

Assessment Officer Report Ivanhoe Grammar Senior Years Building

Permit No PA2403326
41 The Ridgeway Ivanhoe, VIC



Officer Assessment Report
Development Approvals & Design



Department
of Transport
and Planning

OFFICIAL



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Executive Summary



Key Information	Details
Application No:	PA2403326
Received:	6 November 2024
Statutory Days:	13 days
Applicant:	[REDACTED]
Planning Scheme:	Banyule
Land Address:	41 The Ridgeway, Ivanhoe VIC 3079
Proposal:	Demolition of existing building, buildings and works associated with construction of a Senior Years Centre and removal of vegetation.
Development Value:	\$ 69.8 m

Why is the Minister responsible? In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the Responsible Authority for this application because it is for an extension to an existing non-government school and the estimated cost of works is more than \$3 million.

Why is a permit required?	Clause	Control	Trigger
Zone:	Clause 32.09-8	Neighbourhood Residential Zone (NRZ)	<i>A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.09-2</i>
Overlays:	Clause 43.04	Development Plan Overlay Schedule 4 (DPO4)	<i>The Ivanhoe Grammar School Development Plan has been approved. the proposal is generally in accordance with the Development Plan, as outlined further in this report</i>
	Clause 42.01	Environmental Significance Overlay Schedule 4 (ESO4)	<i>A permit is required to construct a building or carry out works.</i> Schedule 4 identifies significant trees throughout the municipality and requires a permit to remove, lop or destroy any tree within the table to the schedule. There are a number of significant trees on the subject site identified within the Table, none of which will be affected by the proposed development. As such, no permit is required pursuant to the schedule for the proposed tree removal.
	Clause 43.01	Heritage Overlay Schedule 69	<i>A permit is required to demolish or remove a building and to construct a building or construct or carry out works.</i>
	Clause 42.03	Significant Landscape Overlay Schedule 1 'Yarra (Birrarung) River	<i>A permit is required to construct a building or construct or carry out works.</i>

Corridor Environs'

Clause 3 to Schedule 1 qualifies that a permit is required to remove, destroy or lop vegetation; however, stating that no permit is required to remove, destroy or lop non-native vegetation which has all of the following:

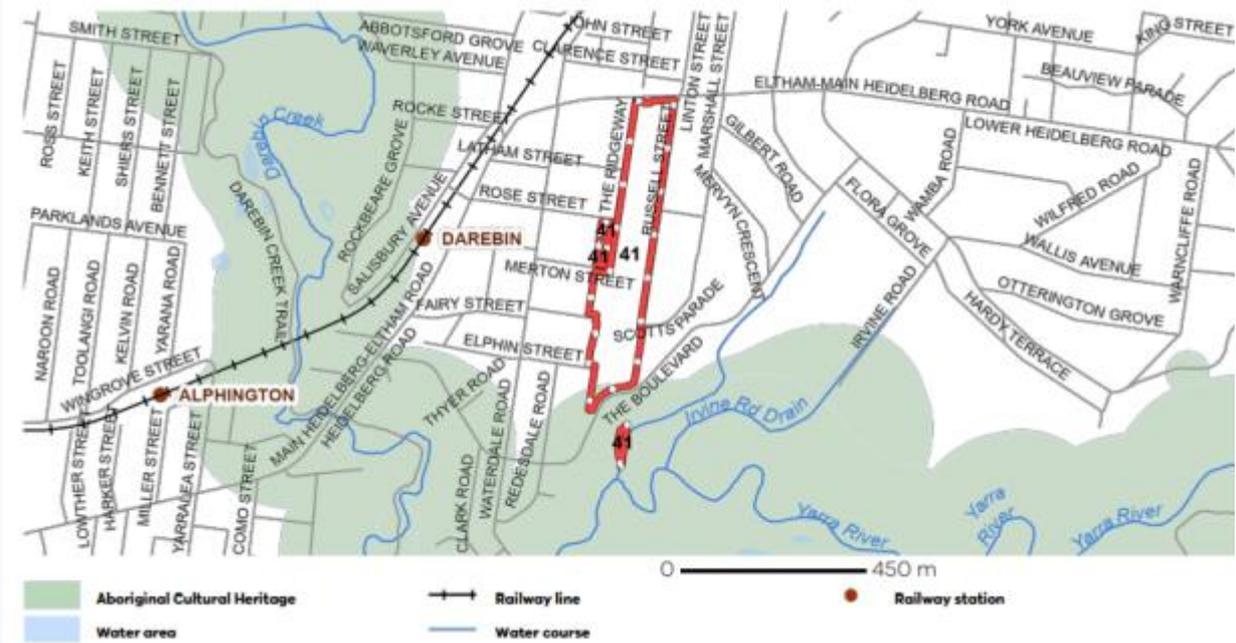
- A trunk circumference of less than 0.35 metre at 1 metre above ground level;
- A height of less than 6 metres; and
- A branch spread of less than 4 metres.

Pursuant to this overlay, the eight (8) trees to be removed require a planning permit, as detailed in the report prepared by Evergreen Tree Consulting.

	Clause 42.02	Vegetation Protection Overlay Schedule 3	<i>A permit is required pursuant to Schedule 3 to remove, destroy or lop any vegetation.</i> The eight (8) trees to be removed therefore require a permit, as they do not meet the specified exemptions.
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Particular Provisions:	Clause 53.19	Non-Government schools	N/A
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Cultural Heritage: Land located on the southwest corner of the site is designated as being of Aboriginal cultural heritage significance.
As the proposed works are not within the area of Aboriginal cultural heritage significance, no CHMP is required.



Total Site Area:	Approx. 1,304 m ²
Gross Floor Area:	Approx. 6,067 m ²
Height:	23.4 metres
Referral Authorities:	No formal referrals required.



Advice sought: N/A

Public Notice: Consultation conducted with Banyule City Council
Notice of the application was exempt pursuant to Clause 43.04-3.
If a development plan has been prepared to the satisfaction of the responsible authority, an application under any provision of this planning scheme is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.



Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
Pre-application meeting (DTP & applicant)	9 September 2024
Application lodgement	6 November 2024
Further information requested	13 November 2024
Further information received	9 December 2024
Decision Plans	Plans prepared by Wood Marsh Architects , titled ' Ivanhoe Grammar School ' TP00-TP20 and dated 20 September 2024 .
Other Assessment Documents	Landscape concept plan prepared by Urban Initiatives; Preliminary Tree Survey prepared by Evergreen Tree Consulting; Arboriculture Impact Assessment prepared by Evergreen Tree Consulting; and Sustainability Management Plan prepared by NJM Design. Construction Management Plan prepared by Bldg.Eng dated 20 March 2024 Tree Management Plan and Tree Protection Plan prepared by Evergreen Tree Consulting dated 4 December 2024

2. The subject of this report is the decision plans (as described above).

Proposal Summary

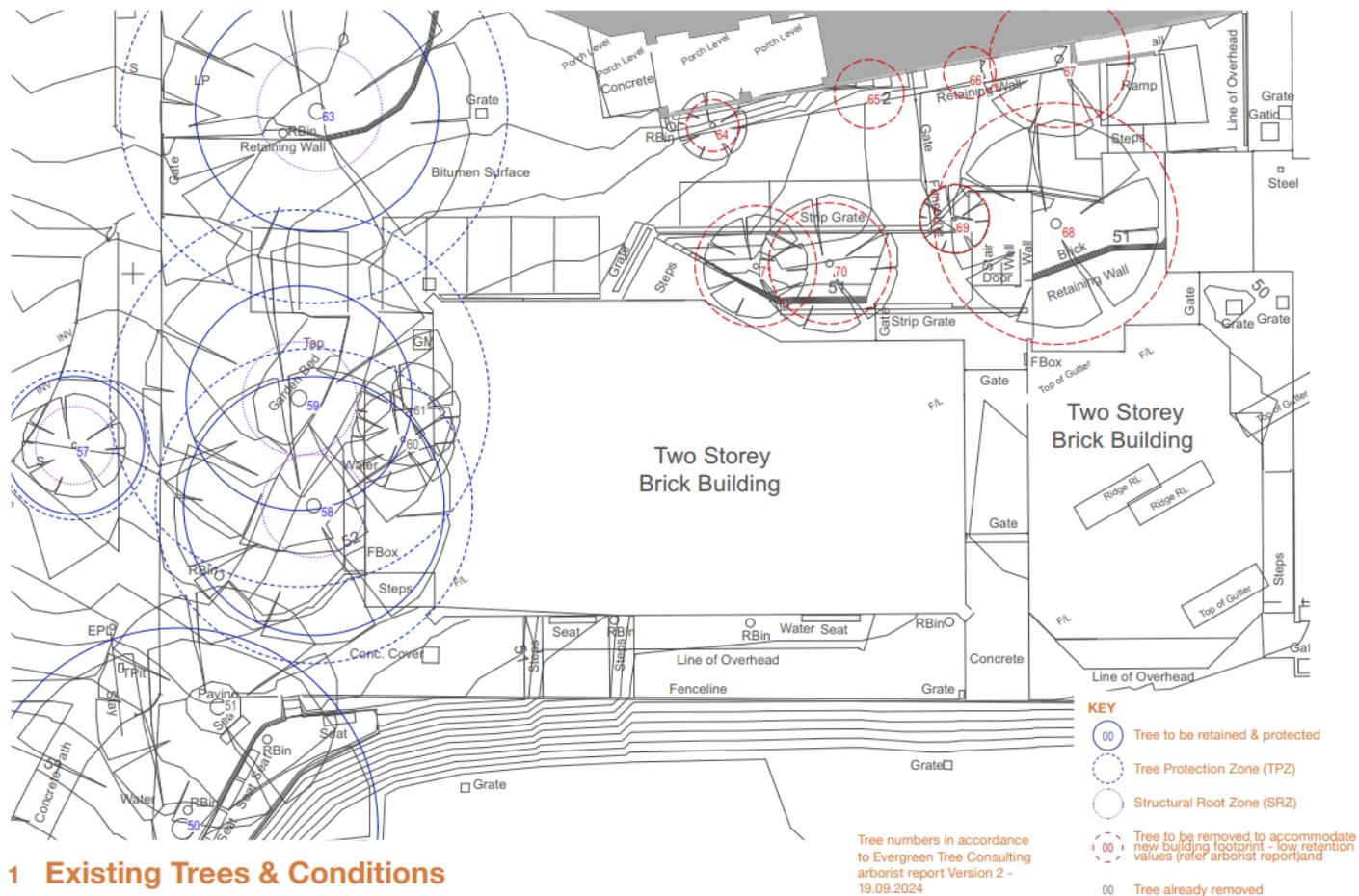
3. It is proposed to construct the Senior Years Centre to the north of the South Ground, as detailed by the approved Development Plan (Planning Permit No. P777/1999). Details of this application are outlined below:
4. Demolition of the excising Benson centre building and elevator/stair (see figure 1 below).
5. Construction of a new Senior Years Centre with the following features:
 - Basement sub-level including a 299-seat lecture hall (including backstage foyer), home and away change rooms, end-of-trip facilities, smoke lobby, storerooms and electrical / communications rooms.
 - Lower-ground level including six classrooms, staff breakout room, storerooms, bathrooms and staircase access on the east to the internal thoroughfare between the TR Lee Building.
 - Ground-level including the main entry to The Ridgeway in the northwest corner of the building, four classrooms, reception desk / foyer, bathrooms, meeting and faculty rooms and internal staircase accessing the proposed amphitheatre abutting the building to the northeast.
 - First, second and third level each including seven classrooms, faculty / house rooms and bathrooms.



- Fourth (rooftop) level including a café (including associated kitchen), open terrace areas with associated landscaping, boardroom, toilets, roof plant and roof light void to provide natural sunlight to levels below.
 - An internal spiral staircase and open plan seating areas located centrally to each level respectively (basement to third level) and lift / fire stair cores to the eastern and western sides of the building providing access to each floor
6. The building has a maximum building height of 23.4 metres and a front setback of 17.43 m from the title boundary to The Ridgeway.
 7. Materials and finishes include brickwork (including a feature sculptural façade to The Ridgeway), textured render, metal wall cladding, metal window mullions, vertical metal fins, vertical steel metal balustrading, vertical metal louvres (for roof level plant screening) and glazing.
 8. Revised pedestrian pathways have been designed around the new building to enhance connections with surrounding buildings and other facilities on campus. This includes a new proposed bridge at the eastern side of the ground floor which provides a link to the existing internal accessway.
 9. The rooftop café has restricted hours relative to standard school hours and will only be accessible by students and staff.
 10. No new staff or students are associated with the construction of the Senior Years Centre. No new car parking facilities are proposed as part of this application.
 11. It is proposed to remove eight (8) trees (Trees: : 64, 65, 66, 67, 68, 69, 70 & 71) to construct the new Senior Years Centre. Importantly, Tree(s). 58, 59 and 63 which are considered significant vegetation, are to be retained consistent with the Development Plan. A landscape plan has been prepared by Urban Initiatives Pty Ltd and indicates replacement planting around the perimeter of the proposed Senior Years Centre.
 12. The applicant has provided the following concept image/s of the proposal:



Figure 1: proposed demolition



1 Existing Trees & Conditions

Figure 2: proposed tree removal

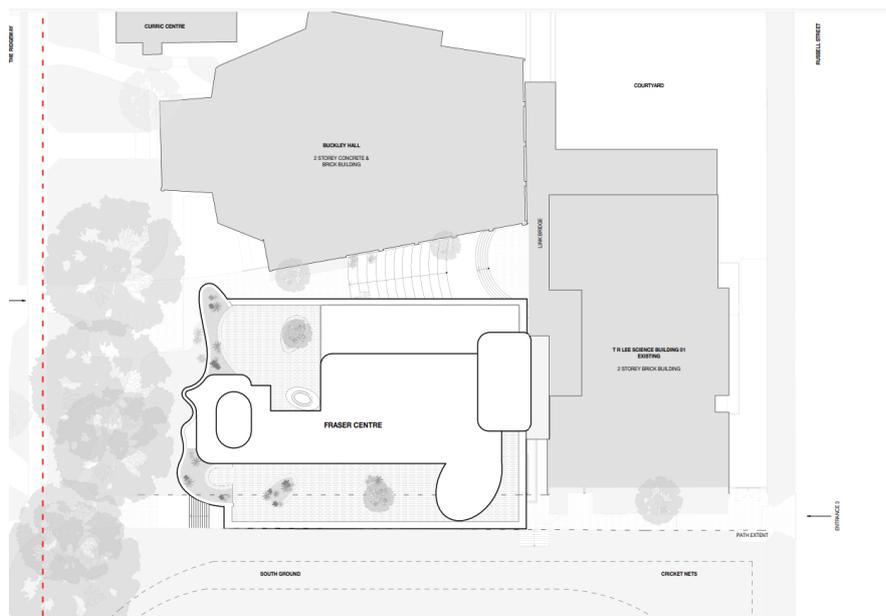


Figure 3: location of the proposed Senior Years Centre



Figure 4: concept images of the new senior years building.

Subject Site and Surrounds

Site Description

13. The site is located in Ivanhoe and is operating as the Ivanhoe Grammar School. The site is bounded by Lower Heidelberg Road to the north, Russell Street to the east, The Ridgeway and several residential properties to the west and The Boulevard to the south. The site is occupied by a range of school buildings and sporting grounds. Ivanhoe Grammar School has occupied the site since 1920.
14. The new Sports & Aquatic Centre was completed in June 2022 (Planning Permit No. P850/2018 issued by Banyule City Council).
15. The site is formally described as comprising the following land parcels:
 - Lot 2 on Plan of Subdivision 514348S
 - Lot 1 on Title Plan 944313A.
16. There are several drainage and sewerage easements which are present on the site. Within vicinity to the Benson Centre and TR Lee Buildings is a drainage and sewerage easement (E1) which runs along a portion of the eastern boundary.

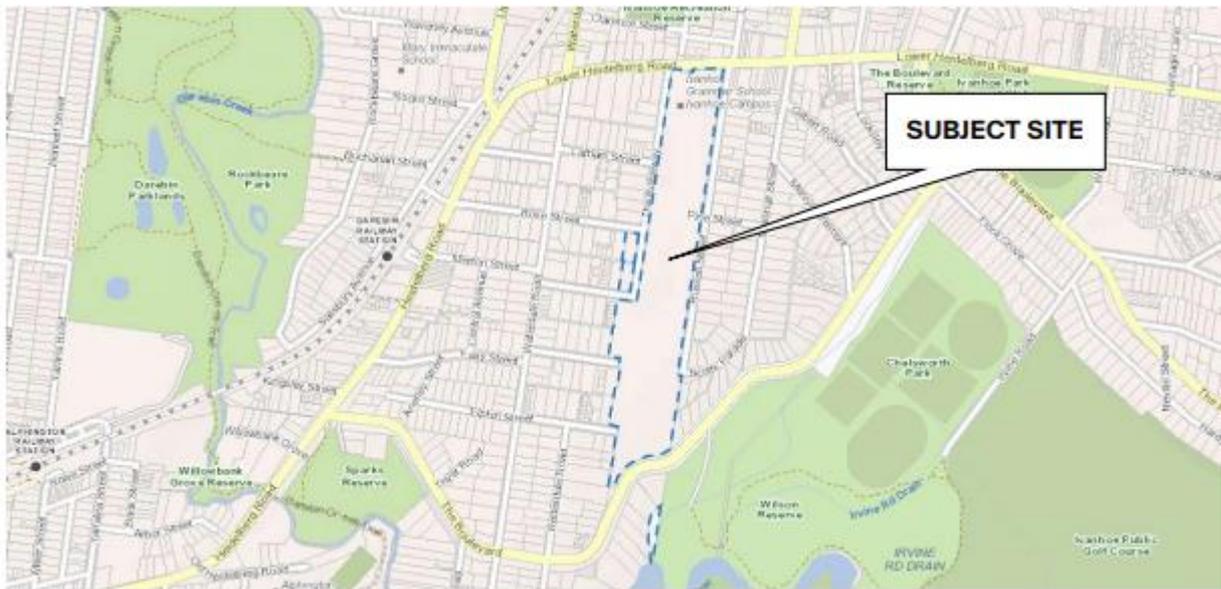


Figure 5: site plan showing the overall school

Site Surrounds

17. Ivanhoe Grammar School is located within a residential area between Lower Heidelberg Road to the north and the Yarra River to the south. More specifically, the area proposed to be developed for the Senior Years Centre is to the north of the South Ground and south of Buckley Hall, towards the central portion of the campus (currently constructed as the Benson Gymnasium). This has also been reflected on the approved Development Plan (Planning Permit No. P777/1999 – most recently amended on 13 March 2024).



Figure 6: seniors building location shown in blue over existing building.

18. Development surrounding the site can be described as follows:

- **North:** Within the site, the proposed Senior Years Centre abuts Buckley Hall (Performing Arts Centre). The building accommodates performing arts and is constructed to a two-storey form, in render and glazing with a sheet metal gable roof form. An at-grade car parking area and courtyard (including canopy tree planting) divide the building from the Benson Centre
- **South:** Immediately south is a walkway which provides internal east-west pedestrian access across the campus. Beyond this is the South Ground (with basement car parking underneath). A walkway is constructed along the western boundary of the South Ground connecting Fairy Street and the wider area to the south with the remainder of the campus to the north.
- **East:** Within the site, a walkway is constructed to the east, providing internal access from the South Ground to buildings further north (such as the Wilcox Building and Middle Years Centre). This walkway separates the existing Benson Centre from the TR Lee Buildings. The latter comprises a two-storey form, constructed in brick and glazing with a flat sheet metal roof form. The west and south elevations of the building contain external accessways (with a mixture of steel and glazed balustrading) at first-floor containing lockers and individual classroom entries.

External to the site:

- Russell Street is located along the eastern boundary of the campus and is a two way street with parallel kerbside parking. Mature vegetation is located along the school boundary side of the road reserve.
- No. 18 Russell Street is located on the opposite side of Russell Street and is occupied by a single-storey brick dwelling with pitched tiled roof form and later addition render, flat roof extension to the rear. Private open space is located within the rear of the site and car parking access provided via two crossovers to the north and south corners of the frontage (west) to Russell Street.
- No(s). 1 & 2 / 16 Russell Street are also located within vicinity and comprises two dwellings in a tandem arrangement. Most prominently to Russell Street is 1 / 16 Russell Street, which comprises a single-storey dwelling constructed in weatherboard and render with a pitched tiled roof form. Car parking access is provided via a single-width crossover to the southern end of the frontage to Russell Street, whilst a separate crossover is also constructed to the northern end providing access to No. 2 / 16 Russell Street

- West: Within the site, a forecourt to the Benson Centre and associated area of landscaping (including mature canopy tree planting) is present. Of note, an exotic 19-metre-high *Populus x canadensis* (Canadian Poplar) and 22-metre-high exotic *Cedrus deodara* (Himalayan Cedar) are planted. The walkway which runs along the western boundary of the South Ground also connects to this forecourt, internal to the site.

External to the site:

- No. 2 Merton Street is a detached single-storey brick building with a tiled gabled roof form and is associated with Ivanhoe Grammar School, consisting of staff / administration facilities and at-grade car parking to its rear (north).

19. Further west is a residential land pattern along Merton Street, generally consisting of detached single and double storey dwellings and scattered unit developments set within well landscaped garden settings.

20. A site inspection of the subject site and surrounds was undertaken on 27 August 2024. Images of the site and surrounds are reflected in Figures below.



Figures 6 and 7 building proposed for demolition



Figures 8 and 9: buildings within the immediate context of The Ridgeway



Municipal Planning Strategy

21. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03-1	Settlement
02.03-4	Built Environment and heritage

Planning Policy Framework

22. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	Settlement
11.01-1S	Settlement
11.01-1R	Settlement – Metropolitan Melbourne
Clause 13	Environmental Risks and Amenity
13.07-1S	Land Use Compatibility
13.07-1L	Non-residential Uses in Residential Areas
Clause 15	Built Environment and Heritage
15.01-1S	Urban Design
15.01-1R	Urban Design – Metropolitan Melbourne
15.01-1L-01 and 02	Urban design and built form outcomes Safer Design
15.01-2S	Building design
15.03-1S	Heritage conservation
15.01-5S	Neighbourhood character
15.01-5 L01	<p>Preferred Neighbourhood Character</p> <p>This policy applies to all developments within the, inter alia, Neighbourhood Residential Zone. The 'Neighbourhood Character Area and Precincts Map' plan to this policy identifies the subject site as being located within Garden Suburban Precinct 3 (GS3). The policy states the following in regards to specific GS3 strategies:</p> <ul style="list-style-type: none"> • Provide a mix of exotic, native or indigenous trees and understorey vegetation that complements the character of the precinct. — Encourage the retention of intact, good condition Victorian, Edwardian and Interwar buildings, particularly where individually significant, in a row, or streetscapes of dwellings from these periods. • Retain the front façade when altering or extending dwellings that contribute to the character of the precinct. • Incorporate main design themes in correct proportions



	<p>and scale, from the Edwardian, Interwar, post-war or 1960s era in new development, as appropriate to the street.</p> <ul style="list-style-type: none"> • Incorporate second storeys within roof spaces where possible. • Reflect the architectural style and form of the existing building in second storey additions. • Match materials of new buildings to the predominant wall and roof materials in the street. • Match wall and roof materials of existing buildings in extensions to those buildings. • Use weatherboard or rendered brick in predominantly weatherboard areas south of Banksia Street. • Use low and permeable front fencing appropriate to the predominant era of dwellings in the street to maintain the view of front gardens in the streetscape.
Clause 18	Transport
18.01-1S	Land use and transport integration
18.01-3S	Sustainable and safe transport
18.01-3R	Sustainable and safe transport – Metropolitan Melbourne
Clause 19	Infrastructure
19.02-2S	Education facilities

23. The assessment section of this report provides a detailed assessment of the relevant planning policies.

Zoning and Overlays

Applicable Zone

Neighbourhood Residential Zone Schedule 1 (NRZ1)

24. A planning permit is required to construct a building or construct or carry out works for a Section 2 use in accordance with **Clause 32.09-10 (Neighbourhood Residential Zone)** of the Boroondara Planning Scheme. The purpose of the **Neighbourhood Residential Zone** is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To recognise areas of predominantly single and double storey residential development.*
- *To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

25. The following sections include a discussion of how the proposal responds to these requirements.

Applicable Overlays

Development Plan Overlay Schedule 4 (DPO4)

26. The site is affected by Development Plan Overlay, Schedule 4 (DPO4) pursuant to Clause 43.04. Schedule 4 refers to Private Educational Establishments.
27. The purposes of the Development Plan Overlay include:
- *To implement the Municipal Planning Strategy and the Planning Policy Framework*
 - *To identify areas which require the form and conditions of future use and development to be shown on a development plan before a permit can be granted to use or develop the land.*
 - *To exempt an application from notice and review if a development plan has been prepared to the satisfaction of the responsible authority.*
28. The Ivanhoe Grammar School Development Plan was approved on 29 November 2023 and most recently amended by the council on 13 March 2024.
29. Section 3 of the Development Plan relates to proposed development and use for 2023-2029 and identifies the construction of a new Senior Years Centre and highlights the reasons for its construction (pages 3-5), the building is required for the following reasons:
- *To provide a facility that supports the School's three year senior studies initiative allowing students to complete the Victorian Certificate of Education and/or International Baccalaureate over a three year period. The Middle Year Centre (Year 7 & 8 building) has proved so successful, that the school wants to provide a purpose-built Senior Years Centre.*
 - *The development of this building will allow the School to consolidate its core academic endeavour in the heart of the campus, with sporting activities at the southern end of the campus.*
30. The proposal is generally in accordance with the Development Plan, as outlined further in this report. Therefore, the existing Development Plan does not need to be amended, and the permit application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

Environmental Significance Overlay - Schedule 4

31. The site is affected by Schedule 4 to the Environmental Significance Overlay, pursuant to Clause 42.01. This schedule relates to 'Significant Trees and Areas of Vegetation'.
32. Clause 42.01 states that a permit is required to construct a building or carry out works, unless a schedule specifically states otherwise. Schedule 4 identifies significant trees throughout the municipality and requires a permit to remove, lop or destroy any tree within the table to the schedule. There are a number of significant trees on the subject site identified within the Table, none of which will be affected by the proposed development.
33. As such, no permit is required pursuant to the schedule for the proposed tree removal.

Heritage Overlay - Schedule 69

34. Pursuant to Clause 43.01-1, a permit is required to demolish or remove a building and to construct a building or construct or carry out works.
35. HO69 relates to "Sherwood House", formerly "Ivanhoe House", which specifies that external paint controls apply and that the bluestone retaining walls are not exempt under Clause 43.01- 4. Importantly, Sherwood House is located to the north of Buckley Hall. While the overlay specifically refers to Sherwood House, the entire campus is affected by the associated heritage control.

36. The proposed development will not impact Sherwood House, as it is located south of this building.

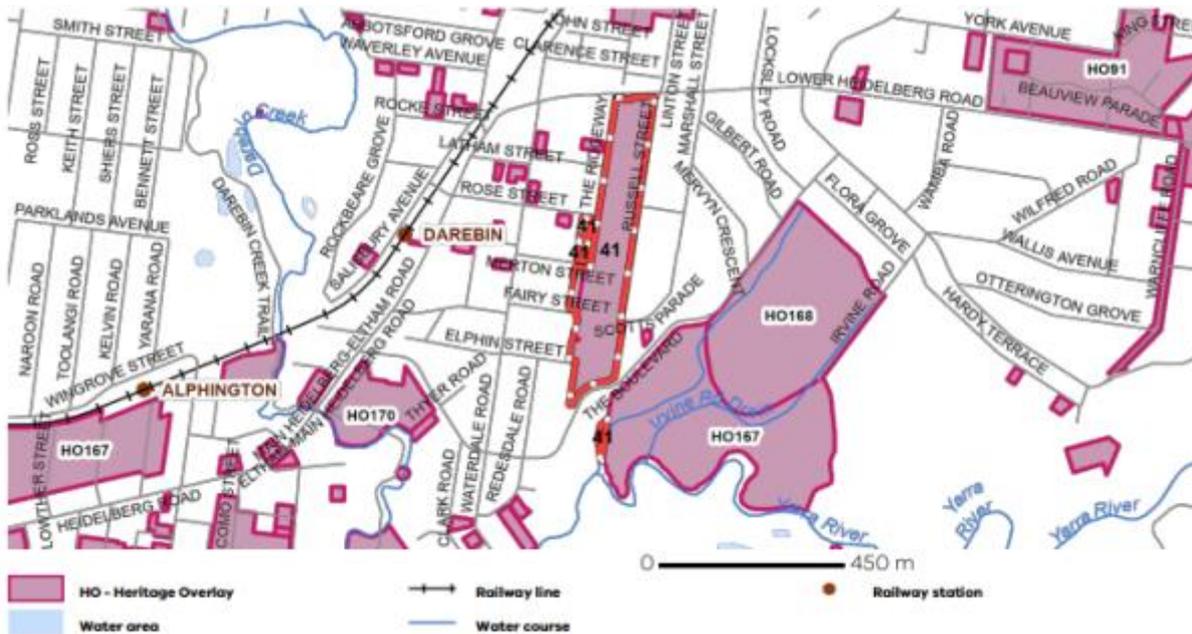


Figure 10: Heritage Overlay affecting the whole site

Significant Landscape Overlay

37. The site is partially affected by Schedule 1 to the Significant Landscape Overlay, pursuant to Clause 42.03. Schedule 1 relates to the 'Yarra (Birrarrung) River Corridor Environs'. The overlay appears to extend from the southern boundary of the site, over halfway up the site – short of Pine Street to the east and Latham Street to the west. The location of the proposed Senior Years Centre is affected by this overlay

38. Pursuant to Clause 42.03-2, a permit is required to construct a building or construct or carry out works. Clause 3 to Schedule 1 qualifies that a permit is required to remove, destroy or lop vegetation; however, stating that no permit is required to remove, destroy or lop non-native vegetation which has all of the following:

- A trunk circumference of less than 0.35 metre at 1 metre above ground level;
- A height of less than 6 metres; and
- A branch spread of less than 4 metres.

39. Pursuant to this overlay, the eight (8) trees to be removed require a planning permit.

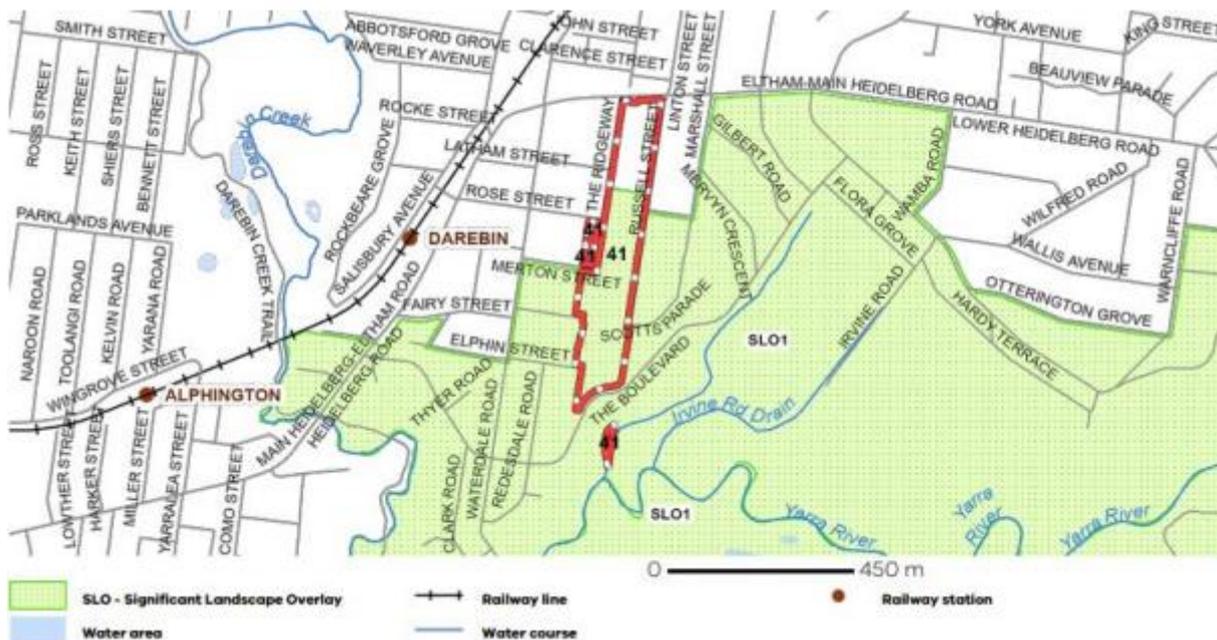


Figure 11: SLP mapping

Vegetation Protection Overlay – Schedule 3

- 40. The site is affected by Schedule 3 to the Vegetation Protection Overlay, pursuant to Clause 42.02. Schedule 3 relates to the Eaglemont, Ivanhoe East and Ivanhoe Area.
- 41. A permit is required pursuant to Schedule 3 to remove, destroy or lop any vegetation. The eight (8) trees to be removed therefore require a permit, as they do not meet the specified exemptions

Development Contributions Plan Overlay

- 42. Pursuant to Clause 4.0 of Schedule 1 to Clause 45.06, “land developed for a non-government school, as defined in the Ministerial Direction on the Preparation and Content of Development Contributions Plans, dated 11 October 2016” is exempt from the Banyule Development Contributions Plan 2023.

Particular and General Provisions

Provisions that Require, Enable or Exempt a Permit

- 43. Clause 52.06 sets out the requirements of car parking. There are no proposed changes to the staff or student number, and the overall car parking provided on site is increased. Therefore, there is no planning permit required under Clause 52.06-3.

General Requirements and Performance Standards

- 44. Clause 53.18 – Stormwater Management in Urban Development applies to the buildings and works of this application. The clause includes standards and objectives relating to stormwater management, treatment and reuse.
- 45. Clause 53.19 – Non-Government Schools applies to this application to facilitate the development of an existing non-government school over \$3 million in development cost.



Referrals

46. The application was not referred to any referral authorities as per the Banyule Planning Scheme.

Notice

47. The application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions: *Clause 43.04-3 (Development Plan Overlay): If a development plan has been prepared to the satisfaction of the responsible authority, an application under any provision of this planning scheme is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.*

DTP Urban Design comments

48. Comments were sort from DTPs Urban Design Team who provided the following at pre application stage:

Broadly speaking, we support the proposal in its current form however we do have some minor recommendations pertaining to design detail (materiality) and building siting within the landscape.

We note the building appears commercial in appearance and seek further information regarding how a sense of 'institutional domesticity' may be achieved in the building façade. This may be achieved through:

- *The incorporation of more 'lightweight' elements such as steel-finned or bladed balustrades to upper levels.*
- *The incorporation of more solid, robust materials at the ground floor and a reduction of floor to ceiling glazing.*

Ensure that gridded proportions of the façade have sufficient depth to ensure shadow, depth and visual interest. This may be achieved through providing greater solidity and thickness to shading elements/gridded proportions at the building's facade.

The building has the potential to have a stronger relationship with the topography it is embedded within. We query whether elements such as integrated seating or planting could be considered at lower levels of the form to provide a transition between inside of the buildings and surrounding land-uses (eg. oval).

49. Following receipt of the Urban Design comments, the applicant incorporated the suggestions made and only the following remains outstanding, which will be included as a permit condition for amended plans.

It is great to see they have updated the plans with Urban Designs comments. The only additional comment we had was to clarify the use of hand-laid brick throughout the proposal. We recommend using hand-laid brick at all public realm interfaces.

50. *The above advice has been considered in the assessment of the application.*

Municipal Council Comments

51. The Banyule City Council (the council) was given notice of the application and provided a response on 25 November 2024.

52. The council provided the following comments and suggested planning permit conditions:

- *There are no concerns pertaining to compliance with any mandatory zone requirements or purposes.*
- *It is noted that the building envelope shown in the permit application extends further south than the building envelope as shown in the Development Plan. This is suitable and can be considered generally in accordance with the Development Plan.*

- *With regard to Urban Design outcomes, Council commends the efforts taken in the design to incorporate the significant trees present on site, and although the main façade could be considered “bulky”, the curved wall breaks that perception and also adds human scale in the design of the main access points to the building.*
- *There are no heritage concerns with the proposal given the distance between the proposed building and Sherwood House (Heritage Overlay – Schedule 69).*
- *Significant Landscape Overlay (Schedule 1) - The proposed building is considered to generally meet the objectives of the Overlay. The building will not impact the Yarra River corridor and its surrounds.*
- *There are no concerns directly pertaining to car parking noting that the proposed building does not seek to increase the student or staff capacity of the School.*
- *There are no concerns with removal of at grade car spaces north of the existing Benson Centre given this accords with the Development Plan.*
- *The proposal is considered to be exempt from the requirements of the DCPO1.*

53. Banyule City Council had no concerns about the proposed Tree Management Plan, Construction Management Plan and proposed demolition extent. Conditions of the planning permit will allow for demolition to occur prior to the submission of amended plans.

- Other items for consideration:

Banyule City Council comment	Applicant response	DTP officer comment
<p><i>The landscape concept plan is generally acceptable. A detailed landscape plan for the building and its surrounds should be required by condition should a permit issue. See draft conditions.</i></p> <p><i>Council encourages the Green Factor tool to assist with designing and constructing new buildings that are environmentally friendly and include green infrastructure. More information on Green Factor can be found here: Green factor tool.</i></p>	<p><i>A detailed landscape plan with full planting schedule can be addressed via condition on permit.</i></p> <p><i>Further discussion regarding use of the Green Factor tool and what assessment would be required can be undertaken.</i></p>	<p>Agreed a permit condition requiring a detailed landscape plan is included on the permit</p>
<p><i>The removal of trees #64-71 is considered acceptable from an arboricultural perspective as these are of low retention value.</i></p> <p><i>Trees #56-59 and #63 are proposed to be retained and must be afforded tree protection measures. It is recommended that a Tree Protection and Management Plan is prepared for this project. See draft conditions.</i></p> <p><i>No trees proposed to be removed trigger permits under Clause 52.17, the Environmental Significance Overlay (Schedule 4) or the Heritage Overlay (Schedule 69).</i></p> <p><i>Offset planting for removed trees should be provided.</i></p>	<p><i>Trees 56-59 and 63 are proposed to be retained. A Tree Protection and Management Plan can be required via condition on permit, but will be submitted ahead of demolition occurring.</i></p> <p><i>It is submitted that offset planting is not warranted for the removal of Trees 64-71, which are indicated as being removed in accordance with the approved Development Plan. These trees all have low retention values and are either unhealthy specimens or small exotic species. While some landscaping is proposed around the proposed building, the landscape and building design feature is the retention of the existing trees within the front setback to The Ridgeway.</i></p>	<p>Agreed a permit condition requiring a Tree Protection Management Plan is included on the permit. Off set planting is not required by the Development Plan for the site. There is no other planning scheme basis for offset plantings to be provided.</p>
<p><i>ESD/WSUD & Clause 53.18 Council's ESD Officer has reviewed the proposal and provided the following</i></p>	<p><i>We note that most of the queries / clarifications listed are able to be addressed via condition on permit and</i></p>	<p>Agreed. The submitted SMP prepared by NJM Design dated 29/11/24 meets council's requests, is considered</p>



<p>comments/recommendations:</p> <ul style="list-style-type: none"> • External overhang shading to north facing windows should be shown as a typical cross section to demonstrate appropriate overhang to block high angle summer sun. • Consider external shading to east facing windows to prevent morning glare into classroom spaces. • Hot water should be centralised heat pump hot water system for maximised energy efficiency, with insulated pipes throughout the building. • STORM calculation inputs require clarification of how the number of occupants is justified as 100 people, and how the site area around the building has been determined. • Solar photovoltaics to the roof should be included in the design. • The provided NCC 2022 Section J Assessment does not clearly state the type of heating and cooling systems to be provided, and modelled energy efficiencies. • A draft Building Users Guide should be provided for review, as claimed in the BESS Report, Management credit 4.1. • A revised BESS Report should be provided with the Energy credit 1.1 to align with the NCC 2022 Section J Assessment provided using a modelling J1V3 methodology (not the DtS method as noted in the BESS Report). Note - Council would like to see further improved levels of insulation to achieve a greater reduction in heating and cooling requirements, to align with Banyule's Net Zero targets. • Overall, as Ivanhoe Grammar School is both the owner and operator of this large-scale education building, the project has the opportunity to have a design which provides low operating costs (heating, cooling, ventilation) and high comfort (fresh air, daylight, stable indoor temperatures) such as the Passivhaus standard can provide. It is recommended that this standard is explored for the project, and initiatives such as thermal 	<p>are detailed at Appendix A. Specifically:</p> <ul style="list-style-type: none"> • STORM calculation inputs in terms of number of occupants is calculated as per NCC 2022 standard Table D2D18, which results in a number far over 100. STORM has a limit of 100 occupants hence the 100 figure has been considered for the calculation as a worst-case scenario. Generally, permeability of the surrounding area remains the same and hence the storm calculation only considers the building footprint area. • No PV panels are proposed for the roof given the relatively limited roof area available. As detailed below, there are extensive PV panels on other buildings at the Ivanhoe Grammar School campus. • Heating and cooling systems to be VRV system with high efficiency heat pump/ heat recovery. These systems are to be within one Star of the most efficient equivalent capacity available OR Coefficient of Performance (CoP) & Energy Efficiency Ratios (EER) not less than 85% of the CoP & EER of the most efficient equivalent capacity unit available. • NOTE: J1V3 assessment has been undertaken for building fabric analysis for the proposed building with DtS services. • Preliminary J1V3 modelling results updated in BESS scorecard. As the project is still at early stage, more detailed assessment with optimised HVAC system and building fabric will be conducted in later stages. <p>An updated SMP prepared by NJM Design dated 29/11/24 is provided for endorsement at this time.</p> <p>Ivanhoe Grammar School has a sustainability policy across both of their campus. This includes extensive use of solar panels on buildings. In FY2022/2023 they generated</p>	<p>acceptable and can be endorsed concurrent to the issue of the planning permit.</p>
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<p><i>bridge free design, airtight building envelope and heat recovery ventilation with 100% fresh air is considered to uplift the project.</i></p> <p><i>Conditions should be used to improve ESD outcomes and/or require additional ESD information as the Department sees fit. Refer to draft conditions for example wording and Council's standard ESD conditions.</i></p>	<p><i>986MWh of electricity, which was 35% of the School's total electricity consumption. In FY2023/2024 this improved to 1240MWh, or 44% of the School's electricity consumption. It is not feasible for this project to be retrospectively designed to achieve Passivhaus compliance and it is considered that it is unwarranted.</i></p>	
<p><i>Services associated with the proposed building should be located to minimise visual and amenity impacts to the public realm.</i></p>	<p><i>The requirement for any services associated with the proposed building to be located to minimise visual and amenity impacts to the public realm can be dealt with via condition on permit.</i></p>	<p>Agreed. Permit condition included.</p>
<p><i>In accordance with Section 3.3 of the Development Plan, any permit granted must include a condition requiring a Construction Management Plan that outlines:</i></p> <ul style="list-style-type: none"> <i>• How the development will be managed to minimise off site amenity and environmental impacts</i> <i>• How parking and access will be managed</i> 	<p><i>Construction Management Plan is able to be addressed via condition on permit. A copy of a CMP prepared by Bldg.Eng is provided.</i></p>	<p>Agreed. Permit condition included.</p>
<p><i>Detailed engineering plans should be required by condition to show a properly prepared design with computations for the internal drainage and method for of disposal of stormwater from all roofed areas and sealed areas including OSD, connection to nominated LPOD and integration of WSUD features. Refer to draft conditions.</i></p> <p><i>Engineering plans and designs must consider the retention and protection of trees within the development site.</i></p>	<p><i>Detailed engineering plans can be addressed via condition on permit and have due regard to the existing vegetation to be retained.</i></p>	<p>Agreed. Permit condition included.</p>



Key Considerations

55. The following are deemed the key considerations in assessing the acceptability of the proposal:
- Whether the proposal is consistent with the Planning Policy Framework and the purpose and decision guidelines of the Neighbourhood Residential Zone, Development Plan Overlay and relevant overlays as contained within the Banyule Planning Scheme.
 - Whether the proposed development is acceptable having regard to the site conditions, site context, surrounding residential amenity, sustainable building design and landscape policies.
 - Whether the proposed vegetation removal is appropriate.

Strategic Direction and Land Use

56. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
57. The *Planning Policy Framework* encourages the delivery and integration of education and early childhood facilities with local and regional communities. It seeks to facilitate the establishment and expansion of primary school and secondary education facilities to meet the existing and future education needs of communities (Clause 19.02-2S).
58. The Municipal Planning Strategy (MPS) recognises one of Banyule's strengths is based on its range of activities, including educational activities. Moreover, that these educational services are imperative to be responsive to the existing and likely future needs of the community (Clause 02.03-8). The proposal will improve an existing educational facility by upgrading a currently underutilised building on-site (Benson Centre) to a modern and exemplar-designed building that will cater towards Years 10-12.
59. The purpose of the Neighbourhood Residential Zone includes allowing educational uses to serve local community needs in appropriate locations. The State planning policies in the Planning Scheme acknowledge education is a social need for which land is required and, in general terms, the appropriateness of integrating educational facilities with local communities.
60. The design ensures the proposed building will not adversely impact the amenity of the surrounding area whilst being generally consistent with the building envelope approved by the endorsed Development Plan. Importantly, no new students or staff will be generated as a consequence of the proposal, consistent with the Development Plan.

Buildings and Works in Neighbourhood Residential Zone

61. The proposal is appropriate having regard to the non-residential use and development decision guidelines of the Neighbourhood Residential Zone as follows:
- The development will improve the existing facilities and overall operation of the established non-residential use of the land (secondary school). Such upgrades will enable the school to continue to serve local community needs.
 - The proposed height and scale of the development is appropriate for its location on the site and to the neighbourhood context.
 - The site can comfortably accommodate the new building, particularly given the new building will replace existing buildings to be demolished and still provide setbacks for landscaping and vegetation retention.
 - The proposed building, by way of its heights, setbacks, and general appearance, has been designed with regard to the character of the buildings on the subject site which are compatible with its education centre use.

- The proposed landscaping is commensurate with the extent of works proposed and will result in an improved outcome compared with existing conditions.
- The proposed development is proposed to be located within the school grounds with a generous front setback of 17 m from The Ridgeway. There are no direct residential abutments and sufficient setbacks to property boundaries are proposed to further minimise off-site amenity impacts.

Compliance with the Development Plan

62. The land is subject to a Development Plan Overlay. The Development Plan, Ivanhoe Grammar School, The Ridgeway Campus was approved Banyule City Council on 29 November 2023 and amended on 13 March 2024. The plan provides for the future growth of the school, as showing in Figure 12 below.

Figure 3.1 Proposed Developments

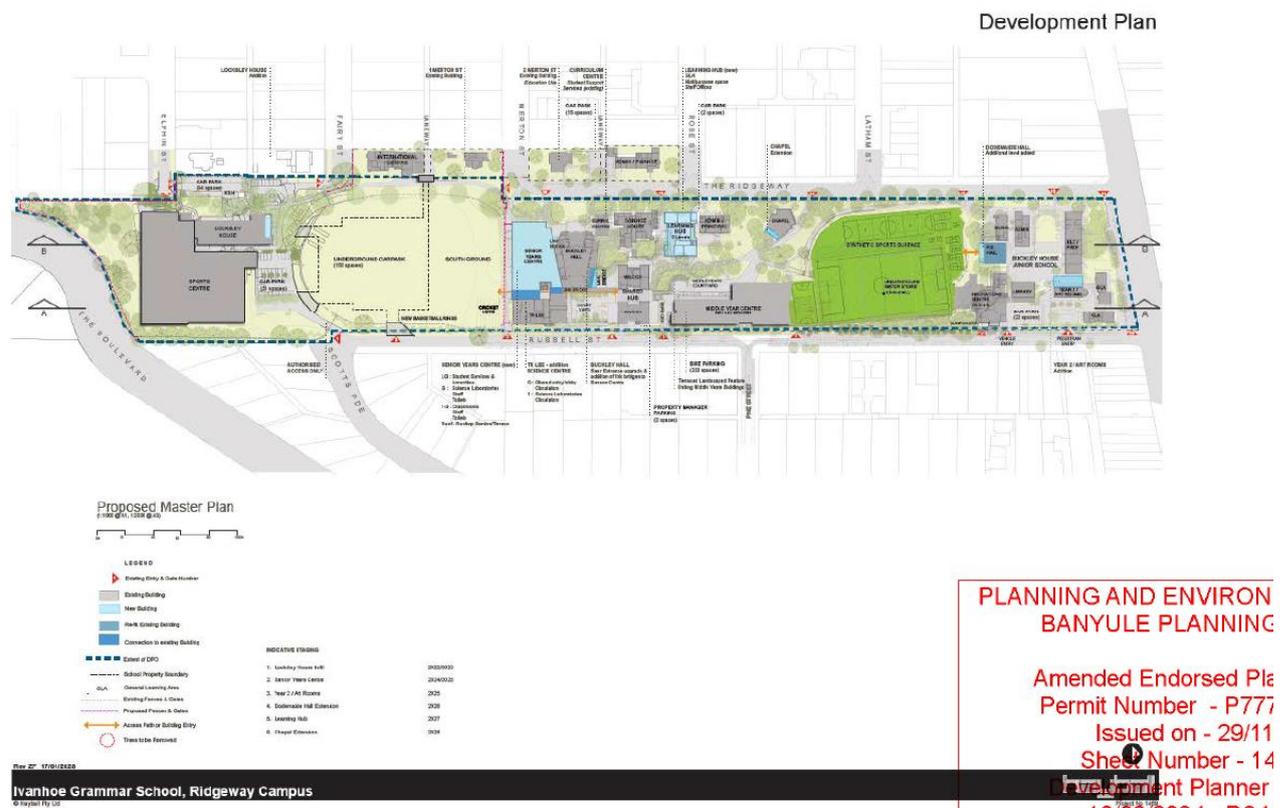


Figure 12: Master plan for the school, page 3 of the Development Plan, Ivanhoe Grammar School The Ridgeway Campus, dated 13 March 2024.

63. The proposed Senior Years Centre is considered to be generally in accordance with the building envelope within the approved Development Plan, albeit in a slightly modified location to respond better to the sloping of the land and the location of the existing sports field which remains untouched by this application.
64. The new building will provide classrooms (to consolidate its Senior Years into one building), general purpose learning areas, breakout areas for students, toilets, offices and changerooms.
65. A usable rooftop area which includes a café, landscaped terrace areas, boardroom and plant room is proposed. The café and associated rooftop areas are only accessible by students and staff and will only operate during standard school hours. The café will not operate as a separate land use, and will be restricted to students and staff only.
66. Plans have been prepared by Wood Marsh providing a comparison between the approved envelope within the Development Plan and the proposed building, see figures below.

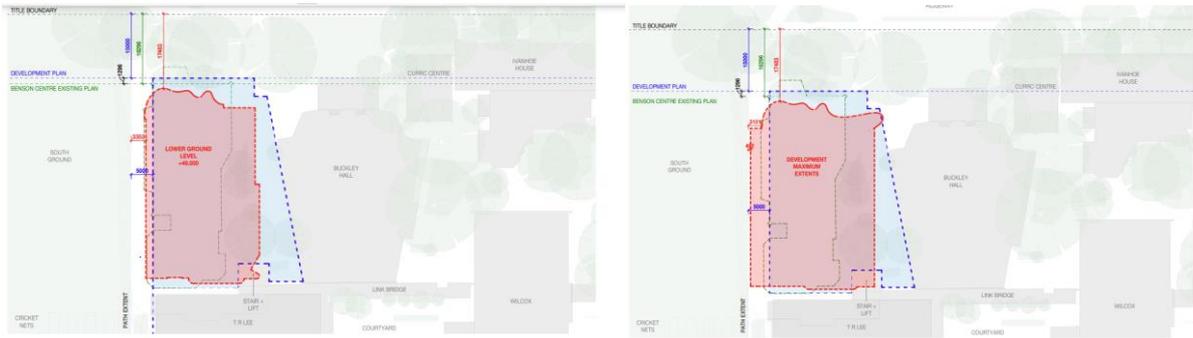


Figure 13: comparison of Development Plan guide (blue) and proposal (red) lower ground and Level 1

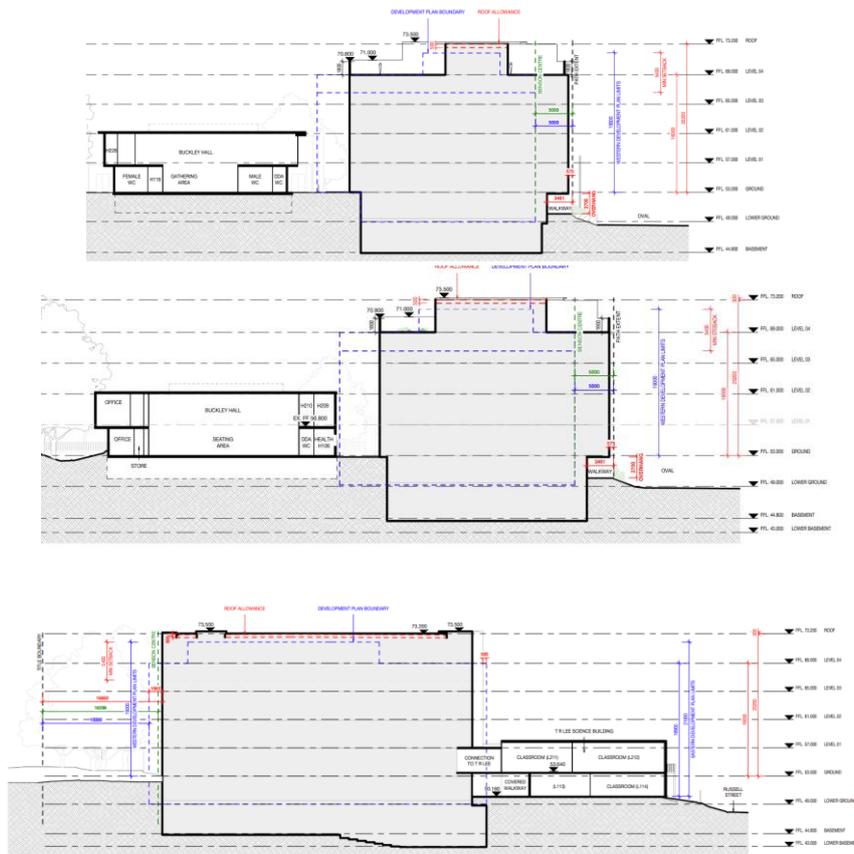


Figure 14: comparison of Development Plan guide (blue) and proposal (red) in sections

67. The following differences between the building envelope and the proposed building are summarised as:

- Shifting the building envelope further south, by up to 4.25 metres. This increases separation between the proposed building and Buckley Hall to the north (increased setbacks of approximately 2 metres to 9.7 metres), which maximises daylight access to the new classrooms and provides for an attractive outlook and the creation of an external amphitheatre area which has been cleverly designed respond to the existing topography / change in levels across the land. Relative to the south, it will cantilever over the existing east-west pathway, with 2.7 metres clearance to same, providing some weather protection to this pathway and achieving an appropriate connection with the South Ground. This does not compromise the intent of the Development Plan given it does not reduce any setbacks to residential interfaces (given the South Ground immediately abuts this interface) or increase any overshadowing impacts to residential dwellings to the southwest.



- The front setback of the Senior Years building to The Ridgeway is increased from 15 metres to 17.48 metres. The increased setback allows for the protection of canopy trees (Trees 58, 59 and 63) between the proposed building and The Ridgeway. The retention of vegetation will provide a visual break and retain the 'garden setting' of the locale. Given the building's main external entry is in the northwestern corner, this also achieves a well landscaped pedestrian entry point for users of the building.
 - Increasing height above the 19 to 21.9 metres envisaged for the west and east elevations respectively. The proposed building is 20.2 metres high to the west elevation and 23.4 metres to its east elevation. While this is higher than that nominated Development Plan, it has occurred as a response to the introduction of the sculptural 'ribbed' white brick western façade with varied setbacks and between realising and understanding the substantial changes in natural ground levels. The Development Plan envisaged a 16 metre high wall, with the uppermost 5.4 metres to have a staggered setback to minimise visual bulk. It is considered that the sculptural and ribbed western elevation, with increased setbacks, ensures the building will not appear visually bulky. The siting of the building ensures there are no unreasonable off-site amenity impacts as a result of the increased height.
68. These changes to the building envelope are considered to be consistent with the overall intention of the Development Plan and are supported. Banyule City Council have also reviewed the documentation submitted with the application and support the proposal, subject to the conditions which will be included on the planning permit.

Design Detail

69. The proposed architectural response is contemporary and has been designed with fitting regard to the operational needs of the school use, including the need to provide external shading, privacy, acoustic treatments, ESD initiatives and importantly, longevity in the buildings structure and materiality.
70. The Senior Years Centre is considered the school to be the new public face of the Ivanhoe Grammar School campus. Specifically, *the main western façade is a sculptural, undulating ribbon of brick that acts as a canvas to the established mature trees already present on site within the front setback. This will provide a backdrop to the constantly shifting shadows cast by the trees in front, giving a sense of movement across the new building.*
71. The applicant describes the proposed materials as follows:
- The use of a handmade, cream brick, curving across the full extent of the building's western elevation, takes a purposefully 'domestic' material and uses it in an unexpected way to create a dynamic, rippling façade. The brick wall is seen as an artistic statement for the school, a sculptural object, facing onto The Ridgeway. The domestic materiality of the wall helps to act as a transition between the suburban streetscape on the western side of The Ridgeway and the more institutional school campus to the east. With no openings beyond the curved arch of the main entrance on the north western face, the façade acts a protective shield between the suburban streetscape and the varied program of teaching spaces held within.*
72. The materials proposed for the buildings are modern and are appropriate when considering the established secondary school use of the land and the character of buildings which exist on the land. Moreover, the proposed materials, finishes and design details of the addition are visually interesting and will not have a negative impact on the immediate character of the area, particularly when the building is viewed in conjunction with existing and proposed landscaping.
73. The top floor café level is set back significantly from the building edge to reduce visual bulk from views across The Ridgeway, surrounding streets and the South Ground.
74. The building aligns with the general objectives of the Banyule preferred neighbourhood character and urban design objectives within the planning scheme for educational facilities.
75. DTPs Urban Design Team have commended the overall design and materiality of the new building, and the council has also provided positive comments on the design.

Heritage

76. The buildings and works will have no impact on the heritage significance of the site. The [proposed building to be demolished are not of contributory significance and significant fabric or the setting of significant fabric is not affected.
77. No significant trees identified within the schedule to the Heritage Overlay are affected.
- 78.

Amenity

79. The proposed buildings and works are to be located within an area of the subject site which is separated from nearby residential dwellings.
80. Due to the degree of separation provided by The Ridgeway and the 17 metre front setback of the proposed building, it is considered the proposal will not cause unreasonable amenity impacts to nearby residential dwellings, by way of overshadowing or overlooking. Shadow diagrams submitted demonstrate shadows will be confined to fall across the road or footpaths.
81. The proposed landscaping and retention of the trees within the front setback will assist in filtering views of school buildings from the street, thus limiting potential for visual bulk impacts.
82. This application does not seek to intensify the existing established school use of the site in terms of staff or student numbers. Therefore, it is considered noise related impacts will not be adversely increased by the proposal.
83. The proposal is considered to be acceptable in off-site amenity impact terms and is responsive to the amenity related decision guidelines of the NRZ1 of the Banyule Planning Scheme.

Native Vegetation removal

84. The Vegetation Protection Overlay – Schedule 3 seeks to retain and enhance the vegetation, and in particular the tall trees in the area, that contribute to the identified character of the area.
85. The Senior Years Centre is located withing Zone 4 of the Development Plan which lists the trees on site. The Development Plan (Page 3-5) states “*all trees will be removed to the north of the existing building, but significant trees nos. 58, 59 and 63 to the west are able to be retained*”. This correlates with the Existing Landscape Plan at Appendix B of the Development Plan, where trees to be retained are numbered.



Figure 15: existing trees on site in Zone 4, page 47 of the Development Plan.

86. It is proposed to remove eight (8) trees (Trees : 64, 65, 66, 67, 68, 69, 70 & 71) to construct the new Senior Years Centre. These trees are located between the existing Benson Centre and Buckley Hall to the north.

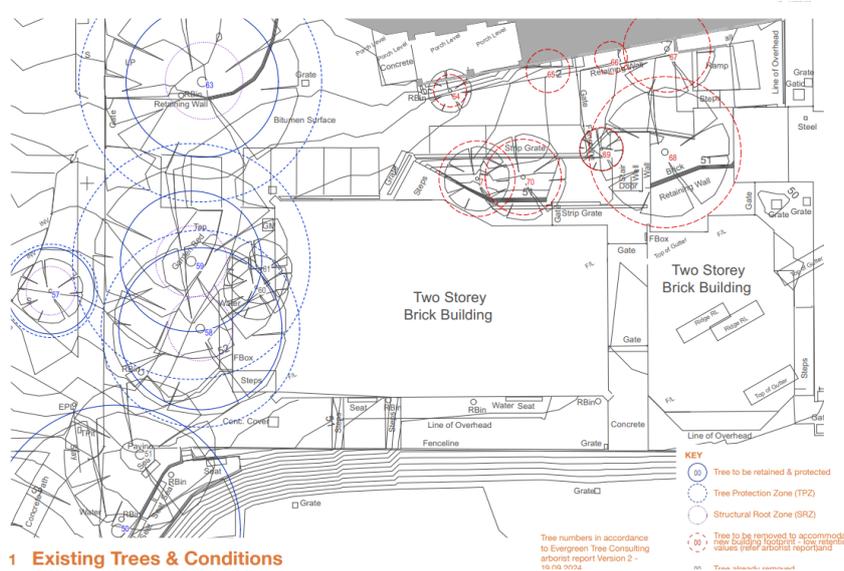


Figure 16: trees proposed for removal in red, Landscape Plan prepared by Urban Initiatives Pty Ltd

87. Importantly, Tree(s). 58, 59 and 63 which are considered significant vegetation, are to be retained consistent with the Development Plan.
88. A landscape plan has been prepared by Urban Initiatives Pty Ltd and indicates replacement planting around the perimeter of the proposed Senior Years Centre.
89. An arborist report prepared by Evergreen Tree Consulting and the landscape plans prepared by Urban Initiatives was submitted with the application in support of the vegetation removal. The proposed extent of vegetation removal is considered appropriate for the following reasons:
- Trees to the north of the Benson Centre have all been identified for removal within the Development Plan.
 - Significant trees along the western boundary are to be retained as part of this application. A Tree Management Plan has been submitted and reviewed by Banyule City Council. This plan will ensure their safe retention during demolition and construction.
 - A landscape plan has been prepared by Urban Initiatives which details landscaping at ground level, to better integrate the building with the sloping topography, along with rooftop planters.
 - The retention of existing trees and establishment of a generation of new trees will enable continued habitat for local flora and fauna.
90. With regard to the Vegetation Protection Overlay, the proposed tree removal is not considered unreasonable given tree removal to the north of the existing Benson Centre is considered with the Development Plan (Page 3-5) and having regard to the replacement landscape scheme prepared by Urban Initiatives. Significantly, Tree(s). 58, 59 and 63 (to the west) have are being retained to ensure the vegetation protection objectives are achieved.
91. The Significant Landscape Overlay seeks to protect the Yarra River corridor environs. In particular, the controls require the location, building height, bulk and appearance of buildings to be carefully considered to avoid unnecessary impacts upon the visual and aesthetic qualities of the area. The proposed Senior Years Centre has been appropriately setback from The Boulevard (noting its location, replacing the Benson Centre), materials selected and retention of some existing mature vegetation and landscaping proposed so that it will not result in adverse



amenity impacts from the Yarra River and surrounds. The objectives of this overlay will therefore not be compromised.

Landscaping

92. The development will create new opportunities for meaningful landscaping which is a welcomed element of the overall subject site.
93. Landscaping is proposed to the building forecourt and the northern and southern interfaces in accordance with the landscape plan prepared by Urban Initiatives. This includes softening the corridor between the proposed building and Buckley Hall to the north and providing a connection / managing the change in levels to the South Ground. Further planting is also proposed at rooftop level to provide enjoyable openair areas for students. The landscape plan provides sufficient opportunities for landscaping in this location and context of an education facility.
94. It is considered the proposal will make a positive contribution to the landscaped character of the local area and is responsive to the landscaping and vegetation retention decision guidelines specified under the NRZ1 and the Banyule Planning Scheme.

Car and Bicycle Parking, Loading, and Other Services

Car Parking and bicycle Facilities

95. The proposal does not include an increase in the number of staff or students at the school and therefore, no additional car parking is required to be provided pursuant to the rate specified under Clause 52.06-5.
96. The proposal does not seek to include any new car parking areas or vehicle accessways.
97. There is no proposed change to staffing or student number, therefore no permit is triggered under Clause 52.34-2.

Sustainability

Environmentally Sustainable Design (ESD)

98. Banyule City Council has provided comments on amendments and additional information recommended to the SMP provided, including stormwater matters. A permit condition is included to allow for an amended SMP to be submitted to satisfaction of the council.

Other Matters

Staging

99. In order to enable demolition works to occur over the summer school holiday period, the applicant has proposed to stage the development so that demolition can occur prior to obtaining endorsed plans and associated reports for the buildings and works component (which may take longer for endorsement due to the technical nature of some of these reports). The applicant submits that the Tree Management and Protection Plan and a limited Construction Management Plan are the only documents required for demolition to occur.
100. Banyule City Council was informally referred these documents and have reviewed the content. No objection or changes were requested from the council.
101. DTP officers agree with this approach and have prepared planning permit conditions to reflect this staged approach.

Recommendation



102. The proposal is generally consistent with the relevant planning policies of the Banyule Planning Scheme and will contribute to the provision of upgrading non-government school facilities within the Ivanhoe area.
103. The proposal is generally supported by the council.
104. It is **recommended** that Planning Permit No. PA2403326 for the demolition of existing building, buildings and works associated with construction of a Senior Years Centre and removal of vegetation at 41 The Ridgeway, Ivanhoe be issued subject to conditions.
105. It is **recommended** that the following documents be endorsed to allow demolition to occur on the site, prior to the endorsement of amended plans:
- Construction Management Plan prepared by Bldg.Eng dated 20 March 2024, and
 - Tree Management Plan and Tree Protection Plan prepared by Evergreen Tree Consulting dated 4 December 2024.
106. It is **recommended** that the applicant and the council be notified of the above in writing.



Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name: [Redacted]
Title: Senior Planner, Development Approvals and Design
Signed: [Redacted]
Phone: [Redacted] Dated: 17 December 2024

Reviewed / Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name: [Redacted]
Title: Manager, Priority Projects
Signed: [Redacted]
Phone: [Redacted] Dated: 18/12/2024