

Town Planning Report

Use and development of the land for a Residential Hotel

253 Barnard Street & 144 Wattle Street, Bendigo

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ratio:

Project
Use and development of the land for a
Residential Hotel

Prepared for
Proplay Pty Ltd
Our reference
21899P

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Acknowledgement of Country

We acknowledge the Traditional Owners of the land we work, live and travel on, and appreciate the rich cultures of the Aboriginal and Torres Strait Islander Peoples and their enduring connection to country.

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Application Summary

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Application Pathway / Responsible Authority

Pursuant to Clause 53.22 'Significant Economic Development' the application will be considered as a Category 1 development. Pursuant to Clause 72.01-1, the Minister for Planning is the Responsible Authority for this planning permit application.

Pursuant to Clause 53.23-5, this application is exempt from third party appeal rights.

Pursuant to Clause 36.04-3, consent from the Head, Transport for Victoria will be provided given works in the TRZ2 are proposed.

Site

Address of the land	253 Barnard Street and 144 Wattle Street, Bendigo
----------------------------	---

Title Details	– Lot 1 and 2 on Title Plan 841848G – Lot 1 on Title Plan 892419T – Lot 1 on Title Plan 891957T – Lot 1 on Title Plan 891926F – Lot 1 on Title Plan 891933J – Lot 1 and 2 on Title Plan 703155N
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Site Area	3,498 square metres
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Are there any covenants?	No
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Are there any easements?	Yes, a 0.579 metre wide, and approximately 10.39 metres long, drainage easement is located toward the Barnard Street frontage. The easement is associated with Lot 2 on TP 841848G and it is proposed to be removed as part of this application.
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Are there any Section 173 Agreements?	No
--	----

Controls

Zone	Commercial 1 Zone and General Residential Zone
-------------	--

Overlays	Heritage Overlay – Schedule 1 Parking Overlay – Schedule 1
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Particular Provisions	Clause 52.02 'Easements, Restrictions and Reserves' Clause 52.06 'Car Parking' Clause 52.29 'Land Adjacent to the Principal Road Network' Clause 52.18 'Stormwater Management in Urban Development' Clause 53.22 'Significant Economic Development'
Current relevant Planning Scheme Amendments	None
Bushfire prone area	No
Cultural Heritage sensitivity	No
Registered Aboriginal Party	Dja Dja Wurrung Clans Aboriginal Corporation
Flood prone area	No
Application	
Planning Scheme Clause No	Description of Permission Sought
Clause 32.08-4	Use of the land for a Residential Hotel (Accommodation).
Clause 32.08-7	Construct a residential building.
Clause 32.08-10	Construct a building associated with a Section 2 use.
Clause 34.01-1	Use of the land for a Residential Hotel (Accommodation).
Clause 34.01-4	Construct a building or carry out works.
Clause 43.01-1	Demolish or remove a building; and to construct a building.
Clause 52.02	Remove an easement.
Clause 52.06-6	Car parking provided to the satisfaction of the Responsible Authority.
Clause 52.29-2	Create or alter access to a road in a Transport Zone 2.

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1. Introduction

1.1. Instructions

On behalf of the permit applicant, Proplay Pty Ltd, Ratio Consultants has been asked to prepare a planning application for the construction of a three storey development comprising a residential hotel and associated car parking at No. 253 Barnard Street and 144 Wattle Street, Bendigo.

1.2. Investigations and Research

In the course of preparing this report, we have carried out relevant planning investigations and had pre-application meeting discussions with Greater Bendigo Council and the Department of Transport and Planning (DTP).

We have also assessed the proposal according to the relevant planning controls and policies set out in the Greater Bendigo Planning Scheme.

This report is accompanied by a suite of supporting documents in support of this application. The full submission is summarised within the accompanying covering letter.

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2. Subject Site and Surrounds

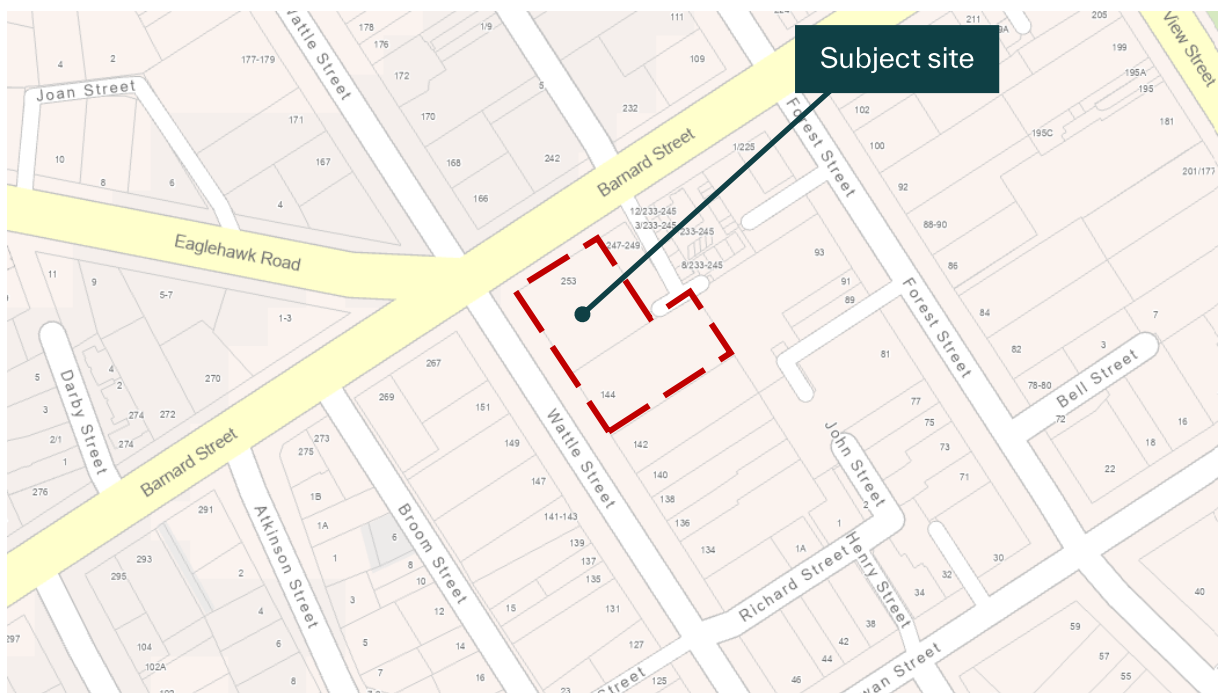
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2.1. Subject Site

The subject site is located on the southeastern corner of the Barnard Street and Wattle Street intersection.

Figure 1: Cadastral map of subject site



Source: VicPlan

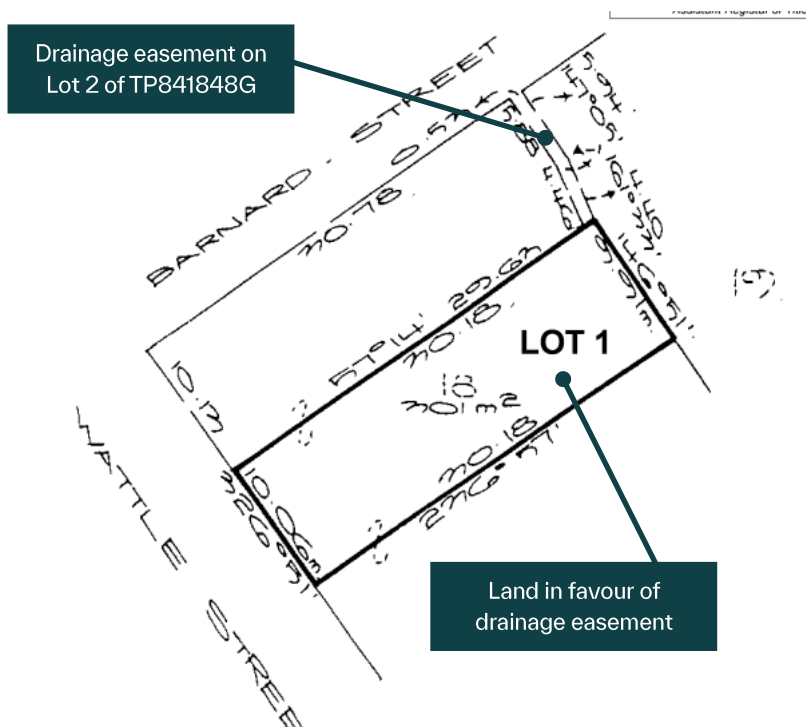
Key features of the site are described as follows:

- The site is irregular in shape, with a total site area of 3498 square metres. The site features a 40.63 metre frontage to Barnard Street and 70.88 metre frontage to Wattle Street.
- The subject site currently supports two existing buildings on the land, one located to the east of the Barnard Street frontage and one located to the south of the Wattle Street frontage. The remainder of the land is clear of any buildings or vegetation. Prior to the clearing of the land, the site was partially used as a car sales yard.
- On 27 February 2023, Planning Permit No. DM/699/2022 was granted for the removal of contaminated soil and reinstatement of clean fill to existing ground level.
- The Barnard Street building is a single-storey, gable-ended brick structure. Its front portion is set back from the street and painted in cream and Brunswick green. A parapet wall is

constructed to its west. The rear portion of the building is of bricks painted light blue. It has an external chimney breast, which is partially painted and rendered. A small brick shed with skillion roof is attached to its back. This building is in poor condition, having been substantially altered over time and recently been subject to a fire.

- The Wattle Street facing building is a single-storey, double-fronted Victorian cottage with a sheet metal mansard roof and a front verandah. It is constructed of painted white bricks and has timber sash windows. A small skillion-roofed brick structure with a bluestone base is attached to the back of the house.
- The site features slopes across the property with steeper grades around the Wattle Street dwelling and northwest corner of the site, concaving towards the centre.
- A drainage easement is located on Lot 2 of TP841848G. Pursuant to instrument of Transfer No. 874215 (provided at pages 30 and 31 of the enclosed copies of title), the drainage easement was created in 1918 in favour of land in Vol 11562 Fol 589.

Figure 2: Copy of Plan TP 891926F



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- The site features two existing crossovers to Wattle Street. A single width crossover is located to the north of No. 144 Wattle Street and a double width crossover located toward the northern Wattle Street frontage.
- The subject site is located in a Category 2 car parking area, pursuant to the Car Parking Requirements Map.

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Figure 3: Aerial photograph of subject site



Source: Nearmap (dated 2 November 2025)

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Photograph 1: Subject site, viewed from opposite side of Barnard Street



Photograph 2: Existing dwelling on No. 144 Wattle Street



Photograph 3: Existing dwelling on No. 144 Wattle Street



Source: Realestate.com (dated August 2017)

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2.2. Surrounding Land

The surrounding area is mixed use in nature, reflecting the site location across two zones and on the southwestern end of the Barnard Street commercial strip, forming the edge of the Bendigo City Centre.

As a result, land to the north and east of the site is both residential and commercial in nature, whereas land to the south and east is generally residential in character.

The site's relationship with adjoining properties and the wider area is summarised as follows:

NORTH

- The subject site adjoins Barnard Street to the north, a two-way arterial road located in the Transport 2 Zone. Barnard Street carries two lanes of traffic in either direction. Barnard Street enters to a large intersection, adjacent to the subject site, with features Barnard Street on a southwest-northeast axis, Wattle Street on a southeast-northwest axis, and Eaglehawk Road to the northwest.

Photograph 4: Barnard Street, Wattle Street and Eaglehawk Road intersection, viewing northeast towards Eaglehawk Road



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- On the opposite side of Barnard Street is No. 166 Wattle Street and No. 242 Barnard Street.
- No. 166 Wattle Street is developed with a two storey dwelling, located in the Barnard Street precinct Heritage Overlay. The dwelling fronts Wattle Street and is finished with white render and a tiled pitched roof.

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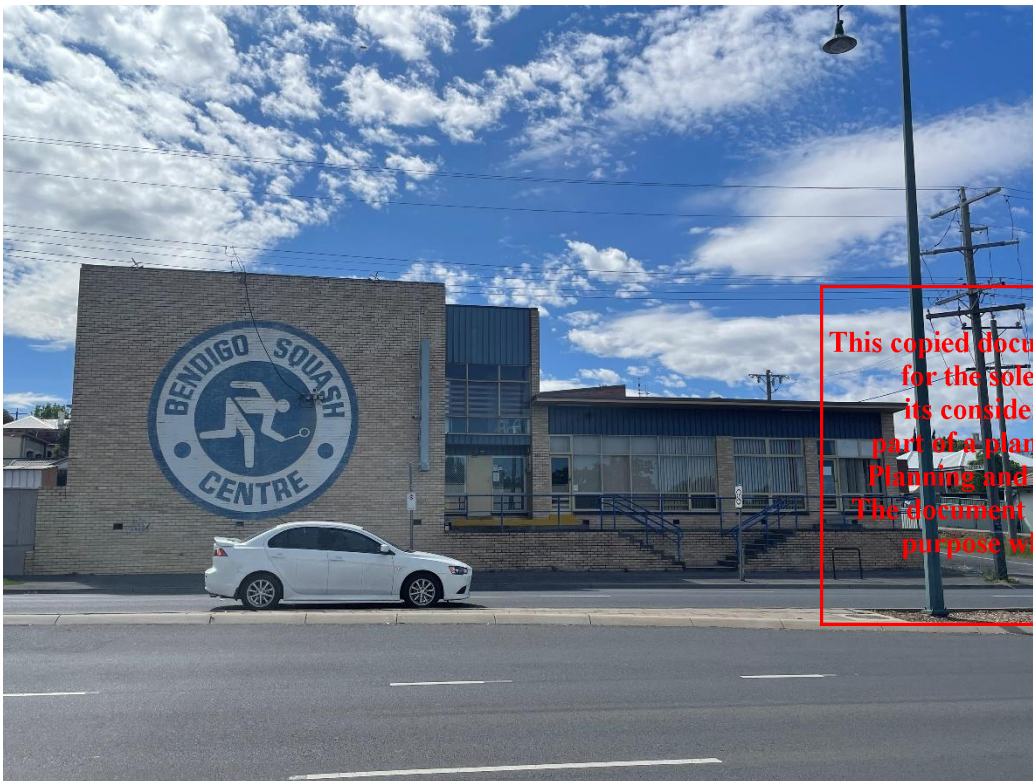
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Photograph 5: No. 166 Wattle Street, viewed from opposite side of Barnard Street



— No. 242 Barnard Street is developed with a two storey brick building, constructed on generally on the site's boundaries. The building is utilised as the Bendigo Squash Centre.

Photograph 6: No. 242 Barnard Street



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EAST

- No. 247-249 Barnard Street and No. 93 Forest Street both adjoin the subject site to the east.
- No. 247-249 Barnard Street is developed with a single storey commercial building, with a canopy over the public pedestrian footpath. The property is located in the Barnard Street heritage precinct. The building is painted with light grey, with a non-original canopy. The building is currently occupied by a café / restaurant.

Photograph 7: No. 247-249 Barnard Street



- No. 93 Forest Street partially adjoins the eastern boundary of the subject site. The property is developed with a single storey residential building. Private open space (POS) areas are located to the rear of the property, adjoining the subject site.

SOUTH

- No. 142 Wattle Street adjoins the subject site to the immediate south and is developed with a single storey heritage dwelling. The dwelling is constructed of weatherboard, with a metal roof. POS areas are located to the rear of the dwelling.

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Photograph 8: No. 142 Wattle Street



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WEST

- Wattle Street adjoins the subject site to the immediate west. Wattle Street is a two-way local street with parallel on-angle street parking on both sides of the street.

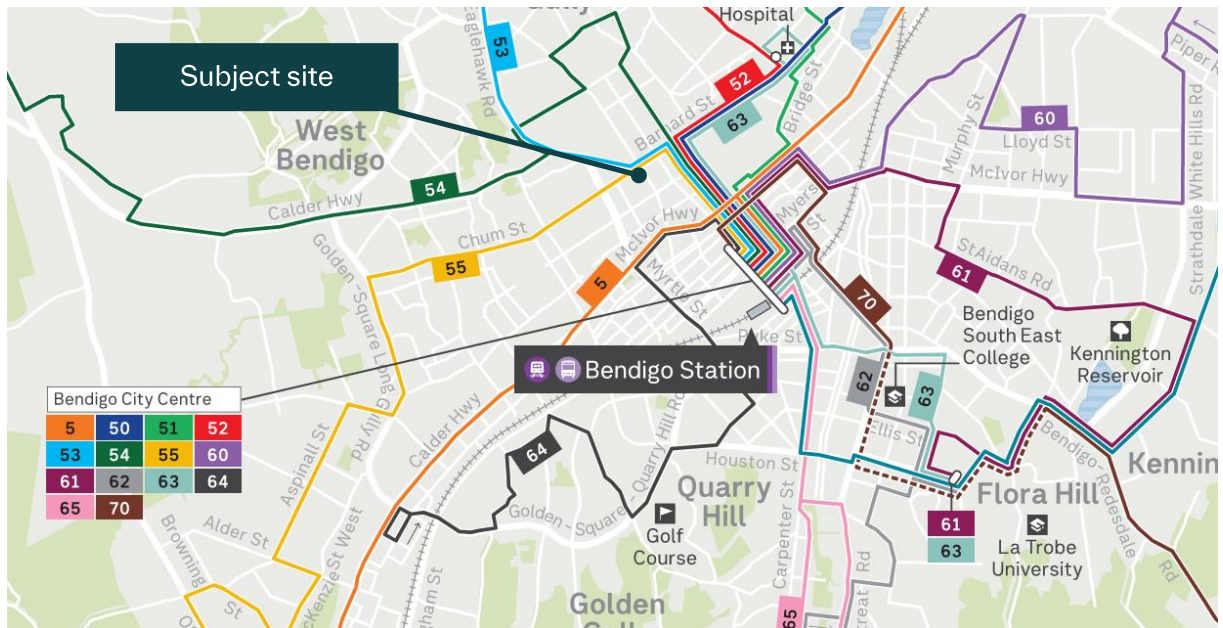
2.3. Locational Attributes

The site is proximate to a range of commercial, transport, community and other recreational facilities, which include (distances taken 'as the crow flies'):

- Bendigo City Centre boundary located approximately 120 metres to the northeast;
- The Acacia Street / Barnard Street bus stop, which services the 53 Route (Bendigo Station to Eaglehawk) and 55 Route (Bendigo Station to Kangaroo Flat), located approximately 65 metres to the southwest;
- The Rowman Street / View Street bus stop, which services the 50 Route (Bendigo Station to Epsom Station), 52 Route (Bendigo Station to Eaglehawk), 54 Route (Bendigo Station to Maiden Gully) and 63 Route (Bendigo Hospital to La Trobe University), located approximately 300 metres to the east;
- Bendigo Railway Station located approximately 1.38 kilometre southeast;
- Queen Elizabeth Oval located approximately 305 metres to the northeast;
- Faith Leech Aquatic Centre located approximately 425 metres to the northeast;
- Rosalind Park located approximately 495 metres to the east;

- Bendigo Visitor Centre located approximately 743 metres to the east; and
- Victoria Hill Mining Reserve located approximately 1.03 kilometres west.

Figure 4: Public transport map



Source: PTV

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Figure 5: Aerial photograph of subject site and surrounding area



Source: Nearmap (dated 2 November 2025)

3. The Proposal

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The proposed development can be summarised as follows.

3.1. Existing Buildings and Structures

The proposal seeks to demolish the existing building fronting Barnard Street, and retain the existing dwelling fronting Wattle Street.

The balance of the site is largely cleared, with some existing services present on the land. It is proposed to remove existing front fencing, sewage manhole, water meter, fire plug and drainage easement.

3.2. Use

It is proposed to use the land for a Residential Hotel, providing a mix of hotel room sizes for visitors of the city.

The retained dwelling building to the south of the subject site will be made good and form part of the broader hotel offering and integrated into the overall planning and design of the site.

3.3. Development

The proposed development is for a three-storey building used for a Residential Hotel. The building has been designed in a U-shape with a central courtyard, with rooms and activated uses orientated to the street frontages and internally to the central courtyard.

A total of 88 rooms are proposed, including:

- 48 x studio rooms.
- 37 x 1-bed rooms.
- 3 x 2-bed rooms.

The proposed development will include:

- **Ground floor:** The ground floor will include a lobby; dining / function; co-working space; gym; management office; BOH rooms / services; and a lift / stair core.
- The ground floor is to comprise studios and 1-bed hotel rooms. Rooms are orientated to Wattle Street and internally to the south or central courtyard. Internal facing rooms feature private courtyard / balconies.
- An overhead canopy is proposed over the pedestrian footpath along the Barnard and Wattle Street frontages.

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- **First and second floor:** The first and second floors will comprise studios, 1-bed and 2-bed hotel rooms. Rooms internally facing the central courtyard will feature Juliette balconies. A stair / lift core is located to the north of the building.
- The first and second floors will partially cantilever over the car parking area.
- The proposed building will be of a contemporary design with a flat roof form.
- A mix of material have been chosen including timber look cladding, brick, precast concrete, glazing and varying metal finishes. The inspiration for the material palette is drawn from the local Bendigo waxflower, and including various ‘natural’ shades of pink and terracotta. Varying finishes has been selected to create visual interest.

Figure 6: Render of proposed Barnard Street elevation



Figure 7: Render of proposed Wattle Street elevation

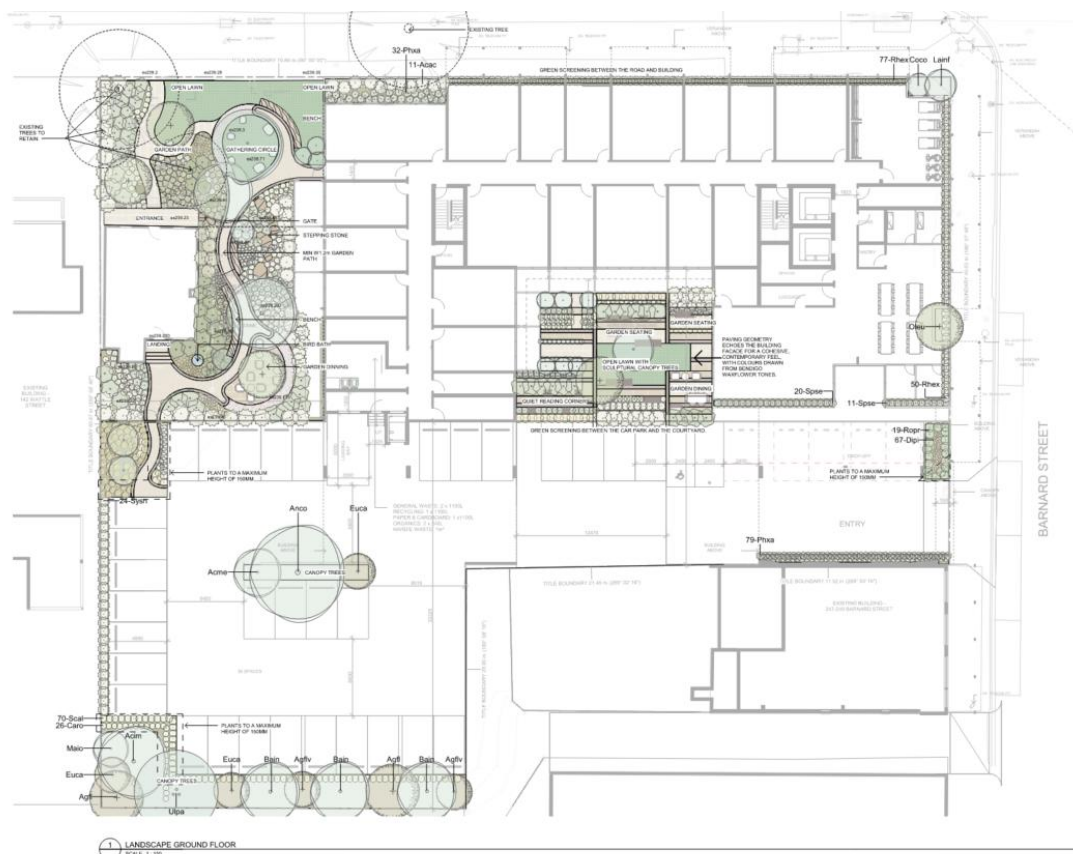


- Intermittent landscaping is proposed across the site, including in the street setbacks, carparking area and courtyard area. A considerable landscape area is proposed within the southern portion of the Wattle Street frontage, surrounding the heritage cottage to be retained.

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Figure 8: Proposed landscape plan



3.4. Car Parking

Vehicle access to the site is via the eastern side of the Barnard Street frontage, where a double-width vehicle crossover is proposed.

The at grade car parking area is located to the west of the subject site, comprising 38 x spaces, including 1 x DDA space and 5 x dedicated drop off spaces.

Landscaping strips are proposed throughout and around the perimeter of the car parking area.

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4. Planning Controls

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4.1. Zone

The subject site is located in the **Commercial 1 Zone (C1Z)** and **General Residential Zone (GRZ)**. Specifically, No. 253 Barnard Street is located in the **C1Z** and No. 144 Wattle Street is located in the **GRZ**.

Figure 9: Zoning Map



Source: Vicplan

COMMERCIAL 1 ZONE (C1Z)

The purposes of the **C1Z** are:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.
- To provide for residential uses at densities complementary to the role and scale of the commercial centre.

Pursuant to **Clause 34.01-1**, the use of the land for a Residential Hotel (Accommodation), is a Section 1 use (permit not required), pursuant to the following condition:

Any frontage at ground floor level must not exceed 2 metres (other than a bed and breakfast and caretaker's house).

Given that the proposed Residential Hotel will occupy more than 2 metres of the ground floor frontage, a permit is required for the use of the land for a Residential Hotel.

Pursuant to **Clause 34.01-2:**

A use must not detrimentally affect the amenity of the neighbourhood, including through the:

- *Transport of materials, goods or commodities to or from the land.*
- *Appearance of any building, works or materials.*
- *Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.*

Pursuant to **Clause 34.01-4**, a permit is required to construct a building or carry out works.

Decision guidelines are set out at **Clause 34.01-8.**

GENERAL RESIDENTIAL ZONE (GRZ)

The purposes of the **GRZ** are:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that is responsive to the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Pursuant to **Clause 32.08-2**, the use of the land for a Residential Hotel (Accommodation) is a Section 2 use, therefore a permit is required.

Clause 32.08-4 sets out mandatory minimum garden area requirements to construct a residential building. Given the area of No. 144 Wattle Street is 1859 square metres, a minimum of 35% of site must be set aside for garden area. The proposal provides 35% of garden area.

Pursuant to **Clause 32.08-7**, a permit is required to construct a residential building. A development should also meet the requirements of Clause 55.

Pursuant to **Clause 32.08-10**, a permit is required to construct a building associated with a Section 2 use.

Pursuant to **Clause 32.08-11** a building must not exceed the maximum building height of 11 metres and 3 storeys. A building may exceed the maximum building height by up to 1 metre if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees. As demonstrated on the south elevation plans on Drawing TP2.01, the slope measure is 3 degrees across an 8m wide cross section. Accordingly, the maximum building height is 12 metres.

Decision guidelines are set out at **Clause 32.08-14.**

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TRANSPORT ZONE (TRZ)

The purposes of the **TRZ** are:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for an integrated and sustainable transport system.*
- *To identify transport land use and land required for transport services and facilities.*
- *To provide for the use and development of land that complements, or is consistent with, the transport system or public land reservation.*
- *To ensure the efficient and safe use of transport infrastructure and land comprising the transport system.*

Barnard Street is located in the TRZ2. Works, including the construction of verandahs over pedestrian footpaths and a new crossover, is located in the TRZ2.

Pursuant to **Clause 36.04-3**:

An application by a person other than a relevant transport manager on land shown on a planning scheme map as TRZ1 or TRZ2 must be accompanied by the written consent of the Head, Transport for Victoria, indicating that the Head, Transport for Victoria consents generally or conditionally to either:

- *The application being made.*
- *The application being made and to the proposed use or development.*

A letter of consent from the Head, Transport for Victoria has been attained and is enclosed to this application.

4.2. Overlays

The subject site is affected by the **Heritage Overlay – Precinct 1 (HO1)** and the **Parking Overlay – Schedule 1 (PO1)**.

HERITAGE OVERLAY – PRECINCT 1 (BARNARD STREET PRECINCT) (HO1)

The purposes of the **HO1** are:

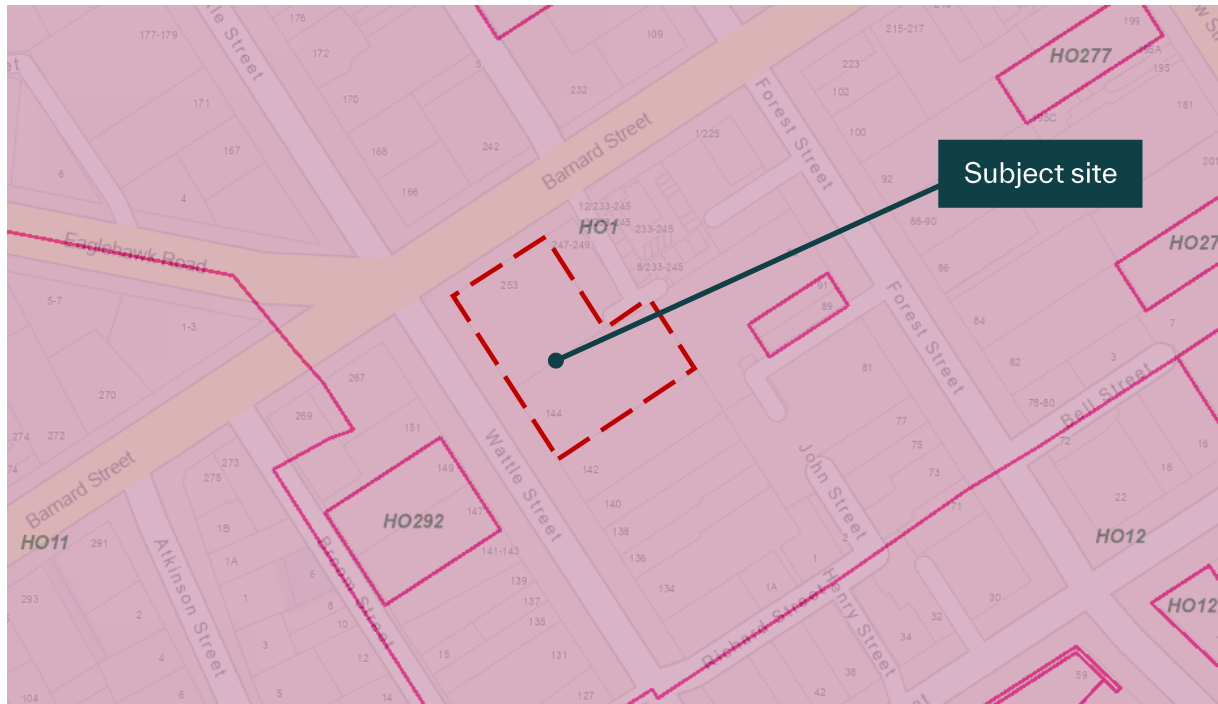
- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To conserve and enhance heritage places of natural or cultural significance.*
- *To conserve and enhance those elements which contribute to the significance of heritage places.*
- *To ensure that development does not adversely affect the significance of heritage places.*
- *To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.*

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Figure 10: Heritage Overlay Map



Source: Vicplan

Pursuant to **Clause 43.01-1** a permit is required to demolish or remove a building; and to construct a building.

Decision guidelines are listed at **Clause 43.01-8**.

Pursuant to **Clause 2.1** of the **Schedule** the **HO1** relates to the 'Barnard Street Precinct' of Barnard Street, Bendigo. Solar energy systems apply to the **HO1**.

The following Statement of Significance was prepared by Graeme Butler & Associates in the 1993 Eaglehawk & Bendigo Heritage Study – Significant Areas.

Former Bendigo Residential Precinct (part 6.02)

This precinct contains some of the study area's most prestigious houses, dominantly of the 19th and early 20th century era. Persons associated with them include successful mining speculators, such as Mueller and Lansell, and this century's industrial leaders in the Leggo family, both categories reflecting Bendigo's economic base pre and post World War One. The siting of the mining figures, in particular, away from their mine complexes is a departure from early precedents made by Lazarus and Lansell, who lived next to their mines, and marks the creation of Bendigo's early middle-class residential enclaves.

The study area's best designers (including Beebe and Vahland) were instrumental in the construction of many of these houses while the hillside siting of most of the major buildings in the precinct lends the visual diversity of viewpoint and individual building scale. Added to this are the distinctive curved street forms of Barkly Street and Terrace which echo the baroque plan of the commercial centre on the flat below. Close by but disconnected by intervening unrelated development are the two major benevolent institutions in the city, the hospital and the benevolent asylum and, further south is what was once Bendigo's most

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popular recreation centre, Rosalind Park and the Upper Reserve which was once an ornamental series of lakes and swimming baths but is now a series of sporting grounds. All of these adjacent historic sites lend context to the precinct.

Former Bendigo Residential Precinct (parts 6.04 & 6.05)

Precincts 6.4 & 6.5 adjoin 6.2 on the north and north-east and hence act as a buffer to this important area.

Nevertheless they do contain some locally interesting streetscapes, individually significant buildings and groups of well-preserved housing from Bendigo's golden era. In the case of precinct 6.5, the terrain enhances views to structures and offers elevated sites for unusual complexes such as 14 Anderson Street with its notable garden wall enclosing the hilltop.

PARKING OVERLAY – SCHEDULE 1 (BENDIGO CITY CENTRE) (HO1)

The **PO1** relates to the 'Bendigo City Centre'.

Clause 3.0 sets out varied car parking rates for a range of uses, although Residential Hotel not being one of the listed uses.

4.3. Municipal Planning Strategy (MPS)

Relevant MPS policies includes:

- Clause 02.01 – Context
- Clause 02.02 – Vision
- Clause 02.03-1 – Settlement
- Clause 02-03-5 – Built environment and heritage
- Clause 02.03-7 – Economic development
- Clause 02.03-8 – Transport
- Clause 02.03-9 – Infrastructure
- Clause 02.04 – Strategic framework plans

Key policies of the MPS can be summarised as follows:

- Greater Bendigo is a growing city with anticipated population growths of 2000 people each year. Key development is promoted in and around the Bendigo City Centre, being the high order retail and commercial centre which services the broader area. A full range of commercial, retail, visitor, social, civic, cultural, tourist and entertainment activities is encouraged in the City Centre. (Clause 02.03-1)
- Whilst Council values the existing neighbourhood character, balancing the creation of a healthier city through more dense development with the desire to protect existing neighbourhood character is a key challenge for the Council. (Clause 02.03-5)
- Greater Bendigo comprising of a historical town with many buildings of heritage significance. Strategic directions seek to balance the protection of heritage places with

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support for sensitive and innovative development to accommodate projected population growth. (Clause 02.03-5)

- Greater Bendigo acknowledges tourism as being an important element of the local economy, being a visitor destination. Commercial growth is directed to activity centres. (Clause 02.03-7)

4.4. Planning Policy Framework (PPF)

The PPF is structured into State (S), Regional (R) and Local (L) policies. Relevant PPF policies include:

- Clause 11.01-1S – Settlement
- Clause 11.01-1R – Settlement – Regional Victoria
- Clause 11.01-1L – 10 minute neighbourhoods – Greater Bendigo
- Clause 11.02-1S – Development capacity
- Clause 11.03-1S – Activity centres and precincts
- Clause 11.03-1L – Activity Centres – Greater Bendigo
- Clause 11.03-6L-01 – Bendigo City Centre
- Clause 15.01-1S – Urban Design
- Clause 15.01-1L-01 – Landscaping – Greater Bendigo
- Clause 15.01-2S – Building design
- Clause 15.01-2L – Environmental sustainable development – Greater Bendigo
- Clause 15.01-3L – Historic and distinctive streetscapes
- Clause 15.01-4S – Healthy neighbourhoods
- Clause 15.01-5S – Neighbourhood character
- Clause 15.01-5L-01 – Neighbourhood Character – Greater Bendigo
- Clause 15.01-5L-02 – Central Bendigo neighbourhood character
- Clause 15.03-1S – Heritage conservation
- Clause 15.03-1L – Post contact heritage conservation – Greater Bendigo
- Clause 17.01-1S – Diversified economy
- Clause 17.01-1L – Diversified economy – Greater Bendigo
- Clause 17.02-1S – Business
- Clause 17.02-1L – Business – Greater Bendigo
- Clause 17.04-1S – Facilitating tourism
- Clause 17.04-1L – Tourism – Greater Bendigo
- Clause 18.01-3L – Sustainable personal transport – Greater Bendigo

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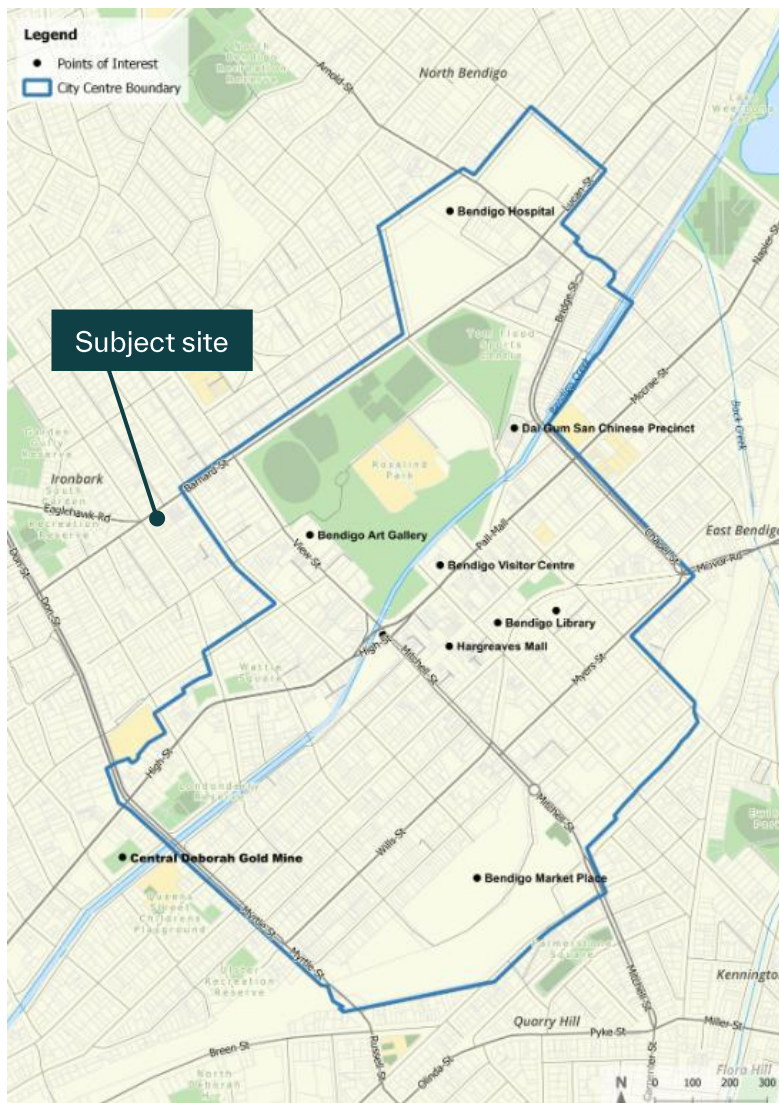
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- Clause 19.03-3S – Integrated water management
- Clause 19.03-3L – Integrated water management – Greater Bendigo

The various PPF provisions that relate to the proposed development (inter alia) state the need:

- To provide for sustainable growth and neighbourhoods, particularly in well-connected areas, which meet the needs of current and future Victorians (Clause 11.01-1S, Clause 11.01-1L, Clause 11.02-1S, Clause 11.02-1S).
- The Bendigo City Centre is the highest order activity centre and seeks to Promote the importance of the Bendigo City Centre as the principal retail and commercial centre for northern and central Victoria. (Clause 11.03.0L).
- To facilitate development that enhances the role of the Bendigo City Centre as the focus for higher order commercial, retail, visitor, social, civic, cultural and tourist activities. The subject site is located just outside of the Bendigo City Centre boundary. (Clause 11.03-6L-01)

Figure 11: Bendigo City Centre map



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Source: Clause 11.03-6L-01

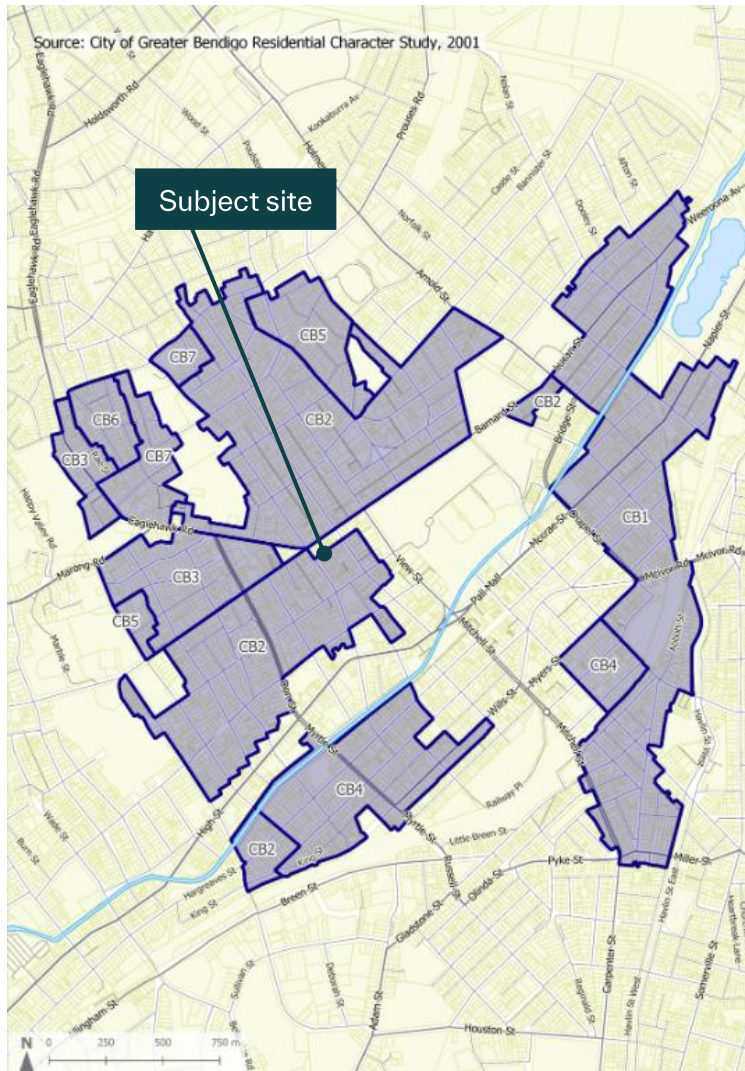
- To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. (Clause 15.01-1S)
- To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development. (Clause 15.01-2S)
- To achieve best practice in environmentally sustainable development from the design stage through to construction and operation. (Clause 15.01-2L)
- To preserve and complement historic and distinctive street layout patterns. (Clause 15.01-3L)
- To achieve neighbourhoods that foster healthy and active living and community wellbeing. (Clause 15.01-4S)
- To maintain the garden setting of dwellings by retaining large trees and planting new trees; maintain the rhythm of dwelling spacing by setting buildings back from at least one side boundary; ensure new buildings and extensions do not dominate the streetscape by matching their height and roof form with the predominant height and roof form in the street; Design buildings with materials and finishes that complement the dominant pattern of the streetscape. (Clause 15.01-5L-01)
- To maintain the existing neighbourhood character of this precinct that is drawn from:
 - The cottage feel and heritage qualities of the streetscapes.
 - The predominantly Victoria, Edwardian and Inter-war housing.
 - Weatherboard cottages and picket fences.
 - The closely spaced housing pattern and small front setbacks which provides an intimate, pedestrian friendly environment,

Retain heritage buildings that contribute to the valued character of the precinct. (Clause 15.01-5L-02 – CB2)

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Figure 12: Central Bendigo neighbourhood character precinct map



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Source: Clause 15.01-5L-01

- To ensure the conservation of places of heritage significance. (Clause 15.03-1S)
- Ensure integration of new development by encouraging design that respects the heritage place through its setting, location, bulk, form, materials and appearance. (Clause 15.03-1L)
- To strengthen and diversify the economy. (Clause 17.01-1S)
- To support development that maintains Bendigo as the key regional city and economic growth hub for the Loddon Mallee South region. (Clause 17.01-1L)
- To encourage development that meets the community's needs for retail, entertainment, office and other commercial services. (Clause 17.02-1S)
- To direct higher-order commercial and retail developments to the Bendigo City Centre; support development in other activity centres that does not compromise the primacy of the Bendigo City Centre; avoid the encroachment of small scale commercial developments into adjoining residential areas; avoid the development of supermarkets outside of designated

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activity centres and in industrial areas; limit retail uses in industrial zones to those that are providing for the daily needs of people employed in the area. (Clause 17.02-1L)

- To encourage tourism development to maximise the economic, social and cultural benefits of developing the state as a competitive domestic and international tourist destination. (Clause 17.04-1S)
- To build on Greater Bendigo's core tourism strengths of historic goldrush streetscapes, heritage architecture and Chinese heritage by supporting sympathetic and complementary development proposals; and support tourism development that enables the reuse and adaption of heritage places. (Clause 17.04-1L)

4.5. General and Particular Provisions

CLAUSE 52.02 - EASEMENTS, RESTRICTIONS AND RESERVES

The purpose of **Clause 52.02** is:

To enable the removal and variation of an easement or restrictions to enable a use or development that complies with the planning scheme after the interests of affected people are considered.

A permit is required to create, vary or remove an easement. It is proposed to remove the existing drainage easement located on located on Lot 2 of IP 841846C to make way for the new development on the land.

CLAUSE 52.06 - CAR PARKING

Clause 52.06 sets out car parking requirements for new uses.

The purposes of **Clause 52.06** are:

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

Table 1 of Clause 52.06-5 sets out the relevant car parking rates for various uses. Residential Hotel is not one of the listed uses.

We note that the subject site is located in a Category 2 area pursuant to the Car Parking Requirements Map.

Pursuant to **Clause 52.06-6** where a land use is not listed at **Table 1**, car parking must be provided to the satisfaction of the Responsible Authority.

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CLAUSE 52.29-2 – LAND ADJACENT TO THE PRINCIPAL ROAD NETWORK

The purposes of **Clause 52.29-2** are:

- *To ensure appropriate access to the Principal Road Network or land planned to form part of the Principal Road Network.*
- *To ensure appropriate subdivision of land adjacent to Principal Road Network or land planned to form part of the Principal Road Network.*

Pursuant to **Clause 52.29-2**, a permit is required to create or alter access to a road in a Transport Zone 2.

CLAUSE 53.18 – STORMWATER MANAGEMENT IN URBAN DEVELOPMENT

Clause 53.18 seeks to manage the impacts of stormwater on the environment and applies to this application.

The purpose of **Clause 53.18** is as follows:

To ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

CLAUSE 53.22 – SIGNIFICANT ECONOMIC DEVELOPMENT

The purposes of **Clause 53.22** are:

- *To prioritise and facilitate the planning, assessment and delivery of projects that will make a significant contribution to Victoria's economy and provide substantial public benefit, including jobs for Victorians.*
- *To provide for the efficient and effective use of land and facilitate use and development with high quality urban design, architecture and landscape architecture.*

Clause 53.22-1 states:

The provisions of this clause prevail over any inconsistent provision in this planning scheme.

This clause applies to an application under any provision of this planning scheme if all the following are met:

- *The applicant submits written confirmation that the application is an application to which this clause applies.*
- *The conditions corresponding to a category in Table 1 are met.*

Table 1 of **Clause 53.22-1** lists out the applicable categories to applications. The Condition adjacent to Category 1 states:

The application must include a use specified in Table 2 and the conditions corresponding to that use must be met.

If the application includes more than one use in Table 2, only one use must meet the corresponding conditions, except where the application includes an energy generation

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facility or transport terminal, in which case all conditions corresponding to those uses must be met.

The application must not include a use that requires a permit if that use is not specified in Table 2.

Information demonstrating the likely feasibility of the proposed development is provided to the satisfaction of the Minister for Planning. This must include written advice from the Chief Executive Officer or delegate, Invest Victoria. This does not apply to an application for the use or development of land for an energy generation facility, renewable energy facility, transport terminal, utility installation or warehouse (fuel depot).

Table 2 of Clause 53.22-1 sets out the various uses and the required conditions of the use. A Residential Hotel must meet the following condition:

The estimated cost of the proposed development as specified in a report prepared by a suitably qualified quantity surveyor must be one of the following to the satisfaction of the Minister for Planning:

- At least \$10 million if any part of the land is in metropolitan Melbourne.
- At least \$5 million if the land is not in metropolitan Melbourne.

The estimated cost of works is in the order of \$25 million, with the subject land not located in metro Melbourne. Accordingly, the proposed development meets the conditional requirements of Tables 1 and 2, and is accordingly considered as a Category 1 development.

Clause 53.22-2 states that: *The responsible authority may waive or vary any of the following:*

- Any building height or setback requirement.
- Any application requirement in this planning scheme if in the opinion of the responsible authority the requirement is not relevant to the assessment of the application.

Pursuant to **Clause 53.22-4**, an application under any provision of this planning scheme is exempt from the decision requirements of sections 64(1), (2) and (3), and the review rights of sections 82(1) of the Act.

CLAUSE 65 – DECISION GUIDELINES

Decision Guidelines state that, before deciding on an application, considerations should be given to a series of matters including the purpose of the zone overlay or other provision, the orderly planning of the area and the effect on the amenity of the area.

CLAUSE 72.01 – RESPONSIBLE AUTHORITY FOR THIS PLANNING SCHEME

Pursuant to Clause 72.01-1:

The Minister for Planning is the responsible authority for the following matters where clause 53.22 or 53.23 applies:

- matters under Divisions 1, 1A, 2 and 3 of Part 4 of the Act;

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- *matters under Division 2 of Part 9 of the Act where required under a permit in relation to the provision of the affordable housing contribution; and*
- *endorsement of, approval of or being satisfied with matters required by a permit or the scheme to be endorsed, approved or done to the satisfaction of the responsible authority.*

4.6. Background documents

BENDIGO CITY CENTRE PLAN – URBAN DESIGN FRAMEWORK PLAN (DECEMBER 2022)

The Bendigo City Centre Plan – Urban Design Framework Plan (UDFP) provides a framework for development in the city centre. Whilst the subject site is not located within the boundary of the City Centre, the UDFP provides a useful guideline for development in the surrounding area. We also note that the framework does not hold any statutory weight, noting that it is not incorporated or referenced in the Greater Bendigo Planning Scheme

The subject site is located on the corner of Barnard Street and, albeit being located just outside of the City Centre boundary, a building height of 3-4 storeys (14 metres) is sought for property along Barnard Street, one block to the east of the review site. Along the residential street Forest Street, a residential building height of 3 storeys (11 metres) is sought. Whilst these height guides do not strictly apply to the subject site, they provide a guidance on the emergence of development in the immediately surrounding area.

Transitions in building height should respond to the immediately surrounding context, including byway of building separation and the stepping of form.

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Figure 13: Maximum building heights cross the City Centre



Figure 2 Guidance on preferred maximum building height across the City Centre

Source: Bendigo City Centre Plan – Urban Design Framework Plan

The UDFP seeks to reinforce the vertical street wall as a distinctive and common characteristic of buildings in streets within the Bendigo commercial core, commercial and mixed-use buildings. This includes providing continuous, vertical building facades at the street edge, within the preferred maximum building height, to define the streetscape. A zero-street setback should be adopted in the commercial core streets and in other identified areas, unless a contextual setback is essential to the design response. A contextual setback should be adopted, with buildings setback a shallow distance (approximately 2-5 metres) from the street edge, in residential areas.

HERITAGE DESIGN GUIDELINES (SEPTEMBER 2020)

The City of Greater Bendigo Heritage Design Guidelines are an incorporated document to Greater Bendigo Planning Scheme and provide a framework for assessing development within Heritage Overlays.

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The objectives for infill development are as follows:

- *To encourage new buildings that do not adversely affect the significance, character or appearance of the heritage precinct and are visually recessive.*
- *To ensure that the design of new buildings responds to the context of the heritage precinct and nearby contributory buildings including scale, height, mass, form, siting, setbacks and materials.*
- *To encourage new development within a heritage precinct that is contemporary in appearance and does not copy historic styles or details.*

Design advice seeks to draw new design from dominant characteristics of the precinct and to remain respectful of surrounding heritage buildings. Design should be good quality design that uses the main features of the heritage precinct as a reference point. Setbacks, rhythm, form, height, materials and details should generally be in keeping with the surrounding heritage area.

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5. Planning Considerations

5.1. Introduction

This proposal seeks to introduce a Residential Hotel on the periphery of the Bendigo City Centre, one of Victoria's growing regions with tourism being a key growth sector. Additionally short stay accommodation is required in and around the city centre to accommodate this.

The City's Bendigo Airport Strategic Plan 2024–2034 outlines that in the year ending March 2024 the Bendigo–Loddon region hosted around 1.31 million domestic overnight visitors, generating 2.94 million visitor nights, with tourism supporting an estimated 2,863 jobs in Greater Bendigo. Greater Bendigo's website also states that international overnight visitors increased from 16,000 in 2023 to 27,000 in 2024 (up 68%). This data supports the case for well designed, short stay accommodation in the area.

The site is large consolidated allotment (3498 square metres), located on the corner of a key arterial road and is made up of both commercial and residentially zoned land. It presents an excellent opportunity for the development of a Residential Hotel, a land use that represents an appropriate fit for the physical site attributes and locale and is supported by a growing demand in the area.

Clause 71.02-3 of the Greater Bendigo Planning Scheme promotes the “balancing” of sometimes conflicting policies in favour of ‘net community benefit’ and sustainable development. In this case, the “balancing act” should assess matters such as the value of providing a Residential Hotel in this regional location, against other matters such as character, heritage and car parking.

Turning to the planning analysis of this particular application, the key considerations in the assessment are:

- Is there strategic support for the proposal?
- Does the proposal achieve appropriate heritage outcomes?
- Is the proposed built form appropriate to its context?
- Will the proposal have appropriate amenity outcomes?
- Other matters.

We offer a response to each of these prompts as follows.

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5.2. Is there strategic support for the proposal?

The proposal is for the construction of a 3-storey Residential Hotel development comprising 88 hotel rooms. The size, zoning and locational context of the site make it an appropriate candidate for a development of this type.

In particular, this proposal seeks to redevelop and revitalise a large, underutilised parcel of land and provides a well-considered design that respects the existing heritage building on site and surrounding context, whilst introducing a use that will provide much needed economic, employment and tourism benefits on the periphery of the activity centre.

The proposed development is considered consistent with the strategic direction of the Greater Bendigo Planning Scheme. This is evidenced by:

- The subject site is located along a commercial strip adjacent to the Bendigo City Centre. The proposed development is for the introduction of 88 hotel rooms, providing short term accommodation to cater for the growing visitor economy in regional area, as well as relieving housing stresses associated with the availability of short terms accommodation. This will supports the role and function of the centre which is encouraged by Clause 11.03-1S and local policy at Clause 11.03-1L and Clause 11.03-6L-01.
- The proposed development will regenerate the subject site and this prominent corner of Barnard and Wattle Street, providing for an active and well-designed building which positively supports its local context and enhances the public realm. Positive urban design and building design which creates a sense of place is supported by Clause 15.01-1S and Clause 15.01-2S.
- As discussed later in this report, the proposed building design has significant regard to its heritage context, and will preserve and compliment the historic and distinctive street layout as sought by Clause 15.02-3L and Clause 15.03-1S.
- The proposed use and development of the land for a residential hotel will strengthen, support and diversify economic growth in the region, supporting job growth and attracting visitors as supported by Council vision at Clause 02.02, Clause 17.01-1S and Clause 17.01-1L.
- The use of the land for a residential hotel under are an allowable and contemplated use under the zoning of the land, being C1Z and GRZ, representing the appropriateness of the proposed use. Further, the development aligns with the GRZ built form requirements such as building height, garden area, and Clause 55 matter on the GRZ affected portion of the land. This is further discussed later in report.

The proposal also enjoys support from economic and tourist policies of the Greater Bendigo Planning Scheme because:

- The proposed Residential Hotel will contribute to Bendigo's economic strategies by providing employment opportunities directly and supporting jobs in the retail sector (a key regional sector), by way of accommodating more visitors in the Bendigo City Centre, as promoted by Clauses 02.03-1 and 02.03-7.
- Clause 02.03-7 sets out that Greater Bendigo is an important visitor destination and that tourism is a key element of the local economy. Strategic directions seek to direct growth to activity centres. The provision of a residential hotel just outside of the city centre increases

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Bendigo's ability to accommodate tourists and relieve other stressors associated with a shortage of accommodation.

- The provision of additional accommodation within the regional centre is encouraged by Clauses 17.04-1S and 17.04-1L. The hotel is well located to support existing nearby businesses and have access to a large labour market. The hotel will rejuvenate and expand regional tourism by encouraging tourism development within the existing urban settlement.

The supporting local policies drive significant developments in and around the city centre of Bendigo, which is strongly supported throughout the Greater Bendigo Planning Scheme.

5.3. Does the proposal achieve appropriate heritage outcomes?

Key considerations in determining the effect of the proposals on heritage assets are:

- Heritage Overlay HO1 – the schedule relates to the Barnard Street precinct.
- *Heritage Design Guidelines* (City of Greater Bendigo, September 2020)
- Clause 02.03-5 – Built Environment and Heritage
- Clause 15.01-3L – Historic and distinctive streetscapes
- Clause 15.03-1S – Heritage conservation
- Clause 15.03-1L – Post contact heritage conservation - Greater Bendigo

The above policies and guidelines generally seek to ensure that new development is appropriately designed with regard to its heritage context, will be an appropriate 'fit' to the surrounding area and will not adversely affect the significance of the heritage precinct.

The proposal is considered to conserve and enhance the heritage places within the site by:

- The proposed redevelopment of the land will regenerate an underutilised parcel of land whilst remaining respectful of its surrounding heritage context. The proposal will balance the protection of the Barnard Street heritage precinct whilst supporting the development of a high-quality and sensitively designed new building to support the economic growth of the Bendigo City Centre, as directed by Clause 02.03-5.
- The conservation of the existing heritage house fronting Wattle Street is aligned with the heritage overlay and Clause 15.03-1 and the proposal seeks to do so through its retention and contemporary reuse as a guesthouse as part of the broader hotel offering.
- Whilst it is proposed to demolish the existing commercial building fronting Barnard Street, its removal will not adversely affect the significance of the Barnard Street heritage precinct. The following statement of significance to the existing building has been prepared by Trethowan Heritage, noting that the precinct statement of significance does not provide for a heritage grading, and is therefore based on historical research, site visit observations, and good heritage practice.

At 253 Barnard Street, the front portion of the house appears to have been modified where its front façade was set back and altered, and verandah removed, causing it to have poor integrity. The rear portion of the house appears to be relatively intact apart from the small brick addition to its rear. However, it would not have been visible from the public domain if the adjacent lot were not vacant. It therefore should not be considered as part of the

heritage streetscape. Considering the front portion's streetscape appearance, this property has little or no significance to HO1.

As described above, the existing building has little to no significance and is in poor condition. The demolition of the existing building will have no effect on the Barnard Street heritage precinct and furthers the ability for the site to be developed in a way that will result in net community benefit.

- As sought by the HO decision guidelines and Clause 15.03-1L, the replacement building will not adversely affect the significance of the heritage precinct and is of a high-quality and sensitive design. In this instance, the proposal is required to respond to both heritage streetscapes (Barnard and Wattle) which includes differing built form characteristics owing to the differences in zoning (commercial and residential).
- The proposed building responds to the Barnard Street streetscape and adjoining building at 247-249 Barnard Street in the following ways:
 - Noting the two storey heritage building at No. 225 Barnard Street, the proposed three storey form adopts a 'book-end' design approach, along the Barnard Street strip between Wattle Street and Forest street, providing an appropriate form to activate and define the corner. A three storey height is entirely consistent with the general pattern of current and future development and is entertained by the planning scheme (including the GRZ).

Figure 14: Proposed Barnard Street streetscape massing



- The 'replacement building' will comprise vehicle entryway with a cantilevered first and second floor above. The vehicle entryway is provided with a feature paving and landscaping in planter boxes.
- The upper floors design seeks to take design form cues from the adjoining building as well as the two-storey heritage commercial-style building at No. 225 Barnard Street.
- The provision of canopies above the pedestrian footpath, in keeping with other commercial properties along Barnard Street.
- The provision of long narrow windows with vertical alignment, in keeping with other commercial properties along Barnard Street.
- The material palette is of natural tones, including pinks and terracotta, with inspiration drawn from the local Bendigo waxflower.

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- The variety of materials and finishes, including timber cladding, brick, precast concrete and metal will create visual interest, whilst not deterring from the significance of the heritage precinct.

Accordingly, it is considered that the proposed new building will positively contribute to the Barnard Street heritage precinct, providing for a respectful and high-quality building outcome.

Figure 15: North elevation of replacement building



– The proposed building design seeks to provide for a respectful transition to southern Wattle Street residential streetscape by:

- Retaining the existing building at No. 144 Wattle Street and integration with the overall design make a positive contribution to the way in which the proposal addresses the Wattle Street streetscape, allowing for a generous landscape setback and breathing space around the exist cottage, providing a suitable buffer to the dwelling further south.
- The proposed building is well separated from the retained dwelling at No. 144 Wattle Street, and adjoining land to the south. The southern wall of the proposed building is setback approximately a minimum of 18.585 metres from the southern adjoining property and approximately 10.415 metres, creating for a deep setback between the proposed hotel and the residential heritage context. Further, the southwestern-most portion of the building has been setback 2.1 metres from the Wattle Street frontage, compounded by the recessive upper level at the first floor at this corner, and lightweight material choices.
- The proposed building separation to the south reduces the perceived building form from the street, and ensuring that the proposal does not overwhelm the adjoining Wattle Street residential heritage context. Again, this strikes a balance between achieving a suitable development outcome providing for a key use and development, whilst also

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remaining respectful to its heritage context. Accordingly, it is considered that an appropriate transition between the proposed built form and Wattle Street have been achieved.

Figure 16: Proposed street interface with No. 142 Wattle Street

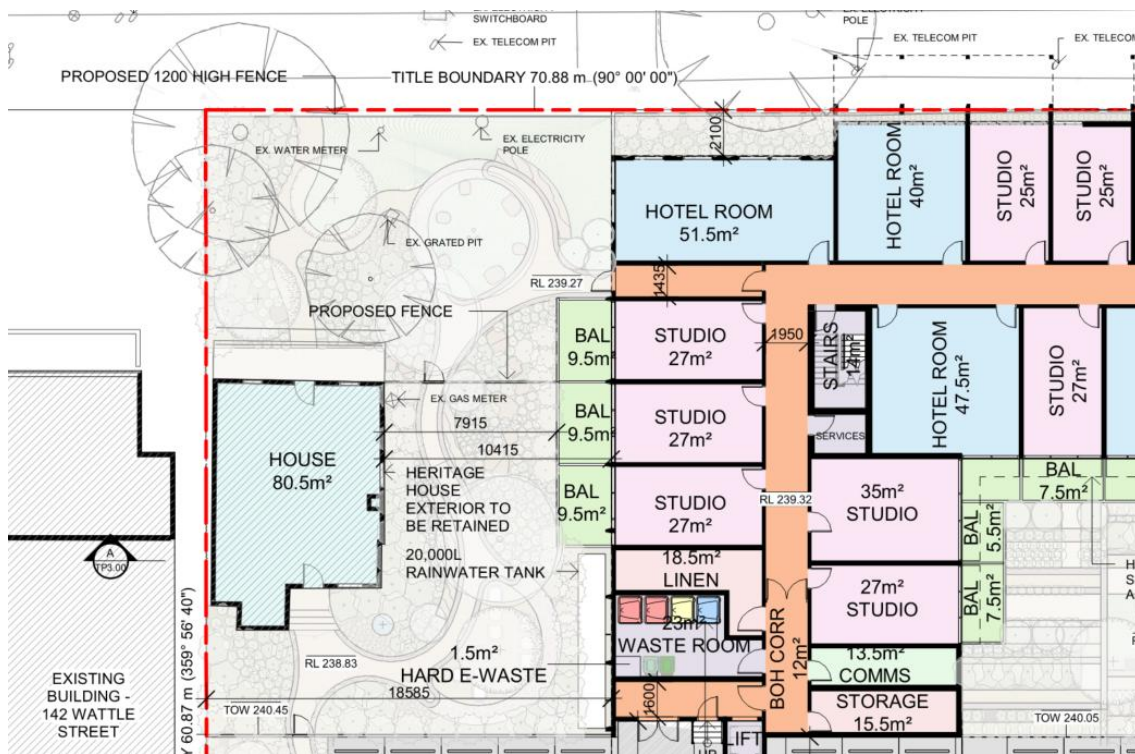


Figure 17: Proposed street interface with No. 142 Wattle Street



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- The development of the land will continue to preserve and complement the historical context and Barnard Streetscape, as sought by Clause 15.01-L, taking design cues from nearby existing heritage buildings, including canopies over the pedestrian footpaths narrow

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vertical windows and the material palette. The proposal appropriate responds to heritage without mocking or replicating the details of existing however responds in a contemporary way through siting, design detail and form, resulting in a positive outcome for the site and both streetscapes.

- The contrast in architectural styles aids the visual separation and highlights the assets, allowing them to stand out in the streetscape and for their importance to be made legible. By distinguishing form and architectural styles, the development does not distort historic evidence as sought by Clause 15.01-L.
- The car parking area is internally located within the subject site and will not dominate the streetscape, as sought by Clause 15.03-1L. The vehicle accessway from Barnard Street will comprise feature paving and landscaping, largely concealing the driveway and car parking area, when viewed from Barnard Street.
- The proposed development will now block or hinder key view lines from the public realm to significant heritage places.

The proposal is considered to perform strongly against the decision guidelines of the heritage overlay and strategies of local policy. We further defer to the Heritage Impact Statement prepared by Trethowan Heritage.

5.4. Is the proposed built form appropriate to its context?

The built form on the land has been designed to respond to its surrounding context, the zoning controls and polices contained within the PPF. It is considered that the proposed built form responds to its surrounding context and aligns with the various applicable built form and character polices.

The objective of Clause 15.01-5S is to recognise and protect neighbourhood character, cultural identity, and sense of place. In considering whether the objective is met, primary considerations are the site's zoning. It is considered that the development strongly meets the objective of Clause 15.01-5S by creating a safe, healthy, and functional urban environment which significantly enhances the streetscape and sense of place.

While heritage has been discussed above, it is important to acknowledge that in this instance the built form outcomes for this site require careful consideration having regard to both the zone and policies that deal with heritage. It is considered that this proposal achieves a high-quality outcome that responds well to policy objectives.

We note that that subject land is affected by the GRZ and C1Z. It is a relevant consideration that in addition to heritage, the design response has been driven by the outcomes sought by both the C1Z and GRZ, with those in the C1Z being more restrictive (garden area and mandatory building height). The massing has been distributed across the site to respond to these requirements, as well as providing for a heritage transition to the south. It is considered that the proposed built form has been appropriately designed the following reasons:

- The proposal provides 35% of area set aside for garden area, pertaining to the allotment within the GRZ.
- The proposal meets the maximum building height contained within the GRZ. The required maximum building height is 3 storeys or 11 metres. This can be exceeded by up to 1 metre if

the slope of the natural ground, measured at any cross section of the site wider than 8 metres, is greater than 2.5 degrees. As demonstrated on the southern elevation TP2.01, the NGL has a slope of 3%, allowing the building to sit at a maximum of 12 metres. The proposed maximum building height is 12 metres.

- The proposed three storey form is considered appropriate in the context of the surrounding area, reinforced by the development's consistency with the maximum building height requirements set out by the GRZ.
- Pursuant to Clause 15.01-5L-02, the southern allotment of the subject site is located in the 'Central Bendigo 2'. Strategies of the precinct seek to maintain the cottage feel and heritage qualities of the area, and to retain heritage building that contributes the valued character of the precinct. The proposal seeks retain the existing heritage dwelling fronting Wattle Street and construct a new building partially in the GRZ portion of the subject land. The retention of the existing dwelling will maintain the 'cottage feel and heritage qualities' along Wattle Street, and the new building providing for a sufficient transition to the dwelling by way of separation, recessed form and materiality.
- Clause 15.01-5L-02 also seeks for a 1-3 metre setback from side boundaries for land in the 'CB2' area. Proposed building is setback 10.415 metres from the retained heritage dwelling. Whilst the proposed setback between the two buildings is not between 2-6 metres (noting that 1-3m setback is measured from building to the boundary, therefore building separation would be 2-6 metres), and is in-fact greater than the requirement, the additional separation provides for a clear distinction and appropriate transition between the residential and commercial zoning.
- The proposed 'hard edges' proposed along Barnard and Wattle Street are considered appropriate and in keeping with the surrounding context. The Urban Design Framework Plan for the Bendigo City Centre seeks to inform the vertical street wall as a distinctive and common characteristic of building in streets within commercial areas.
- An assessment against external amenity matter is provided at Section 5.5.

Figure 18: Render of proposed Wattle Street elevation, including the transition to the southern residential context



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Further, in a general sense, we consider the proposed built form appropriate for the following reasons:

- The current contribution made by the site to the streetscape is poor and limited, noting that prior to the partial demolition of the land, the property was largely used as a car sales yard. The proposal looks to occupy this underutilised key intersection. A strong urban form and infill development is encouraged by local policy.
- This appropriately defines the corner, with setbacks and articulation providing for transition where the site adjoins other heritage properties., recognising the lower scale streetscape along Wattle Street. The proposed street setbacks are consistent with its surrounding context, with a tailored separation at the southern portion of the site.
- All elevations are well animated through architectural features such as windows, breaks in form, materiality and canopies.
- The proposed use will contribute to activity within the streetscape particularly from directing activated internal uses such as the gym, dining room and reception to the street frontage.
- The location of the amenity area and siting of windows creates a high level of passive surveillance to the street.
- Intermittent landscaping across the development site will provide for a positive contribution to the character of surrounding area
- The entrance to the new building will be well articulated through landscaping and feature paving.
- The proposed façade is of contemporary design and incorporates vertical and horizontal articulation through detailing.
- The variety of materials and finishes, including timber cladding, brick, precast concrete and metal will create visual interest.
- The material palette is of naturals tones, including pinks and browns, with inspiration drawn from the local Bendigo waxflower.

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Figure 19: Proposed material schedule



- On site car parking is not visible from the street, with the vehicle entryway from Barnard Street being largely concealed by landscaping and feature paving.
- Bin storage is provided to the rear of the site, alongside other services, thereby reducing visibility whilst being accessible.

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The development meets the objective of Clause 15.01-2S by achieving building outcomes which contribute positively to the local and strategic context.

5.5. Will the proposal have appropriate amenity outcomes?

The subject site straddles two zones, including the GRZ and C1Z, which each seek differing amenity requirements. The proposed use of the land is for a residential hotel, which is nested under 'residential building' pursuant to Clause 73.04. The extent of the proposed residential building located in the GRZ portion of the land is limited, in turn limiting any potential for external amenity impacts.

As further discussed below, the proposed development is considered to provide high levels of internal amenity and limited off-site amenity impacts, largely due to the considerable setbacks to the residential boundaries resulting from the siting of the building, location of the car park and retention of the heritage dwelling at No. 144 Wattle Road.

INTERNAL AMENITY

The proposal is for a residential hotel that will provide accommodation for those visiting the local area. Whilst a residential hotel is not expected to offer the same degree of internal amenity as an apartment, we consider the proposal will facilitate acceptable internal amenity to future hotel guests because:

- Car parking is provided at grade, is accessible and secure.
- All hotel rooms have reasonable views out of the development and access to natural light, owing to corner site and the u-shaped building that enables all rooms to have good quality aspect.
- Some hotel rooms are provided with balconies, to the benefit of guests.
- A mix of rooms sizes are provided, including studios, 1-bedroom and 2-bedroom rooms providing for a diversity of accommodation types
- 38 car parking spaces, including 4 drop off spaces and 1 DDA compliant space, are located on the site allowing for convenient, easily identifiable access. This is discussed in more detail in the Traffic Report prepared by Ratio Consultants.
- A central shared ground floor courtyard is provided for guests
- A range of shared hotel amenities are provided including a gym, co-working spaces and a dining / function room.
- Accessible car spaces are located close to the entry of the Hotel.

In summary, the residential hotel will provide excellent internal amenity for guests.

EXTERNAL AMENITY

The extent of the proposed building envelope located in the GRZ portion of the subject land is limited. Accordingly, proposed new building will have negligible external amenity impacts, with regard to the adjoining residential land at No. 142 Wattle Street and No. 93 Forest Street.

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We provide the following overview of how the proposed building performs against key external amenity standards (as relevant) set out in Clause 55.

- **Clause 55.02-3 - Standard B2-3 (Side and rear setbacks objective)** – the maximum building height to the south elevation is 12 metres, which would require a building setback to the south boundary of 7.09 metres (pursuant to provision B2-3.1). The proposed building setback is 18.585 metres at this interface, which far exceeds the distance required by the standard and minimising the potential for any unreasonable visual bulk, shadow or impact on daylight.

Further, a portion of the eastern boundary adjoins land in the GRZ. The maximum building height to the east elevation is 11.952 metres, which would require a setback to the eastern boundary, adjoining land in the GRZ, of 7.042 metres. The proposed building setback is 20.315 metres at this interface, comfortably compliant with the Standard, providing a generous separation whilst also minimising visual bulk and impacts on the outlook from No. 93 Forest Street.

- **Clause 55.02-4 - Standard B2-4 (Walls on boundary objective)** – No walls on boundaries on land on or adjoining residential land is proposed. This enables space for landscaping opportunities along the side boundaries of the properties, assisting with filtering views to proposed built form, as viewed from adjoining properties.

- **Clause 55.04-1 - Standard B4-1 (Daylight to existing windows objective)** – The proposal will allow for adequate daylight into existing habitable room windows. The proposed building is generously setback (10.6-10.9 metres) from neighbouring residential properties, and will therefore provide more than sufficient light to existing windows.

- **Clause 55.04-3 - Standard B4-3 (Overshadowing secluded open space objective)** – As demonstrated in the shadow diagrams at drawing TP4.01 to TP4.03 of the plans, the proposed new building will not cause for any additional overshadowing to neighbouring residential properties, highlighting the appropriateness of the height and scale of the proposed development.

- **Clause 55.04-4 - Standard B4-4 (Overlooking objective)** – The proposed new building is setback 18.585 to 20.315 metres to the southern and eastern boundaries, adjoining residential land, removing any potential overlooking opportunities.

- **Clause 55.05-2 - Standard B5-2 (Overshadowing domestic solar energy systems objective)** – No. 142 Wattle Street features solar energy systems on the roof of the dwelling. As demonstrated in the shadow diagrams at drawing TP4.01 to TP4.03 of the plans, the proposed development will not cause for any additional overshadowing to the dwelling at No. 142 Wattle Street.

5.6. Other matters

TRAFFIC AND CAR PARKING

A traffic report has been prepared by Ratio Consultants and includes specific details relating to car park design, parking provision and accessways.

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The development includes 88 rooms and 38 car parking spaces, including 4 x drop off spaces and 1 x DDA space.

Generally, the proposal is considered to meet transport objectives as sufficient car parking has been provided in accordance with empirical data, and no bicycle parking spaces required pursuant to Clause 52.34.

We defer to the Traffic Report prepared by Ratio Consultants, with further regard to the provision car parking and access movements on the site.

ENVIRONMENTAL SUSTAINABILITY

A Sustainability Management Plan has been provided by the applicant in support of this application. Clause 15.01-2L seeks to achieve best practice in ESD from the design stage through to construction and operation. The measures and commitments set out in the SMP will achieve this.

Measures included within the development include:

- 20,000L tank collecting water from the roof, with water to be used for toilet flushing.
- Sensors (motion, daylight, timers) for external and common area lighting.
- 10kW Solar PV on the development.
- Shading to be provided on all rooms north facing windows, including horizontal projection with depth minimum 25% of the height of the window being shaded.
- Provision of waste and recycling facilities.
- At least 10% of the site is covered with vegetation.
- Preparation of a green travel plan.
- A BESS score of 58% demonstrating ‘best practice’.

WASTE MANGEMENT

The proposed development and design have been informed by advice from waste management consultants.

The bin storage room is located on the ground floor, in the BOH area. Bin sizes, circulation areas and access width requirements have been appropriately provided.

Waste collection is proposed to be collected on site from the ground level car park by a private waste collection contractor, directly adjacent the loading bay. The nominated waste collection vehicle is the 8.8 metre rear loader, which has a travel height clearance requirement of 3.4 metres and an operational height clearance requirement of up to 4.0 metres.

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6. Conclusion

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This proposal introduces much needed short term accommodation development in the regional town of Bendigo. It delivers 88 rooms in a building that is site responsive, having regard to the sites unique / mixed zoning, two heritage streetscapes and character of the area.

The architectural outcome is well considered and respectful to the heritage context through the scale, siting and materiality of the building, as well as the architectural features includes the window forms, footpath awning and setbacks providing for transition to the adjoining properties.

It follows that we consider that the proposal will be an appropriate addition to this site and one that responds well to strategic direction and the relevant sections of the Planning Policy Framework of the Latrobe Planning Scheme.

This statement finds:

- The development responds strongly to the objective and strategies contained within relevant local policy.
- The proposal has been appropriately designed to respect the heritage assets on the site and the surrounding heritage context.
- The development has been appropriately designed to respond to the mixed zoning that affects the subject site.
- The development will provide high levels of internal amenity and limited off-site amenity impacts.
- The development responds appropriately to the opportunity that the site presents.
- The development will significantly enhance the Bendigo City Centre by increasing footfall, supporting business, and promoting tourism.
- The proposal is sited and designed appropriately so that it will sit comfortably within the streetscape, with no significant impacts on the amenity of adjoining properties.

In our opinion, the proposal substantially satisfies the various relevant PPF and LPPF provisions and the zone controls, and that the proposal will produce a positive outcome for Bendigo and should be supported.

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