

# Traffix Group

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

ADVERTISED  
PLAN

# Waste Management Plan

Proposed Commercial Development  
101 Cremorne Street, Cremorne

Prepared for  
Case Meallin & Associates

July 2024

G32978R-03E (WMP)

**This copied document to be made available  
 for the sole purpose of enabling  
 its consideration and review as  
 part of a planning process under the  
 Planning and Environment Act 1987.  
 The document must not be used for any  
 purpose which may breach any  
 copyright**

# ADVERTISED PLAN

## Document Control

**Our Reference: G32978R-03E (WMP)**

Issue No.	Type	Date	Prepared By	Approved By
A	Draft	25/08/2023	J. Mitropoulos	M. O’Shea
B	Final	05/10/2023	J. Mitropoulos	M. O’Shea
C	Updated Final	15/11/2023	M. Jora	M. O’Shea
D	Updated Final	28/11/2023	M. Jora	M. O’Shea
E	Updated Final	3/07/2024	M. Jora	M. O’Shea

COPYRIGHT: The ideas and material contained in this document are the property of Traffix Group (Traffix Group Pty Ltd – ABN 32 100 481 570). Use or copying of this document in whole or in part without the written permission of Traffix Group constitutes an infringement of copyright.

LIMITATION: This report has been prepared on behalf of and for the exclusive use of Traffix Group’s client and is subject to and issued in connection with the provisions of the agreement between Traffix Group and its client. Traffix Group accepts no liability or responsibility whatsoever for or in respect of any use of or reliance upon this report by any third party.

# Table of Contents

- 1. Introduction..... 1**
- 2. Proposal..... 1**
- 3. Waste Management Plan..... 2**
  - 3.1. Waste Systems..... 2
  - 3.2. Management of Waste Streams..... 2
  - 3.3. Waste Generation ..... 3
    - 3.3.1. Overall Generation Rates ..... 3
    - 3.3.2. Considering Alternative Waste Streams ..... 4
  - 3.4. Waste Equipment (MGBs)..... 5
    - 3.4.1. Waste Area and Access..... 6
  - 3.5. Signage ..... 7
  - 3.6. Waste Collection Arrangements and Vehicle Access..... 8
- 4. Amenity Impacts ..... 9**
  - 4.1. Ventilation/Odour Prevention ..... 9
  - 4.2. Noise Reduction ..... 9
  - 4.3. Vermin Prevention & Litter Management ..... 9
  - 4.4. Washing Facilities and Stormwater Pollution ..... 9
- 5. Ongoing Maintenance & Sustainability Initiatives..... 10**
  - 5.1. Maintenance Management..... 10
  - 5.2. Waste Reduction Strategies..... 10
  - 5.3. Waste Management Rules ..... 11
  - 5.4. Monitoring and Review ..... 11
- 6. Contact Information ..... 12**

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

## List of Figures

Figure 1: Proposed Waste Area & Pedestrian Access Route	6
Figure 2: Waste Signage Examples	7
Figure 3: Sustainability Victoria’s Waste Management Hierarchy	10

## List of Tables

Table 1: Development Summary	1
Table 2: Waste Streams	2
Table 3: Waste Generation Rates	3
Table 4: Expected Waste Generation for the Proposed Uses	3
Table 5: Alternative Waste Streams	4
Table 6: Expected Waste Generation – Splits per Stream	4
Table 7: Waste Bins and Collection Frequencies	5
Table 8: Bin Details and Colours	5
Table 9: Waste Area Requirements	7
Table 10: Supplier Contact Information	12

## List of Appendices

Appendix A	Development Plans
Appendix B	Swept Path Diagrams

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

# 1. Introduction

Traffix Group has been engaged by Case Meallin & Associates to prepare a Waste Management Plan for the Proposed Commercial Development at 101 Cremorne Street, Cremorne.

This Waste Management Plan is intended to act as a guideline for the proposed development and may be subject to the ongoing updates, post-development.

# 2. Proposal

The proposal is for a commercial development on the site as set out in the following table.

Table 1: Development Summary

Characteristics		Description
Uses	Size/No.	Notes
Office	10,917m <sup>2</sup>	Includes the club house and lounge at Level 8.
Commercial Tenancies	596m <sup>2</sup>	Four commercial tenancies located on ground level.

Vehicle access to the site is provided via a 6.4m wide crossover to Kelso Street at the site’s north-eastern boundary.

A waste area is provided in the vicinity of the loading bay which can be accessed via the back of house areas. Waste collection is to be undertaken on-site within the loading bay via a private contractor using a 6.4m long mini rear loading waste vehicle.

A copy of the development plans prepared by CHT Architects (dated June 2024) are attached at Appendix A.

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

# ADVERTISED PLAN

### 3. Waste Management Plan

#### 3.1. Waste Systems

The waste management systems of the proposed development comprise of the following components:

- Immediate smaller bins within individual tenancies for temporary storage of garbage and recyclable waste, and
- Mobile garbage bins within the waste areas at the loading bay.

#### 3.2. Management of Waste Streams

In accordance with the Victorian Government's *Circular Economy Policy: Recycling Victoria*, food organics green organics (FOGO), glass and paper & cardboard waste have been considered separately to reduce landfill at the source.

The waste generated by the proposed development will be separated and managed into the following waste streams:

- General Garbage Waste,
- Food and Organics/Green Waste,
- Paper & Cardboard Recycling, and
- Other Commingled Recycling.

The proposed management of each of the streams/systems is detailed below.

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

Table 2: Waste Streams

Waste Type	Waste Management	
	Offices	Commercial Tenancies
Garbage	Staff will place general landfill waste in tied plastic bags and dispose of the bagged garbage directly into the garbage bins within the waste area at the loading bay.	
Recycling	Staff will dispose of loose recyclable items directly into the recycling bins within the waste area at the loading bay.	
FOGO	Organic waste generated by the office tenancies is anticipated to be low and can be accommodated within the garbage bins.	Any organic waste generated by the commercial tenancies will be disposed of directly into the organic bin within the waste area at loading bay.
Glass	Glass waste generated by the development is anticipated to be low and can be accommodated within the recycling bin.	
Paper & cardboard	Staff will dispose of loose cardboard directly into the paper & cardboard bins within the waste area at the loading bay. Cardboard shall be folded appropriately.	

## Waste Management Plan

101 Cremorne Street, Cremorne

Waste Type	Waste Management	
	Offices	Commercial Tenancies
<b>Hard Waste</b>	Staff will dispose of any hard waste via a private contractor on a required basis.	
<b>Other</b>	Staff will dispose of electric waste including batteries, phones, computers etc. with the assistance of the site operator or drop it off at Stonington Waste Transfer Station (43 Weir Street, Malvern). E-waste must not be disposed in landfill.	Any commercial tenancies operating as a food and drink premises will engage a waste contractor responsible for the storage and collection of any cooking oils and grease. Grease will be pumped to a discharge point at the loading bay for collection via private contractor.

### 3.3. Waste Generation

#### 3.3.1. Overall Generation Rates

The proposed office use has been assessed against the waste generation rate specified under the *Better Practice Guide for Waste Management and Recycling in Multi-unit Developments* by Sustainability Victoria.

The commercial tenancies at ground level are not expected to be significant self-attractors and will generally serve the office staff. We do not expect these tenancies to generate significant levels of waste, accordingly the 'office' waste rate has been adopted.

Table 3 sets out the expected waste generation for the Proposed Commercial Development.

Table 3: Waste Generation Rates

Waste Source	Garbage	Recycling
Office	10L/100m <sup>2</sup> floor area/day	10L/100m <sup>2</sup> floor area/day
Commercial Tenancies	10L/100m <sup>2</sup> floor area/day	10L/100m <sup>2</sup> floor area/day

An estimate of the total waste generated by the proposed development is detailed in Table 4.

Table 4: Expected Waste Generation for the Proposed Uses

Waste Source	Size/No.	Garbage	Recycling
Office	10,917m <sup>2</sup>	5,459L per week	5,459L per week
Commercial Tenancies	596m <sup>2</sup>	298L per week	298L per week
<b>TOTAL WASTE GENERATED</b>		<b>5,757L per week</b>	<b>5,757L per week</b>

**3.3.2. Considering Alternative Waste Streams**

A number of different land uses across the site are expected to generate FOGO and paper & cardboard waste as summarised in Table 5.

Table 5: Alternative Waste Streams

Land Use	Garbage		Recycling		
	General	FOGO	Commingled	Glass	Paper & Cardboard
Office	100%	-	50%	-	50%
Commercial Tenancies	100%	-	50%	-	50%

Based on the preceding assessment to proposal is expected to generate the following waste volumes.

Table 6: Expected Waste Generation – Splits per Stream

Waste Source	Size/No.	Garbage		Recycling		
		General	FOGO	Comingled	Glass	Paper & Cardboard
Office	10,917m <sup>2</sup>	5,459L	0L	2,729L	0L	2,729L
Commercial Tenancies	597m <sup>2</sup>	298L	0L	149L	0L	149L
Subtotal		5,757L	0L	2,878L	0L	2,878L
<b>TOTAL WASTE GENERATED</b>		<b>5,757L/week</b>		<b>5,757L/week</b>		

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**



## Waste Management Plan

101 Cremorne Street, Cremorne

### 3.4. Waste Equipment (MGBs)

Based on the determined waste generation, Table 7 provides a summary of the nominated waste storage area provisions and the frequency of collection.

Table 7: Waste Bins and Collection Frequencies

Waste Stream	Waste Volume (L/week)	Bin Capacity	No. of Bins Required	Collection Frequency (per week)
Garbage	5,757L	660L	2	2
		1,100L	2	
FOGO	0L	240L	1	As required
Recycling	2,878L	660L	1	2
		1,100L	1	
Paper & Cardboard	2,878L	1,100L	2	2

Overall, the proposed commercial development requires the following bins:

- 5 x 1,100L bins,
- 3 x 660L bins, and
- 1 x 240L bins.

Further details regarding the waste equipment required for the development are detailed in Table 8.

Table 8: Bin Details and Colours

Waste Stream	Bin Capacity	Dimensions (H x W x D) <sup>Note 1</sup>	Bin Lid Colour <sup>Note 2</sup>	Bin Body Colour <sup>Note 2</sup>
Garbage	660L 1,100L	1,200 x 1,260 x 780mm 1,330 x 1,240 x 1,070mm	Red	Dark Green
Recycling	660L 1,100L	1,200 x 1,260 x 780mm 1,330 x 1,240 x 1,070mm	Yellow	
FOGO	240L	1,060 x 585 x 730mm	Light Green	
Paper & Cardboard	1,100L	1,330 x 1,240 x 1,070mm	Blue	

Note 1. Bin capacity and dimensions are provided as an indicative dimension, sourced from Bin Supplier, 'Sulo'.  
 Note 2. Bin lid and body colours are based on the bin colour scheme set out by Sustainability Victoria.

**ADVERTISED  
PLAN**

3.4.1. Waste Area and Access

The proposed development provides a waste area located in the vicinity of the loading bay which can be accessed via the back of house areas.

The waste area and access route are illustrated at Figure 1.

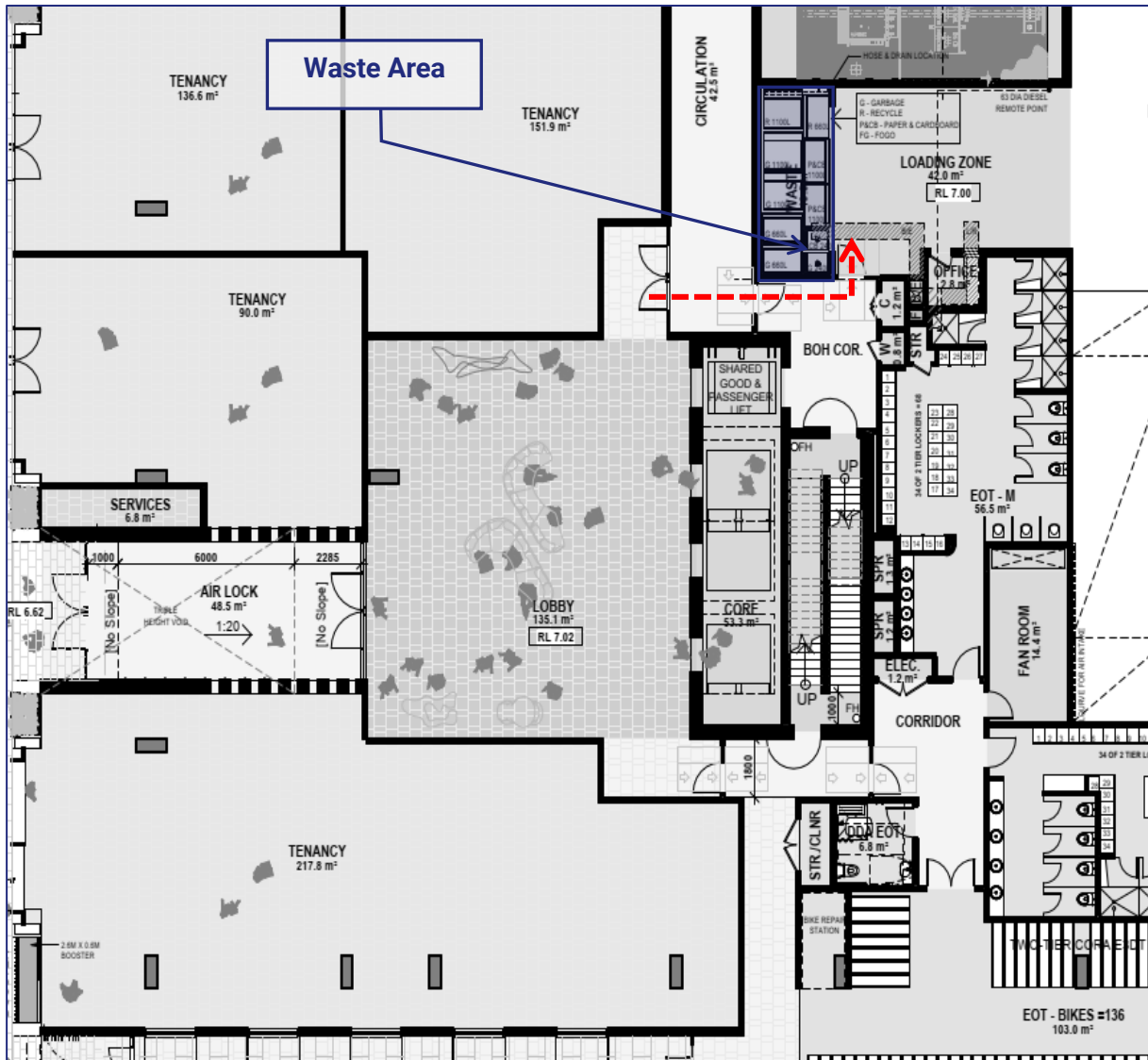


Figure 1: Proposed Waste Area & Pedestrian Access Route

**ADVERTISED  
PLAN**

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

# ADVERTISED PLAN

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

## Waste Management Plan

101 Cremorne Street, Cremorne

Table 9 details the waste area requirements based on the waste equipment proposed.

Table 9: Waste Area Requirements

Use	Waste Equipment	Net Area <sup>1</sup>	Quantity	Net Waste Storage Area Required	Waste Area Provided
Entire Development	240L	0.43m <sup>2</sup>	1	0.43m <sup>2</sup>	>10.05m <sup>2</sup>
	660L	0.99m <sup>2</sup>	3	2.97m <sup>2</sup>	
	1,100L	1.33m <sup>2</sup>	5	6.65m <sup>2</sup>	

Note 1: Net area required is calculated from the dimensions of the bins.

Based on the above, sufficient space is provided for on-site waste storage within the proposed commercial development.

### 3.5. Signage

Appropriate signage in accordance with Sustainability Victoria will be displayed on the bins and within the waste area, as illustrated in Figure 2.

The signage will help guide and encourage staff of the proposed commercial development to dispose of waste correctly into the appropriate waste streams.



Figure 2: Waste Signage Examples

### 3.6. Waste Collection Arrangements and Vehicle Access

It is proposed that waste collection will occur on-site within the loading bay. A private contractor will be engaged to collect the waste via a mini rear loading waste vehicle (typically 6.4m long and 2.1m high).

The private contractor will utilise a reversing manoeuvre and prop temporarily within the loading bay whilst the bins are emptied and exit the site in a forward's direction.

Traffix Group has provided advice to the project architect in order to accommodate vehicle access of the 6.4m long waste vehicles within the site.

Swept path diagrams demonstrating vehicle access of the 6.4m long waste vehicle entering and exiting the site in a forward's direction is attached at Appendix B.

**ADVERTISED  
PLAN**

**This copied document to be made available  
for the sole purpose of enabling  
its consideration and review as  
part of a planning process under the  
Planning and Environment Act 1987.  
The document must not be used for any  
purpose which may breach any  
copyright**

## 4. Amenity Impacts

It is the responsibility of the site operator to carry out the ongoing maintenance of all waste areas to minimise the following amenity impacts.

### 4.1. Ventilation/Odour Prevention

For developments using forced ventilation or air-conditioning system, adequate ventilation will be provided within the bin store areas in accordance with AS1668.2 to ensure waste-related odours are minimised.

Waste areas will be frequently cleaned to prevent the retainment of odours.

### 4.2. Noise Reduction

The waste facilities will comply with BCA and AS2107 acoustic requirements. Private waste collection will follow Council's and EPA guidelines to ensure acoustic impact is minimised.

Collection days and times will be determined following the confirmation of a specific private waste collection contractor by the site operator. Waste collection times should comply with the EPA Noise Control Guidelines (Publication 1254):

#### Industrial Waste Collection

- Collections occurring once a week should be restricted to the hours 6:30am – 8pm Monday to Saturday, 9am – 8pm Sunday and public holidays
- Collections occurring more than once a week should be restricted to the hours 7 am – 8pm Monday to Saturday, 9am – 8pm Sunday and public holidays

### 4.3. Vermin Prevention & Litter Management

Waste areas will be secured to prevent any unauthorised use. Waste areas will be monitored by the property manager to ensure that bins are not overfilled and any spillage resulting from waste collection is appropriately addressed. All access doors and bin lids will be kept closed at all times to prevent vermin access to the waste areas.

### 4.4. Washing Facilities and Stormwater Pollution

Third party contractors can be engaged to provide bin washing services. Alternatively, appropriate washing facilities including water supply and hose can be provided for the regular washing of the bins and waste area by the site operator. Any washing facilities provided will be connected to the sewerage for drainage to prevent any stormwater pollution.

**ADVERTISED  
PLAN**

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

## 5. Ongoing Maintenance & Sustainability Initiatives

### 5.1. Maintenance Management

Further to the occupation of the proposed development, it is the responsibility of the site operator for the ongoing operation and maintenance of the Waste Management Plan.

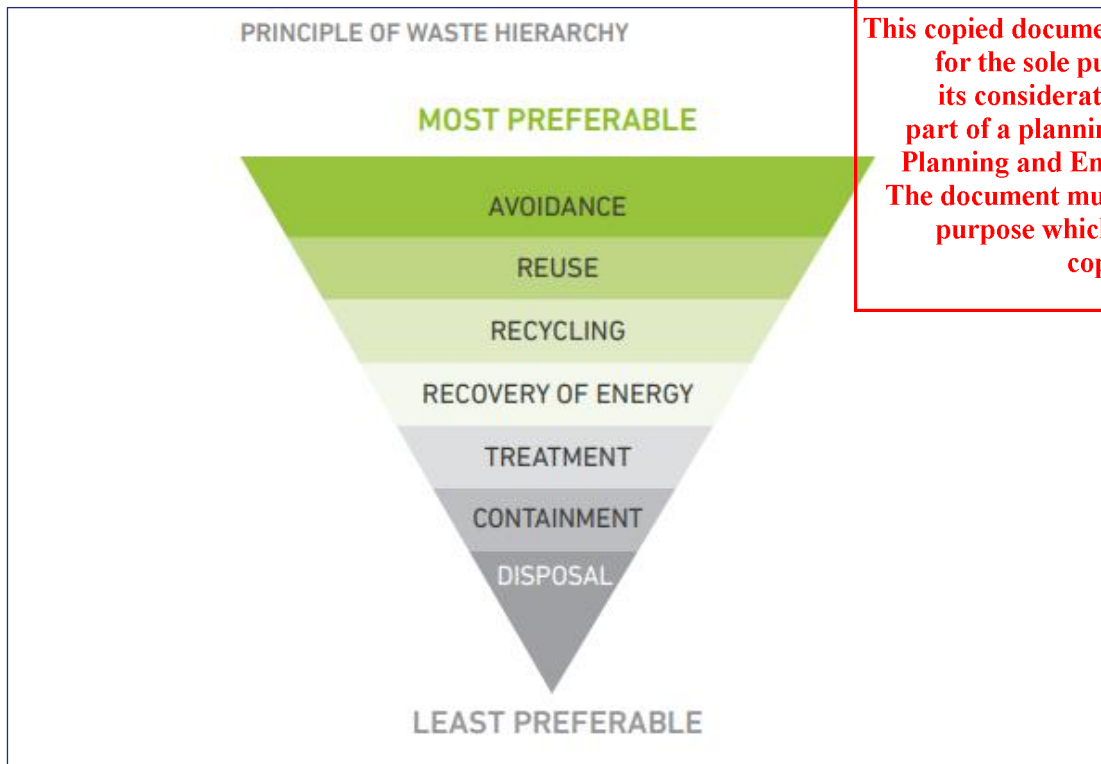
The site operator will ensure that maintenance work and upgrades are carried out on the waste areas and components of the waste system. When required, the site operator will engage an appropriate contractor to conduct maintenance services, replacements, or upgrades.

All ongoing costs are to be fully met by the site operator.

### 5.2. Waste Reduction Strategies

The site operator will be responsible to encourage staff of the proposed site centre to reduce waste disposal and recycle materials based on the waste management hierarchy set out by Sustainability Victoria.

The hierarchy is detailed at Figure 3 below.



This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

Figure 3: Sustainability Victoria's Waste Management Hierarchy

Additionally, the site operator can set targets and measures to reduce garbage going to landfill and increase recycling and choose to participate in Council's waste programs to promote sustainability initiatives.

### 5.3. Waste Management Rules

It will be the responsibility of the site operator to ensure all staff are provided with the relevant information and materials regarding the waste management system and sustainability strategies of the proposed development.

Relevant information will be provided at the waste areas to ensure that all users will operate and maintain safe practice when utilising the waste facilities.

### 5.4. Monitoring and Review

This Waste Management Plan should be monitored and reviewed on a regular basis to ensure that it meets the regulatory requirements and the expected waste generation rates outlined in Section 3.3. The site operator will be responsible for monitoring the Waste Management Plan. Where required, the site operator should undertake a waste audit to identify any modifications and/or improvements to the waste management system.

**ADVERTISED  
PLAN**

**This copied document to be made available  
for the sole purpose of enabling  
its consideration and review as  
part of a planning process under the  
Planning and Environment Act 1987.  
The document must not be used for any  
purpose which may breach any  
copyright**

## 6. Contact Information

Table 10 provides a list of common waste collection service contractors and waste equipment suppliers. The site operator is not obligated to procure goods/services from the following suppliers and reserves the right to choose their own preferred suppliers.

Traffix Group does not make representations for the goods/services provided by the suppliers listed below.

Table 10: Supplier Contact Information

Service Type	Business Name	Phone	Website
Private Waste Collectors	Citywide Waste	03 9261 5000	www.citywide.com.au
	SUEZ	13 13 35	www.suez.com.au
	Cleanaway	13 13 39	www.cleanaway.com.au
	Veolia	13 29 55	www.veolia.com/anz
	JJ Richards	03 9794 5722	www.jjrichards.com.au
	Waste Wise Environmental	1300 550 408	www.wastewise.com.au
	Kartaway	1300 362 362	www.kartaway.com.au
	iDump	1300 443 867	www.idump.com.au
	Waste Ninja	1300 648 088	www.wasteninja.com.au
E-Waste Collection	TechCollect	1300 229 837	www.techcollect.com.au
	ToxFree	1300 869 373	www.toxfree.com.au
Equipment Supplier	Sulo Australian (bin supplier)	03 9357 7320	www.sulo.com.au
	Mr Wheelie Bin (bin supplier)	03 9912 2850	www.mrwheeliebin.com.au
	Electrodrive (tug supplier)	1300 934 471	www.electrodrive.com.au
	Warequip (tug supplier)	1800 337 711	www.warequip.com.au
	Wastech Engineering (compactors & chutes)	1800 465 465	www.wastech.com.au
	Elephants Foot (compactors & chutes)	1300 435 374	www.elephantsfoot.com.au
	ASI JD MacDonald (chutes)	1800 023 441	www.jdmacdonald.com.au
	Eco-safe Technologies (odour control system)	1300 135 039	www.eco-safe.com.au



Service Type	Business Name	Phone	Website
Bin Washing Services	The Bin Butlers	1300 788 123	www.thebinbutlers.com.au
	WBCM Environmental Australia	1300 800 621	www.wbcm-aust.com.au
	Kerbside Clean-A-Bin	03 9588 1944	www.kerbsidecleanabin.com.au

## ADVERTISED PLAN

**This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright**

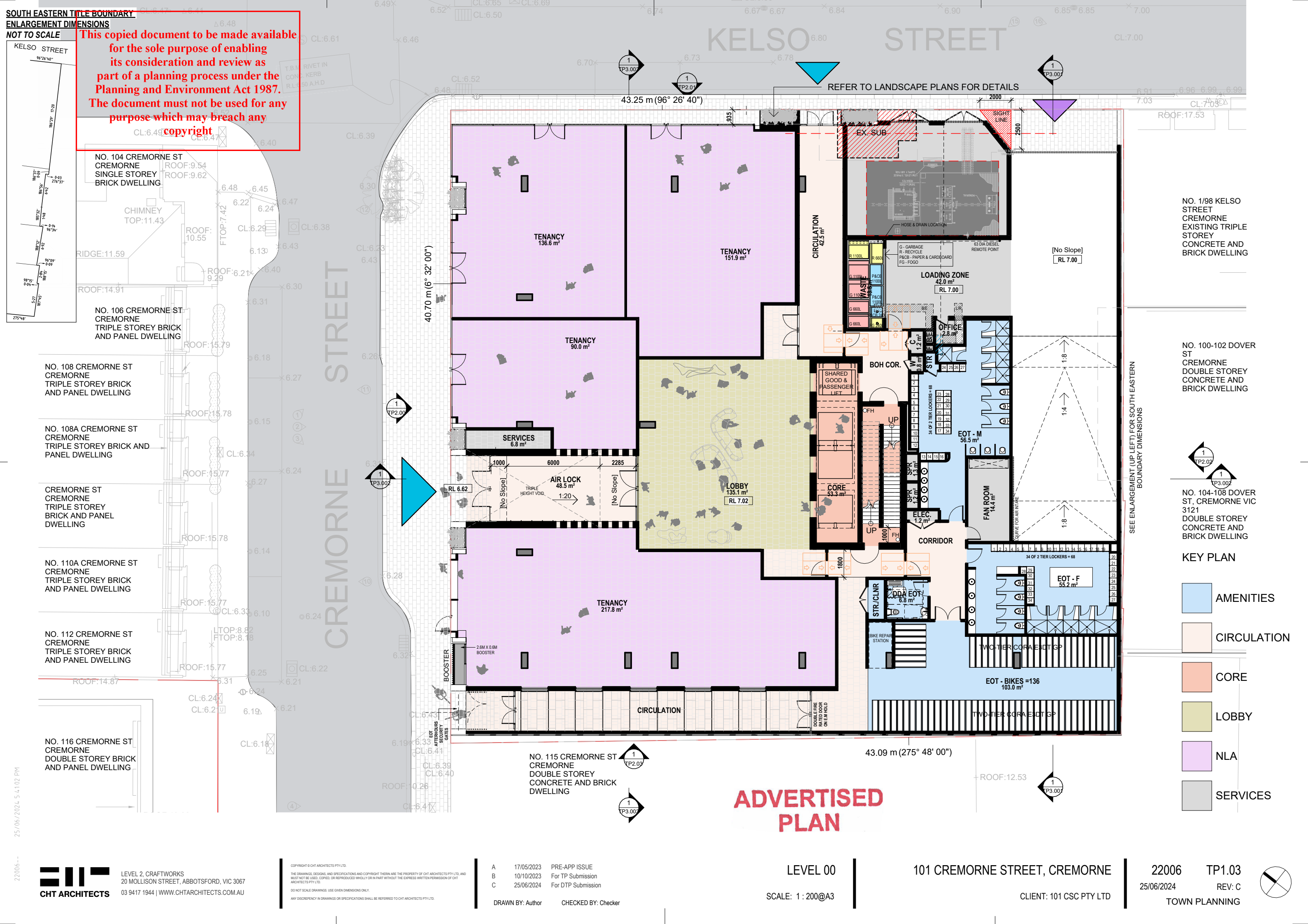


# Appendix A

## Development Plans

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

**ADVERTISED  
PLAN**



**SOUTH EASTERN TITLE BOUNDARY ENLARGEMENT DIMENSIONS**  
**NOT TO SCALE**  
 This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NO. 104 CREMORNE ST CREMORNE SINGLE STOREY BRICK DWELLING

NO. 106 CREMORNE ST CREMORNE TRIPLE STOREY BRICK AND PANEL DWELLING

NO. 108 CREMORNE ST CREMORNE TRIPLE STOREY BRICK AND PANEL DWELLING

NO. 108A CREMORNE ST CREMORNE TRIPLE STOREY BRICK AND PANEL DWELLING

CREMORNE ST CREMORNE TRIPLE STOREY BRICK AND PANEL DWELLING

NO. 110A CREMORNE ST CREMORNE TRIPLE STOREY BRICK AND PANEL DWELLING

NO. 112 CREMORNE ST CREMORNE TRIPLE STOREY BRICK AND PANEL DWELLING

NO. 116 CREMORNE ST CREMORNE DOUBLE STOREY BRICK AND PANEL DWELLING



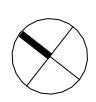
NO. 1/98 KELSO STREET CREMORNE EXISTING TRIPLE STOREY CONCRETE AND BRICK DWELLING

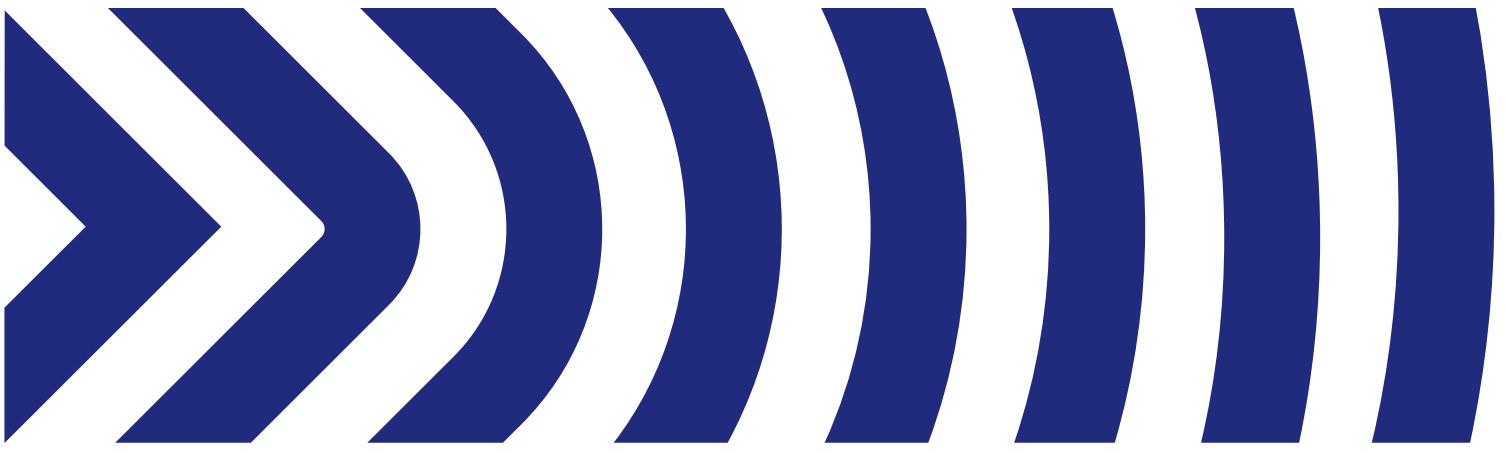
NO. 100-102 DOVER ST CREMORNE DOUBLE STOREY CONCRETE AND BRICK DWELLING

NO. 104-108 DOVER ST, CREMORNE VIC 3121 DOUBLE STOREY CONCRETE AND BRICK DWELLING

SEE ENLARGEMENT (UP LEFT) FOR SOUTH EASTERN BOUNDARY DIMENSIONS

25/06/2024 5:41:02 PM





# Appendix B

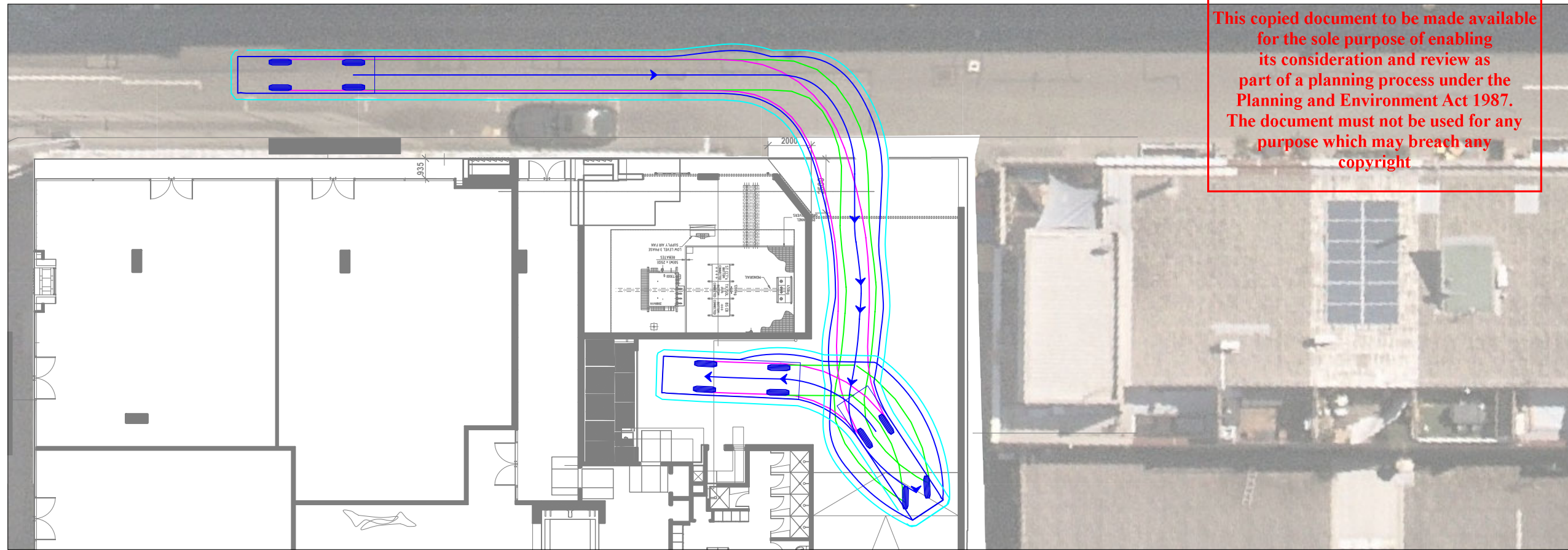
## Swept Path Diagrams

This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

**ADVERTISED  
PLAN**

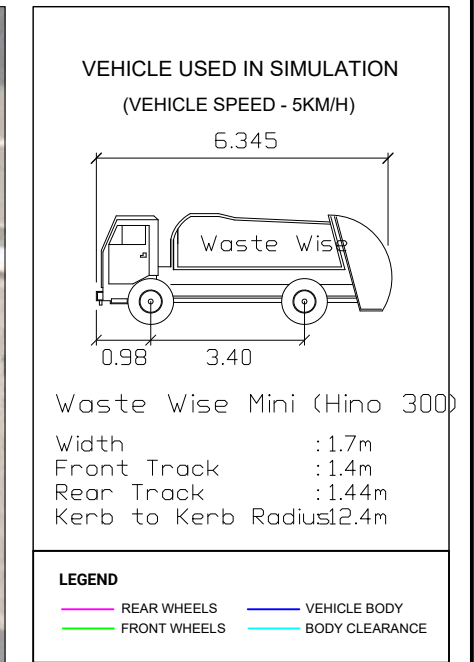


6.4m WASTE TRUCK - INGRESS

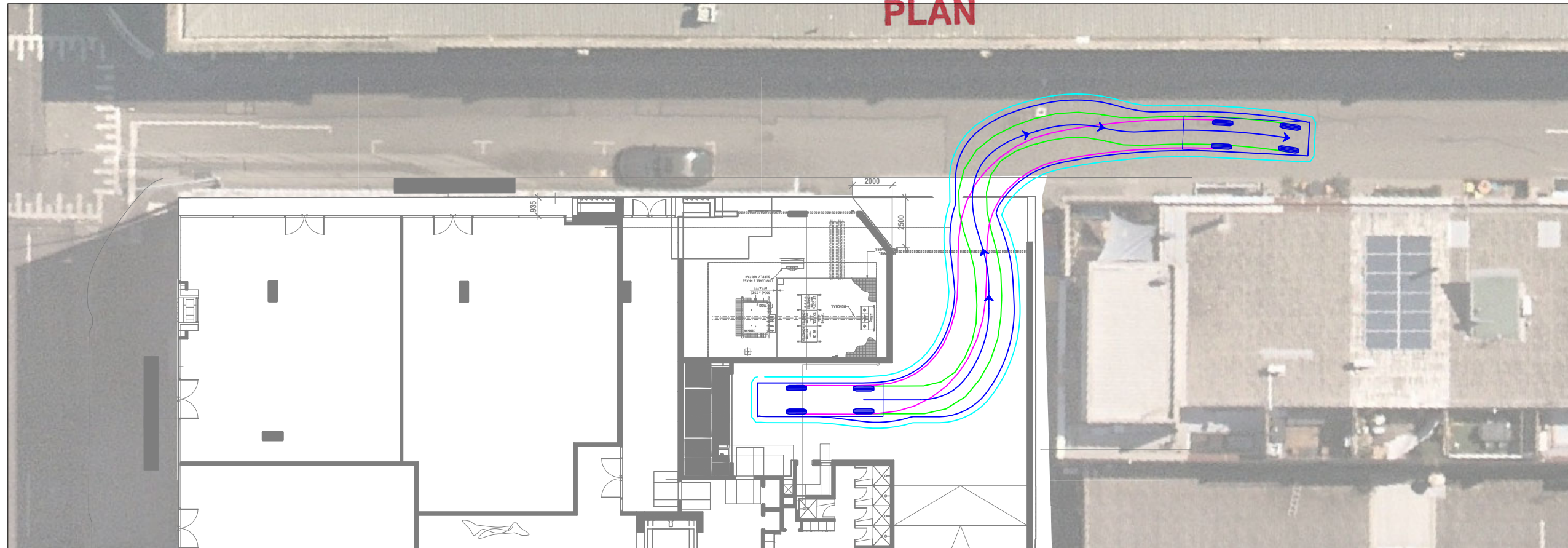


This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

VEHICLE PROFILE



6.4m WASTE TRUCK - EGRESS



ADVERTISED PLAN

REV	DATE	NOTES	DESIGNED BY	CHECKED BY
A	05/10/2023	TOWN PLANNING	S. STEPHENSON	L. FURNESS
B	10/11/2023	UPDATED PLANS	S. STEPHENSON	L. FURNESS
C	28/11/2023	UPDATED PLANS	S. STEPHENSON	L. FURNESS
D	03/07/2024	UPDATED PLANS	S. STEPHENSON	L. FURNESS

**101 CREMORNE STREET, CREMORNE**  
PROPOSED COMMERCIAL DEVELOPMENT

**GENERAL NOTES:**  
BASE INFORMATION FROM:  
FloorPlan-GROUND FLOOR.dwg  
DRAWINGS BY: CHT Architects

FILE NAME: G32978-01D  
SHEET NO.: 02



SCALE: 1:200 (A3)

COPYRIGHT: The ideas and material contained in this document are the property of Traffic Group (Traffic Group Pty Ltd - ABN 32 100 481 570). Use or copying of this document in whole or in part without the written permission of Traffic Group constitutes an infringement of copyright.

**Traffic Group**  
Level 28, 459 Collins St, MELBOURNE VIC 3000  
T: (03) 9822 2888  
www.trafficgroup.com.au