

NO.
STOREY:

3

PARKING
SPACES:

38

HOTEL
ROOMS:

88

GFA:

4100m²

SITE AREA

3498m²

TP - Development Summary House				
LEVEL	House	Totals	Areas	
	House		GFA (Excluding Terrace)	NSA Total
GROUND FLOOR	1	0	80.52 m ²	80.52 m ²
	1	0	80.52 m ²	80.52 m ²

TP - Development Summary Hotel						
LEVEL	Hotel			Totals	Areas	
	Hotel Studio	Hotel 1 Bed	Hotel 2 Bed		GFA (Excluding Terrace)	NSA Total
GROUND FLOOR	11	6	0	17	990.86 m ²	557.41 m ²
LEVEL 01	19	15	2	36	1579.75 m ²	1302.19 m ²
LEVEL 02	18	16	1	35	1529.94 m ²	1252.35 m ²
	48	37	3	88	4100.55 m ²	3111.95 m ²

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PLAN

TP - Development Percentage		
Area Category	NUMBER	MIX %
Hotel - 1 Bed	37	42%
Hotel - 2 Bed	3	3%
House - 4 Bed	1	1%
STUDIO	48	54%
TOTAL UNITS	89	100%

TP - Parking Car Allocation	
USE	SPACES
GROUND FLOOR	
DDA	1
HOTEL	37
TOTAL PARKING	38

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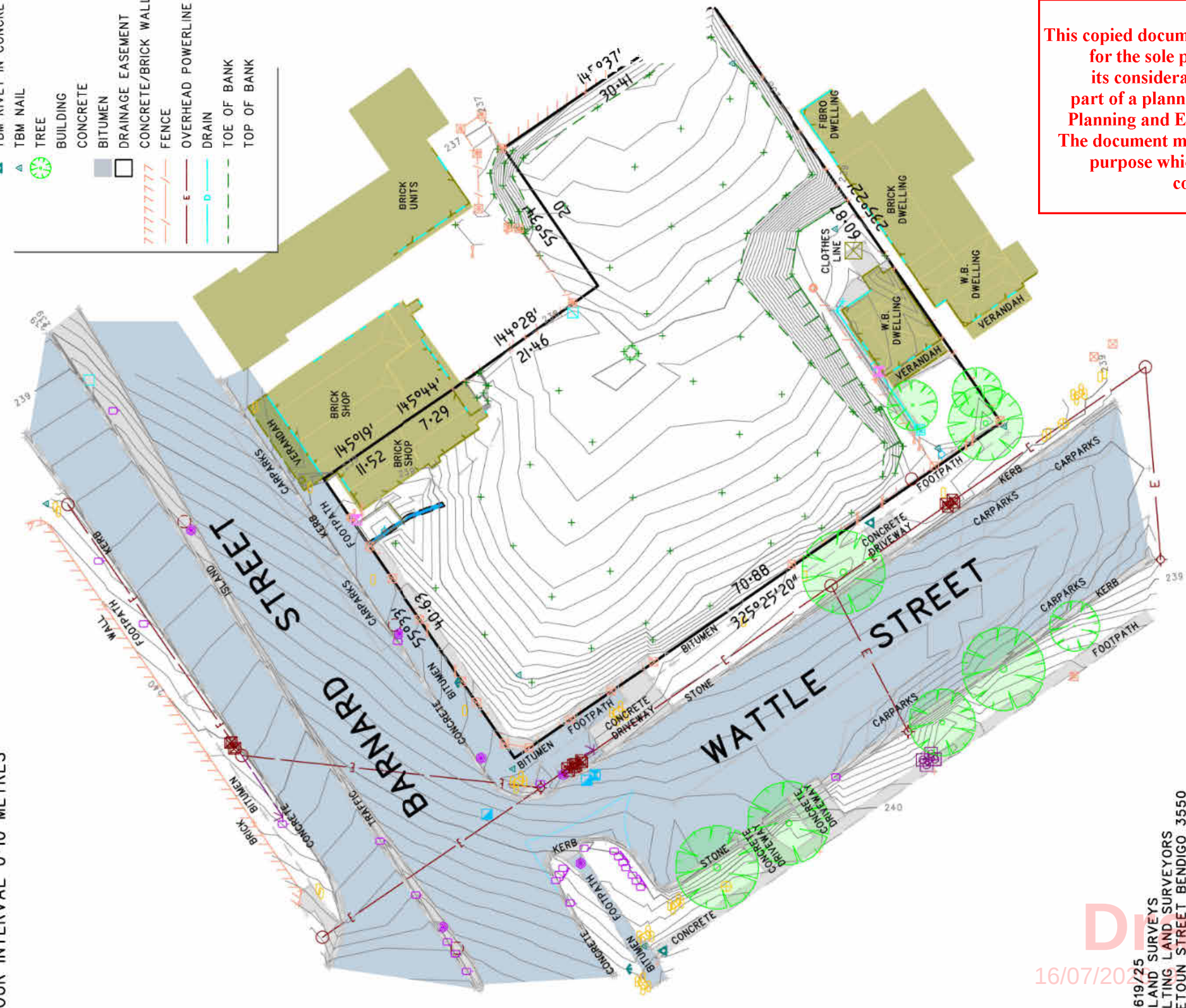
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FEATURE AND LEVEL PLAN
LOT 1 ON TP891957T,
LOTS 1 & 2 ON TP703155N,
LOT 1 ON TP891933J,
LOT 1 ON TP891926F,
LOT 1 ON TP841848G AND
LOT 1 ON TP892419T
PARISH OF SANDHURST
AT BENDIGO

SCALE 1:500
LEVELS SHOWN ARE IN METRES TO AHD
CONTOUR INTERVAL 0.10 METRES

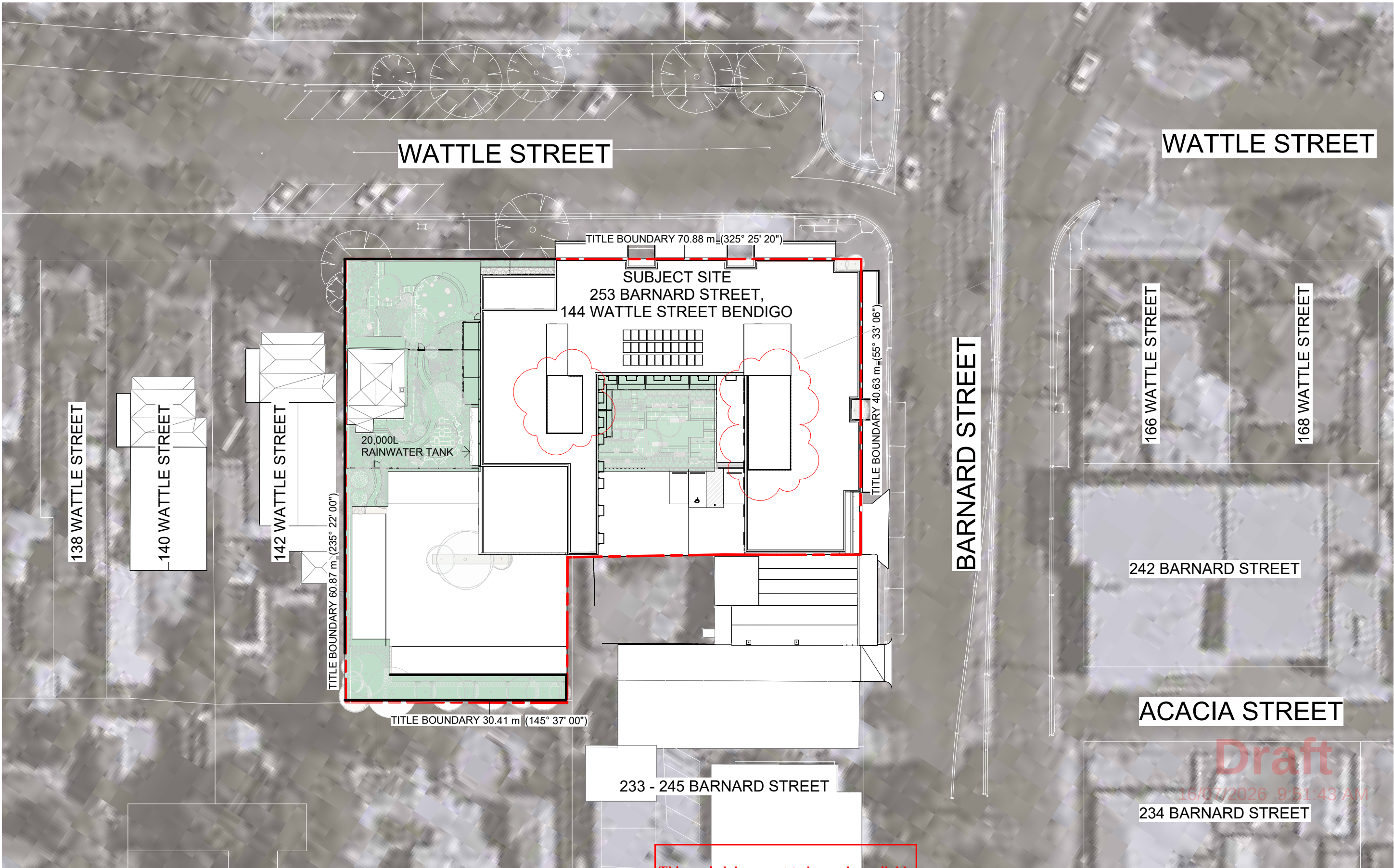
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PLAN



- LEGEND
- ELECTRICITY POLE
 - ELECTRICITY POLE WITH LIGHT
 - LIGHT POLE
 - ELECTRICITY SWITCHBOARD
 - STAY FOR POLE
 - UNCLASSIFIED PIT
 - SEWERAGE MANHOLE
 - TELECOMMUNICATIONS PIT
 - GRATED PIT
 - VICROADS PIT
 - ROAD SIGN
 - WATER VALVE
 - FIRE PLUG
 - WATER METER
 - GAS METER
 - SQUARE FENCE POST
 - ROUND FENCE POST
 - GATE POST
 - PERMANENT SURVEY MARK
 - TBM RIVET IN CONCRETE
 - TBM NAIL
 - TREE
 - BUILDING
 - CONCRETE
 - BITUMEN
 - DRAINAGE EASEMENT
 - CONCRETE/BRICK WALL
 - FENCE
 - OVERHEAD POWERLINE
 - DRAIN
 - TOE OF BANK
 - TOP OF BANK

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REF: 7619/25
SHAW LAND SURVEYS
CONSULTING LAND SURVEYORS
8 HOPE TOWN STREET BENDIGO 3550
PH 03 54430320



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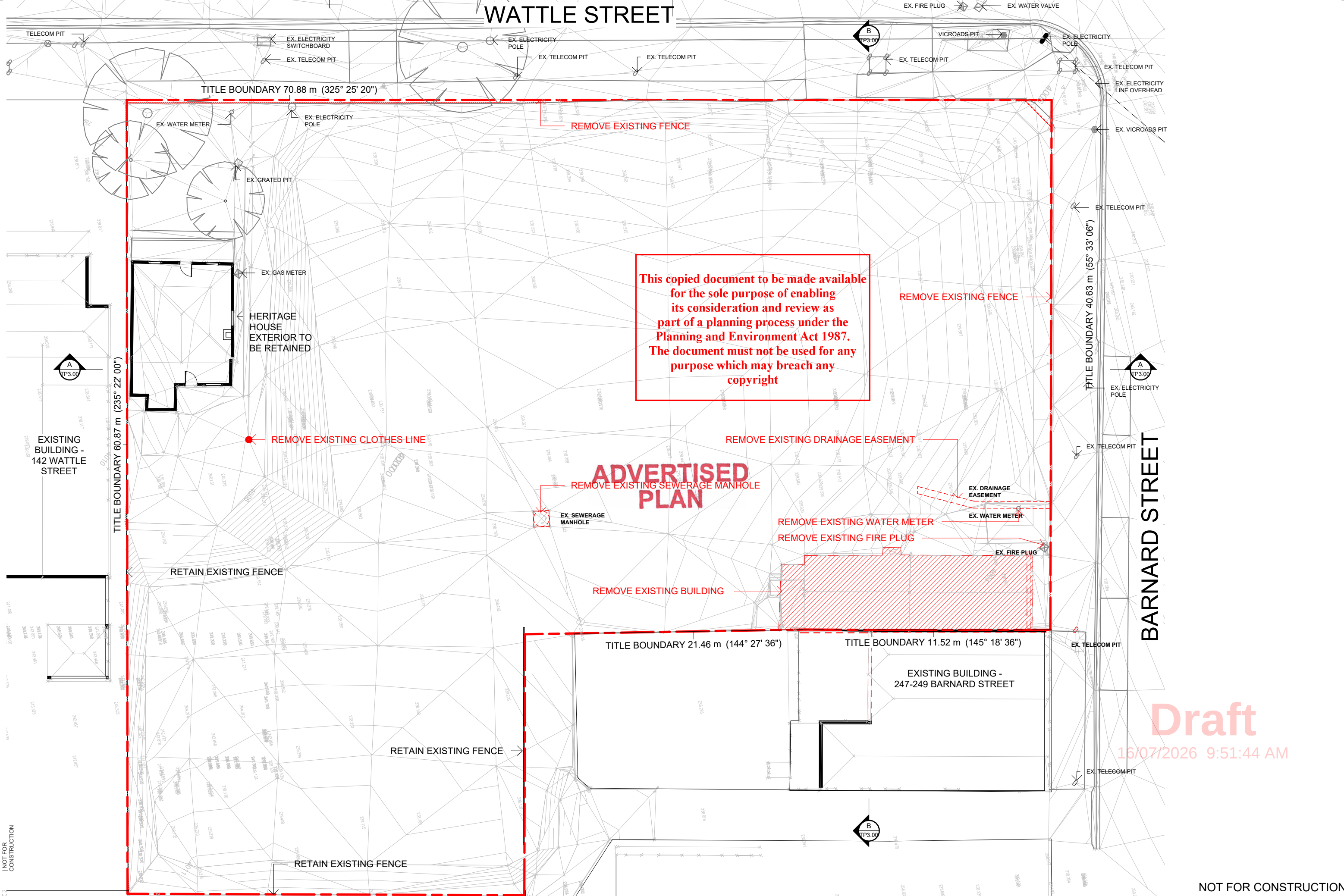
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P06	30/01/2026	PRELIMINARY
P07	11/03/2026	PRELIMINARY
TP02	16/06/2026	SUBMISSION
TP04	06/07/2026	RFI

253 BARNARD STREET, 144 WATTLE STREET
BENDIGO

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24066 TP00.003
06/07/2026 TP04





6/07/2026 11:23:02 AM

P03	21/07/2025	PRELIMINARY
P04	28/07/2025	PRELIMINARY
P06	30/01/2026	PRELIMINARY
P07	11/03/2026	PRELIMINARY
TP02	16/06/2026	SUBMISSION

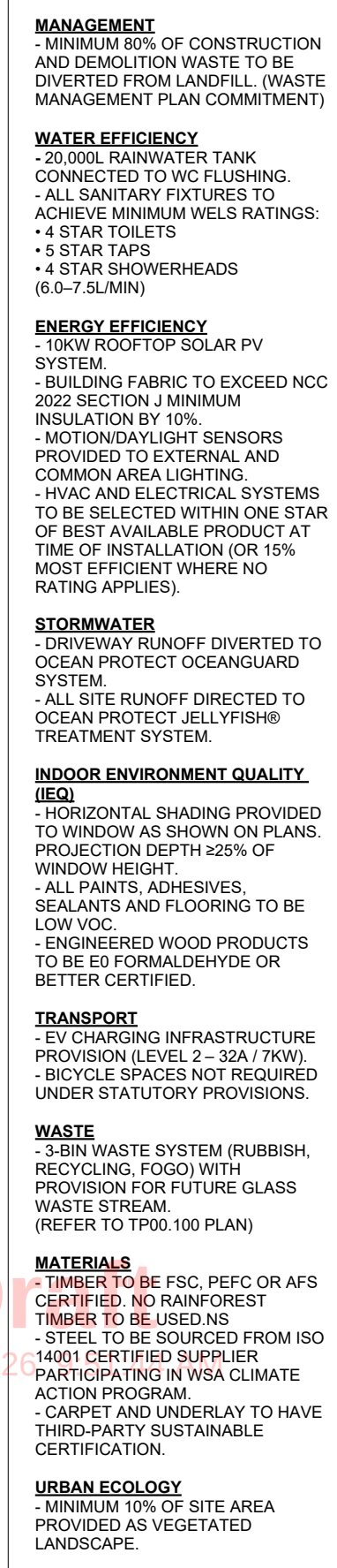
DEMOLITION PLAN

253 BARNARD STREET, 144 WATTLE STREET
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24066 TP00.004
16/06/2026 TP02



EX. FIRE PLUG EX. WATER VALV



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WATTLE STREET



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**ADVERTISED
PLAN**

MANAGEMENT

- MINIMUM 80% OF CONSTRUCTION AND DEMOLITION WASTE TO BE DIVERTED FROM LANDFILL. (WASTE MANAGEMENT PLAN COMMITMENT)

WATER EFFICIENCY

- 20,000L RAINWATER TANK CONNECTED TO WC FLUSHING.
- ALL SANITARY FIXTURES TO ACHIEVE MINIMUM WELS RATINGS:
 - 4 STAR TOILETS
 - 5 STAR TAPS
 - 4 STAR SHOWERHEADS (6.0-7.5L/MIN)

ENERGY EFFICIENCY

- 10KW ROOFTOP SOLAR PV SYSTEM.
- BUILDING FABRIC TO EXCEED NCC 2022 SECTION J MINIMUM INSULATION BY 10%.
- MOTION/DAYLIGHT SENSORS PROVIDED TO EXTERNAL AND COMMON AREA LIGHTING.
- HVAC AND ELECTRICAL SYSTEMS TO BE SELECTED WITHIN ONE STAR OF BEST AVAILABLE PRODUCT AT TIME OF INSTALLATION (OR 15% MOST EFFICIENT WHERE NO RATING APPLIES).

STORMWATER

- DRIVEWAY RUNOFF DIVERTED TO OCEAN PROTECT OCEANGUARD SYSTEM.
- ALL SITE RUNOFF DIRECTED TO OCEAN PROTECT JELLYFISH® TREATMENT SYSTEM.

INDOOR ENVIRONMENT QUALITY (IEQ)

- HORIZONTAL SHADING PROVIDED TO WINDOW AS SHOWN ON PLANS. PROJECTION DEPTH ≥25% OF WINDOW HEIGHT.
- ALL PAINTS, ADHESIVES, SEALANTS AND FLOORING TO BE LOW VOC.
- ENGINEERED WOOD PRODUCTS TO BE E0 FORMALDEHYDE OR BETTER CERTIFIED.

TRANSPORT

- EV CHARGING INFRASTRUCTURE PROVISION (LEVEL 2 – 32A / 7KW).
- BICYCLE SPACES NOT REQUIRED UNDER STATUTORY PROVISIONS.

WASTE

- 3-BIN WASTE SYSTEM (RUBBISH, RECYCLING, FOGO) WITH PROVISION FOR FUTURE GLASS WASTE STREAM. (REFER TO TP00.100 PLAN)

MATERIALS

- TIMBER TO BE FSC, PEFC OR AFS CERTIFIED. NO RAINFOREST TIMBER TO BE USED.NS
- STEEL TO BE SOURCED FROM ISO 14001 CERTIFIED SUPPLIER PARTICIPATING IN WSA CLIMATE ACTION PROGRAM.
- CARPET AND UNDERLAY TO HAVE THIRD-PARTY SUSTAINABLE CERTIFICATION.

URBAN ECOLOGY

- MINIMUM 10% OF SITE AREA PROVIDED AS VEGETATED LANDSCAPE.

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WATTLE STREET

TITLE BOUNDARY 70.88 m (325° 25' 20")

TITLE BOUNDARY 60.87 m (235° 22' 00")

TITLE BOUNDARY 40.63 m (55° 33' 06")

TITLE BOUNDARY 21.46 m (144° 27' 36")

TITLE BOUNDARY 7.29 m (145° 43' 36")

TITLE BOUNDARY 20.00 m (55° 33' 36")

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ADVERTISED PLAN

Dr 16/07/2026

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WASTE
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MATERIALS
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URBAN ECOLOGY
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24066 TP00.102
16/06/2026 TP02



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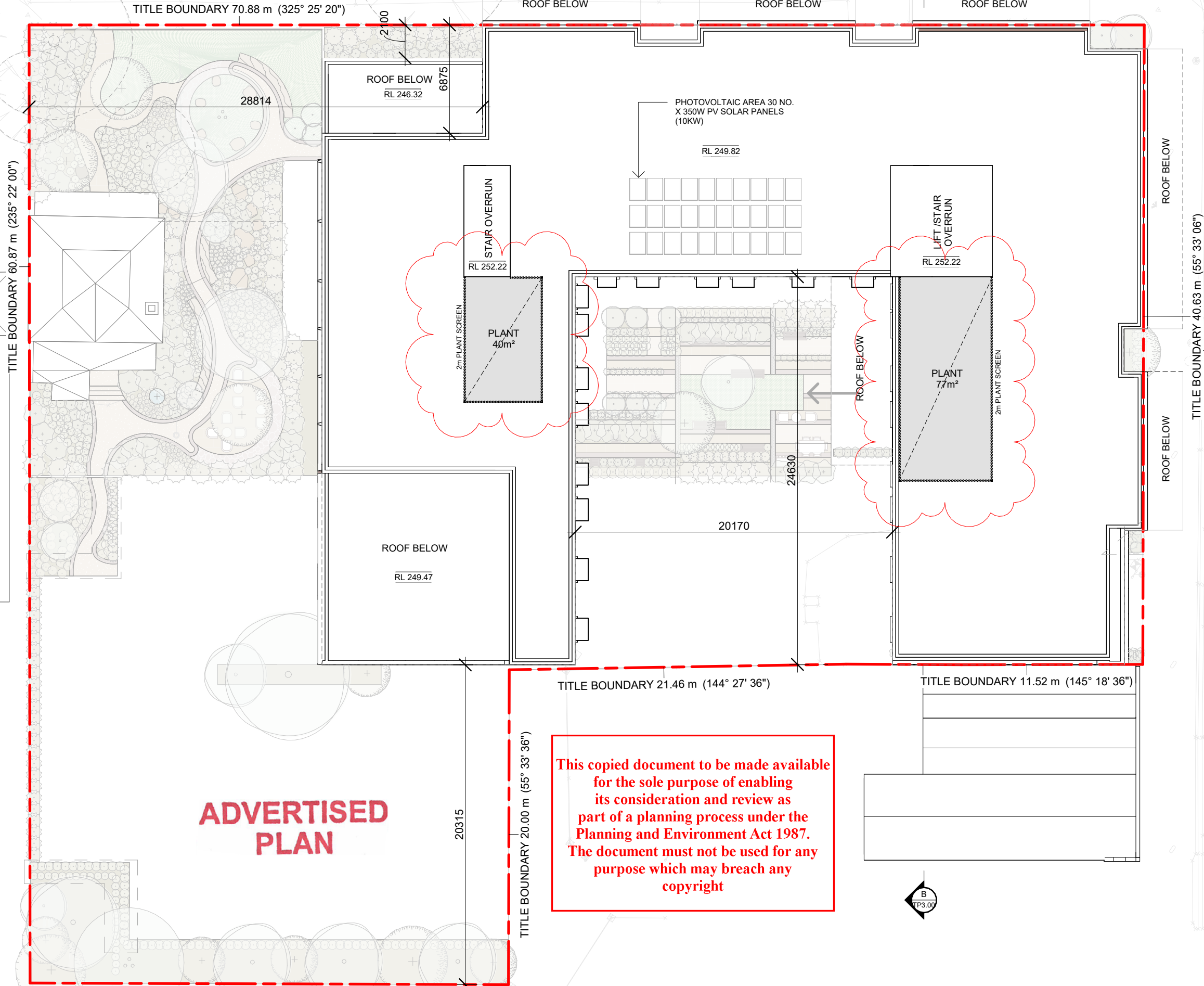
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P04 28/07/2025 PRELIMINARY
P06 30/01/2026 PRELIMINARY
P07 11/03/2026 PRELIMINARY
TP02 16/06/2026 SUBMISSION

SECOND FLOOR
SCALE: As indicated at A3

253 BARNARD STREET, 144 WATTLE STREET
BENDIGO

WATTLE STREET

BARNARD STREET



MANAGEMENT
- MINIMUM 80% OF CONSTRUCTION AND DEMOLITION WASTE TO BE DIVERTED FROM LANDFILL. (WASTE MANAGEMENT PLAN COMMITMENT)

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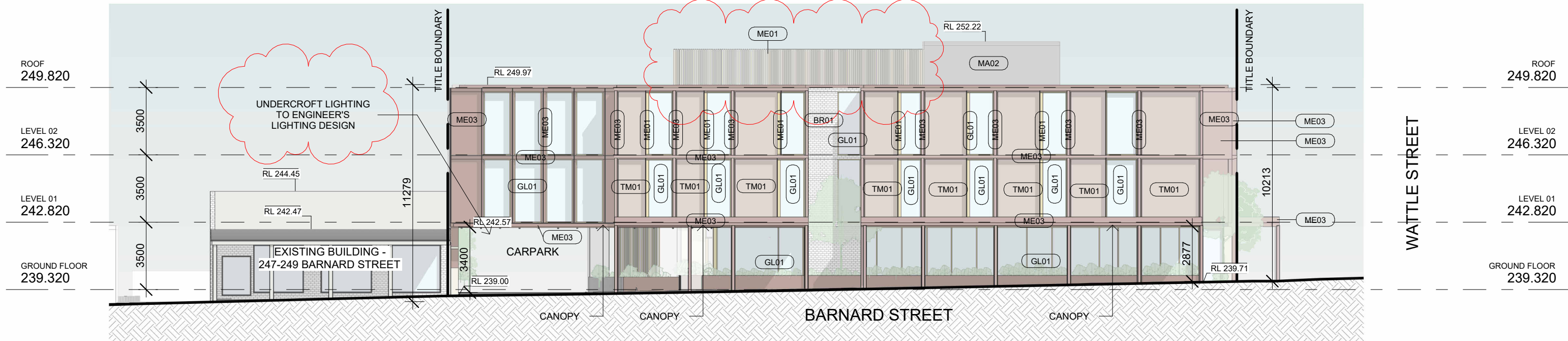
WASTE
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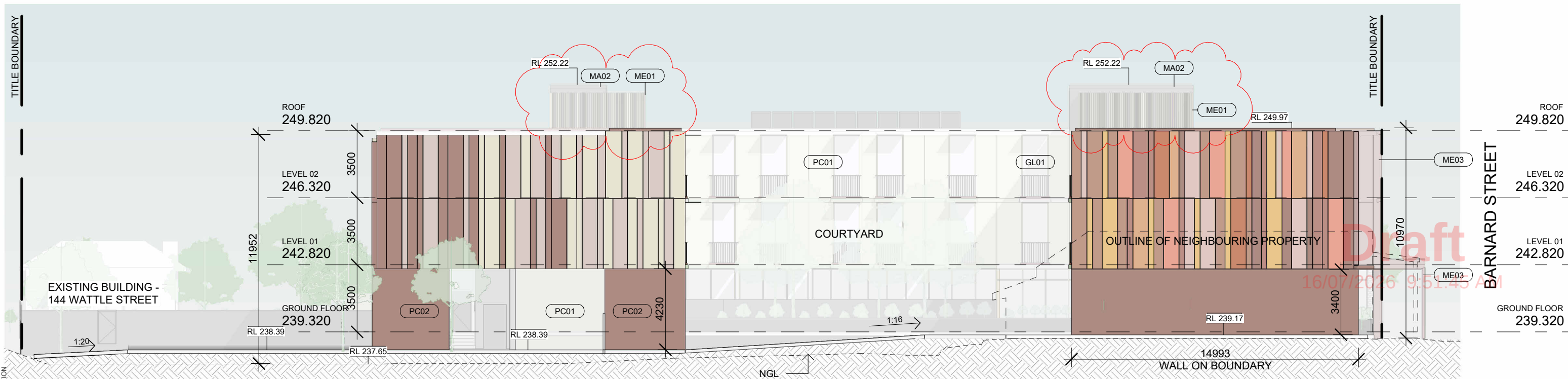
1 NORTH ELEVATION
SCALE 1 : 200

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MATERIAL SCHEDULE

TM01 LIGHT WEIGHT CLADDING (TIMBER LOOK)	TM02 LIGHT WEIGHT CLADDING (TIMBER LOOK)	BR01 - LIGHT GREY BRICK	GL01 CLEAR GLAZING	PC01 PRECAST CONCRETE - LIGHT GREY/BEIGE	PC02 PRECAST CONCRETE - COLOURED FINISH	MA01 (SOLID PRECAST CONCRETE) - COLOURED FINISH	ME01 METAL DARK BRONZE COLOUR	ME02 METAL DARK CHARCOAL COLOUR	ME03 METAL OXIDE COLOUR



2 EAST ELEVATION
SCALE 1 : 200

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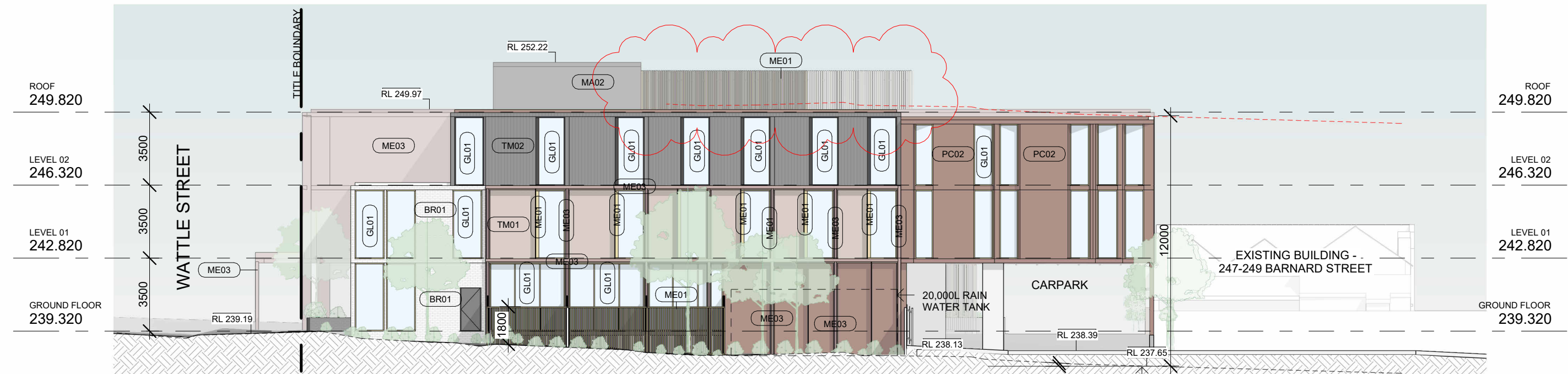
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P05 30/01/2026 PRELIMINARY
P06 11/03/2026 PRELIMINARY
TP01 16/06/2026 SUBMISSION
TP02 6/07/2026 RFI

ELEVATIONS
SCALE: As indicated at A3

253 BARNARD STREET, 144 WATTLE STREET
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24066 TP2.00
6/07/2026 TP02



1 SOUTH ELEVATION
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MATERIAL SCHEDULE

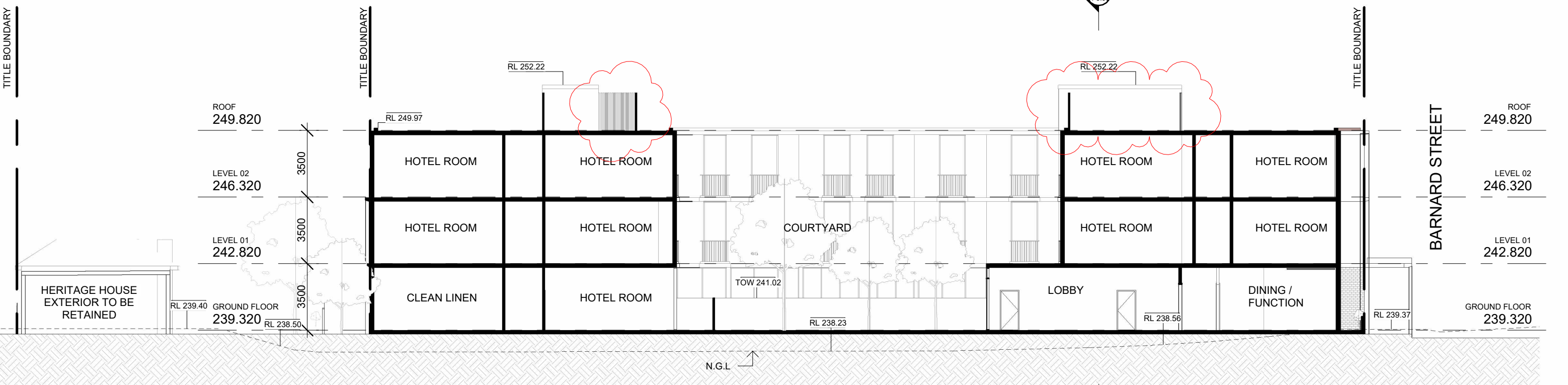
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2 WEST ELEVATION
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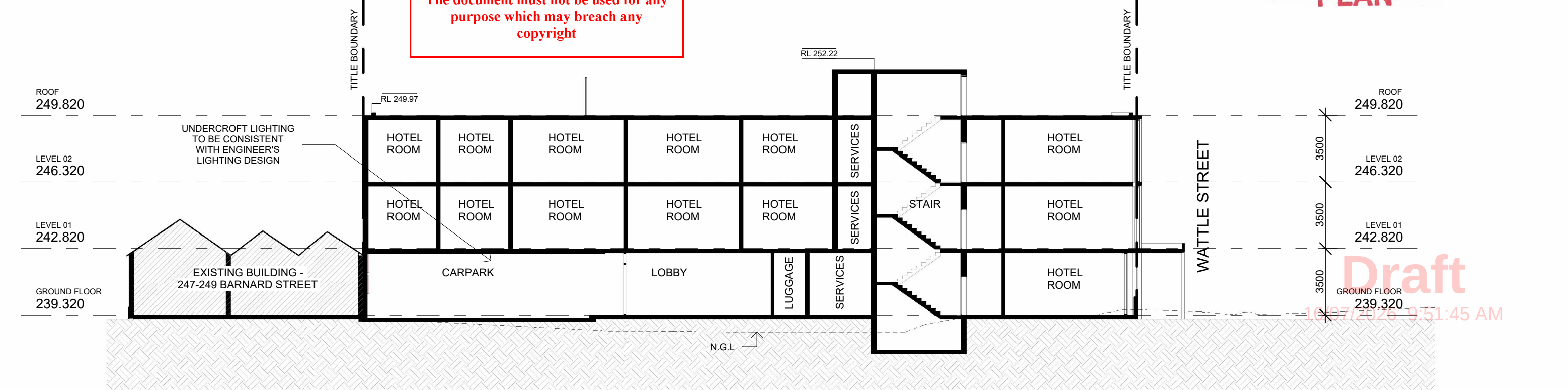
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A Section AA
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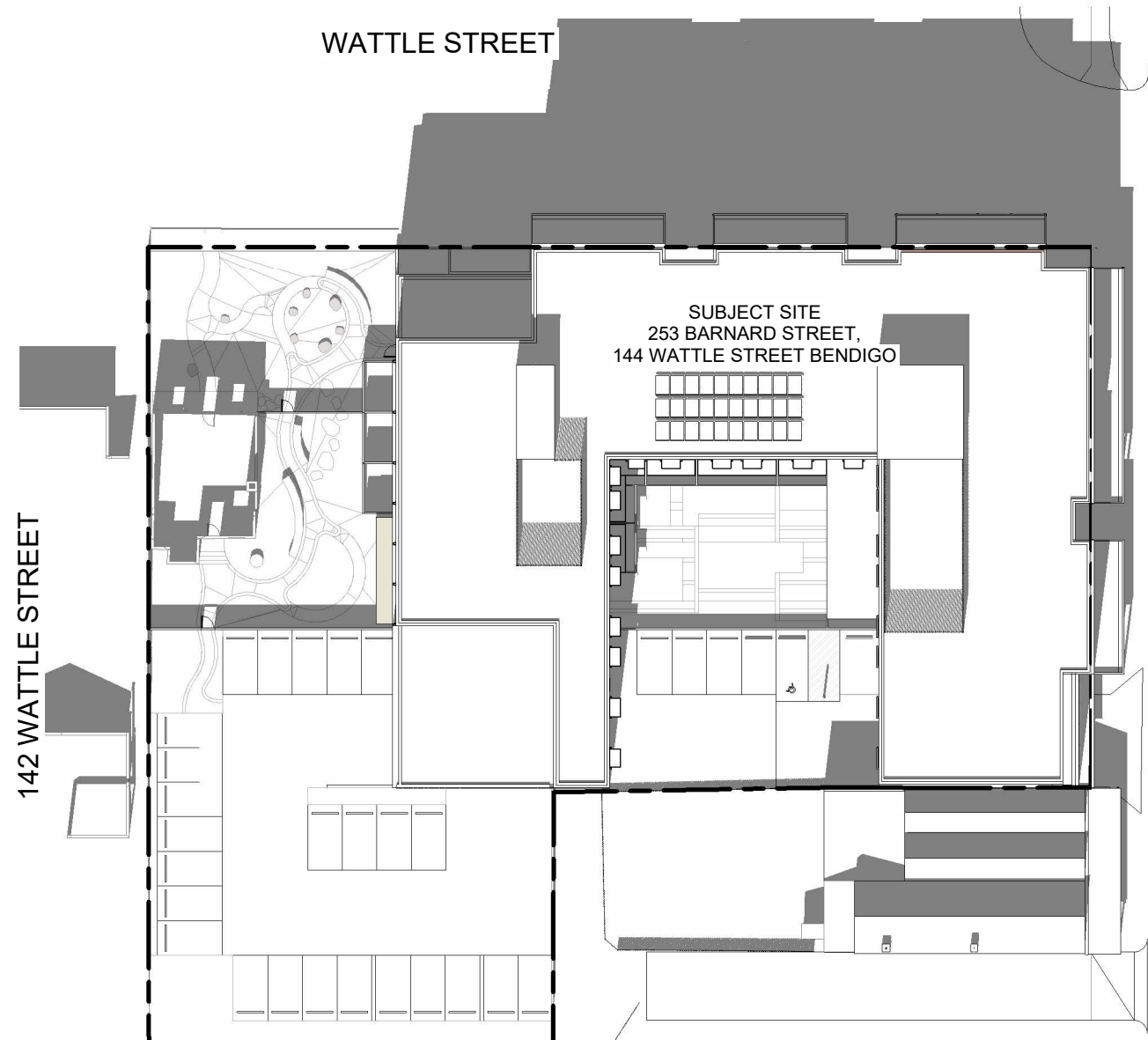
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SCALE 1 : 200

ADVERTISED PLAN

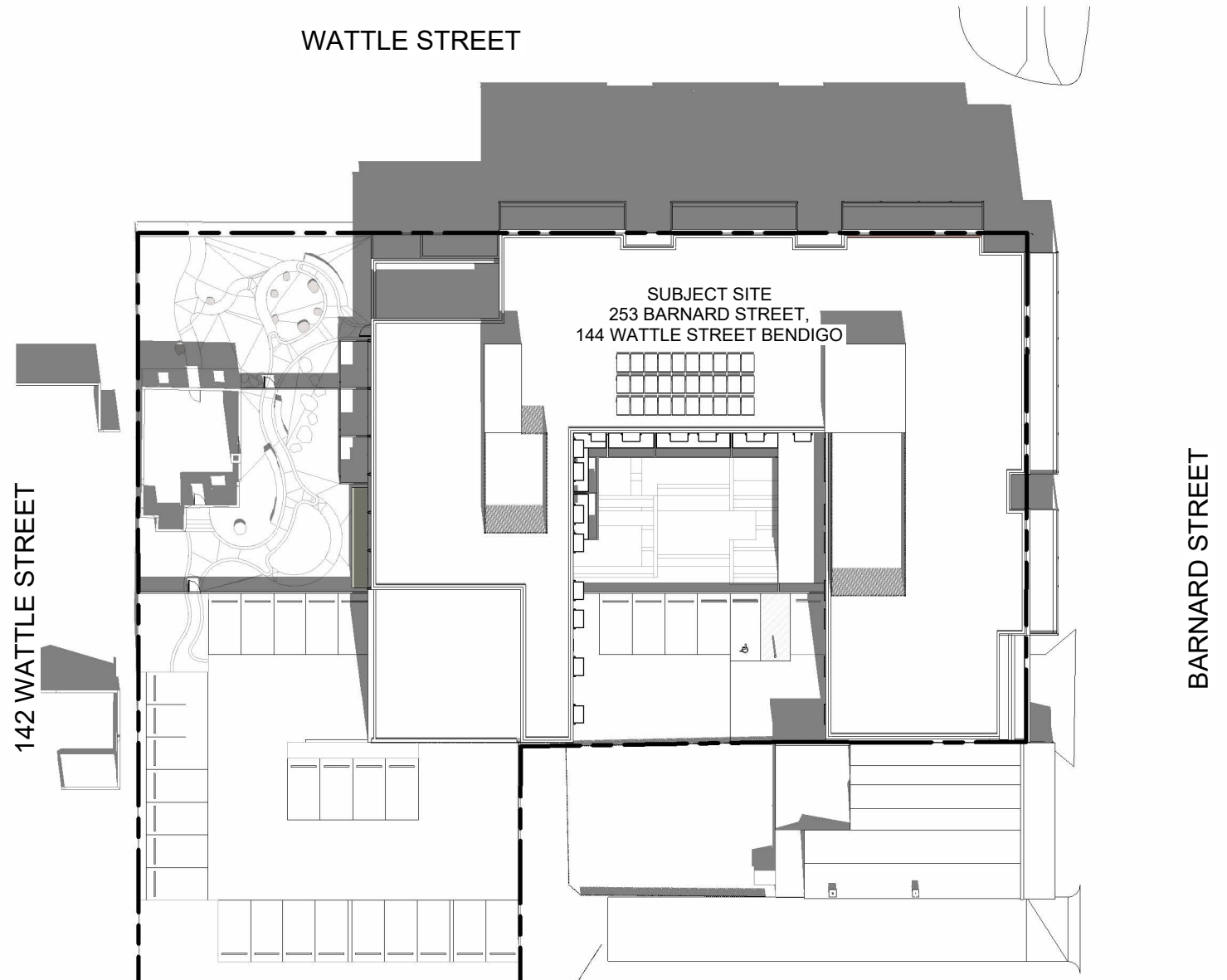
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SCALE 1 : 500



2 SPRING EQUINOX - 10AM
SCALE 1 : 500

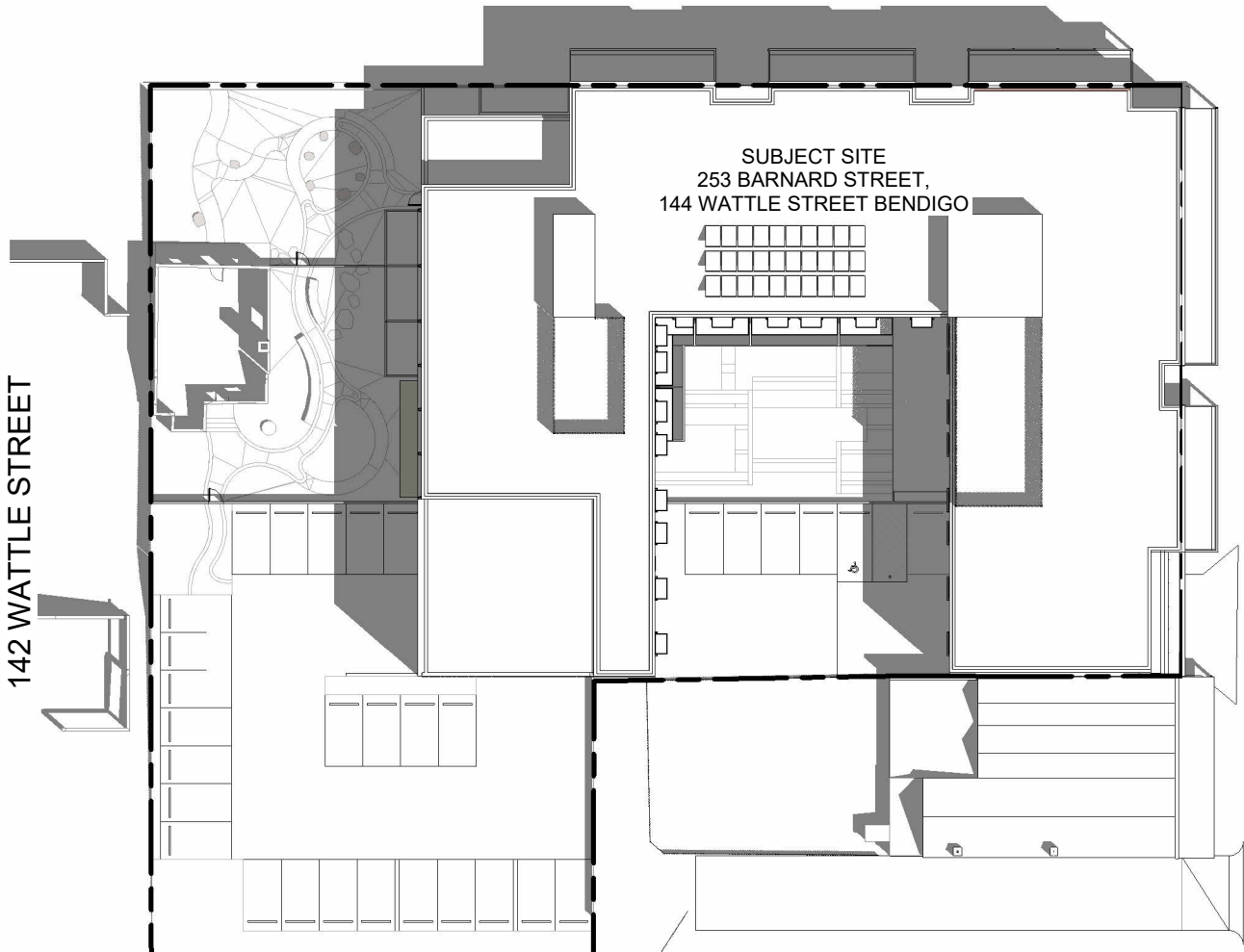
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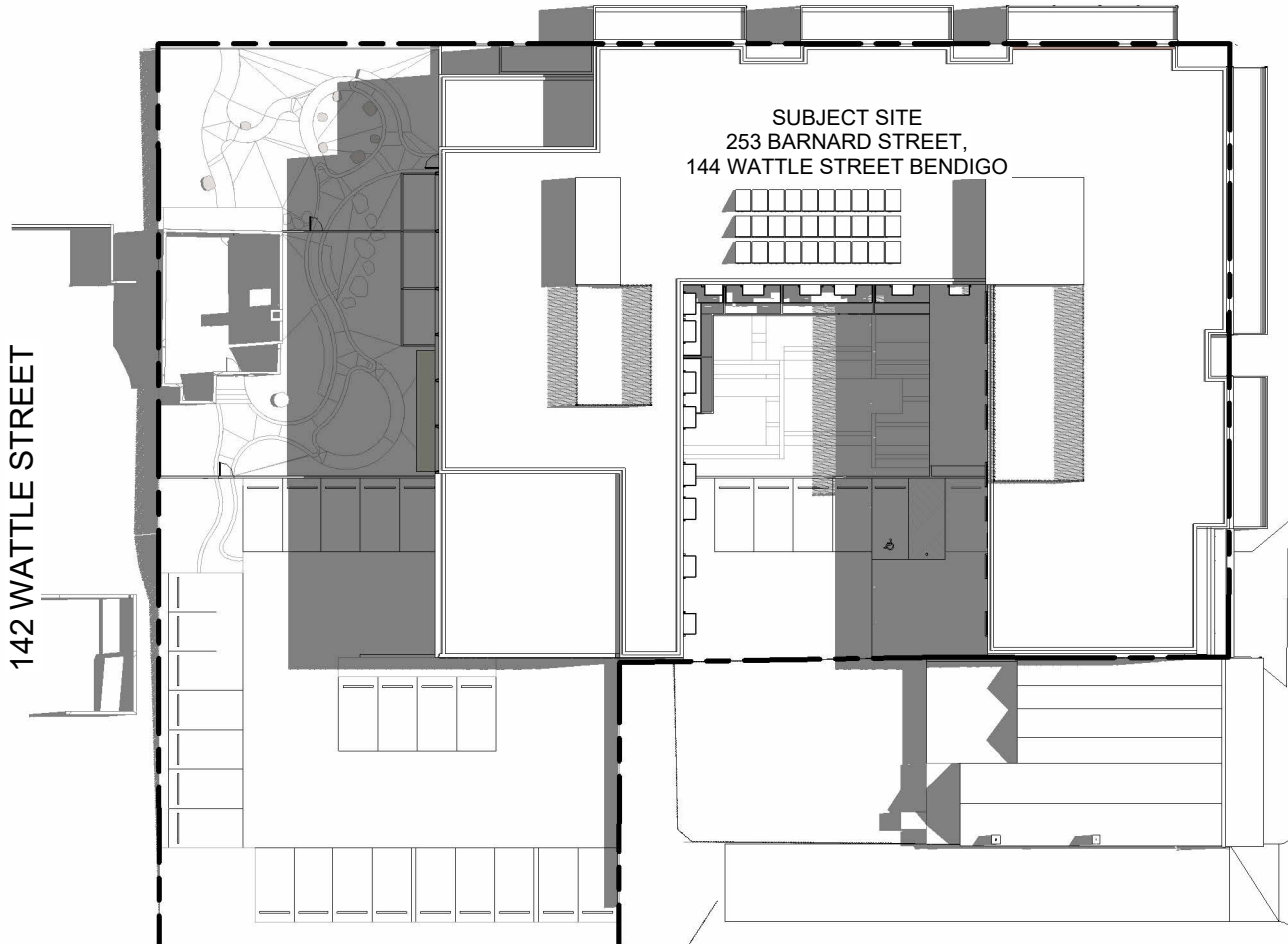
WATTLE STREET



142 WATTLE STREET

BARNARD STREET

WATTLE STREET



BARNARD STREET

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2 SPRING EQUINOX - 12PM
SCALE 1 : 500

1 SPRING EQUINOX - 2PM
SCALE 1 : 500

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WATTLE STREET

142 WATTLE STREET

BARNARD STREET

SUBJECT SITE
253 BARNARD STREET,
144 WATTLE STREET BENDIGO

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1 SPRING EQUINOX - 3PM

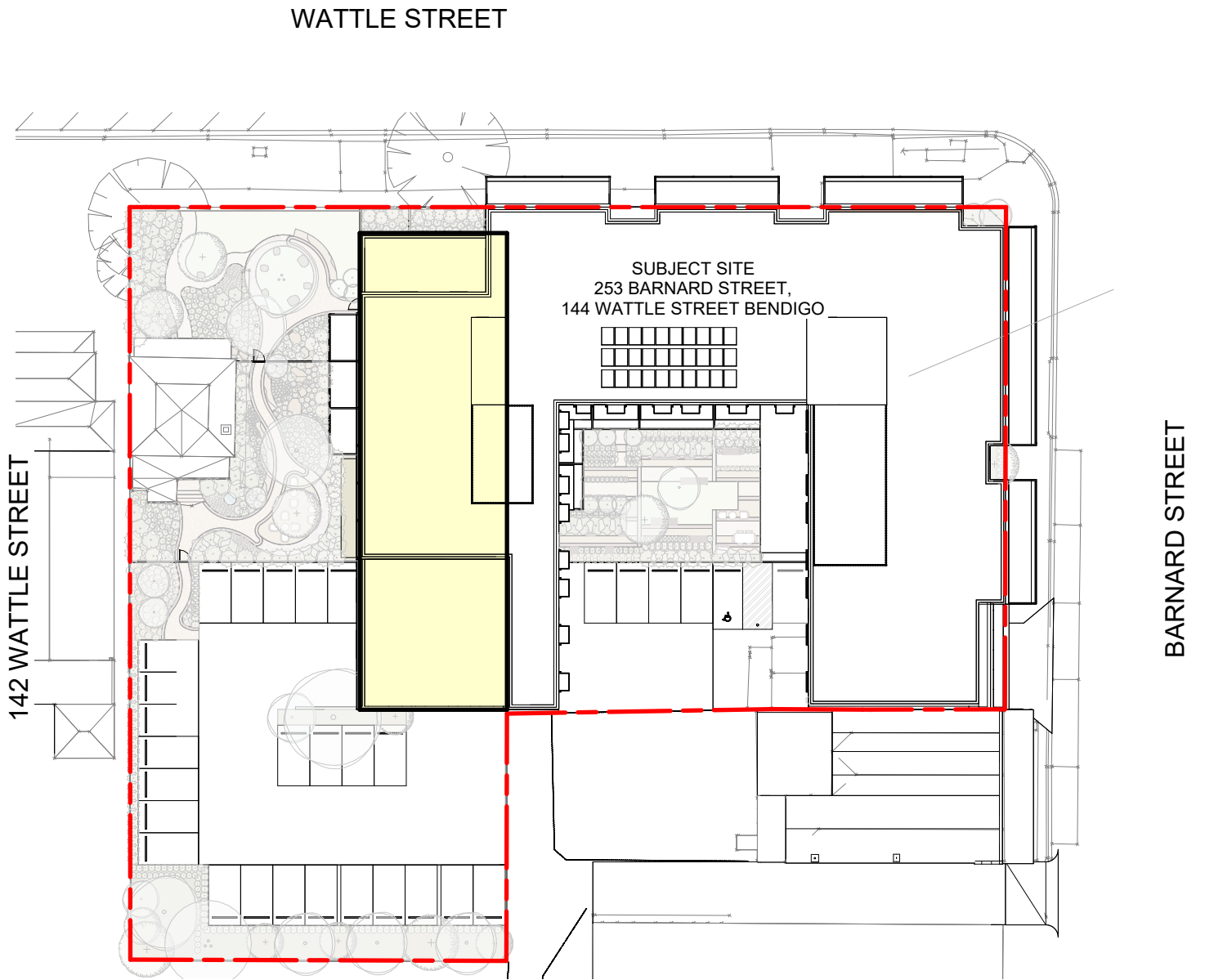
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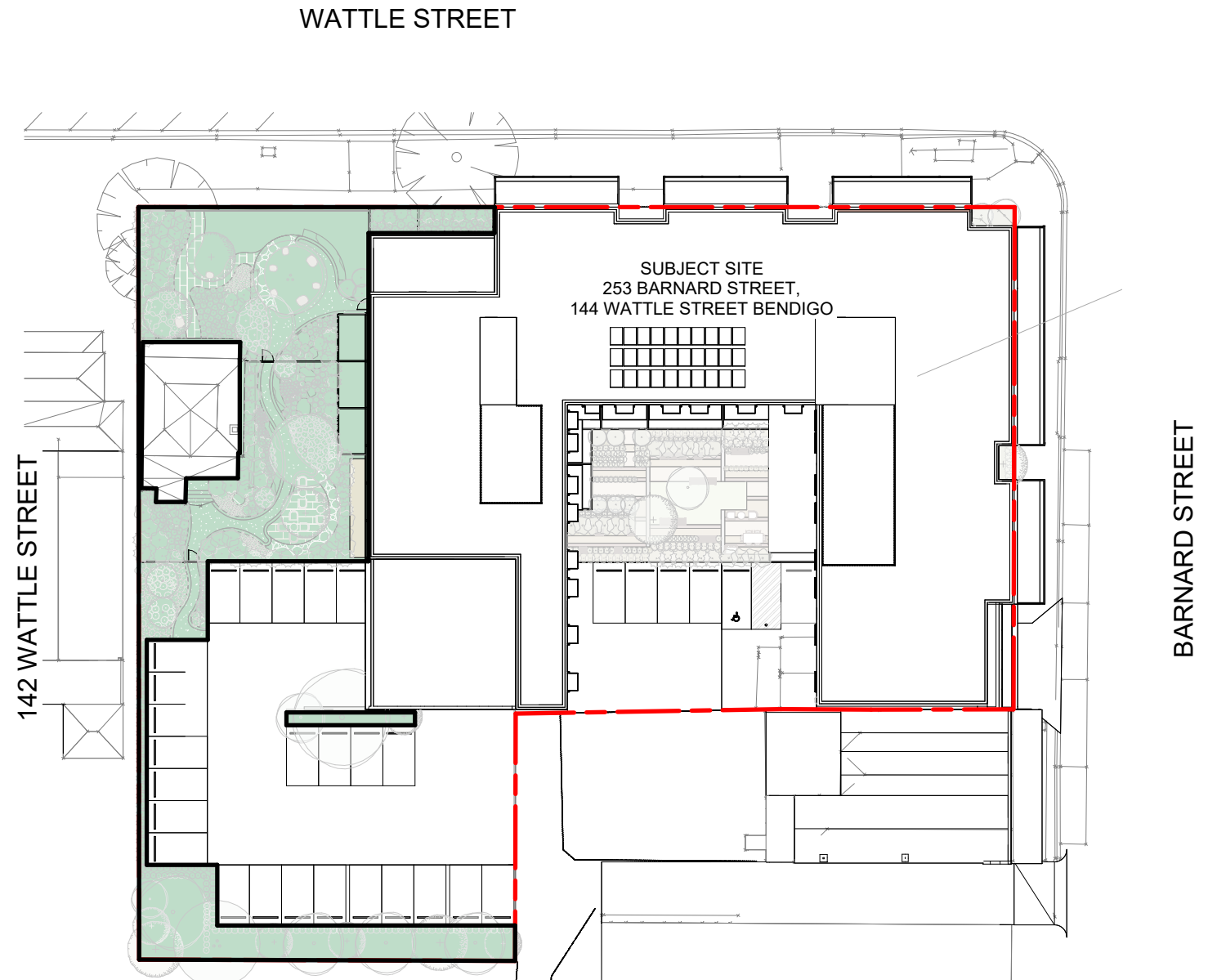




1 SITE COVERAGE
SCALE 1 : 500

SITE COVERAGE
SITE COVERAGE = 459 sqm
OVERALL SITE = 1859 sqm
= 24.7%

**ADVERTISED
PLAN**



2 GARDEN AREA
SCALE 1 : 500

GARDEN AREA
SITE COVERAGE = 650 sqm
OVERALL SITE = 1859 sqm
= 35%

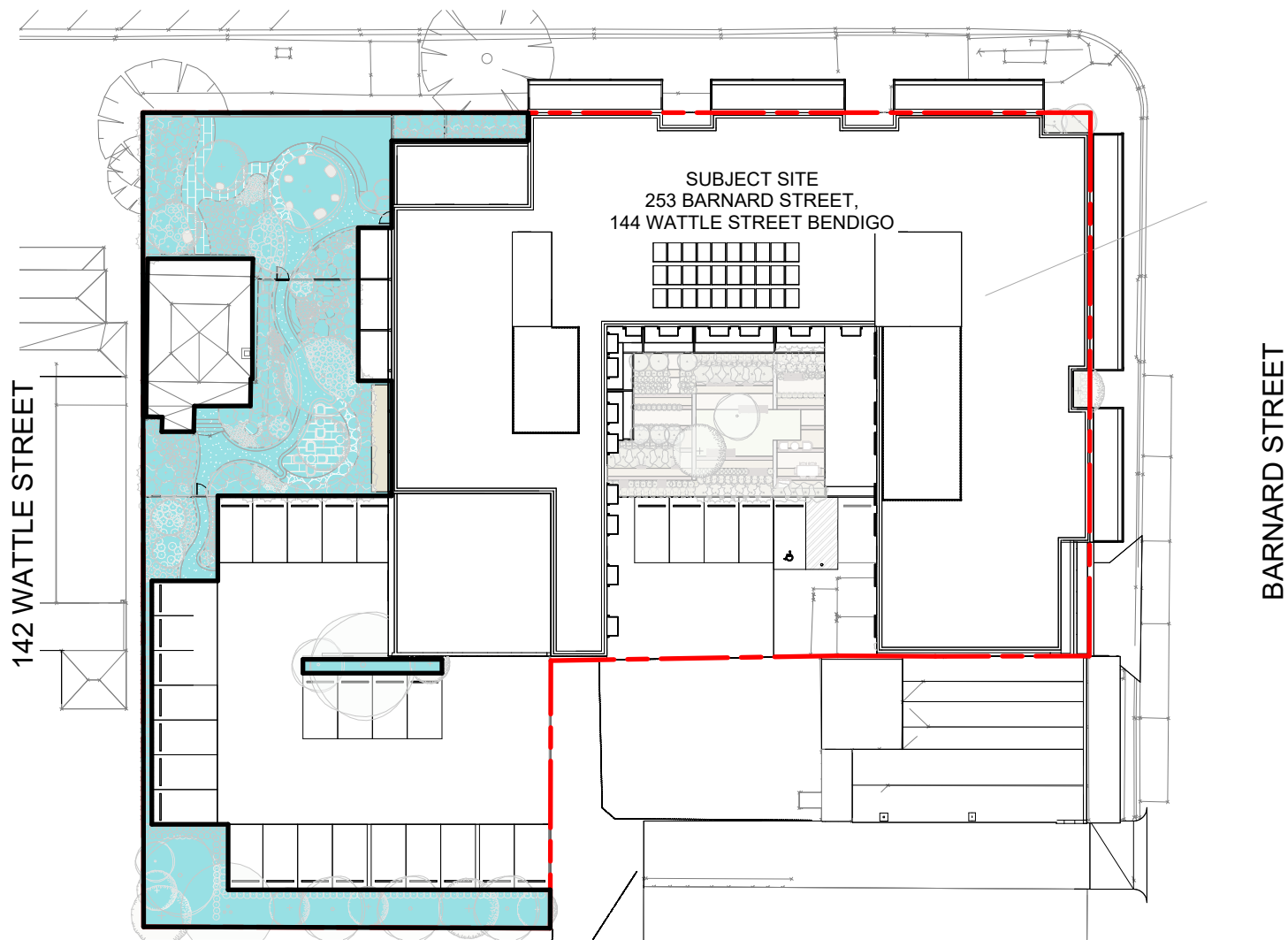
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WATTLE STREET



142 WATTLE STREET

BARNARD STREET

SUBJECT SITE
253 BARNARD STREET,
144 WATTLE STREET BENDIGO

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1 PERMEABILITY
SCALE 1 : 500

PERMEABILITY

SITE COVERAGE = 608 sqm
OVERALL SITE = 1859 sqm
= 33%

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