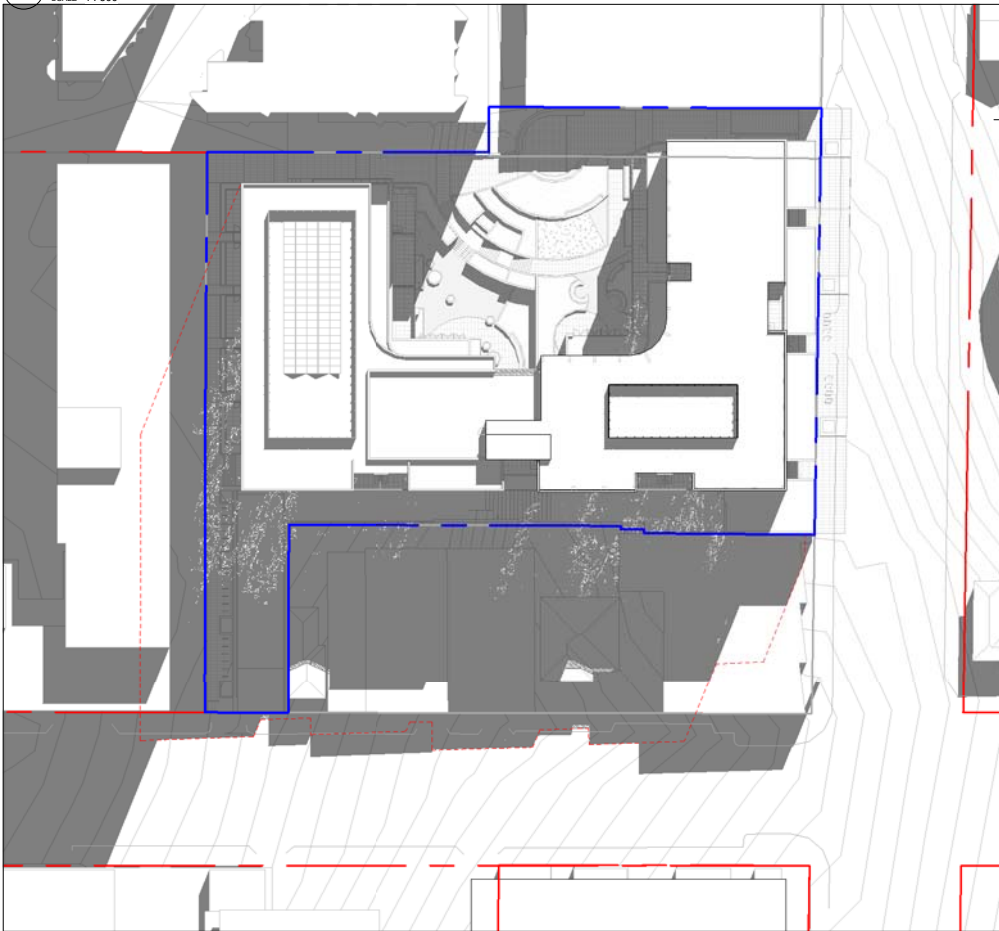
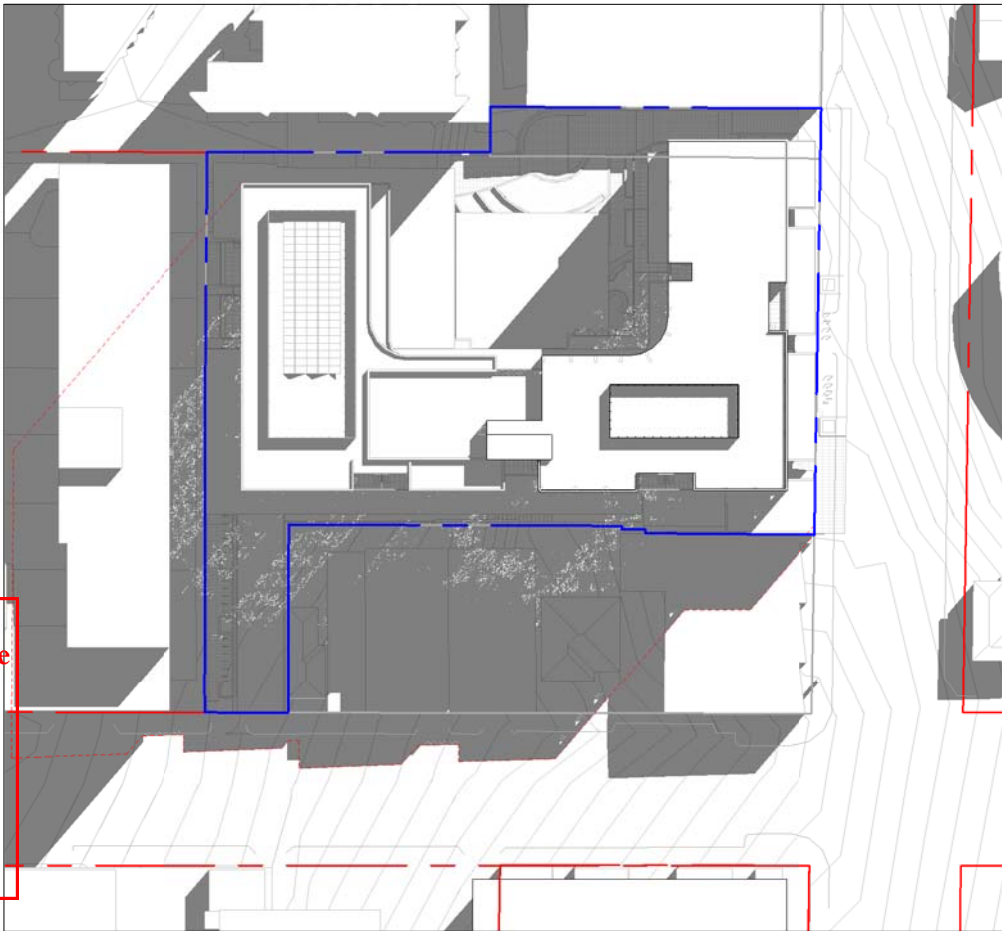
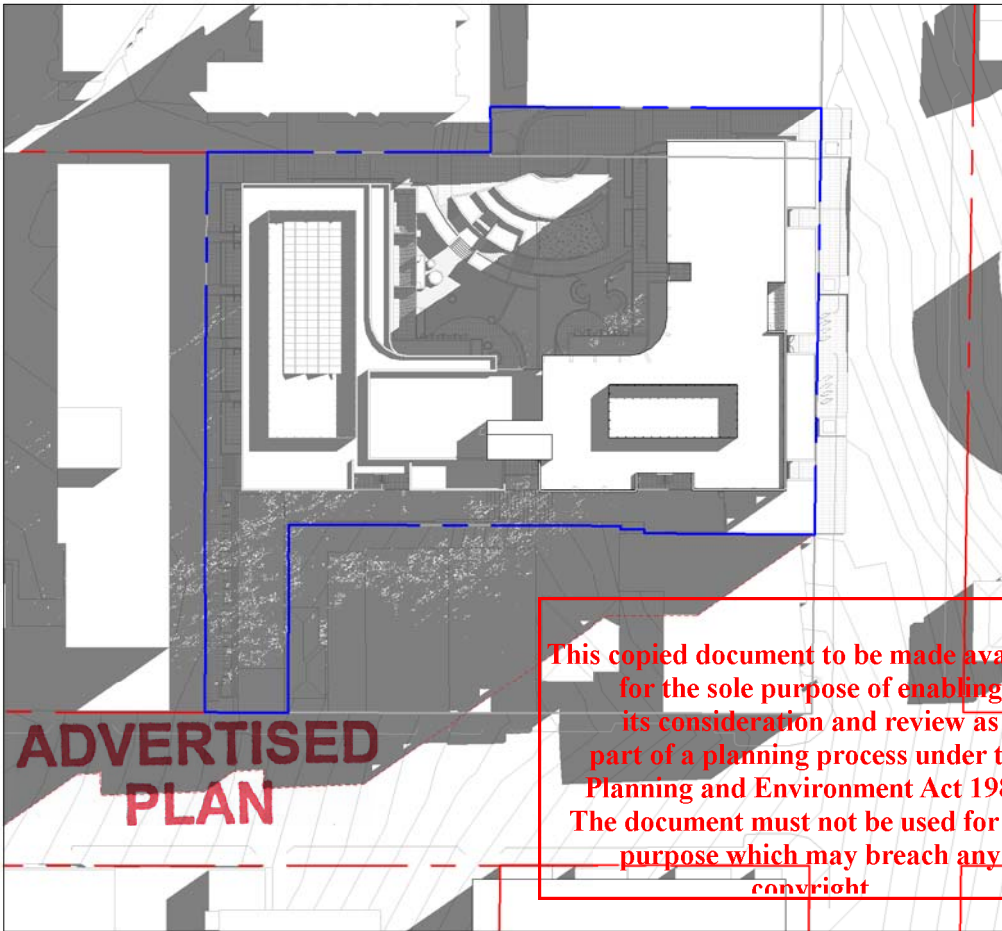
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4 EXISTING SHADOW DIAGRAM 10AM

SCALE 1 : 500

5 EXISTING SHADOW DIAGRAM 11AM

SCALE 1 : 500



3 PROPOSED SHADOW DIAGRAM 9AM

SCALE 1 : 500

6 PROPOSED SHADOW DIAGRAM 10AM

SCALE 1 : 500

2 PROPOSED SHADOW DIAGRAM 11AM

SCALE 1 : 500



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No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DELWP RFP RESPONSE
C	31/07/2020	DELWP RFP RESPONSE - FULL RE-DESIGN

Title

SHADOW DIAGRAMS

Sheet

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TOWN PLANNING

Sheet No.

TP6.00

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1 : 500@A1

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31/07/2020



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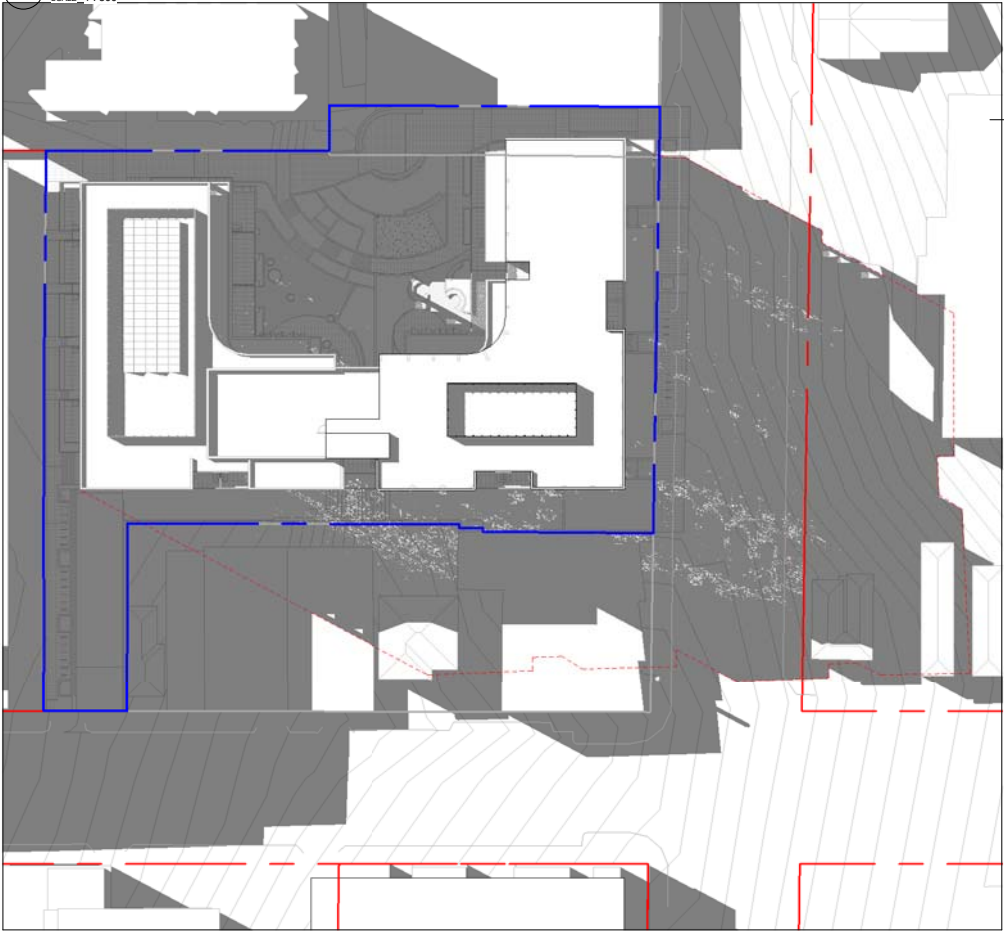
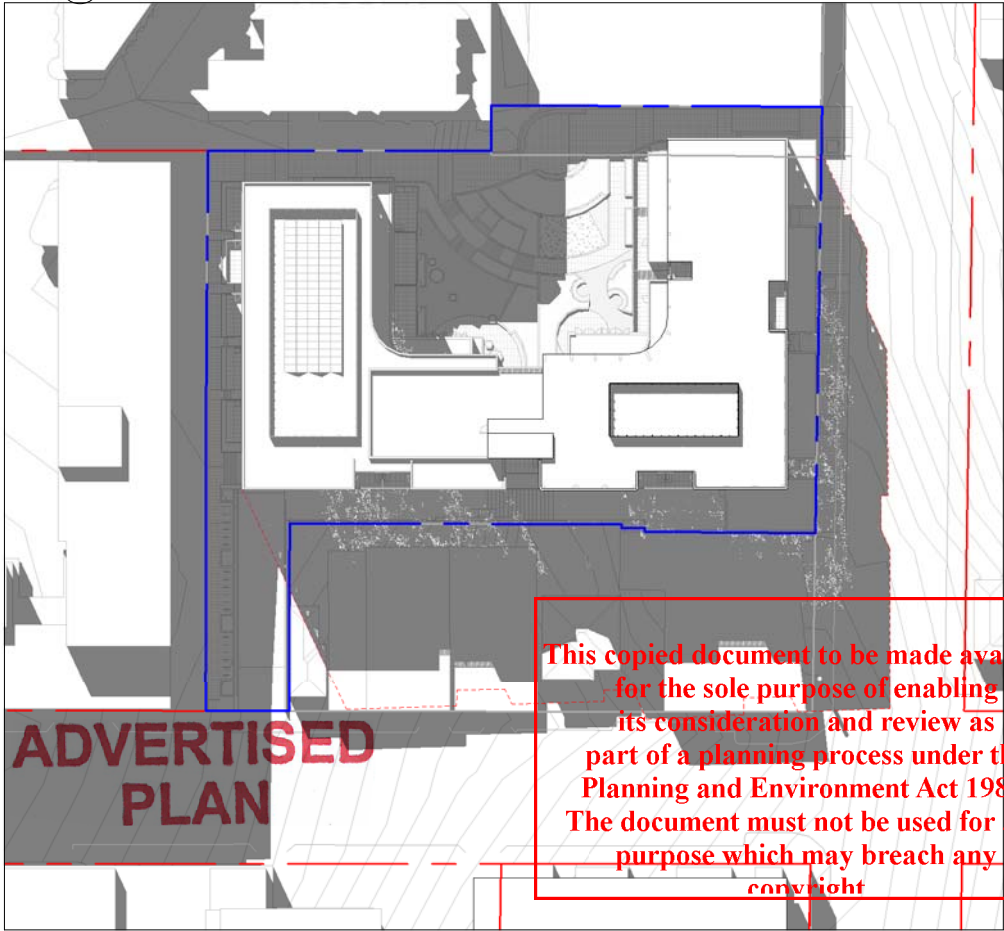




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5 EXISTING SHADOW DIAGRAM 3PM  
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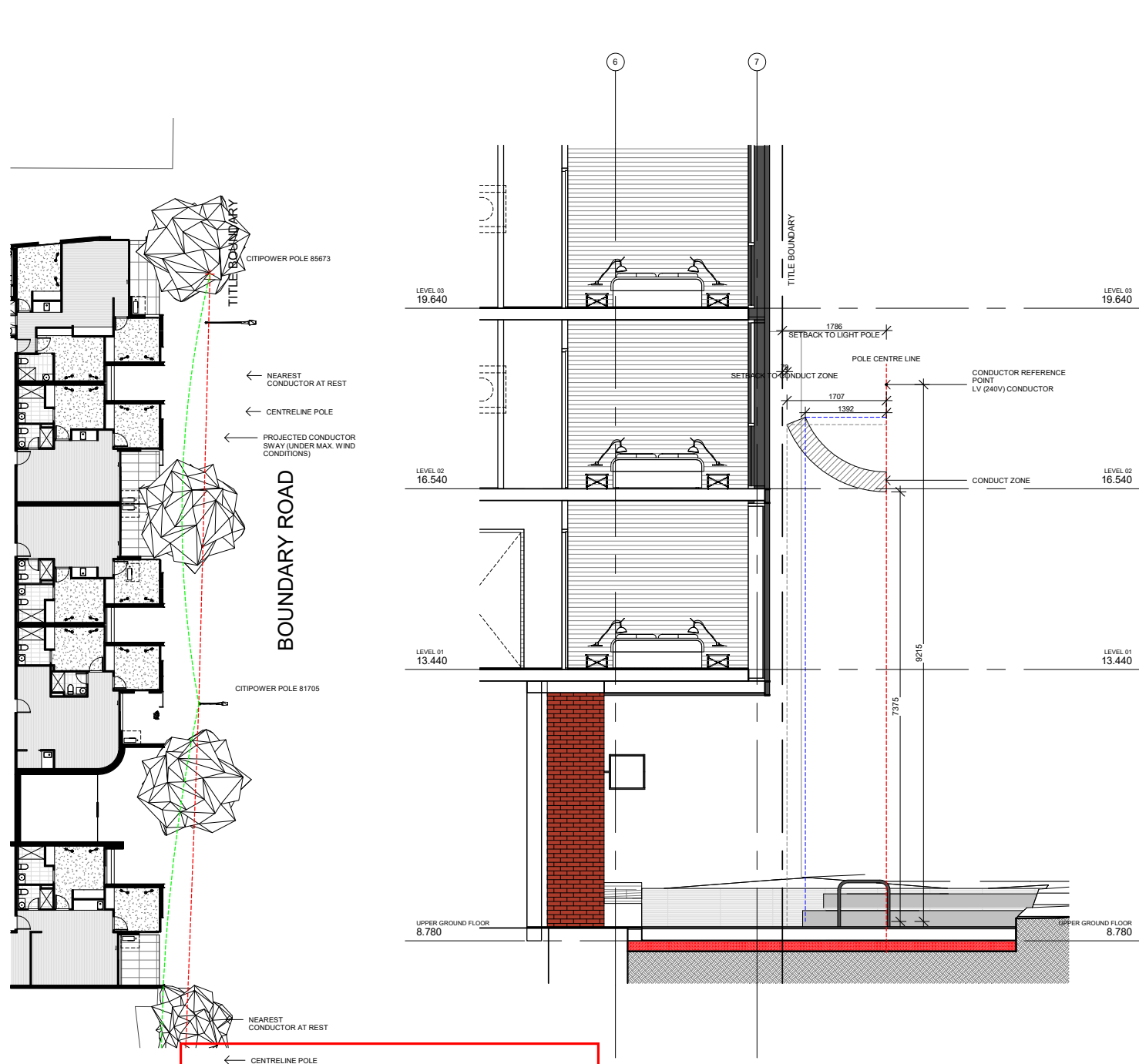
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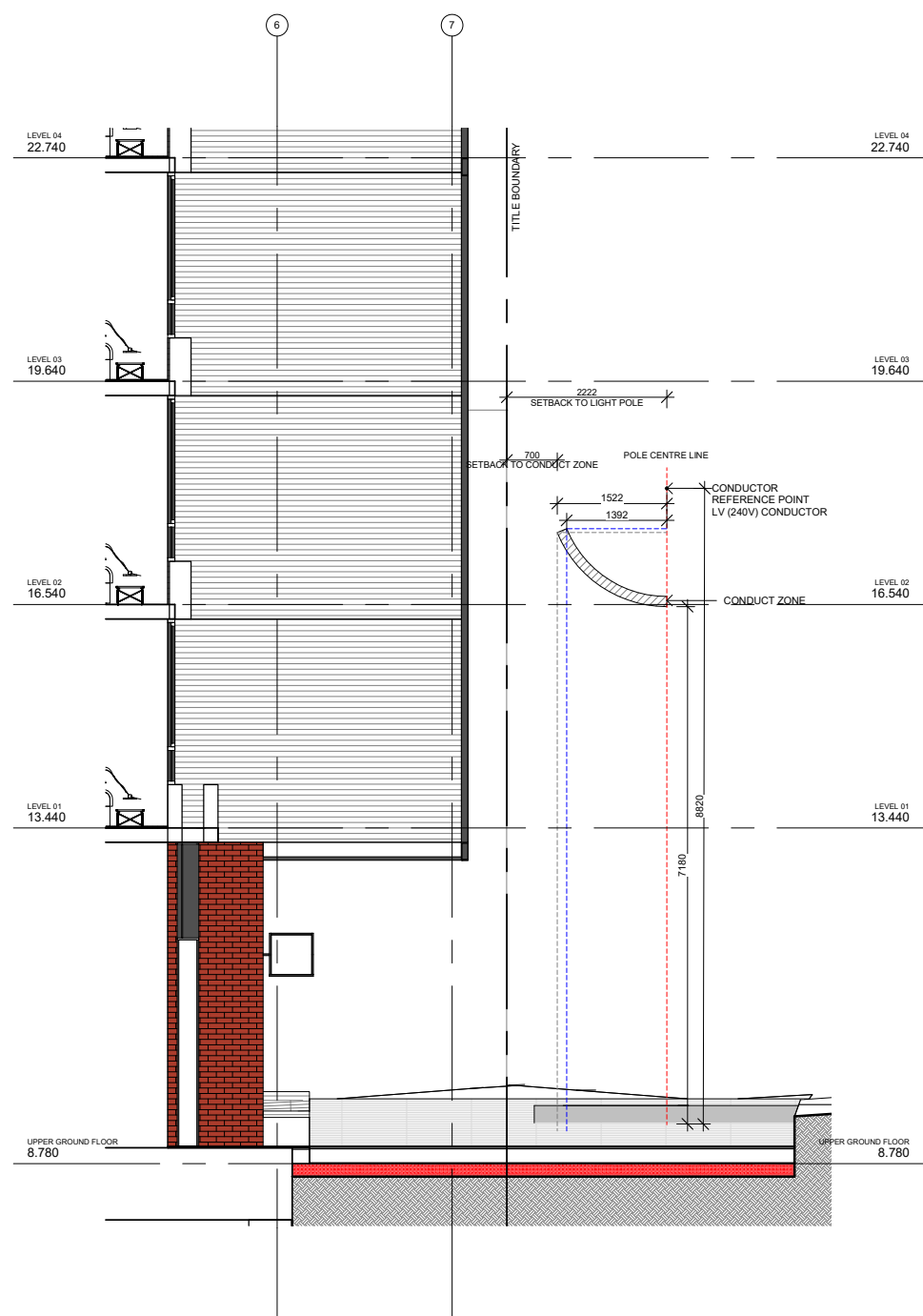
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Amendments		
No.	Date	Notes
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B	23/03/2020	DEVELOP RPT RESPONSE
C	31/07/2020	DEVELOP RPT RESPONSE - FULL RE-DESIGN





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Amendments		
No.	Date	Notes
A	09/12/2019	TP SUBMISSION
B	23/03/2020	DEWLP RFI RESPONSE
C	31/07/2020	DEWLP RFI RESPONSE - FULL RE-DESIGN

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Sheet No.  
TP7.00  
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C  
Scale  
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31/07/2020  
18113

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