

Assessment Officer Report

PA2402928 – 90 High Street,
Seymour



Officer Assessment Report
Development Approvals & Design

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Executive Summary



Key Information	Details		
Application No:	PA2402928		
Received:	23 May 2024		
Statutory Days:	54		
Applicant:	Ethos Urban Pty Ltd		
Planning Scheme:	Mitchell		
Land Address:	90 High Street, Seymour		
Title:	Volume 00410 Folio 885 There are no covenants over the site.		
Proposal:	Buildings and works associated with the construction of a double storey VCE and Senior Learning Centre.		
Development Value:	\$ 7 m		
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Mitchell Planning Scheme, the Minister for Planning is the responsible Authority for this application because it is for the development of school building that is ancillary to, carried out in conjunction with and on the same land or contiguous land in the same ownership as a primary school or secondary school as the estimated cost is greater than \$3 million.		
Why is a permit required?	Clause	Control	Trigger
Zone:	36.01	Public Use Zone, Schedule 2	<i>Construct a building or construct or carry out works</i>
	32.08	General Residential Zone, Schedule 1	<i>N/A – works associated with car parking for new VCE building.</i>
Overlays:	Clause 43.02	Design and Development Overlay Schedule 9	<i>For buildings and works with a height greater than 10m above ground level.</i>
	Clause 44.03	Floodway Overlay	<i>N/A</i>
	Clause 44.04	Land Subject to inundation Overlay	<i>N/A – provision of new car parking within the LSO constructed at grade.</i>
Particular Provisions:	Clause 52.06	Car Parking	<i>N/A – car parking provided.</i>
Cultural Heritage:	The proposed area of works is located outside of the cultural heritage overlay, therefore a CHMP is not required.		
Total Site Area:	50,162	m ²	
Gross Floor Area:	1,200	m ²	
Referral Authorities:	Mitchell Shire council Goulburn-Broken Catchment Management Authority		
Public Notice:	Notice of the application under section 52 of the Act was not required because it was deemed that there would be minimal adverse amenity impacts to any other party.		
Recommendation:	Grant a planning permit PA2402928		



Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
Pre-application meeting	N/A
Application lodgement	23 May 2024
Further information requested	N/A
Further information received	N/A
Decision Plans	Plans prepared by ROAM Architects , titled ' St Mary's College Senior Learning Centre ' and dated 13 May 2024 .
Other Assessment Documents	<ul style="list-style-type: none">Landscape plan, prepared by Enlocus Landscape Architects, Rev. B and dated 29/05/2024.Bushfire Attack Level, prepared by Inspections Unlimited, dated 17/04/2024Tree Assessment Report, prepared by ArborSite, dated 89 May 2024Water Sensitive Urban Design (WSUD) Report, prepared by Building Physics RP and dated 7 May 2024

2. The subject of this report is the decision plans (as described above).

Proposal Summary

3. Planning permit application PA2402928 proposes to construct a double storey VCE and Senior Learning Centre on the site at 90 High Street Seymour.

4. Specific details of the application include:

- Single storey-built form with skillion roofing, sited directly to the north of the existing multipurpose hall.
- Maximum building height of 7.40m
- 1200m² of floor area.
- Nine learning spaces, including specialist learning spaces, collaborative spaces, student amenities, kitchen and office spaces.
- Landscaping.
- Tree removal.
- Various materials including brickwork, lightweight cladding, Colorbond Sheeting and timber decking.
- Construction of 7 new parking spaces, north of the existing courts

5. The applicant has provided the following concept image/s of the proposal:

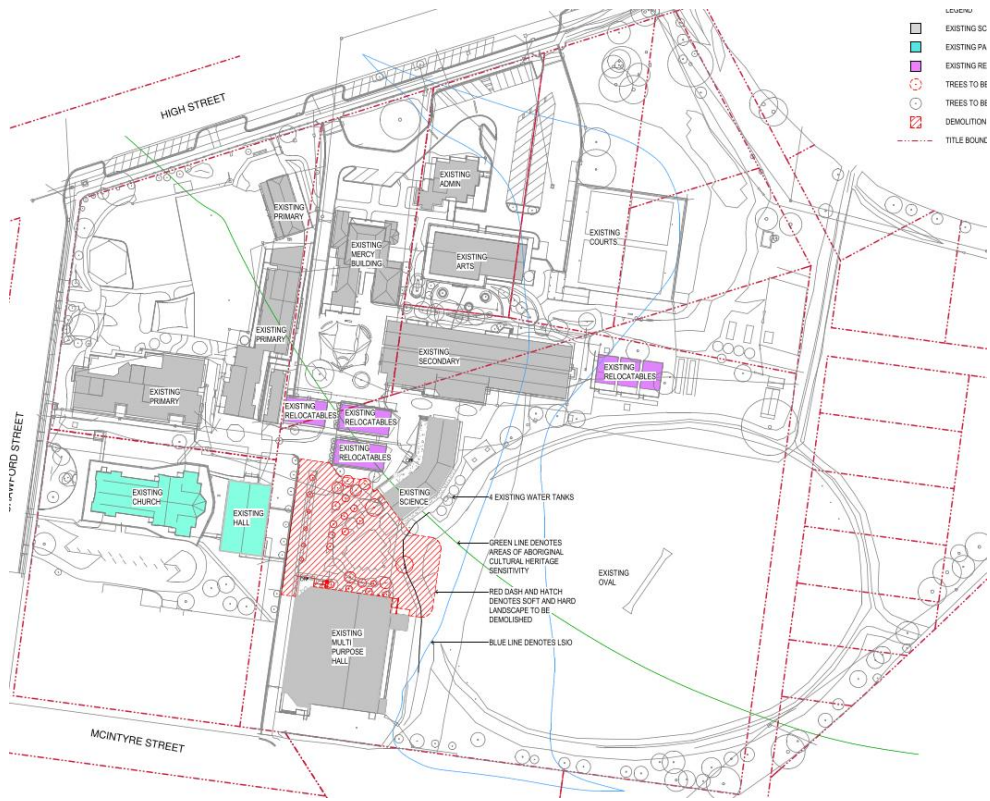


Figure 1: Site Plan – Proposed works location shown in red hatching

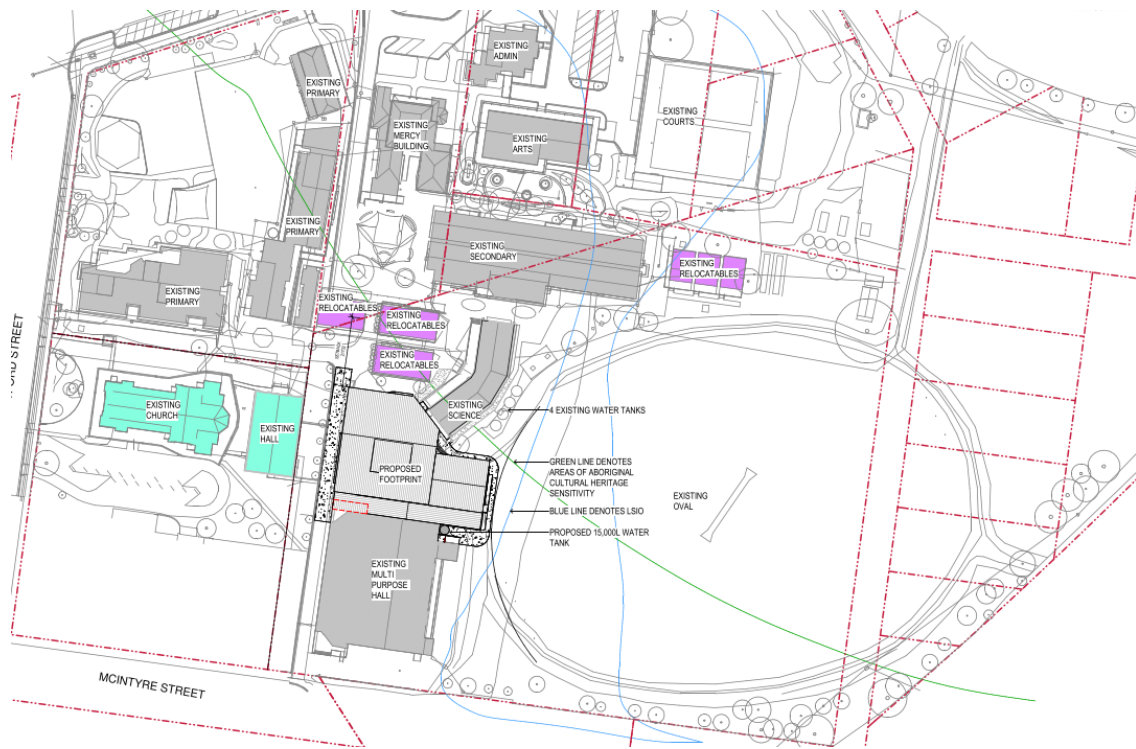


Figure 2: Site Plan – Proposed VCE building.

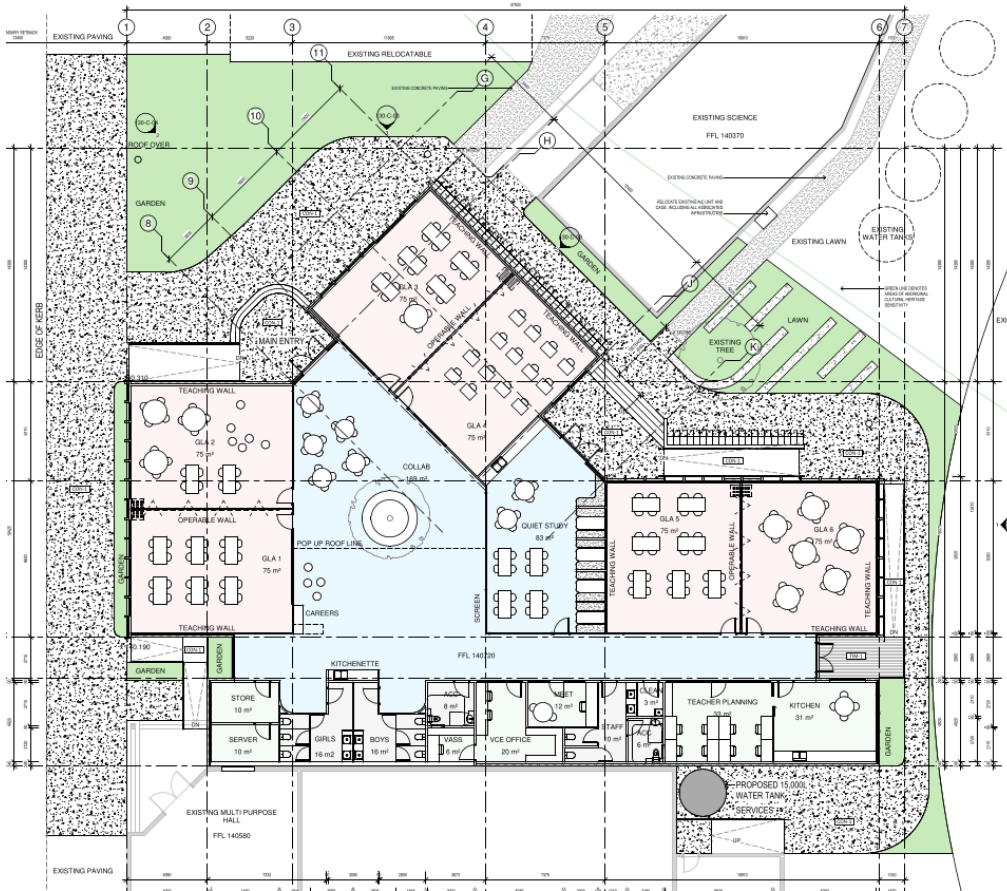


Figure 3: Proposed floor plan

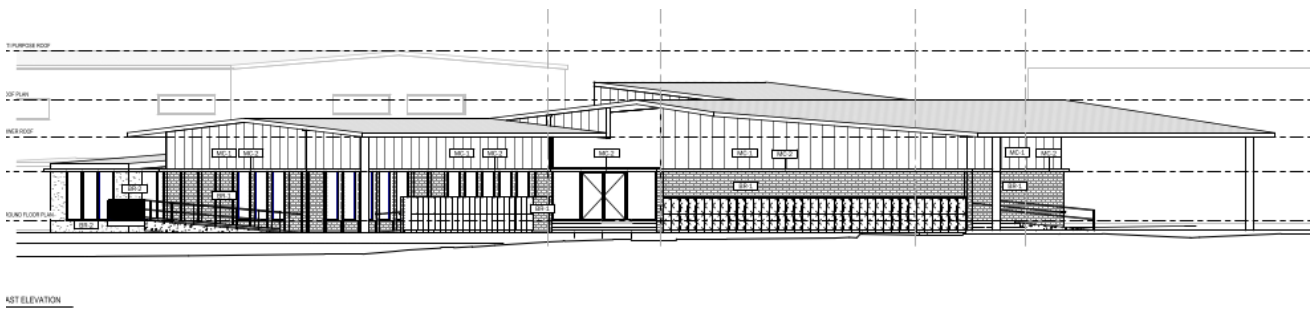


Figure 4: Elevation



Site Description

- The site is referred to as 90 High Street, Seymour. The site is irregular in shape and located to the south of High Street, east of Crawford Street, with the majority of buildings associated with the school located to the northeast of St Marys Catholic Church.



Figure 5: Site location highlighted in blue.

- The existing school comprises of both primary and secondary school students. The school buildings on the site comprises of administration buildings, car parking areas outdoor play spaces, classrooms, multipurpose hall, sporting facilities and associated outbuildings.
- The proposed new VCE building is located centrally to the site, north of the existing multi-purpose hall, east of the church hall and south of the existing science buildings.

Site Surrounds

- The surrounding development consists mainly of residential dwellings.
- Development surrounding the site can be described as follows:
 - To the **north** of the site:

The northern boundary of the site abuts High Street, the land to the north consists of residential dwellings and to the northeast Whiteheads Creek and associated parkland.
 - To the **south** of the site:

The southern boundary interfaces with Pioneer Park.
 - To the **east** of the site:

The eastern boundary is adjacent to land associated with the railway line.

- To the **west** of the site:

The western boundary of the site abuts Crawford Street and St Marys Catholic Church. Residential housing is located on the western side of Crawford Street comprising of regular residential subdivision.

11. The land associated with the school has several flooding overlays which predominately affect the sporting fields of the land. Only the LSIO partially covers the area where the building works are proposed and over the proposed new, seven car spaces.



Figure 6: Flood overlays affecting the site.



Municipal Planning Strategy

12. The Planning Policy Framework (PPF) provides the broad policy direction within the Victorian Planning Provisions. The planning principles set out under the PPF are to be used to guide decision making on planning proposals across the state.
13. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03-1	Settlement – Outside the urban growth boundary
02.03-3	Environmental risks and amenity
02.03-9	Infrastructure – community facilities

Planning Policy Framework

14. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	Settlement
11.01-1R	<p>Settlement</p> <p><i>Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.</i></p>
Clause 13	Environmental Risks and Amenity
Clause 13.02-1S	<p>Bushfire Planning</p> <p><i>To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.</i></p> <p><u>Protection of human life</u></p> <ul style="list-style-type: none"> - <i>Prioritising the protection of human life over all other policy considerations.</i> - <i>Directing population growth and development to low-risk location and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.</i> - <i>Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process.</i> <p><u>Bushfire hazard identification and assessment</u></p> <ul style="list-style-type: none"> - <i>Identify bushfire hazard and undertake appropriate risk assessment.</i> - <i>Applying the best available science to identify vegetation, topographic and climate conditions that create a bushfire hazard.</i> - <i>Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.</i> - <i>Applying the Bushfire Management Overlay to areas where the extent of vegetation can create an extreme bushfire hazard.</i> - <i>Considering and assessing the bushfire hazard on the basis of:</i> <ul style="list-style-type: none"> - <i>Landscape conditions.</i> - <i>Local conditions</i> - <i>Neighbourhood conditions</i> - <i>The site for the development.</i> - <i>Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.</i> - <i>Ensuring that strategic planning documents, planning scheme amendment, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.</i> - <i>Not approving development where a landowner or proponent has not satisfactorily demonstrated that</i>

the relevant policies have been addressed, performance measures satisfied, or bushfire protection measures can be adequately implemented.

	<i>Floodplain Management</i>
13.03-1S	<ul style="list-style-type: none"> - <i>Identify land affected by flooding, including land inundated by the 1 in 100-year flood event (1 per cent Annual Exceedance Probability) or as determined by the floodplain management authority in planning schemes.</i> - <i>Avoid intensifying the impact of flooding through inappropriately located use and development of land.</i> - <i>Plan for the cumulative impacts of use and development on flood behaviour.</i> - <i>Locate emergency and community facilities (including hospitals, ambulance stations, police stations, fire stations, residential aged care facilities, communication facilities, transport facilities, community shelters, child care centres and schools) outside the 1 in 100 year (1 per cent Annual Exceedance Probability) floodplain and, where possible, at levels above the height of the probable maximum flood level.</i>
Clause 15	Built Environment and Heritage
15.01-1L-01	<p>Urban Design in activity centres and townships</p> <p><i>To enhance the presentation of activity centres and townships.</i></p>
15.01-2S	<p>Building Design</p> <p><i>To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally suitable development.</i></p>
15.01-2L	<p>Energy and resource efficiency</p> <p><i>Support buildings that are self -sufficient in energy generation and waste management</i></p>
Clause 19	Infrastructure
19.02-2S	<p>Education facilities</p> <p>To assist the integration of education and early childhood facilities with local and regional communities.</p> <ul style="list-style-type: none"> - <i>Consider demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.</i> - <i>Ensure childcare, kindergarten and primary school facilities to maximise access by public transport and safe walking and cycling routes.</i> - <i>Facilitate the establishment and expansion of primary and secondary school education facilities to meet the existing and future education needs of communities.</i> - <i>Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).</i>

Zoning and Overlays

Applicable Zone/s

15. The overall subject land is affected by the Public Use Zone – Schedule 2, the General Residential Zone – Schedule 1 (GRZ1) and the Urban Floodway Zone.
16. The proposed building is located exclusively within the Public Use Zone Schedule 2 with the new car park area located within the GRZ1

Public Use Zone

17. Pursuant to Clause 36.01-2 a planning permit is required to construct or carry out building or works associated with a Section 2 use of Clause 36.01-1.
18. The following sections include a discussion of how the proposal responds to these requirements.

Applicable Overlay/s

Land Subject to Inundation Overlay



19. A planning permit is required to construct a building or construct or carry out works in accordance with Clause 44.02-2.
20. The objectives and decision guidelines relevant to this proposal are:
- Any comments of the relevant floodplain management authority.
 - The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities.
21. The proposed building is located outside of the LSIO, therefore no planning permit is required under this overlay. The additional car parking to be provided as part of the application is located within the LSO, however is to be constructed at grade and will not obstruct the flow of water therefore not triggering a planning permit.

Design and Development Overlay Schedule 9

22. A planning permit is required to construct a building or construct or carry out works for a building greater than 10m in height. As the building is not proposed to exceed 10 metres, no planning permit is required under this provision.

Other Overlays

Floodway Overlay

22. The application does not propose any works located within the FO.

Heritage Overlay

23. The application does not propose any works located within land affected by the HO.

Environmental Significance Overlay

24. The application does not propose any works located within land affected by the ESO.

Particular and General Provisions

Provisions that Require, Enable or Exempt a Permit

Clause 52.06 (Car Parking)

25. Clause 52.06-1 is applied to a new use of land. The proposal is not a new use of land but the additional building results in an increase in floor area. The application documents have confirmed that there will be an additional 6 teaching staff as a result of the proposal.
26. Clause 52.06-5 requires the following car parking requirements for the proposal:

Planning Scheme Categorisation	Parking Rate	Requirement	Supply
Secondary School	1.2 space each employee that part of the maximum number of employees on the site, at any time	Up to 6 staff – 7 spaces	The applicant has included an additional 7 spaces as part of the application.

27. As the proposal will provide an additional 7 car parking spaces, it is considered the proposal provides an acceptable provision of car parking and a planning permit is not required to reduce the number of spaces statutorily required.

Clause 52.34 (Bicycle Facilities)



28. The application proposes no increase to student numbers and an increase of 6 teaching staff. The bicycle parking rate for secondary school is 1 to each 20 employees and 1 to each 5 pupils.

29. As such, no additional bicycle parking is required to be provided on site.

Clause 53.19 (non-government schools)

30. Clause 53.19 applies to the use and development of land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.

31. An application to which Clause 53.19 applies, exempts it from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act.

Clause 53.18 Stormwater in Urban development

32. Clause 53.18 (Stormwater in urban developments) applies to this application for buildings and works. The clause includes standards and objectives relating to stormwater management and aim to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits. General Requirements and Performance Standards.



Referrals

33. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 55 Referral – Determining	Goulburn-Broken Catchment Management Authority	14/06/2024
Section 55 Referral – Section 52 notice	Mitchell Shire Council	No response

Municipal Council Comments

34. The **Mitchell Shire** Council (the council) have not provided a referral response to the application.

Advice sought from other agencies.

Goulburn Broken Catchment Management Authority

35. Goulburn-Broken Catchment Management Authority have provided conditional support for the proposal. The conditions required by Goulburn Broken CMA have been included as conditions on the permit.

Notice

36. The application was not advertised other than to the municipal authority under section 52(1)(b) as it was considered not to cause material detriment to any person because:

- There is no residential interface with the proposed buildings and works.
- The building is located behind the existing multi-purpose hall and church buildings and will not affect view lines outside the existing school grounds.



Strategic Direction and Land Use

38. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
39. The relevant MPS and PPF policies have been considered in assessing the application.
40. The proposed land use is consistent with the strategic direction of the following policies.
41. Clause 11.01-1S which promotes:
- *Develop sustainable communities through a settlement framework offering convenient access to jobs, services, infrastructure and community facilities.*
 - *Provide for growth in population and development of facilities and services across a regional or sub-regional network.*
42. Clause 11.01-1L-02 which promotes:
- *To strengthen Seymour as a regional centre.*
43. Clause 13.03 which has an objective of:
- To assist in the protection of:
- *Life, property and community infrastructure from flood hazard, including coastal inundation, riverine and overland flow.*

The following strategies are relevant to the application:

- *Avoid intensifying the impact of flooding through inappropriately located use and development.*
- *Locate emergency and community facilities (including hospitals, ambulance stations, police stations, fire stations, residential aged care facilities, communication facilities, transport facilities, community shelters, child care centres and schools) outside the 1 in 100 year (1 percent Annual Exceedance Probability) floodplain and, where possible, at levels above the height of the probable maximum flood.*

Clause 19.02-2S provides the following guidance:

Education Facilities

To assist in the integration of education and early childhood facilities with local and regional communities.

- *Consider the demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.*
- *Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities.*
- *Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).*

44. The proposed new VCE centre to the existing school has taken these local planning policies into account, with the siting of the new buildings within the existing school grounds. The new VCE building will help to meet the future education needs of the surrounding population.

Public Use Zone

45. The purpose of the zone is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise public land use for public utility and community services and facilities.
- To provide for associated uses that are consistent with the intent of the public land reservation or purpose.

46. The guidelines in the zone provide limited direction for non-residential uses which are allowable under Section 2 of Clause 36.01-1 For the consideration of non-residential uses, the decision guidelines direct decisions to consider the Municipal Planning strategy and the Planning Policy Framework.

47. Accordance with guidelines and purpose of zone which recognises public land use for community services and facilities the provision of the new single storey VCE building located within the school grounds provides an acceptable built form outcome.

48. The use of the land as a school is ongoing and does not trigger a planning permit.

49. It is noted that no works are proposed within the General Residential Zone or the Urban Floodway Zone.

Buildings and Works

50. Detailed plans have been submitted for the proposed VCE building, comprising of a single storey leaning building consisting of 6 classrooms, collaborative space, quiet study area, bathrooms for students, teacher's offices, meeting rooms and kitchen space.

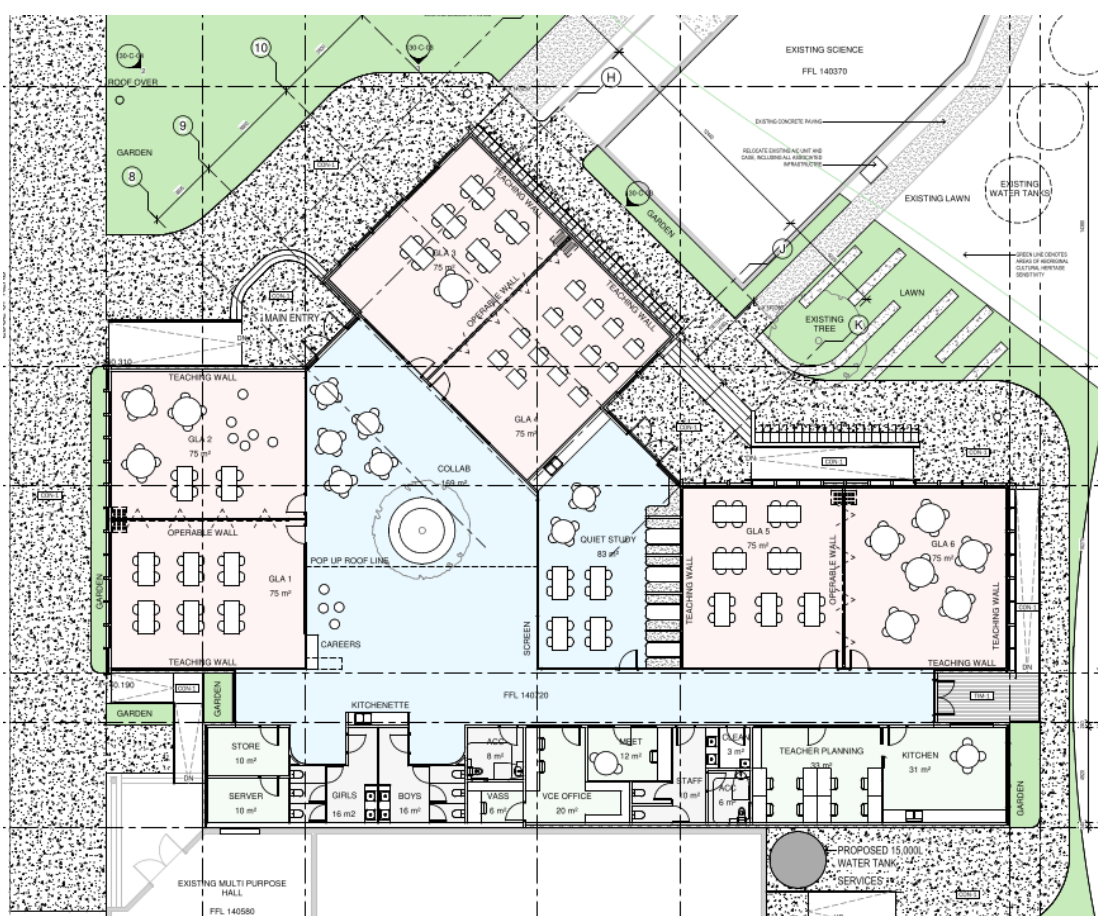


Figure 7: Proposed floor plan

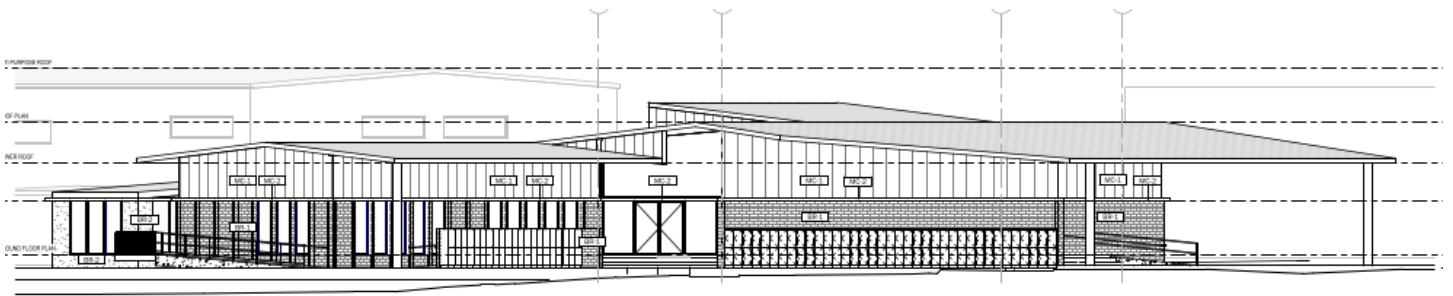


Figure 8: Proposed North elevation.



Figure 9: Location of new building

51. The plans show the building is setback from McIntyre Street, it comprises of large classrooms, flexible learning spaces, teaching staff rooms, VCE office and bathrooms. These spaces are linked by internal collaboration and quiet study spaces which provide additional flexible learning opportunities for students.
52. The buildings utilise a mixture of hip and skillion roof forms creating visual interest when viewed internally from the surrounding school and from the adjoining church grounds.
53. The roof form has been orientated to maximise solar exposure to classrooms and raised floor levels have been incorporated to address the flooding concerns raised by the relevant water authority.

Height and Setbacks

54. The proposed VCE building has a maximum building height of 7.4m, length of 42.9m and width of 38.0m with an irregular built form. The building is sited directly north of the multipurpose hall, abuts the existing science building to the northeast and is set back 13.4m from the western boundary with the church grounds.

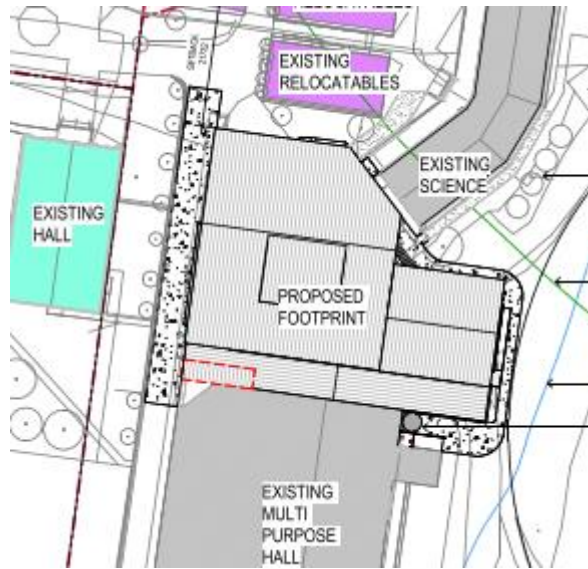


Figure 10: Location of new building

Design Detail

- 55. The proposed design detailing and materiality of the VCE building is consistent with the existing school buildings which consist of a variety of materials including brick, and external panelling.
- 56. The proposed building consists of face brickwork at the lower level and light weight wall cladding at the upper levels, following through the design strategy of the adjacent sports facility. The new building will contribute to the character of the school grounds and public realm (where visible).

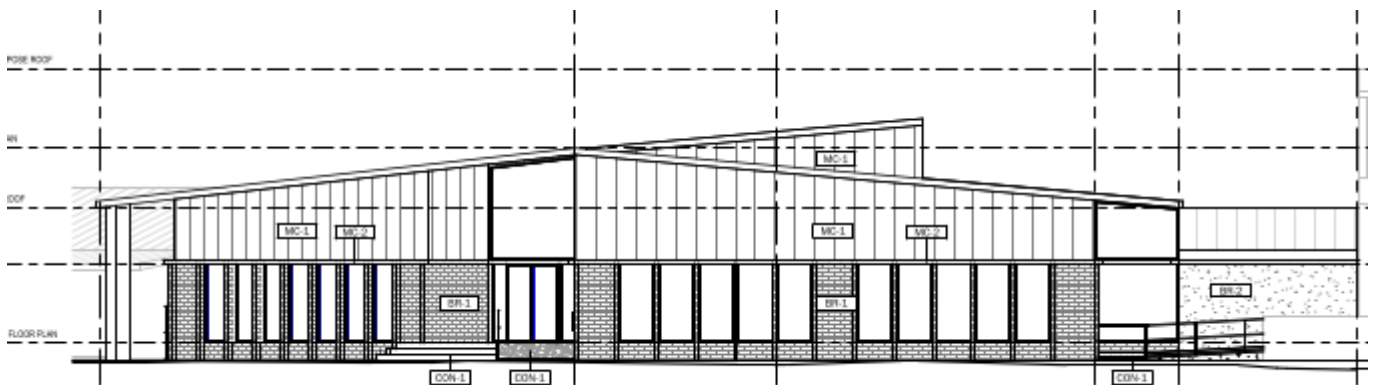


Figure 11: West elevation

- 57. The architectural response is considered to be consistent and respectful with the overall school campus which consists of a variety of buildings varying in age from Victorian to current day.

Amenity

Amenity Impacts (internal and offsite)

58. The siting of the proposed VCE building is well buffered from the sightlines of any residential interfaces to the west due to being sited behind the church hall. The building is also sited between existing school buildings, including the sports stadium and the science building.
59. The VCE building is appropriately scaled and sited and is typical in design of an educational building. There will be no unreasonable offsite amenity impacts on the surrounding residential and community uses.

Public Realm

Ground Level Activation

60. The new building will be easily accessible for students due to the location within the school grounds. The built form provides outdoor terrace areas and new area of landscaping including lawn areas, outdoor seating and new canopy trees.

Landscaping

61. The current plans detail extensive landscaping around the new building. The provided landscape plans prepared by Enlocus Landscape Architects has provision for the following:
- 12 Canopy trees – *Corymbia citriodora* 'Scentuous' – Dwarf Lemon Scented Gum
 - 581 - Mix 01- Variety of grasses and small plants
 - 264 – Mix 02 – Variety of ground covers and small shrubs
 - 448 – Mix 03 – Variety of ground covers and grasses
62. Overall, the proposed landscaping will provide for a comprehensive landscaping outcome surrounding the building and outdoor seating areas, creating a new and attractive area for students to utilise.

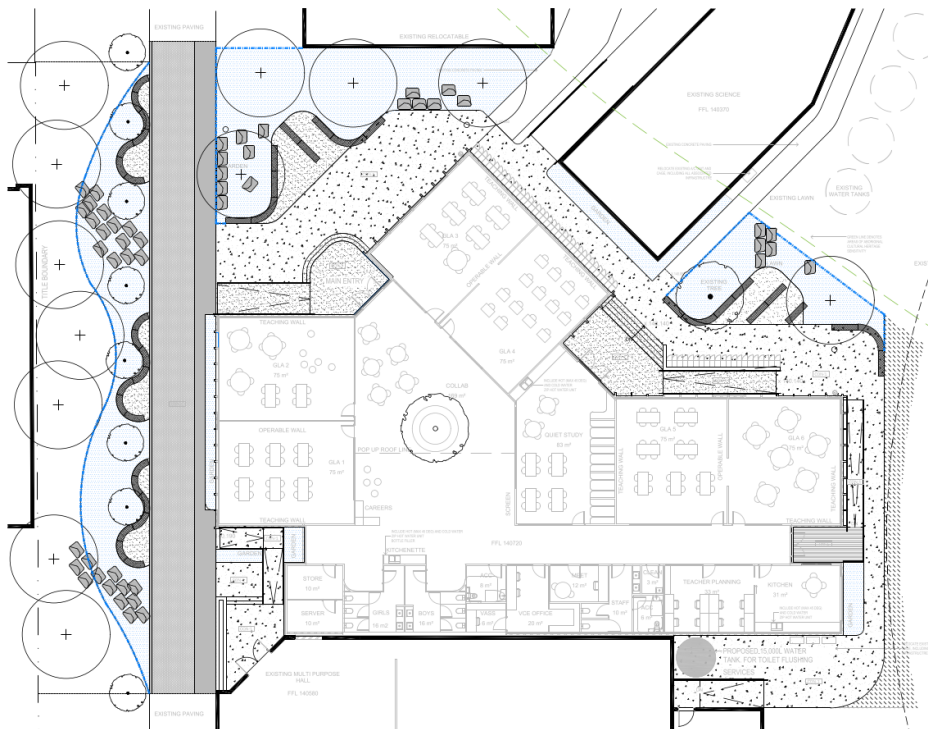


Figure 12: Proposed Landscaping plan

Car and Bicycle Parking, Loading, and Other Services

Car Parking

63. The application is not proposing any increase to student numbers; however, it is proposing 6 new staff members as part of the VCE building. The increase in teaching staff triggers the need to provide 7 more car parking spaces in addition to what has already been provided on site. There is extensive car parking located within the school grounds at the school entry, with an additional 7 spaces proposed to be located adjacent to the asphalted entry to the school.
64. The additional car parking spaces are shown on the plans to be unmarked and located in the open space adjacent to the existing car park. The parking spaces will be required to be formalised as a permit condition to ensure that they are retained and maintained to the satisfaction of the RA.

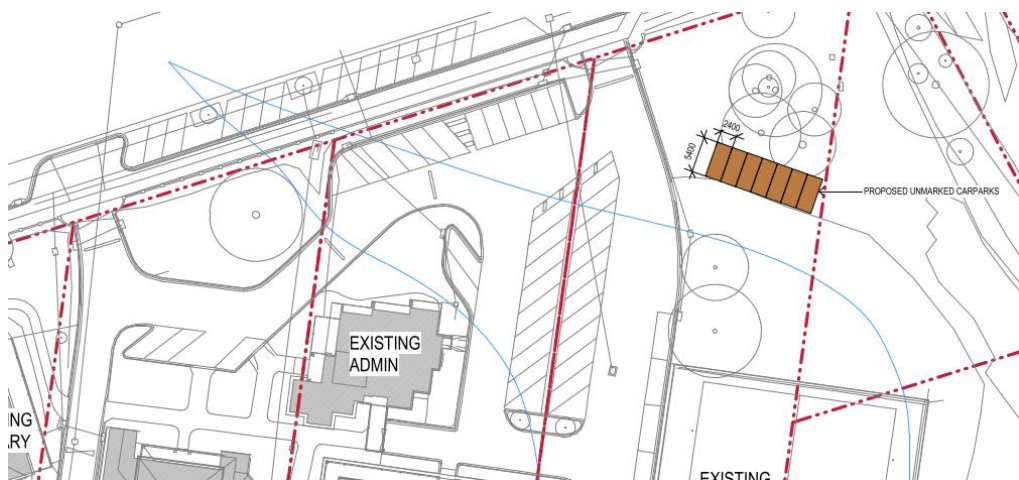


Figure 13: Proposed car parking

Waste

65. A waste management plan has not been provided as part of the application. However, the school has been operating for an extensive period of time and the waste generated from the new classrooms will be easily managed as per current operations of the school.

Environmental Risks

Flood Mitigation

66. The application was referred to Goulburn Broken Catchment Management Authority, who supported the proposal subject to conditions regarding FFL. These conditions will be included on any permit issued.

Bushfire Risk

67. The site is located within an area designated as being Bushfire Prone. The application was submitted with a Bushfire Assessment Report which demonstrates the new building will be required to be constructed to a BAL rating of 12.5. The bushfire risk is assessed as being low due to the highly modified landscape, including the existing outdoor sporting courts and oval providing extensive non-vegetated areas providing a buffer from the waterway located to the northeast of the site.

Stormwater Management

68. The application was submitted with a stormwater management plan, the plan demonstrates that a STORM Rating of 101% can be achieved with the inclusion of a 15,000L rainwater tank connected to the roof. The new rainwater tank will be located on the southern side of the new building adjacent to the existing multi-purpose hall.
69. The proposed management plan demonstrates best practice and can be approved as part of any permit issued.

Sustainability

Environmentally Sustainable Design (ESD)

70. The application has not been submitted with an Environmentally Sustainable Design Assessment; this assessment requirement will be included to be submitted on any permit issued.

Native Vegetation

71. The trees proposed to be removed for the construction of the new VCE building are exempt from requiring a planning permit given the vegetation is located within a specified garden bed and has been planted by the school. The trees have been assessed by a qualified arborist and deemed to be juvenile in age with low amenity values.

Other Matters

Cultural Heritage

72. The proposed works are located outside of the area designated as an area of Aboriginal Cultural Heritage sensitivity, therefore a CHMP report is not required.

Permit Conditions

Permit No.:	PA2402928
Planning scheme:	Mitchell Planning Scheme
Responsible authority:	Minister for Planning
ADDRESS OF THE LAND:	90 High Street, Seymour

THE PERMIT ALLOWS:

Planning scheme clause No.	Description of what is allowed
Clause 36.01-2	Construct a building or construct or carry out works associated with an existing Education Centre.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Compliance with documents approved under this permit.

1. At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.

Commencement

2. This permit will operate from the issued date of this permit.

Approved and Endorsed Plan

3. Before the development starts, including demolition, bulk excavation and site preparation works, plans must be approved and endorsed by the responsible authority. The plans must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimensions, be generally in accordance with the plans prepared by ROAM Architects, dated 13/05/2024 Rev. TP1, but modified to show:
 - a) Finished floor level of at least 300 millimetres above the applicable 1 in 100 AEP flood level of 140.4 metres AHD.
 - b) Any changes required by the Environmentally Sustainable Design report required by Condition 7.
 - c) Access to the new car parking spaces and any changes required by condition 9.


Layout not altered.

4. The use and development as shown on the endorsed plans must not be altered (unless the Mitchell Planning Scheme specifies that a permit is not required) without the prior written consent of the responsible authority.

Landscaping completion

5. Unless with the prior consent of Mitchell Shire Council, the landscaping shown on the approved landscape plan must be carried out and completed prior to the occupation of the development to the satisfaction of Mitchell Shire Council.

Landscaping maintenance

- 
6. At all times, the landscaping shown on the approved landscape plan must be maintained (including the replacement of any dead, diseased or damage plants) to the satisfaction of Mitchell Shire Council.

Environmentally Sustainable Design

7. Concurrent with the endorsement of plans, an Environmentally Sustainable Design (ESD) prepared by a suitably qualified professional must be submitted to and approved by the Responsible Authority.
8. The recommendations of the approved ESD must be implemented to the satisfaction of the responsible authority.

Parking

9. Before occupation of the development, the areas set aside for the parking of vehicles and access lanes shown on the endorsed plans must be:
- Constructed of permeable material.
 - Properly formed to such levels that they can be used in accordance with the plans.
 - Drained
 - Line marked to indicate each car space and all access lanes.

To the satisfaction of Mitchell Shire Council.

Stormwater Management System – implementation and management

10. The stormwater management system approved by the responsible authority and included in the endorsed stormwater management plan must be constructed, managed and maintained to the satisfaction of Mitchell Shire Council.

Run-off

11. Polluted and/or sediment laden run-off must not be discharged directly or indirectly into Mitchell Shire Council drains or watercourses.

Drainage

12. The land must be drained to the satisfaction of Mitchell Shire Council.

Noise Control

13. At all times noise emanating from the land must comply with the requirements of the *Environment Protection Regulations 2021* (as amended from time to time) as measured in accordance with Noise Protocol to the satisfaction of Mitchell Shire Council.

Lighting

14. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the responsible authority.

General Amenity Provision

15. The development must be managed so that the amenity of the area is not detrimentally affected, through the:
- Transport of materials, goods or commodities to or from the land
 - Appearance of any building, works or materials.
 - Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products

To the satisfaction of the responsible authority.



Goulburn Broken CMA Conditions

16. The finished floor level of the proposed building (VCE and Senior Learning Centre) must be constructed at least 300 millimetres above the applicable 1 in 100 AEP flood level of 140.4 metres AHD, i.e. 140.7 metres AHD, or higher level deemed necessary by the responsible authority.

Commencement

17. This permit will operate from the issued date of this permit.

Expiry

18. This permit will expire if one of the following circumstances applies:
- a) The development is not started within two years of the issued date of this permit.
 - b) The development is not completed within four years of the issued date of this permit.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

- a) The commencement date referred to if a request is made in writing before the permit expires or within six months afterwards.
- b) The completion date referred to if a request is made in writing within six months after the permit expires and the development started lawfully before the permit expired.

Notes:

- The permitted use or development may need to comply with, or obtain the following further approvals:
 - A building permit under the *Building Act 1993*.

Goulburn Broken CMA Note

Please note that the 1 in 100 AEP flood is not the maximum possible flood. There is always a possibility that a flood larger in height and extent, than the 1 in 100AEP flood, may occur in the future.

Recommendation



73. The proposal is generally consistent with the purpose of the Public Use Zone 2 and the relevant planning policies of the Mitchell Planning Scheme and will contribute to the provision of education facilities within the Seymour area.
74. The proposal is generally supported by the various referral agencies.
75. It is **recommended** that Planning Permit No. **PA2402928** for the construction of a new VCE building at 90 High Street, Seymour be issued subject to conditions.
76. It is **recommended** that the applicant and the council be notified of the above in writing.



Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name: Cath te Lintelo

Title: Senior Planner, Development Approvals and Design

Signed:



Phone: 03 5172 2327

Dated: 10 July 2024

Reviewed / Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name: Grant Logan

Title: Manager, Development Approvals and Design

Signed:



Phone: 0428809519

Dated: 15 July 2024

