

# Planning Assessment Officer Report

PA2503518 – 1-3, 5  
Killarney Drive, Melton



Officer Assessment Report  
Development Assessment



Department  
of Transport  
and Planning

OFFICIAL



## Contents

<b>Executive Summary</b>	<b>2</b>
<b>Proposal</b>	<b>3</b>
<b>Application Process</b>	<b>3</b>
<b>Proposal Summary</b>	<b>3</b>
<b>Subject Site and Surrounds</b>	<b>11</b>
<b>Planning Provisions</b>	<b>12</b>
<b>Zoning and Overlays</b>	<b>13</b>
<b>Particular and General Provisions</b>	<b>14</b>
<b>Referrals and Notice</b>	<b>15</b>
<b>Assessment</b>	<b>18</b>
<b>Recommendation</b>	<b>34</b>

# Executive Summary



Key Information	Details		
<b>Application No:</b>	PA2503518		
<b>Received:</b>	10 February 2025		
<b>Statutory Days:</b>	60 days as at 05/05/2026		
<b>Applicant:</b>	Blur Architecture		
<b>Planning Scheme:</b>	Melton		
<b>Land Address:</b>	1-3, 5 Killarney Drive, Melton		
<b>Proposal:</b>	Buildings and works for including the construction of a double storey building, building additions, car park (associated with an education centre) and business identification signage.		
<b>Development Value:</b>	\$ 4.5 m		
<b>Why is the Minister responsible?</b>	In accordance with the schedule to Clause 72.01 of the Melton Planning Scheme, the Minister for Planning is the Responsible Authority for this application because it is for the development of school building that is ancillary to, carried out in conjunction with and on the same land or contiguous land in the same ownership as a primary school and the estimated cost is greater than \$3 million.		
<b>Why is a permit required?</b>	<b>Clause</b>	<b>Control</b>	<b>Trigger</b>
<b>Zone:</b>	Clause 32.03-4	Low Density Residential Zone Schedule 1 (LDRZ1)	<i>Buildings and works associated with a Section 2 Use</i>
<b>Overlays:</b>			N/A
<b>Particular Provisions:</b>	Clause 52.06	Car Parking	N/A
	Clause 52.05	Signs	<i>To display business identification signage</i>
	Clause 52.34	Bicycle Facilities	N/A
	Clause 53.19	Non-government schools	
<b>Cultural Heritage:</b>	An approved CHMP has been provided for 5 Killarney Drive, Melton.		
<b>Title:</b>	Volume 10616 Folio 421 Volume 10616 Folio 961		
<b>Covenants, caveats, encumbrances:</b>	Covenant PS438441B <i>Lots 44, 45 &amp; 46 are not subject to the requirements of the restriction.</i>		
<b>Total Site Area:</b>	12,986	m <sup>2</sup>	
<b>Referral Authorities:</b>	Melton City Council (S52)		
<b>Public Notice:</b>	Notice of the application was sent to surrounding property owners and occupiers and Council.		



## Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
Application lodgement	10 February 2025
Further information requested	27 February 2025
Further information received	27 October 2025 2 December 2025 6 March 2026 – approved CHMP
Decision Plans	Plans prepared by <b>Blur Architects</b> , titled ' <b>P-12 School (Expansion)</b> ' Rev. C and dated <b>28/11/2025</b>
Other Assessment Documents	<ul style="list-style-type: none"><li>• Landscape plan prepared by Spiire Landscape, Rev 02, dated 22/10/2025.</li><li>• Traffic Engineering Assessment, prepared by Traffix Group, dated 02 December 2025.</li><li>• Approved CHMP prepared by Andrew Long &amp; Associates dated 4<sup>th</sup> March 2026.</li></ul>

2. The subject of this report is the decision plans (as described above).

## Proposal Summary

3. Planning permit application PA2503518 proposes a new 2 storey education building.
4. Specific details of the application include:

### Stage 1A

- Proposed two (2) level learning building.
  - Library – Ground floor (Building I)
  - Ground floor classroom (Building H)
  - Upper level conference room – can be separated into two spaces, two storerooms and meeting room (Building I)
  - Upper level staff room, staff lunch room and bathrooms (Building H)
- Additions to existing school building C (new Building J) with 2 new classrooms.
- New car parking (increase from 30 to 88 car spaces) and 4x new bus bays at 5 Killarney Drive. Partially finished in gravel parking.
- Associated landscaping.

### Stage 1B

- Outdoor learning area and new playground
- New canteen associated with Building J.

- Community garden and new playground.

5. The applicant has provided the following concept images of the proposal:



Figure 1: Current site conditions



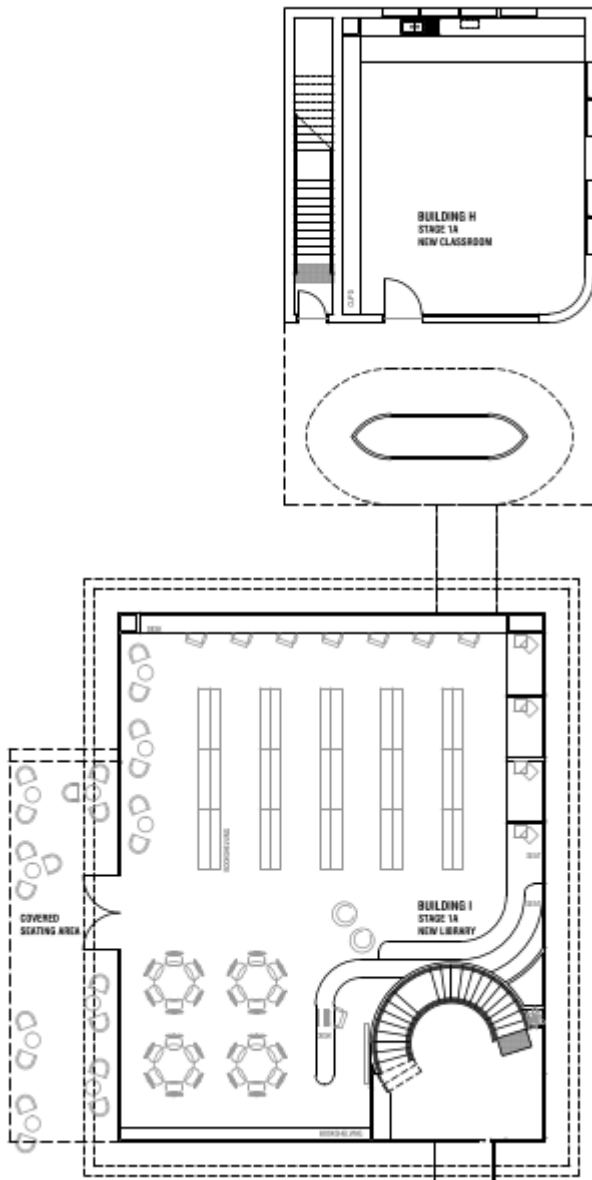


Figure 3: Ground floor

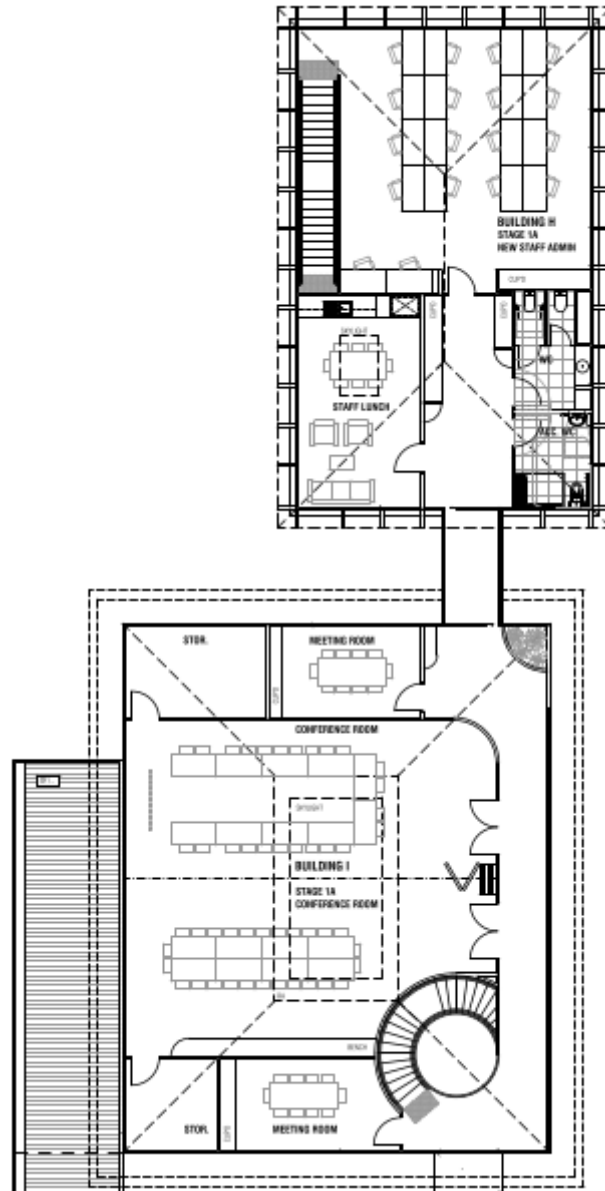


Figure 4: Level 1 floor plan

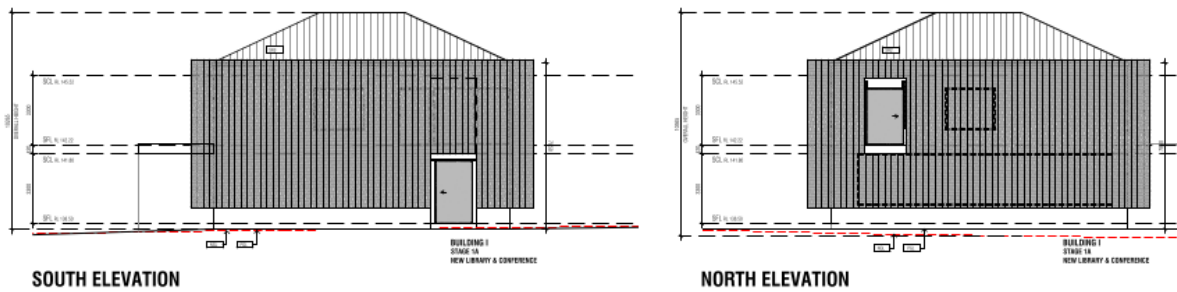


Figure 5: South and North Elevation of Building 'I'

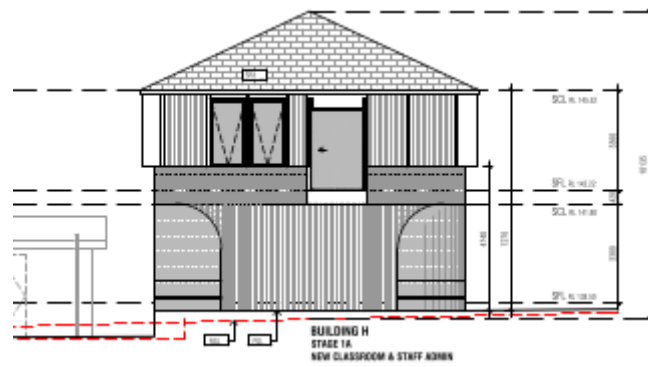


Figure 6: South Elevation Building 'H'

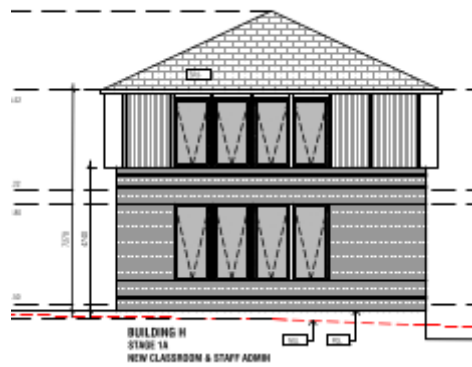


Figure 7: North Elevation Building 'H'



Figure 8: East Elevation

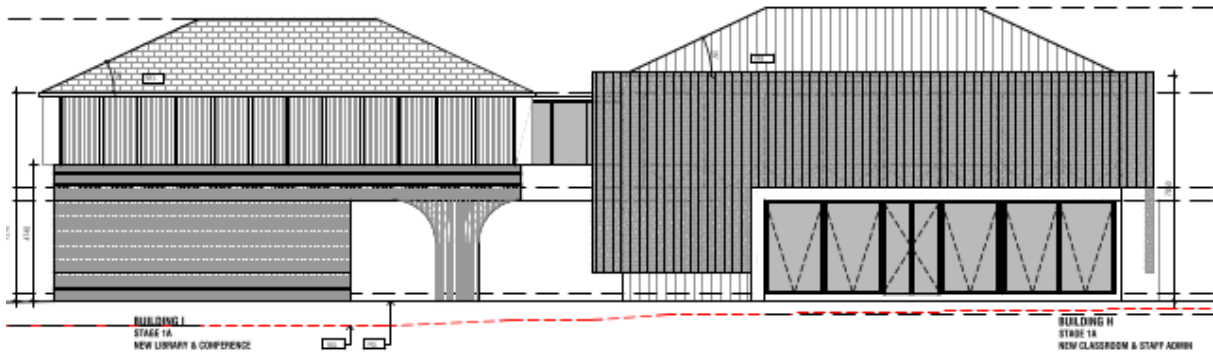


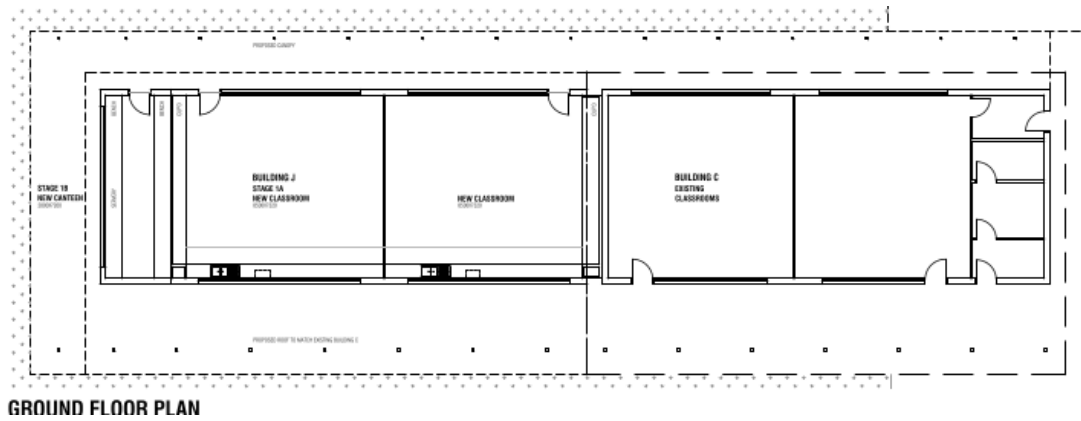
Figure 9: West Elevation



Figure 10: Street Elevation

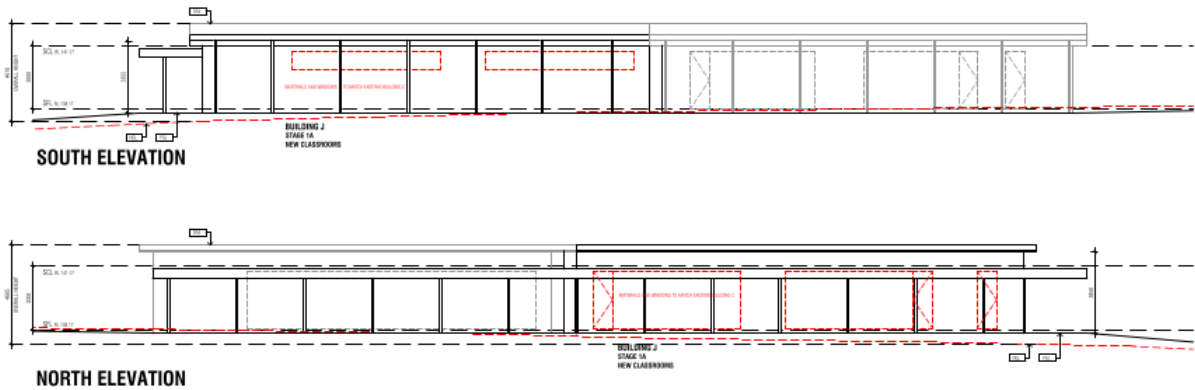


Figure 11: Internal courtyard view



**GROUND FLOOR PLAN**

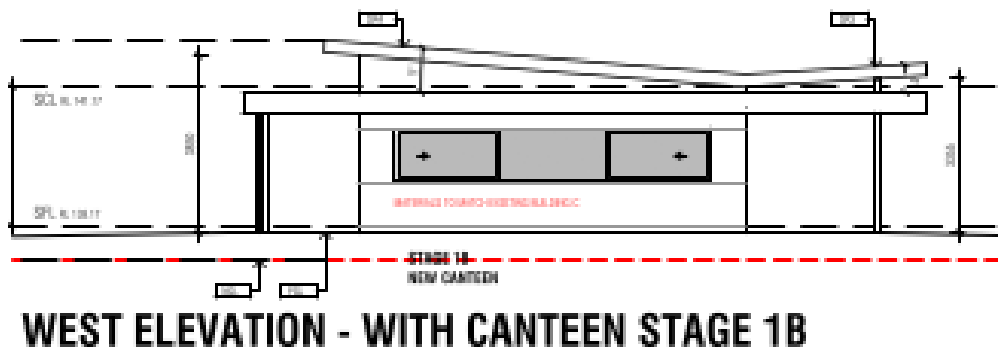
*Figure 12: Ground floor of Building J*



**SOUTH ELEVATION**

**NORTH ELEVATION**

*Figure 13: South and North elevation Building J*



**WEST ELEVATION - WITH CANTINE STAGE 1B**

*Figure 14: West elevation Building J*



## Site Description

6. The site is located at 1 – 3 Killarney Drive, Melton. The overall site is irregular in shape and located on the western side of Killarney Drive.
7. This application comprises of the central portion of the site, with the remainder of the site consisting of the broader school grounds and buildings. This includes the building and shed to the northern portion of the site that is currently being used by the school.



Figure 15: Subject Site (Source: Applicant)

## Site Surrounds

8. Development surrounding the site can be described as follows:
  - To the **north** of the site:  
Directly to the north of the site is Killarney Drive and more broadly to the north is Killarney Lakes Reserve.
  - To the **south** of the site:  
The south of the site is boarded by Sherwin Court and further to the south is a roof truss factory.
  - To the **east** of the site:  
To the east of the site is the Little Starts Childcare and Kindergarten.
  - To the **west** of the site:  
To the west of the site is the Killarney Lakes Drainage Reserve



## Municipal Planning Strategy

9. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.03-1	<p>Settlement</p> <p><i>In established areas, growth is occurring through higher density housing development and infill development. The established areas also contain several new suburbs that will be incrementally developed as the population increases.</i></p> <p><i>Planning for established areas seeks to:</i></p> <ul style="list-style-type: none"> <li>• <i>Manage the impacts of significant population growth on established areas, including pressures on existing transport and community infrastructure.</i></li> </ul>
02.03-5	<p>Built environment and heritage</p> <p>Building and urban design</p> <p><i>The quality and character of the urban fabric impacts on the image, amenity and liveability of a place. Good planning and design outcomes can build connection to place, enhance community cohesion and create a sense of safety.</i></p> <p><i>Planning for building and urban design seeks to:</i></p> <ul style="list-style-type: none"> <li>• <i>Improve urban design outcomes to enhance the safety and liveability of neighbourhoods, activity centres and public spaces so that they are engaging for all.</i></li> <li>• <i>Improve landscaping in both the public and private realm to enhance the quality and functionality of green spaces.</i></li> </ul> <p>Energy and resource efficiency</p> <p><i>Environmental performance of the built environment plays an important role in creating a sustainable City that is more resource, energy and water efficient and resilient to the impacts of climate change.</i></p> <p><i>Planning for energy and resource efficiency seeks to:</i></p> <ul style="list-style-type: none"> <li>• <i>Incorporate Environmentally Sustainable Design principles into development.</i></li> <li>• <i>Implement principles of sustainability, including water sensitive urban design through precinct structure plans in growth areas.</i></li> <li>• <i>Retain trees to reduce the urban heat island effect.</i></li> </ul>
02.04-1	Strategic framework plans

## Planning Policy Framework

10. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	<p>Settlement</p> <p>Settlement</p> <p><i>To facilitate sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.</i></p> <p><i>Provide for growth in population and development of facilities and services across a regional or sub-regional network in accordance with housing targets.</i></p> <p><i>Facilitate environmentally resilient settlements by:</i></p> <ul style="list-style-type: none"> <li>• <i>Integrating the management of water resources into urban environment in a way that supports water security, public health, environment and amenity outcomes.</i></li> <li>• <i>Minimising exposure to natural hazards.</i></li> <li>• <i>Contributing to net zero greenhouse gas emissions through renewable energy infrastructure and energy efficient urban layout and urban design.</i></li> <li>• <i>Supporting metropolitan and regional climate change adaption and mitigation measures.</i></li> <li>• <i>Supporting cooling and greening measures for urban areas.</i></li> </ul>
11.01-1S	
Clause 15	Built Environment and Heritage
15.01-1S	Urban Design



*To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*

*Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitation accessibility and providing for inclusiveness.*

*Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*

<b>15.01-1L-04</b>	<p>Signs</p> <p><i>Design sign supporting structures so they do not visually detract from the façade of the building. Incorporate signs into the architectural design of the building form.</i></p>
<b>15.01-2S</b>	<p>Building Design</p> <p><i>To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.</i></p> <p><i>Encourage water efficiency and the use of rainwater, stormwater and recycled water.</i></p> <p><i>Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.</i></p> <p><i>Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.</i></p> <p><i>Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.</i></p>
<b>15.01-4S</b>	<p>Healthy neighbourhoods</p> <p><i>To achieve neighbourhoods that foster healthy and active living and community wellbeing.</i></p> <p><i>Create 20 minute neighbourhoods, that give people the ability to meet the most of their everyday needs within a 20 minute walk, cycle or local public transport trip from their home.</i></p>
<b>Clause 19</b>	<b>Infrastructure</b>
<b>19.02-2S</b>	<p>Education facilities</p> <p><i>Consider demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.</i></p> <p><i>Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities.</i></p> <p><i>Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).</i></p>
<b>19.03-3S</b>	<p>Integrated Water Management</p> <p><i>To sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach.</i></p>

11. The assessment section of this report provides a detailed assessment of the relevant planning policies.

## Zoning and Overlays

### Applicable Zone

#### Low Density Residential Zone

12. A planning permit is required for the use of land and to construct a building or construct or carry out works in accordance with a Section 2 use of **Clause 32.03-4**.

13. The purpose of the **Low Density Residential Zone** is:

- To implement the *Municipal Planning Strategy* and the *Planning Policy Framework*.
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.



## Applicable Overlay

14. The site is not affected by any overlays.

## Particular and General Provisions

### Provisions that Require, Enable or Exempt a Permit

#### Clause 52.05 (Signs)

15. Clause 52.05 seeks to regulate the development of signs to ensure that they are compatible with the amenity and visual appearance of an area including existing or desired future character.
16. The requirements of Clause 52.05 apply to the subject site, the site is in a Category 3 – High amenity areas.
17. A permit is required pursuant to Clause 52.05-13 and is required to display business Identification and internally illuminated signs.

#### Clause 52.06 (Car Parking)

18. Amendment VC277 was gazetted on 18 December 2025 which amended Clause 52.06 (Car Parking) to amend car parking requirements to align car parking rates with demand and reduce the number of car parks required in locations well-served by public transport.
19. The subject site is located in a Category 1 where minimum car parking requirements apply.
20. Pursuant to Clause 52.06-12 'Transitional Provision A', a reference to 'clause 52.06-5' in the current clause is taken to be a reference to 'clause 52.06-5' in the former clause in respect of a transition proposal (except in relation to a maximum carparking requirement) if both of the following apply:
  - The transition proposal is for a use specified in Table 1 to the current clause.
  - The number of car parking spaces that would be required for the transition proposal under the former clause remains the same as the minimum number of car parking spaces required under the current clause.
21. The application has confirmed that there is no proposed increase to teaching staff or student numbers as part of the development.

#### Clause 52.34 (Bicycle Facilities)

22. The application is a not a new use and there is no increase in the number of students or teaching staff which would require a change to the current bicycle parking arrangements.

#### Clause 53.19 (non-government schools)

23. Clause 53.19 applies to the use and development of land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.
24. An application to which Clause 53.19 applies, exempts it from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act.

#### Clause 53.18 Stormwater in Urban development

25. Clause 53. 18 (Stormwater in urban developments) applies to this application for buildings and works. The clause includes standards and objectives relating to stormwater management and aims to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.



## Referrals

26. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 52 notice	Melton City Council	12/03/2025 – Objection 30/01/2026 – No objection subject to conditions

## Municipal Council Comments

27. The Melton City Council (the council) initially objected to the proposal and provided the following comments:

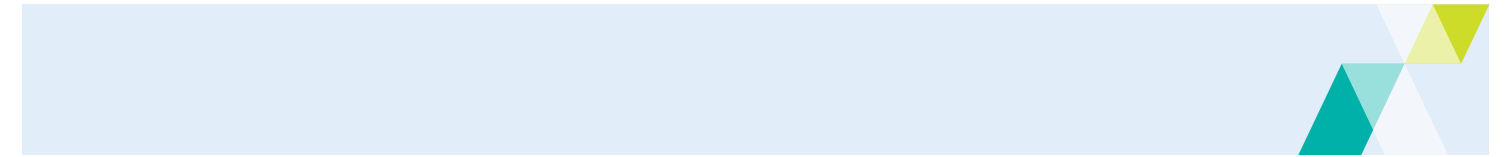
- Council notes that the proposal seeks to increase the number of students at the existing education centre from 160 (approved by Council under Planning Permit PA2001/134/4) to 350 and increase the number of staff from 17 to 45 across three stages. Council advises that the increase in the number of students is significant and likely to have an adverse impact on the amenity of an existing low density residential area in terms of noise and traffic in relation to the existing road network where there is currently only one road in and out of this area. In addition, Council is concerned that the proposed increase in the number of people from 100 to 150 for extra circular activities held at weekends on the subject land will also have an adverse amenity impact in terms of noise and traffic.
- The applicant initially sought approval from Council to increase the number of students to 300 as part of Planning Application PA2001/134/4. However, Council advised that applicant that it would not support this increase due to the likely adverse impacts it would have on the amenity of the area and that the site was not suitable in terms of its size and location to accommodate any large increase in student numbers or further expansion of the existing education centre.
- Council is also concerned that queuing will occur on site and potentially spread onto Killarney Drive and Sherwin Court during peak drop off and pick off times. This may also lead to conflict with vehicles attempting to exit car parking spaces on the subject land. From a safety perspective, cars reversing out of parking bays is a road safety risk and hazard for school children. As the proposed car parking is shared between staff and visitors it is recommended that the proposal consider providing dedicated parallel parking bays for pick up and drop off. This would minimise the number of vehicles reversing on the site.
- Council does not support the provision of tandem car parking spaces as it has the potential to create traffic conflict within the subject site. However, should DTP support the provision of tandem car parking for the proposed development, the plans should be updated to show that all tandem parking is for staff only and is also appropriately line marked and sign posted.
- The provision of tandem car parking spaces in the north-east corner of the subject site as part of Stage 2 are located too close to the vehicle crossover proposed on Killarney Drive. These car spaces are likely to cause adverse impacts and potential conflict between vehicles entering and existing these spaces and those entering and existing the subject land. Therefore, it is requested that the car spaces closest to the proposed vehicle crossover be removed.
- The plans need to be updated to clearly mark the location and dimensions of the bus pick up and drop off areas. The bus pick up and drop off area will also need to be line marked and sign posted.
- The proposed two storey-built form is unlikely to complement and respect the existing and preferred neighbourhood character of the area which can be described as single storey detached dwellings/buildings with large setbacks from the front boundary and generally obscured from view from the street.
- The plans do not include detailed floor layout and elevations plans for the Multi-Purpose Hall (Building K) proposed as part of Stage 2. The size and scale of this building also has the potential to have an adverse impact on the amenity and neighbourhood character of the existing low density residential area.
- The plans fail to provide any details (location, logo, message to be displayed, dimensions, display area, form of illumination, supporting structure etc) of the three business identification signs to be displayed for the proposed staged redevelopment as required under Clause 52.05-6 of the Melton Planning Scheme.



- Overall, Council considers that the proposed staged redevelopment of the subject land will result in a significant intensification of the existing education centre that is inappropriate in the context of subject site, will adversely impact the amenity of an existing low density residential area and is inconsistent with the purpose of the Low-Density Residential Zone. Council also has concerns that an increase in the intensity of an existing school (particularly at the entrance to the estate) will lead to negative impacts on the amenity of the adjoining and surrounding area in terms of noise and traffic.
  - Council does not consider that the location and size of the subject land are suitable for an intensification of the subject land contemplated by the proposed staged redevelopment of the existing education due to the potential adverse impacts on traffic and the existing adjoining and surrounding road network. The proposal is also a significant departure from the number of students approved by Council for the subject land as part of Planning Permit PA2001/134/4.
28. Following amendment of the application on 2<sup>nd</sup> December 2025 and re-referral of the application on 4<sup>th</sup> December 2025, the Melton City Council (the council) considered the amended application and have no objection to the proposal subject to conditions and has provided the following comments.
- Council notes that the proposal has been amended to show that all buildings and works proposed as part of the above application are confined to Stage 1A of masterplan and involve the following:
    - Stage 1A – Construction of three new classrooms Library/Conference building, New car park (gravel)
    - Stage 1B – Canteen, Playground and Community Garden, Outdoor learning space.
  - Council also notes that there will be no change to the operational requirements in relation to the number of students (160) currently permitted under Planning Permit PA2001/134/4 or to the number of staff currently employed. Please note that as outlined in our previous correspondence dated 12<sup>th</sup> March 2025, Council does not support any increase in the number of students as it is likely to have an adverse impact on the amenity of an existing low density residential area in terms of noise and traffic in relation to the existing road network.
  - Council advises that it does not generally support the provision of tandem car parking spaces as it has the potential to create traffic conflict within the subject site. However, should DTP support the provision of tandem car parking for the proposed development, the plans should be updated to show that all tandem parking is for staff only and is also appropriately line marked and sign posted.
  - Council recommends that all new proposed car parking areas, internal circulation routes, and pedestrian accessible paths are designed and constructed as sealed (concreted or asphalted) surfaces. This will minimise dust emissions from gravel, which pose potential safety and health risks to the surrounding neighbourhood and road network.
  - A suggested suite of conditions for the proposal is attached for your consideration should the Department of Transport and Planning decide to grant a planning permit for the proposal.

## Notice

29. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the application is exempt from the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Planning and Environment Act 1987.
30. The applicant was directed to give notice by way of erecting a sign/s on the site and notifying adjoining owners and occupiers.
31. Five (5) objections have been received, raising the following issues:
- Neighbourhood Character and built form.
  - Overshadowing and loss of residential amenity.

- 
- Traffic, parking and road safety.
  - Noise and operational amenity impacts
  - Proposal doesn't respond to the low-density residential zone.
  - Parking issues for drop off and pick up of students.
  - Limited vehicle access to the estate.
  - Lack of footpaths within the estate.
  - Disruption to native wildlife.



## Strategic Direction and Land Use

33. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in education options to meet existing and future needs, and integrates transport and infrastructure planning.
34. The relevant MPS and PPF policies have been considered in assessing the application.
35. The proposed land use is consistent with the strategic direction of the following policies.
- Clause 11.01-1S Settlement seeks to facilitate sustainable development and growth and develop sustainable communities through a settlement framework that provides convenient access to jobs, services, infrastructure and community facilities.
  - Clauses 15, 15.01-1S, 15.01-1L and 15.01-1S collectively have the following objectives relating to design: *'To create the urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.'*

And the following strategies which provided the following guidance:

- *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*
- *Ensure the form, scale and appearance of development enhances the function and amenity of the public realm.*
- *Encourage building heights to respect the scale of built form in the area, including any adjoining residential area.*
- Clause 19.02-2S provides the following guidance for education facilities:

*To assist in the integration of education and early childhood facilities with local and regional communities.*

- *Consider the demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.*
- *Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities.*
- *Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).*

36. The proposal will deliver a high-quality design on the subject site which has a built form consistent for a residential area and responds to the key aspirations of clause 19.02-2S. This will ensure adequate community facilities and services for the area and will improve the amenity and visual appearance of the area.
37. The proposal will contribute to secondary school facilities within the Melton area. The area is an established residential area and is shown in the strategic framework plan as an urban area which is undergoing urban renewal with areas of subdivision to the south. The provision of upgraded educational facilities complements the strategic direction for well-located community facilities and has previous planning permits approved by the council.

### **Low Density Residential Zone – Schedule 1**

38. The purpose of the zone is to:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*



39. Clause 32.03-6 does not provide guidance for non-residential use and development. The site has a permit for the use for a school via a council permit and the development has a scale and intensity, design, height, setback and appearance which is compatible with residential uses.
40. The siting and design of the school building ensures limited residential interfaces with the building located centrally within the site, and setback 26m from the Killarney Drive frontage.

### **Cultural Heritage Management Plan (CHMP)**

41. A cultural heritage management plan has been prepared by Andrew Long + Associates, CHMP 20683, approved on the 4<sup>th</sup> March 2026. This was submitted on 6<sup>th</sup> March 2026, and its conditions will be required to be adhered to.

### **Buildings and Works**

42. Detailed plans have been submitted for the proposed new school building.
43. The works for the new double storey school buildings (Stage 1A and Stage 1B) includes the following:

#### Ground floor – Stage 1A

- Library.
- Classroom

#### Ground – Stage 1B

- Outdoor learning space.

#### First floor – Stage 1A

- Conference/meeting room and store rooms
- Staff/administration room
- Staff lunchroom
- bathrooms

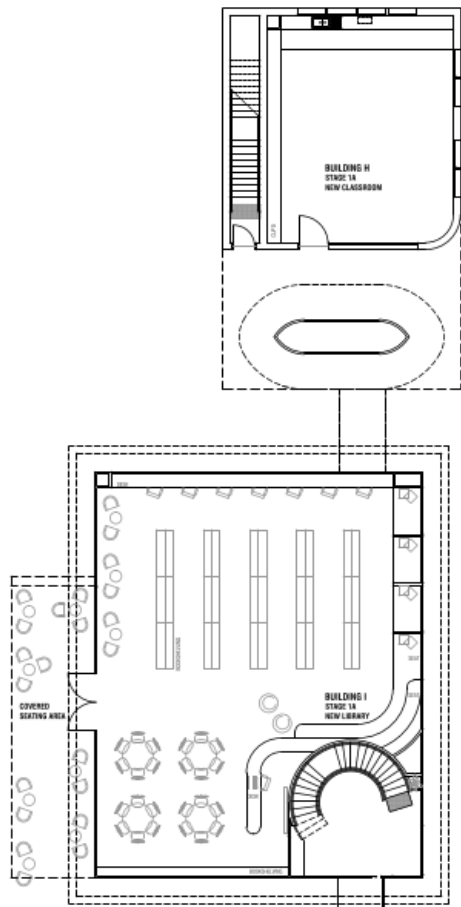


Figure 16: First Floor Stage 1A

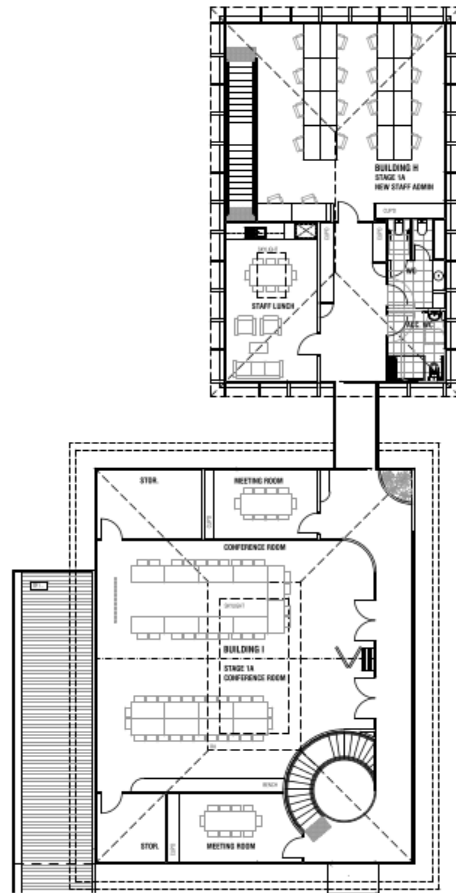


Figure 17: Ground floor layout Stage 1A

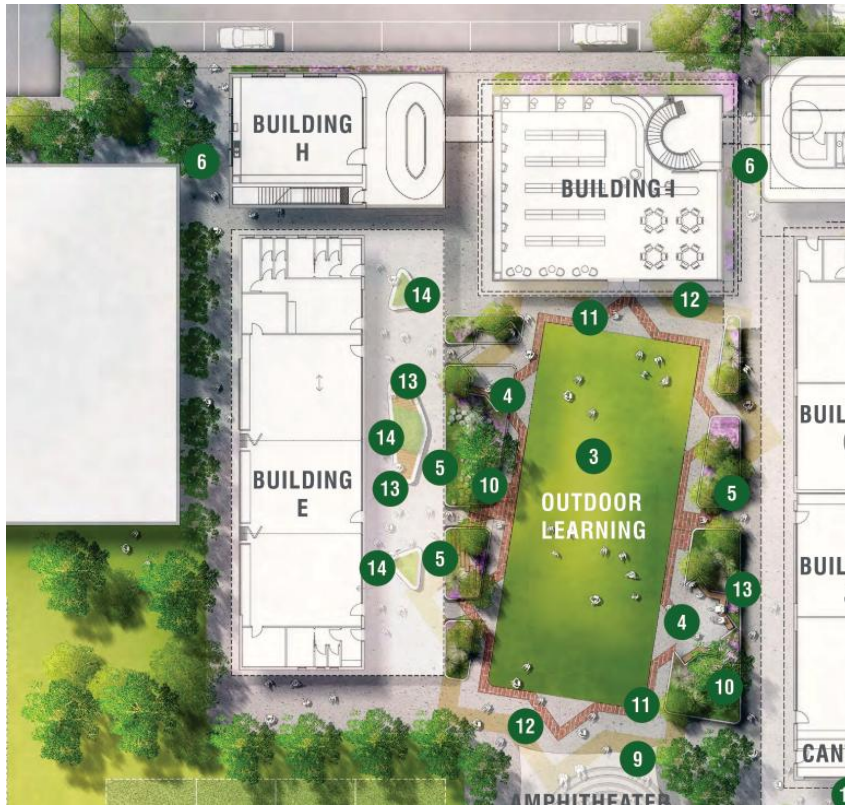


Figure 18: Stage 1B – Outdoor learning space

### Height and Setbacks

44. The proposed school building is set back 26.7m from the Killarney Drive property boundary. The double storey building has a maximum building height of 10m and is located centrally within the school site.
45. The building has a double storey-built form consistent with dwellings within the immediate vicinity and warehouses located to the south.
46. The new school building is proposed to be built with a pitched roof which reflects the surrounding built form and is consistent with surrounding dwellings.

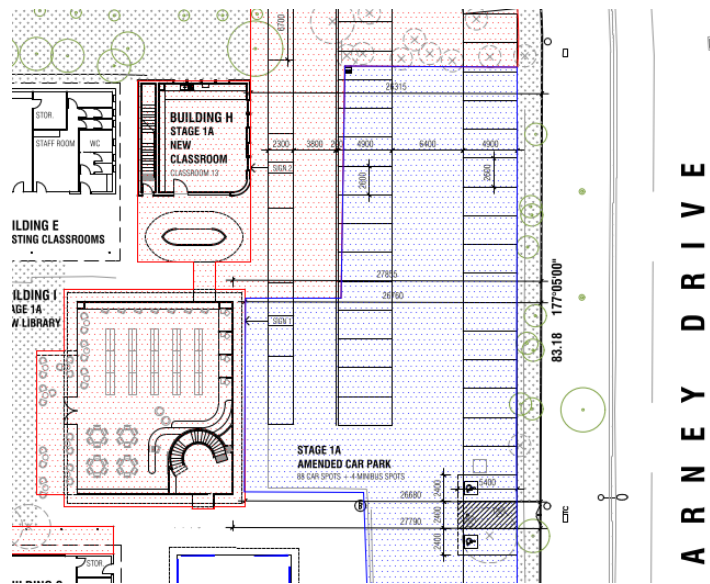


Figure 19: Setback from eastern property boundary



Figure 20: Eastern elevation.

47. The new building is set back from the street frontage through the provision of car parking located along the eastern side of the school grounds providing separation to Killarney Drive and residential properties located to the east.
48. The new building is located centrally within the school grounds and is separated from residential interfaces; in addition, the simplified built form and pitched roof is consistent with the low-density residential area in which the school is positioned.
49. Building J provides for two new classrooms and a new canteen. The new building will be constructed and attached to the western interface of Building C and provide two new classrooms and canteen.
50. This building will be single storey and not visible from the street and will continue the current built form of Building C. The canteen is located at the western end of the building and the new extension is set back from the western boundary approximately 25m.

## Design Detail

51. The applicant has not submitted a comprehensive materials schedule as part of the application documents. Detailed elevations have been provided to give an indication of the future materials and finishes expected to be used.
52. A materials schedule will be required to be included on the plans for endorsement, this will be included as a condition on any permit granted.

## Car Parking

53. The application for works includes an increase the number of car parks currently provided by the school, the proposal includes an additional 43 car parks located along the Killarney Drive frontage. The car parking includes 14 tandem car parking spaces located in the main car park.
54. These tandem car parking spaces will be conditioned to be used by teaching staff and associated signage will be required to be installed.
55. The proposed car parking exceeds the number of spaces required by Clause 52.06 and the additional car parking will allow for improved student drop off and collection.

## Signage

56. The application proposes new business identification signage to be located on the school building on the east elevation. The signage will include the school logo and consists of one small sign approximately 4m<sup>2</sup> and will be fixed directly to the building frontage.
57. The proposed signage is consistent with other signage located within the campus of the school and will provide clear identification of the school building for students and the broader public.
58. The proposed signage size and location is appropriate given the scale of the building and the surrounding area. The sign will be internally illuminated and mounted directly to the school building façade.

A condition of permit will require the internal illumination associated with the proposed signage to be turned off between the hours of 11:00pm and 6:00am. This time-based restriction is intended to minimise potential light spill and visual impact during night-time hours, thereby protecting the amenity of nearby residential properties. The condition ensures that the illuminated signage remains compatible with the predominantly residential character of the surrounding area, while still allowing adequate identification of the school during appropriate daytime and evening periods. The proposed control reflects a reasonable and proportionate response to balancing the operational needs



of the school with the expectations of the surrounding community.

*Figure 21: School Logo signage details*



## Amenity

### Amenity Impacts (internal and offsite)

59. The amenity impacts to the adjoining residential properties will be minor, the new building is setback from sensitive residential uses with the new building located centrally within the school. The nearest residential properties are separated from the new building by car park and Killarney Road.
60. Conditions will be included in any permit granted to ensure the amenity of the adjoining residential properties is protected.

### Overshadowing

61. The application has not provided overshadowing diagrams as part of the documents; however, the siting of the building will ensure that overshadowing is wholly contained within the site and will not affect any other property.

## Public Realm

### Ground Level Activation / Public interfaces.

62. The new buildings are set within the school grounds and has no interface with the public realm. The application has been submitted with a comprehensive landscaping plan which shows the extent of landscaping to be provided both internally and with the public realm.

## Landscaping

63. The application has been submitted with a high-level landscape plan detailing the landscaping direction around the development of the school.
64. The landscaping plan provides details on the overall proposed materials and finishes, including paved surfaces, seating outdoor learning spaces and landscaping areas.
65. The plans are lacking specific details on plant species, locations and heights. These details will be required to be submitted as detailed landscape plans for the area surrounding the extent of works proposed in this application and the references to stages other than Stage 1A and 1B will be deleted. This will be required as a permit condition to be included in any permit granted.



Figure 22: Overall landscaping plan

66. The overall landscaping will provide an acceptable interface with the public realm and provide for a vegetated streetscape. Permit conditions will be included to require detailed landscape plans.

### Waste

67. A waste management plan has not been provided and the plans do not provide details as to where the waste will be stored or collected from the school grounds.
68. A waste management plan (WMP) will be required to be submitted providing details as to which car park will provide the waste collection point and the location of waste storage. This will be included as a permit condition.

### Sustainability

#### Environmentally Sustainable Design (ESD)

69. The application has not been submitted with an Environmentally Sustainable Design (ESD) report for the proposal. These reports would broadly outline the strategies and sustainability initiatives that will be deployed within the proposed scope of works for the construction of the school buildings.
70. Permit conditions will be included to ensure that an ESD report is submitted for endorsement and must meet minimum requirements for best practice.

### Other Matters

#### Response to Council Comments

71. The Council requested multiple conditions to be included in any permit issued. The conditions provided include general response to drainage, parking, signage, amenity and landscaping.



72. The majority of the conditions have been included in the proposed permit.

### Response to Objector Concerns

73. The application was advertised and received 5 objections to the application. These submissions raised the following concerns:

Neighbourhood Character and built form.

The proposal is an existing school which was approved via a council permit. The proposed new buildings have a built form consistent with residential properties located within the estate which consists of single and double storey built form. The new school buildings are consistent with this.

Overshadowing and loss of residential amenity.

The proposed buildings are located centrally within the school grounds and will not have any overshadowing impact on any other property and will not affect residential amenity.

Traffic, parking and road safety.

The proposal includes an increase of 43 car parking spaces, with no increase to student or staff numbers. The additional car parking will assist in student movements.

Noise and operational amenity impacts

The school is existing and currently operating, conditions will be included to ensure that the amenity of the surrounding area is not adversely affected.

Proposal doesn't respond to the low density residential zone.

The use of the land for a school was approved by Council permit PA2001/134/4. In addition, the proposed buildings have a built form consistent with residential dwellings within the vicinity with a maximum building height of 10.3m.

Parking issues for drop off and pick up of students.

The application includes 43 additional car parking spaces to be provided within the school grounds. The student and staff numbers are not increasing and the additional car parking spaces will improve the ability for parents to drop off and collect students.

Limited vehicle access to the estate.

The access to the estate would have been taken into consideration when Melton City Council assessed the application for the use of the site when the original permission was granted. It is outside the scope of this permit application to address such matters.

Lack of footpaths within the estate.

The lack of footpaths within the estate is not a consideration for this application, the application considers the planning parcel of land and the road reserve is a Council concern.

Disruption to native wildlife.

The proposed building works will have minimal disruption to native wildlife, the works are not proposed within the reserves located to the west and the north of the site.

### Draft Planning Permit & Conditions

Permit No.:	PA2503518
Planning scheme:	Melton



<b>Responsible authority:</b>	Minister for Planning
<b>ADDRESS OF THE LAND:</b>	1-3, 5 Killarney Drive, Melton

### THE PERMIT ALLOWS:

<b>Planning scheme clause No.</b>	<b>Description of what is allowed</b>
32.03-4	Construct a building or construct or carry out works associated with a Section 2 Use - Education Centre.
52.05-13	A permit is required to construct and display illuminated business identification signage

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

#### Compliance with documents approved under this permit.

1. At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.

#### Layout not altered.

2. The layout of the use and development must not be altered from the layout shown on the approved and endorsed plans without the written consent of the responsible authority.

#### Approved Plans

3. Before the development starts, excluding demolition, plans must be approved and endorsed by the responsible authority. The plans must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimension, be generally in accordance with the plans prepared by Blur Architecture. Rev C, dated 28/11/2025 but amended to show the following details:
  - a) Provision of a materials and finishes schedule.
  - b) All tandem car spaces marked as 'Staff Parking Only' with appropriate line marking and signage.
  - c) A notation that vehicle crossings in Killarney Drive must be to Melton Industrial Standards (MCC504). The vehicle crossing(s) must match the existing vehicle crossings in the surrounding streets and clearance to street furniture/infrastructure must be clearly shown.
  - d) A notation that all disused or redundant vehicle crossings to be removed and the area reinstated to kerb and channel to the satisfaction of the Responsible Authority.
  - e)
  - f) Provision of two disabled car parking spaces.
  - g) Any changes required by the ESD Report in Condition 12.
  - h) Any changes required by the Waste Management Plan in Condition 16.

#### Landscaping

4. Before the development starts, a landscape plan must be approved and endorsed by the responsible authority. The landscape plan must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimensions, be generally in accordance with the plan prepared by Spiire, Rev. 02, dated 22/10/2025, and must include the following:



- a) Layout of landscaping and planting within all open areas surrounding the proposed works.
  - b) Details of surface finishes of pathways and driveways.
  - c) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.
  - d) A survey (including botanical names) of all existing vegetation to be retained and/or removed.
  - e) Deletion of references to development other than Stage 1A and 1B.
5. Prior to the occupation of the buildings hereby permitted, the landscaping works as described on the endorsed plans must be undertaken and completed to the satisfaction of the Responsible Authority and such works must continue thereafter to be maintained to the satisfaction of the Responsible Authority.

#### **Landscaping completion**

6. At all times the landscaping shown on the approved landscape plan must be maintained (including the replacement of any dead, diseased or damaged plants) to the satisfaction of the City of Melton.

#### **Tree protection during construction**

7. Before the development starts, a tree protection fence must be erected around the street trees at a radius of 2.0 metres from the base of the trunk(s) to define a 'Tree Protection Zone'.
8. The tree protection fencing and Tree Protection Zone must be established and maintained in accordance with the following requirements to the satisfaction of the City of Melton.
- a) The tree protection fence must be constructed of star pickets and chain mesh or similar.
  - b) The tree protection fence must remain in place until the development is completed.
  - c) The Tree Protection Zone must be covered by a 100mm deep layer of mulch and watered regularly.

The City of Melton may consent in writing to vary any of these requirements.

#### **Regulation of activities in Tree Protection Zone**

9. During the course of construction, the Tree Protection Zone must not be used for:
- a) Vehicular or pedestrian access.
  - b) Trenching or soil excavation.
  - c) Storage or dumping of materials, tools, equipment or waste.

The City of Melton may consent in writing to vary any of these requirements.

#### **General Amenity**

10. The amenity of the area must not be detrimentally affected by the use(s), including through:
- The transport of materials, goods or commodities to and from the land;
  - The unsightly appearance of any buildings, works or materials;
  - The emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waster water, waste products, grit or oil; or
  - The presence of vermin;

To the satisfaction of the City of Melton.

11. Prior to the commencing the use or occupying the building, all external walls visible from adjoining roads must be treated in accordance with the endorsed schedule to the satisfaction of the City of Melton.



## **Environmentally Sustainable Design (ESD)**

12. Before the development starts, a Environmentally Sustainable Design report (ESD) must be approved and endorsed by the responsible authority. The ESD must be prepared to the satisfaction of the responsible authority. The recommendations of the approved ESD report must be implemented to the satisfaction of the responsible authority.
13. Any change during detailed design, which prevents or alters the attainment of the performance outcomes specified in the endorsed report, which must be provided to the satisfaction of the Responsible Authority prior to the commencement of construction.

## **Run-off**

14. Polluted and/or sediment laden run-off must not be discharged directly into or indirectly into City of Melton drains or watercourses.

## **Drainage**

15. Stormwater must not be discharged from the site other than by means of an underground pipe drain discharged to Melton City Council's maintained legal point of discharge.  
  
All on-site stormwater must be collected from the hard surface areas and must not be allowed to flow uncontrolled into adjoining properties. The on-site drainage system must prevent discharge from the driveway onto the footpath.

## **Waste Management Plan**

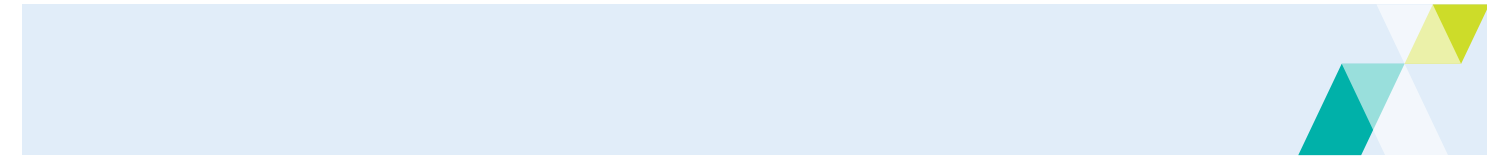
16. Before the development starts, a Waste Management Plan (WMP) must be approved and endorsed by the responsible authority. The WMP must be prepared to the satisfaction of the responsible authority, and must include the following:
  - a) Anticipated volumes of waste and recycling that will be generated and how they are determined.
  - b) The type and number of waste bins.
  - c) The type and size of trucks required for waste collection.
  - d) A plan detailing the location and adequate areas for waste bin storage and collection for the required type and number of bins.
  - e) Frequency of waste collection.
  - f) Hours for waste collection.

The responsible authority may consent in writing to vary these requirements.

17. All waste and recyclables must be stored in and collected from an area set aside for this purpose. This area must be graded, drained and screened from public view to the satisfaction of the responsible authority.

## **Car Parking Management Plan**

18. Before the development starts, a Car Parking Management Plan must be approved and endorsed by the responsible authority. The car parking management plan must be prepared to the satisfaction of the responsible authority, be generally in accordance with the report prepared by Traffix Group, dated 2 December 2025 but amended to include the following:
  - a) Provision of a signage and line marking schedule.
19. Prior to the occupation of the buildings hereby permitted, 'No Stopping' signs must be erected to the satisfaction of the Responsible Authority along the entirety of the Killarney Drive and Sherwin Court frontages of the subject site. The signs must also be displayed on the opposite side of Killarney Drive and Sherwin Court for the same extent of frontage. The signage must be displayed at no cost to Council.

- 
20. Before the use or occupation of the development starts, the area(s) set aside for the parking of vehicles and access lanes as shown on the endorsed plans must be:
- Constructed.
  - Properly formed to such levels that they can be used in accordance with the plans.
  - Sealed with a concrete or asphalt surface.
  - Drained.
  - Line marked to indicate each car space and all access lanes.
  - Clearly marked to show the direction of traffic along access lanes and driveways.

All to the satisfaction of the Responsible Authority.

Car spaces, access lanes and driveways must be maintained and kept available for these purposes at all times.

21. A minimum of two (2) car spaces must be provided for the exclusive use of disabled persons. The car space must be provided as close as practicable to a suitable entrance of the building and must be clearly marked with a sign to indicate that the space must only be utilised by disabled persons to the satisfaction of the Responsible Authority. The dimensions and layout of the car space must be in accordance with Australian Standard AS2890.6-2009 (Accessible (Disabled) Car Parking Requirements) and the Building Code of Australia.
22. Protective kerbs with a minimum height of 150mm to prevent damage to fences or landscaped areas must be provided to the satisfaction of the Responsible Authority.
23. Prior to the commencement of works, any proposed vehicle crossing must be constructed to an industrial standard in accordance with Council's Standard Drawings.
24. A 'Consent to Work within a Road Reserve' must be obtained from Council prior to the commencement of construction.
25. All disused or redundant vehicle crossings must be removed and the area reinstated to kerb and channel to the satisfaction of the Responsible Authority.
26. All existing conditions affected by the development works must be reinstated at no cost and to the satisfaction of the Responsible Authority.
27. Any pit located within a proposed vehicle crossing must be modified to take vehicle loadings and the pit lid must be flush with the surrounding concrete surface, to the satisfaction of the Responsible Authority.

### **Drainage Engineering**

28. Before the development starts, engineering plans and relevant design calculations for the proposed development must be submitted to and approved by the City of Melton. The engineering plans shall, as a minimum, comprise of the layout plan, the drainage plans, signage and line marking plans, pavement design plans and, where applicable, street lighting plans. All works within the site shall remain the property of the lot owner, except where it is located in an easement, and be maintained by the lot owner to the satisfaction of the City of Melton.
29. Prior to the issue of a certificate of occupancy for the development, or by such later date as is approved by the City of Melton in writing, the works shown on the approved engineering plan and ancillary works must be carried out and completed to the satisfaction of the City of Melton.
30. Any side entry drainage pit located within a proposed vehicle crossing must be modified to be a grated entry pit, in accordance with Melton City Council's Engineering Standard Drawings.
31. Civil and landscape works must be fully constructed and completed to the satisfaction of the City of Melton prior to the commencement of use or occupancy, whichever comes first or applies.



## Construction Management Plan

32. Prior to any works commencing on the land a 'Construction Management Plan' (CMP) must be prepared to the satisfaction of the responsible authority, detailing how the owner will manage the environmental and construction issues associated with the development. The CMP may be prepared and approved in stages relating to early works and main works. The CMP when approved will form part of the permit and must be implemented to the satisfaction of the responsible authority. The CMP must address:

- a) The contact name and phone number(s) of the site manager;
- b) The extent of bulk excavation in proximity to Council assets;
- c) Management of the construction site;
- d) Land disturbance;
- e) Hours of construction, including program/duration of works;
- f) Noise;
- g) Control of dust;
- h) Public safety;
- i) Traffic and pedestrian management;
- j) Construction vehicle road routes and access to the site;
- k) Largest vehicle expected to the site;
- l) Soiling and cleaning of roadways;
- m) Discharge of any polluted water;
- n) Security fencing, disposal of site waste and any potentially contaminated materials;
- o) Construction material set-down and storage areas;
- p) Location of site offices, and onsite staff parking; and
- q) Site lighting during any night works.

When submitted and approved to the satisfaction of the responsible authority, the CMP will be endorsed to form part of this permit. No alterations to the plan may occur without the written consent of the responsible authority.

33. The loading and unloading of goods from vehicles must only be carried out from within the site.

## Noise Control

34. At all times noise emanating from the land must comply with the requirements of the *Environment Protection Regulations 2021* (as amended from time to time)

## Signage

35. The business identification and internally illuminated signage, as shown on the endorsed plans, must always be maintained in good order and condition, to the satisfaction of the responsible authority.
36. The sign(s) must not be electronic, animated or contain any flashing or intermittent light.
37. The sign lighting must be designed, baffled and located to prevent any adverse effect of light spill on adjoining land to the satisfaction of the responsible authority.
38. This permit, in relation to the signs hereby approved, will expire in 15 years from the date of the permit and signs and all supporting structures must be removed and the surface made good to the satisfaction of the responsible authority, within one month of the expiry date.

## Lighting

39. External lighting must be designed, baffled and located so as to prevent any adverse effects on adjoining land to the satisfaction of the responsible authority.

## Commencement

40. This permit will operate from the issued date of this permit.

## Expiry

41. This permit will expire if one of the following circumstances apply:

- a) The development is not started within 3 years of the issued date of this permit.
- b) The development is not completed within 5 years of the issued date of this permit.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

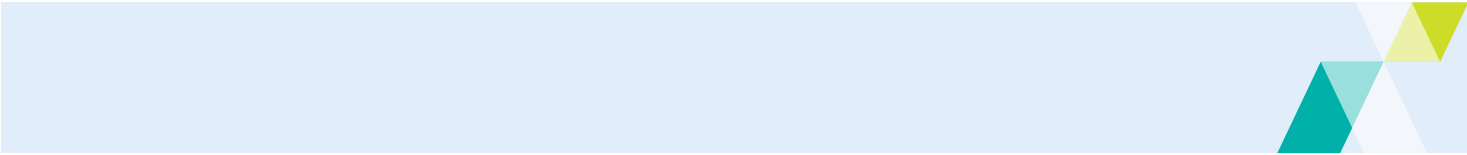
- a) The commencement date referred to if a request is made in writing before the permit expires or within six months afterwards.
- b) The completion date referred to if a request is made in writing within six months after the permit expires and the development started lawfully before the permit expired.

## Notes:

(the following information does not form part of this permit)

The permitted use or development may need to comply with, or obtain the following further approvals:

- These notes are provided for information only and do not constitute part of the permit or conditions of this permit.
- This permit does not authorise the commencement of any demolition or construction on the land. Before any demolition or construction may commence, the applicant must apply for and obtain appropriate building approval from a Registered Building Surveyor.
- The applicant/owner will provide a copy of this planning permit and endorsed plans to any appointed Building Surveyor. It is the responsibility of the applicant/owner and the relevant Building Surveyor to ensure that all building (development) works approved by any building permit are consistent with this planning permit.
- A building permit under the *Building Act 1993*.
- Paths, access ramps and Tactile Ground Surface Indicators to be installed in accordance with DDA requirements and the relevant Australian Standards.
- All vehicle pathways contained within the allotment, must remain the property of the landowners and must not be taken over by Council for future maintenance.
- Relevant permits, including but not limited to a 'Consent to Work within a Road Reserve' must be obtained from the Melton City Council prior to the commencement of construction.
- The proposed vehicle crossing(s) must have clearance from other services, public light poles, street sign poles, other street furniture any traffic management devices.
- All pedestrian access to buildings must be designed and constructed to comply with the Disability Discrimination Act 1992.

- 
- No permanent structure is to be located above an easement unless approval is granted by the Responsible and / or Relevant Authorities and relevant permits are obtained.



74. The proposal is consistent with the relevant planning policies of the Melton Planning Scheme and will make a positive contribution to the provision of education facilities within the Melton area.
75. The development appropriately responds to the objectives of the Low Density Residential Zone and through its scale, built form, site layout and access arrangements. It delivers a socially beneficial use within an accessible and well-serviced urban context and will not result in unreasonable amenity impacts.
76. The proposal is supported by council subject to conditions.
77. Overall, the proposal represents an appropriate and orderly planning outcome and warrants support.
78. It is recommended that Planning Permit No. PA2503518 for the construction of a new education facility at 1-3, 5 Killarney Drive, Melton be issued subject to conditions.
79. It is recommended that the applicant and the council be notified of the above in writing.

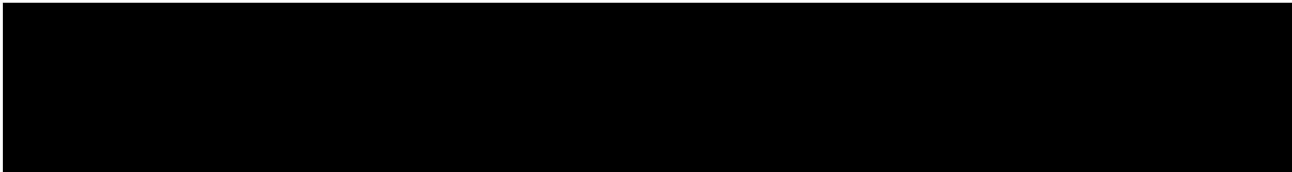


**Prepared by:**

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I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
  - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
  - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
  - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.



**Approved by: Grant Logan**

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