

Assessment Officer Report

PA2403288

3 Slalom Street, Falls Creek



Officer Assessment Report
Development Approvals & Design

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Executive Summary



Key Information	Details			
Application No:	PA2403288			
Received:	21 October 2024			
Statutory Days:	39 days			
Applicant:	Rocky Valley Ski Club Pty Ltd c/- Mountain Creek Architecture			
Planning Scheme:	Alpine Resorts			
Land Address:	3 Slalom Street, Falls Creek			
Proposal:	Various upgrades and external works to existing ski club buildings and construction and display of illuminated business identification sign.			
Development Value:	\$ 100,000			
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the responsible Authority for administering and enforcing the Alpine Resorts Planning Scheme.			
Why is a permit required?	Clause	Control	Trigger	
Zone:	Clause 37.02	Comprehensive Development Zone Schedule 1 (CDZ1)	<i>Construct a building or construct or carry out works</i>	
Overlays:	Clause 43.02	Design and Development Overlay Schedule 2	<i>Construct a building or construct or carry out works</i>	
	Clause 44.06	Bushfire Management Overlay Schedule 1	<i>N/A</i> <i>Alteration or extension to an existing building that is less than 10 percent of the gross floor area of the existing building is exempt.</i>	
Particular Provisions:	Clause 52.05	Signs	<i>Construction and display of internally illuminated sign</i>	
Cultural Heritage:	The land is not located within an identified Aboriginal Cultural Heritage Area.			
Total Site Area:	724	m ²		
Gross Floor Area:	1,129	m ²		
Height:	4	Storeys excluding plant		
	11	Metres excluding plant		
	13.35	Metres (total to Australian Height Datum – highest point for PANS OPS)		
Land Uses:	Dwellings	Office	Retail	Other
	19 units (existing)	N/A	N/A	N/A
Parking:	Cars	Motorcycles	Bicycles	
	0	0	0	
Referral Authorities:	Alpine Resorts Victoria (S52 – Notice)			

Alpine Shire Council (S52 – Notice)
DEECA (S55 – Determining)

Advice sought:

N/A

Public Notice:

Notice of the application was undertaken by the applicant at the direction of the Minister for Planning.
No objections have been received as of 6 January 2025.



Application Process

1. The existing ski club was constructed on the site in 1978, providing 19 self-contained accommodation units within the Falls Creek village.
2. Planning Permit PA2101077 relating to the land was issued on 30 August 2021. This permit allowed building and works for the replacement of snow screens, ramp and new entry roof at Unit 18 and display of business identification signage. The works allowed by this permit were not commenced within the specified timeframe. The permit expired on 30 August 2023 and no application to extend the permit was made within six months of expiry. This application seeks consent for works which were previously approved by this expired permit as well as replacement external stairs and construction of a retaining wall.
3. The land is not located within an Aboriginal Cultural Heritage area and as such the preparation of a Cultural Heritage Management Plan is not required.
4. The key milestones in the application process were as follows:

Milestone	Date
Application lodgement	21 October 2024
Further information requested	10 November 2024
Further information received	12 November 2024
Decision Plans	Plans prepared by Mountain Creek Architects , titled ' Building Upgrade – Rocky Valley Ski Club and dated 16 October 2024 .
Other Assessment Documents	Planning Report prepared by Mountain Creek Architect and dated October 2024 . Addendum to Preliminary Geotechnical Assessment prepared by Tetra Tech Coffey and dated 21 October 2024 . Preliminary Geotechnical Assessment prepared by Coffey Services and dated 13 May 2020 . Retaining Wall Engineering Advice and Section Plan prepared by Kusch Engineered and dated 14 October 2024 . Site Environmental Management Plan prepared by Mountain Creek Architect and dated October 2024 .

5. The subject of this report is the decision plans (as described above).



Proposal Summary

6. The proposal can be summarised as follows:

Key Information	Details
Proposal:	Various upgrades and works to existing ski club buildings including: <ul style="list-style-type: none">• Demolition and replacement of concrete stairs at northwest of the site• Demolition of concrete stairs at southwest of the site, to be replaced with stone retaining wall.• Replacement of snow fences• Construction of stone wall and columns at western entrance.• Replacement of ramp at east of site• Construction of pergola covered entrance to Unit 18• Construction and display of internally illuminated business identification sign.
Total Site Area:	724 m ²
Gross Floor Area:	1,129 m ²
Height:	13.35 m (existing maximum building height)
Setbacks:	North – 2.325 m South – 2.19 m East – 3.025 m West – 6.505 m
Land Uses:	Accommodation
Car Parking:	Nil
Bicycle Parking:	Nil
Motorcycle Parking:	Nil
Total Parking:	Nil
Loading and Waste arrangements:	N/A

7. Specific details of the application include:

The application seeks consent for various upgrades and external works to the existing ski club accommodation. No works are proposed to the internal layout of the existing units.

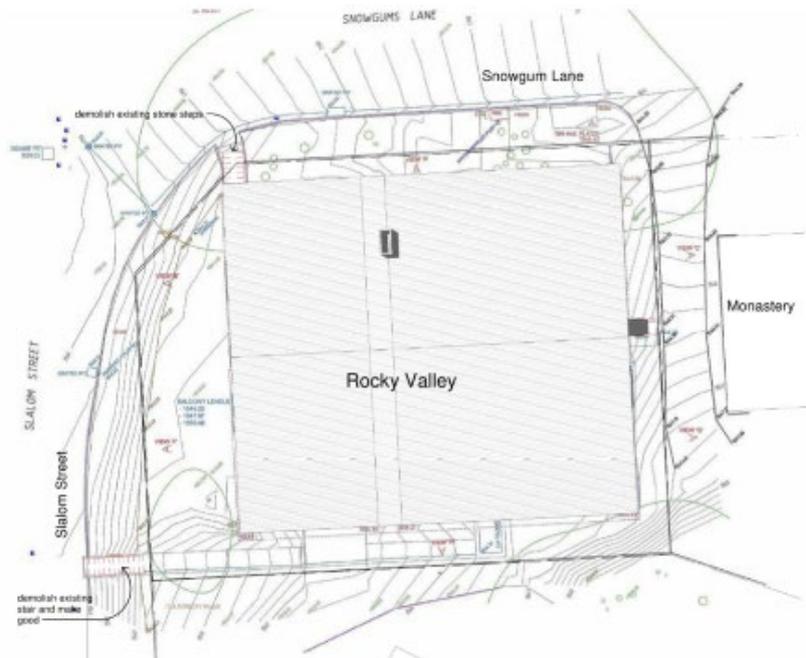


Figure 1 Proposed demolition site plan

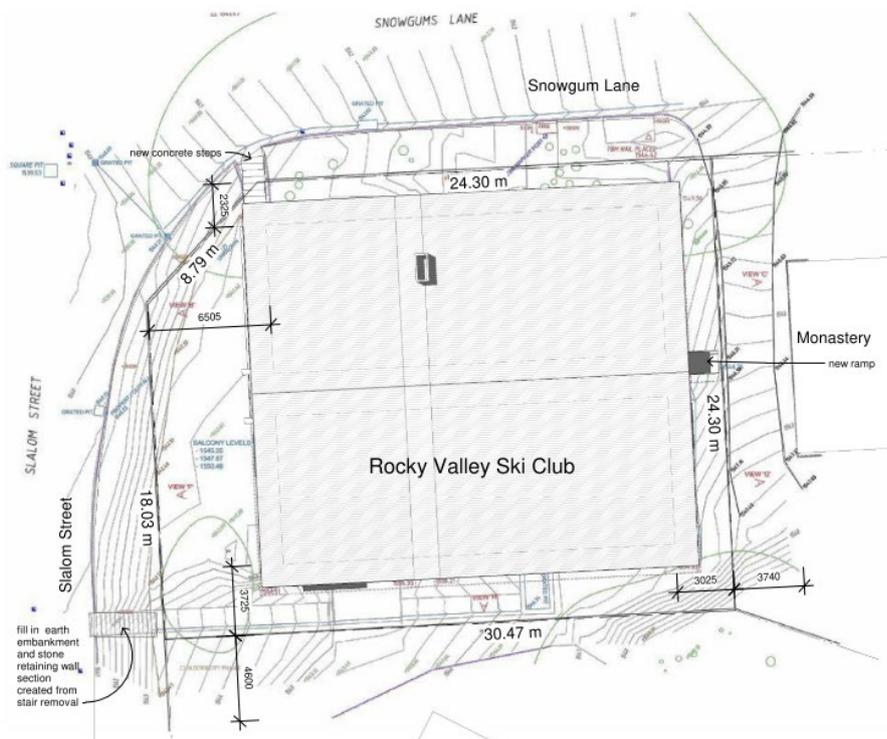


Figure 2 Proposed site plan

The following works are proposed:

- **Demolition and replacement of concrete stairs**

The existing concrete stairs at the northwest of the site providing access from Snow Gums Lane are to be demolished and replaced with stairs compliant with current building regulations.

- Demolition of concrete stairs providing access to Slalom Street, to be replaced with stone retaining wall**

The existing concrete stairs at southwest of the site are not compliant with current building regulations and are proposed to be removed and replaced with 1-metre-high retaining wall. The wall is to be constructed from blockwork with stone masonry finish.



Figure 3 Existing stairs and indicative retaining wall location marked

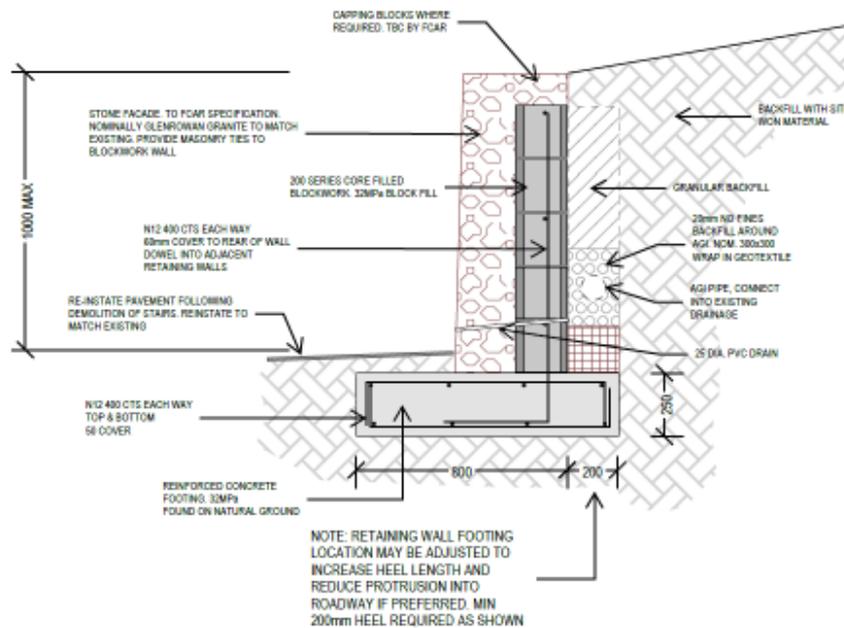


Figure 4 Proposed retaining wall section plan

- Construction of stone wall and columns at western entrance.**

A new stone wall and column are to be constructed to provide protected entrance for guests. The wall is to 600mm high, increasing to 1.45 metres high at the entrance staircase between buildings 1 and 2. Two 2.6-metre-high columns are proposed along this wall at the entrance staircase. New snow screens and business identification sign are to be integrated into this stone wall.



Figure 5 Proposed west elevation, including stone wall/ columns, snow screens and signage

- **Replacement and extension of snow screens**

The existing steel snow screens along the western building entrance are to be removed and replaced. The new screens are to extend to the northern wall of building 1, aligning with the new stone wall and column along this entrance.

- **Replacement of timber ramp at east of site**

The existing timber ramp at level 2 at the east of the site, between buildings 1 and 2, is proposed to be removed and replaced with steel framed ramp and balustrades.



Figure 6 Existing timber ramp to be replaced

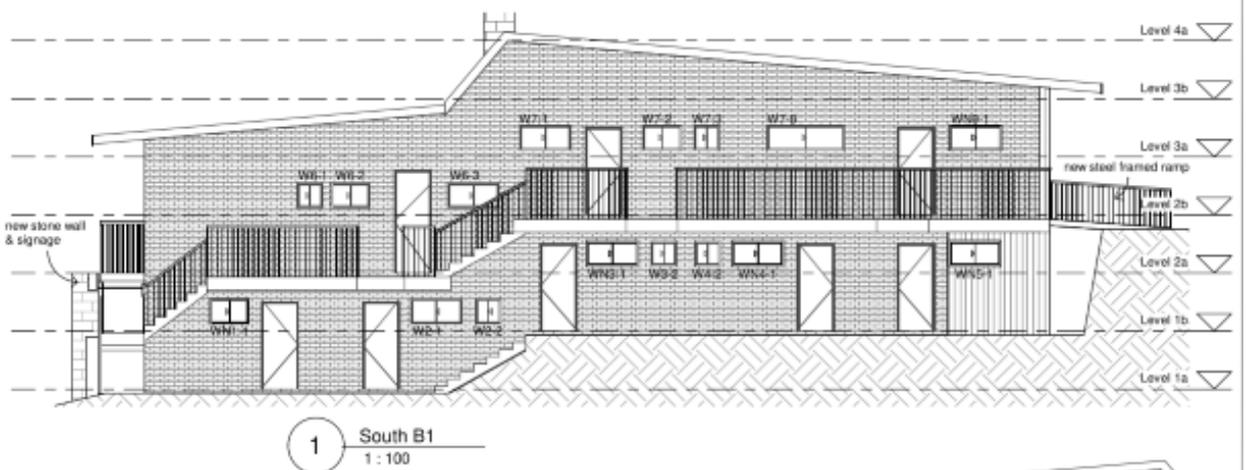


Figure 7 Proposed southern elevation Building 1, including replacement elevated ramp

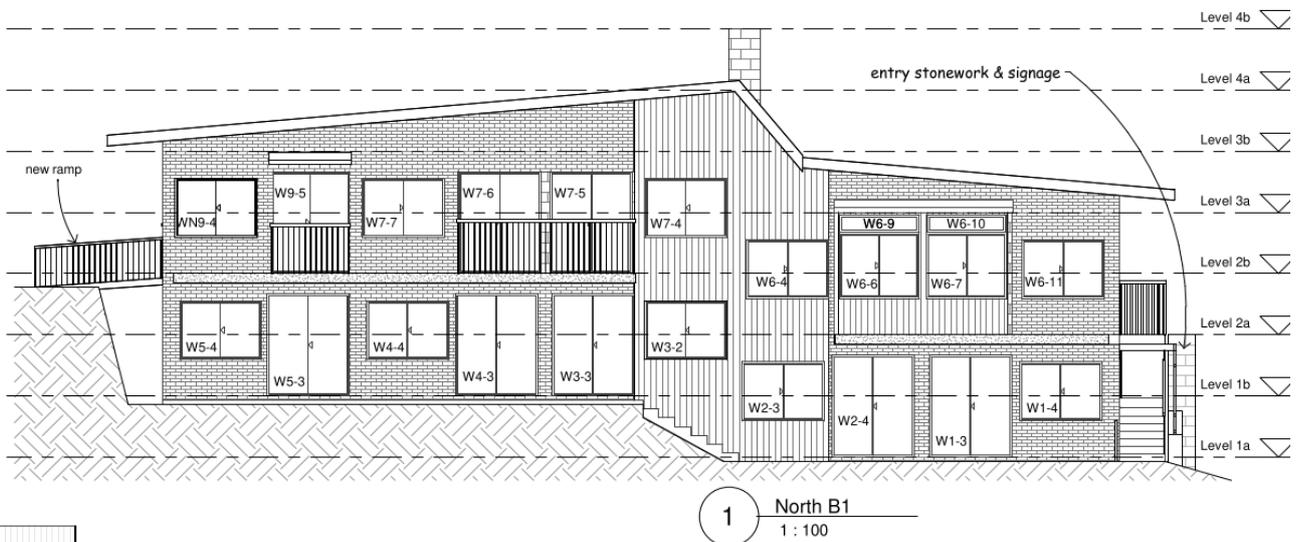


Figure 8 Proposed northern elevation Building 1, including elevated ramp

- **Construction of covered entrance to Unit 18**

A small entrance pergola is proposed at the southeast of the site, to provide weather protection at the entrance to Unit 18. The structure is to consist of three steel columns and colorbond roofing, with maximum height of 2.7 metres, length of 3.4 metres and width of 1.5 metres.



Figure 9 Proposed southern elevation Building 2, including entrance pergola to Unit 18

- Construction and display of illuminated business identification sign.**

An internally illuminated business identification sign is proposed at the entrance to the ski club. The sign is to be displayed on the western elevation and be integrated into the proposed stone wall/ snow screens between Buildings 1 and 2. The sign is to have a total area of 0.928sqm and constructed from powder coated steel, fixed to balustrade framing behind. The sign will be illuminated in accordance with Falls Creek Resort Management requirements.

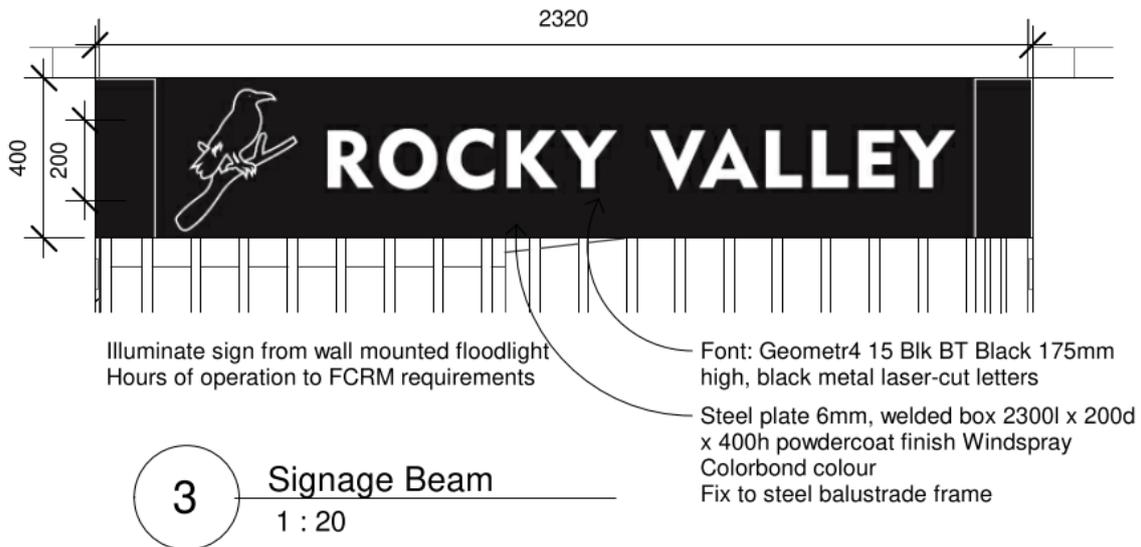


Figure 10 Proposed signage details

8. The applicant provided the following concept images of the development:



Figure 11 Proposed upgrades viewed from northwest



Figure 12 Proposed upgrades, viewed from southeast

Subject Site and Surrounds



Site Description

8. The subject site is located on the western side of Slalom Street, immediately adjoining the intersection with Snow Gums Lane.
9. The site has an 18.2 metre frontage to Slalom Street and 24.5 metre frontage to Snow Gums Lane, resulting in a total area of 724 sqm.
10. The land slopes significantly toward the northwest, with four large gum trees within the northern frontage.
11. The site is occupied by two residential brick buildings known as the Rocky Valley Ski Club. Building 1 fronting Snow Gum Lane is contains two storeys, while Building 2 immediately behind consists of four storeys. The two buildings are connected by external accessway and staircase central to the site. There are 19 residential units across the two buildings.
12. The site is formally described as Crown Allotment 205, Section A and is not affected by any easements or restrictions.
13. The land is included in the Comprehensive Development Zone, Schedule 1 and affected by the Bushfire Management Overlay Schedule 1 and Design and Development Overlay Schedule 2.



Figure 13 Aerial image subject site and surrounds



Figure 14 Subject site as viewed from Slalom Street



Figure 15 Subject site as viewed from Snow Gums Lane

Site Surrounds

14. The surrounding development consists mainly of ski lodges and accommodation associated with the Falls Creek Alpine Resort.
15. Development surrounding the site can be described as follows:
 - To the **north** of the site: Snow Gums Lane and Falls Creek Police Station beyond.
 - To the **south** of the site: 'Les Chalet' Apartment ski lodge.
 - To the **east** of the site: Falls Creek Monastery.
 - To the **west** of the site: Slalom Street and Falls Creek Museum beyond.

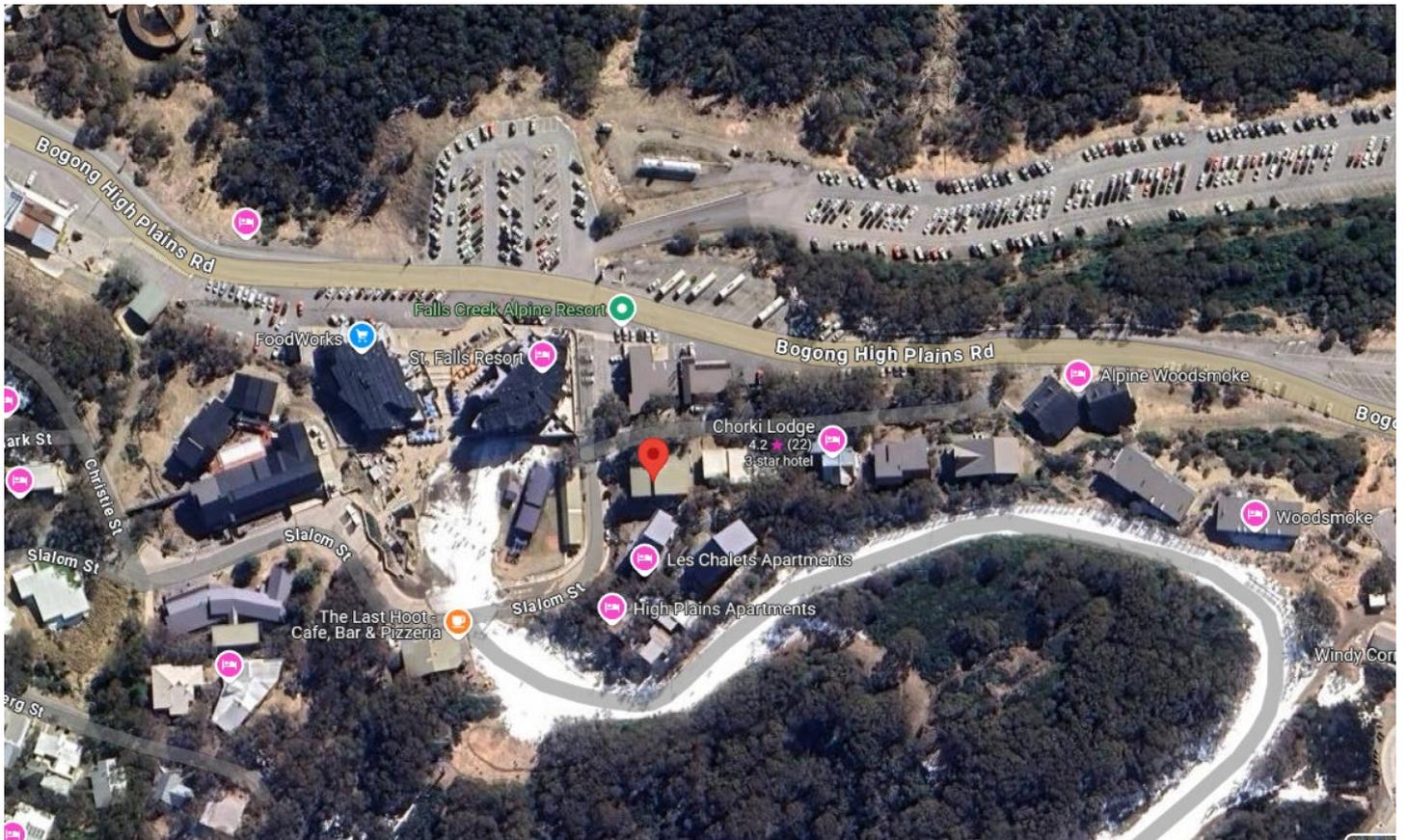


Figure 16 Aerial image of subject site and wider surrounds



Municipal Planning Strategy

16. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03-1	Strategic Directions – Settlement and Housing
02.03-6	Strategic Directions – Economic Development

Planning Policy Framework

17. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	Settlement
11.01-1L	Settlement – Alpine Villages
11.01-1L	Settlement – Falls Creek Village
Clause 12	Environmental and Landscape Values Risks and Amenity
12.04	Alpine Areas
12.04-1L	Sustainable Development – Falls Creek
Clause 13	Environmental Risks and Amenity
13.02-1L	Bushfire Planning – Alpine Planning
Clause 15	Built Environment and Heritage
15.01-2L	Built Form in Alpine Resorts
Clause 17	Economic Development
17.04	Facilitating Tourism
17.04-1L	Falls Creek tourism

18. The assessment section of this report provides a detailed assessment of the relevant planning policies

Zoning and Overlays

Applicable Zone/s

19. A planning permit is required to construct a building or construct or carry out works in accordance with **Comprehensive Development Zone, Schedule 1**, unless explicitly listed as exempt at Clause 4.1. The purpose of the **CDZ1** is:

- To encourage development and the year-round use of land for a commercially orientated, alpine resort.
- To provide for residential development in a variety of forms in an alpine environment.
- To encourage development and the use of the land which is in accordance with sound environmental management and land capability practices, and which takes into account the significance of the environmental resources.
- To provide for the integrated development of land in accordance with a comprehensive development plan incorporated in this scheme.



18. The following sections include a discussion of how the proposal responds to these requirements.

Applicable Overlay/s

19. A planning permit is required to construct a building or construct or carry out works in accordance with **Design and Development Overlay, Schedule 2**, unless explicitly listed in Clause 2.0.

20. The design objectives of the **DDO2** relevant to this proposal are:

- To ensure that the Falls Creek Village presents an identifiable, memorable and unique image at an appropriate scale and density.
- To ensure that new development in the Falls Creek Village is sympathetic in scale and location to the landscape, trees, and views.
- To ensure buildings are articulated and fragmented in form and are sited in response to topography.
- To ensure development is not visually intrusive when viewed from key public vantage points within the Village and adjoining ski fields.
- To ensure that the scale, height and setbacks of development reinforce Village Plaza precinct as the Village Centre and focal point of Falls Creek.
- To ensure building design provides a visually attractive interface with the public domain, particularly within the Village Plaza and Village Bowl precincts and along Bogong High Plains Road.
- To ensure view corridors between buildings provide opportunities for view sharing.
- To encourage the retention of indigenous vegetation.
- To provide safe pedestrian and skier linkages within the Village.

Other Overlays

21. The **Bushfire Management Overlay** also applies to the site; however, the works do not result in any significant increase to gross floor area. The overall building footprint is proposed to increase by 5.1 sqm, equating to an increase of less than 1% to total gross floor area.

A permit is not required under BMO for an alteration or extension to an existing building that is less than 10% of the existing gross floor area. No assessment has been undertaken against the overlay as no permit is required for the proposed works.

Particular and General Provisions

Provisions that Require, Enable or Exempt a Permit

22. Clause 52.06 sets out the requirements of car parking provision and design. This clause does not apply to this application, given no new use is proposed and the proposed works relate to external upgrades to the existing building and do not constitute any increase to internal accommodation floor area.

General Requirements and Performance Standards

23. Clause 53.18 includes standards and objectives relating to stormwater management. This clause does not apply to this application, given the proposed works do not result in an increase in gross floor area of more than 50sqm.

Planning Scheme Amendment

24. Amendment **C31alpr** was gazetted on 25 October 2024 and implements the recommendations of geotechnical review of the application of the Erosion Management Overlay (EMO) across Alpine regions. The amendment reduced the extent of the EMO to only include areas which are identified as at risk of slope instability or landslip.

25. The subject site was affected by the EMO when this application was originally lodged 21 October 2024, however the overlay was removed from the site through the amendment. A preliminary geotechnical was prepared and previously



approved at part of planning permit PA2101077, which has since expired. This assessment was lodged with this application, as well as an addendum prepared by Tetra Tech Coffey engineering noting the previous assessment remains applicable, with some updates based on the revised plans.

26. Given the EMO no longer applies to the site, the submitted geotechnical assessment is not required to be endorsed to form part of the permit. It is noted Falls Creek Alpine Resort have requested a condition on the permit which requires works to be carried out in accordance with the geotechnical recommendations described in the report, however this condition is not deemed as necessary. This was raised with Alpine Resorts Victoria who have confirmed they are satisfied with this being included as a note on permit rather than a condition.



Referrals

28. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 52 Referral – Notice	Alpine Resorts Victoria	7 November 2024
Section 52 Referral – Notice	Alpine Shire Council	No response received
Section 55 Referral – Determining	Department of Energy, Environment and Climate Action (DEECA)	11 November 2024

Alpine Resorts Victoria

29. Alpine Resorts Victoria raised no objection to the granting of a planning permit subject to the following conditions being included:

Shutdown

All external activity must cease, unless the Responsible Authority consents in writing to another date after consultation with Falls Creek Alpine Resort during:

- The period between Christmas Day and New Year's Day
- The Easter holiday period from Good Friday to Easter Monday
- Any major event in the resort as may be notified by the Falls Creek Alpine Resort
- The period between 15 May and the end of the declared snow season

Site Condition

The site must be left in a clean and tidy condition at all times and prior to occupation and/or use of the building, all waste must be completely removed from the site to the satisfaction of the Falls Creek Alpine Resort. Any waste or litter must be immediately removed from the site and surrounding area at the direction of Falls Creek Alpine Resort.

Site Environmental Management Plan (SEMP)

All construction activity and site rehabilitation works must be undertaken in accordance with the endorsed Site Environmental Management Plan (SEMP), unless otherwise approved by the Responsible Authority in consultation with Falls Creek Alpine Resort. All contractors working on the site must be provided with a copy of the endorsed SEMF and a copy must be retained on-site at all times during the construction period.

Site Induction

The permit holder or developer must arrange an on-site meeting with relevant Falls Creek Alpine Resort representatives for a site induction prior to the commencement of any buildings and works at the site. This can be organised by contacting planning@alpineresorts.vic.gov.au.

Carparking

Vehicles under the control of the permit holder or developer must be parked on the site during construction in accordance with an agreement with Falls Creek Alpine Resort and must never impact access to critical resort infrastructure and/or emergency response.

Road Closures

Any full or partial closure of vehicle access roads for construction works must be advised with a minimum two weeks' notice to planning@alpineresorts.vic.gov.au to allow for notification to relevant affected stakeholders and is subject to the approval of the relevant Falls Creek Alpine Resort.

Waste Management



Prior to the commencement of any works on the site, the permit holder or developer must submit for approval by the Responsible Authority and Falls Creek Alpine Resort a Construction Waste Management Plan to planning@alpineresorts.vic.gov.au demonstrating how different construction waste types (including demolition, construction, and excavated material), will be separated, and legally disposed off mountain. The Construction Waste Management Plan must include the following:

- Identification of expected types of waste;
- Methods proposed to reduce, reuse and recycle where possible;
- Any proposed contingency plans if unexpected types of waste are discovered; and
- Acknowledgement that all waste must be removed from the Alpine Resort.

Snow Confinement

Snow shed from the development must be confined within the site at all times to the satisfaction of the Responsible Authority, in consultation with Falls Creek Alpine Resort.

Snow Management

Snow shed must be managed to ensure that entries to buildings, habitable room windows, ski ways, pedestrian paths and public open spaces are kept clear of snow shed at all times to the satisfaction of the Responsible Authority, in consultation with Falls Creek Alpine Resort.

30. The referral response from Alpine Resorts Victoria also included response from the Falls Creek Alpine Resort, who also raised no objection to the granting of a planning permit subject to the following conditions:

Geotechnical

The work is carried out in accordance with the geotechnical recommendations described in the preliminary geotechnical assessment report "Tetra Tech Coffey report Preliminary Geotechnical Assessment Proposed ramp and snow fence, Rocky Valley Ski Club, Falls Creek (ref: 754-MELGE268821AB Rev1)", dated 13 May 2020 and the Addendum provided 21 October 2024.

Services

- Prior to the commencement of any buildings or work a Stormwater Management Plan must be submitted to and approved by Falls Creek Alpine Resort as per Clause 53.18 in the Alpine Planning Schemes if applicable.
- Prior to the commencement of any excavation works at the site, the permit holder or developer must seek advice and arrange an on-site meeting with a Falls Creek Alpine Resort representative by contacting planning@alpineresorts.vic.gov.au for a site induction and to verify service locations and no works are to be undertaken until all service locations have been identified and verified.
- When carrying out any connection to water, sewerage and gas services, the developer/occupier shall ensure that continuity of supply is always maintained to downstream reticulation network. Any disruption to supply must be with a minimum two week notice to Falls Creek Alpine Resort to allow notification to affected customers.
- ARV will require access to all manholes/ valve locations for future investigation and maintenance. Reasonable access cannot be restricted by built form, including proposed walkways.
- Prior to commencement of excavation works, ARV will require detailed civil and structural footing design, including walkway footings, demonstrating no surcharging on underground assets.

Damage to Falls Creek Alpine Resort Infrastructure

- Prior to the commencement of any works covered by this permit an asset protection report, including documentation, video, and photos (as necessary) of the existing condition of roads, stormwater drains, and vegetated areas must be submitted to, and approved by Falls Creek Alpine Resort by emailing planning@alpineresorts.vic.gov.au.
- The condition of roads, stormwater drains, and vegetated areas must be monitored for the duration of the works and any defects made safe or repaired within 24 hours of being identified to the satisfaction of Falls Creek Alpine Resort.
- At the completion of the works a final condition report for roads, stormwater drains, and vegetated areas must be submitted, and any defects rectified at the cost of the permit holder or the developer to the satisfaction of Falls Creek Alpine Resort.

Notes:

- 
- The permit holder or developer must seek “Dial before you Dig” advice or direct advice from service authorities prior to commencement of any excavation works at the site.
 - Prior to the commencement of any works on the site, the Falls Creek Alpine Resort must be consulted to ensure compliance with all relevant resort policies and procedures.

31. The permit conditions and notes provided by Alpine Resorts Victoria and Falls Creek Alpine Resort are generally all recommended to be included on the permit. The condition relating to works being carried out in accordance with the recommendations of the geotechnical assessment has been included as a permit note only, given the site is no longer affected by the Erosion Management Overlay and as such no geotechnical assessment is required. ARV have approved this change.

Department of Energy, Environment and Climate Action (DEECA)

32. DEECA raised no objection to the granting of a planning permit subject to the inclusion of the following permit condition and note:

Works in accordance with Site Environmental Management Plan and Site Construction Management Plan

Works must be conducted and carried out in accordance with the Site Construction Management Plan and endorsed Site Environmental Management Plan (SEMP). All persons working on site must be provided with a copy of the endorsed SEM and Construction Management Plan and must adhere to all requirements of the SEM and Construction Management Plan. A copy of these documents must be kept on site at all times during the construction period.

Permit Notes

Works or other activities on public land, which may affect protected native plants, will require a Protected Flora Licence or Permit under the Flora and Fauna Guarantee (FFG) Act 1988. All native vegetation likely to be affected should be checked against the Protected Flora List (DELWP 2017) to determine whether FFG approvals are required. To obtain a permit to take protected flora or for further information, please contact Simon Hollis of DEECA's Hume Natural Environment Program via simon.hollis@deeca.vic.gov.au.

33. The permit condition and note are to be included on the permit.

Notice

34. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions:

- Schedule 1 to Clause 37.02 - Comprehensive Development Zone.
- Schedule 2 to Clause 43.02 – Design and Development Overlay.

35. The applicant was directed to give notice by way of erecting a sign on the site and notifying adjoining owners and occupiers.

36. No objections have been received.



Key Considerations

38. The following are deemed the key considerations in assessing the acceptability of the proposal:
- Accommodation in Alpine resorts.
 - Environmental management.
 - Signage.

Strategic Direction and Land Use

39. The relevant MPS and PPF policies have been considered in assessing the application and the proposal is generally considered consistent. The works will facilitate ongoing tourism through provision of fit-for-purpose visitor accommodation on the site, as encouraged by the local policy. The proposed works are generally minor and are not considered to result in any off-site amenity or environmental impacts.

Buildings and Works

40. The zoning and overlay provisions have been considered in the application.
41. The purpose of Schedule 1 to the Comprehensive Development Zone has been considered and it is noted that the proposed works will upgrade the existing residential development on the site and encourage year-round use of the land within the alpine resort.
42. The decision guidelines of the zone have been considered and it is noted that the proposed works will not result in any increased demand on the provision of utility services and environmental site impacts can be appropriately managed through the implementation of the submitted site environmental management plan. The proposed retaining wall has been designed in accordance with typical standards adopted in the Falls Creek Alpine village with section plan and engineering advice provided with the application.
43. The purpose of Schedule 2 to the Design and Development overlay has been considered the works are sympathetic in scale and will not be visually intrusive. Given the existing buildings are proposed to generally remain unchanged, the works are no considered to detract from the identifiable character of the Falls Creek alpine village. It is noted that the proposed works will improve safe pedestrian access to the development as encouraged by the overlay.
44. The decision guidelines of the DDO2 have been considered it is noted proposed works do not involve the removal of any vegetation, provide for the improved movement of skiers and pedestrians in and out of the site and ensure snow shed is contained within the property.
45. The subject site is located within precinct A1 shown on Map 1, within the schedule to the overlay. The built form requirements relevant to this precinct identified in the DDO2 are assessed in the table below. It is noted the existing buildings on site already encroach on the maximum height, setbacks and site coverage requirements identified in the overlay. However, the further encroachment to setbacks and site coverage proposed by this application are very minor and are considered acceptable.
46. The following design objectives and guidelines of the Design and Development Overlay are relevant to precinct A1:

DDO Requirement	Compliance	Comments
Maximum Height The maximum height of any part of a building is 11 metres above natural ground level. A permit may be granted to increase the height of any roof structure to 15 metres, provided not more than 33% of the roof area exceeds 11 metres in height.	Existing conditions do not comply	The existing building has a maximum building height of 13.35 metres. No change to the existing building height is proposed as part of this application and the existing variation is acceptable.
Minimum Setbacks 6 metres from a boundary with a road frontage	Existing conditions do	The existing building encroaches on the



<p>3 metres from any other site boundary Average of 4.5 metres from any building on the same site 6 metres from any other building on an adjoining site</p>	<p>not comply Further minor variation sought</p>	<p>minimum setbacks to the northern boundary fronting Snow Gums Lane. This existing setback is currently 2.325m, where the requirement is 6m.</p> <p>The proposal seeks to construct a small pergola within the southern setback, which will result in the setback being reduced from 3.725m to 2.225m, where the requirement is 3 metres. This encroachment is considered minor and acceptable.</p> <p>The new pergola will still allow snow shed from the structure to be contained within the site and a visual separation between the two buildings will be maintained.</p> <p>The separation between this pergola and the existing building on the adjoining lot immediately to the south will measure 6.825m, complying with the requirement for building separation.</p>
<p>Maximum Site Coverage 40% of the total site area</p>	<p>Existing conditions do not comply Further minor variation sought</p>	<p>The site coverage of the existing development is approximately 68%, exceeding the maximum specified by the overlay.</p> <p>The proposal will increase existing site coverage by approximately 5sqm associated with the pergola at the south of the building. This will increase the overall site coverage to 68.7%. Given the existing building already significantly exceeds the preferred site coverage and the proposed increase is so marginal, the proposed variation is considered acceptable.</p>

Signage

47. Pursuant to Schedule 1 of the Comprehensive Development Zone, Category 3 applies to the site. A permit is required to display an internally illuminated sign on the site.
48. The purpose and decision guidelines of the signs particular provision have been considered in this assessment and the proposal is deemed reasonable.
49. The proposed sign has a total area of 0.928sqm and will be integrated into the proposed stone entry wall. The sign is located at the stairway entrance between Buildings 1 and 2 and is setback approximately 6.5 metres from the Slalom Street frontage. The sign will be illuminated only within restricted hours as per the Falls Creek Resort Management requirements.
50. The proposed sign is considered appropriate in the context and is not anticipated to detract from the appearance of the existing building or surrounding area. The sign is considered to be a reasonable scale relative to the existing buildings and location will allow for visitors to easily identify the apartments, without creating visual clutter or causing amenity impacts to any adjoining residential developments.



Amenity and Microclimate

Amenity Impacts (internal and offsite)

51. The requirements of Clause 55 do not apply to this application, given the site is included in the Comprehensive Development Zone and proposed works are limited to external upgrades only (i.e. no extension to the existing residential building use). As such, no assessment against the objectives and standards of Clause 55 has been undertaken.
52. The proposed works are not considered to result in any significant amenity impacts to surrounding properties. As discussed, the application has been publicly advertised and no objections were received.
53. The capacity of the building for accommodation is not increasing as part of this application and no intensification of the existing use is anticipated.
54. The replacement of site access stairs and ramp, construction of a retaining wall, stonewall and replacement snow screens are all minor and are not expected to result in any offsite impacts.
55. The pergola proposed at the entrance of Unit 18 is relatively small, increasing site coverage by 5.1sqm. This entrance will reduce the setback of the development along the southern boundary to in this area. The pergola is located to ensure any additional snow shed will still be contained within the site boundary and is not anticipated to create any visual impact to the adjoining residential development at 5 Slalom Street.
56. The proposed internally illuminated business identification signage on the western elevation fronting Slalom Street will be visible from surrounding properties, however any amenity impacts of the illumination is considered to be minor. The sign has a total area of 0.928sqm and will not be visually dominant in the streetscape. The sign is also well separated from all adjoining residential properties and will be restricted to hours of operation specified by the Alpine Resort Manager. As such, the proposed signage is considered acceptable.

Public Realm

57. The proposed works will not significantly impact how the existing development presents to Slalom Street and Snow Gums Lane frontages. The removal of the southern access stairs and replacement with retaining wall will result in all guests accessing the site via stairs at the northwest of the site. These stairs will be upgraded to comply with current requirement and will be an appropriate street interface.

Car and Bicycle Parking, Loading, and Other Services

Car Parking

58. The following car parking rates are relevant to the application:

Use	Rate	Amount Required	Amount Provided
Car Parking	1 space to each one- or two-bedroom dwelling	19	Not Achieved <i>No change to existing conditions, parking available off site.</i>
Car Share	N/A	Nil	N/A
Motorcycle Parking	Minimum rate of one motorcycle parking space for every 100 car parking spaces	Nil	N/A



59. The existing buildings on the site operate as self-contained accommodation units. There are a total of 19 units within the development, with a combination of one- and two-bedroom dwellings.
60. The existing development does not include any on site car parking, similar to the surrounding developments. Carparking areas are concentrated along Bogong High Plains Road approximately 100 metres north of the subject site, which can service guests parking requirements. No change to the existing car parking arrangement is proposed as part of this application.
61. This application does not propose any increase in the number of units, floor area or intensity of land use. As such, no additional car parking demand is anticipated, and no additional provision is required under Clause 52.06.

Bicycle Facilities

62. The proposed buildings and work do not increase the floor area of the existing accommodation units; therefore, no additional cycling facilities are required to be provided. There are currently no bicycle facilities on the site, noting the practicality considerations within an Alpine village context.

Loading / Unloading

63. There is currently no vehicle access to the site and no changes to access/ loading is proposed.

Waste

64. The proposed works do not increase the intensity of existing accommodation land use, and no additional waste generation is anticipated to be result from the proposed works. No change to current waste management is proposed.

Environmental Risks

Bushfire Risk

65. As discussed, the extent of proposed works does not constitute an overall increase to gross floor area of more than 10% and no permit is triggered under the Bushfire Management Overlay. The proposed works do not include an intensification of the existing accommodation land use and are not anticipated to result in any increase in bushfire risk on the site or Fall Creek Alpine Village broadly.

Environmental Risks

66. The proposed works are not considered to result any significant environmental impacts. A detailed site environmental management plan and construction management plan have been lodged with application identifying potential environmental risks and recommended mitigation measures, including use of silt traps, sediment control lines, temporary mesh fencing and rehabilitation/ revegetation after construction is complete. The report identifies all works will be undertaken within the existing footprint and no vegetation will be removed. Conditions on permit are recommended to require all construction be undertaken in accordance with the submitted management plans to ensure any environmental risks are appropriately mitigated.

Sustainability

Environmentally Sustainable Design (ESD)

67. The proposed works limited to external upgrades to the existing buildings and will not impact the energy or water efficiency of the existing development. No specific sustainability measures are required to be implemented on site as part of this application.



Stormwater Management

68. The proposed works will not have any significant implications for the management of stormwater on the site. The small pergola proposed at the south of the development, above entrance to Unit 18, will increase site impermeability. However the pergola area is largely contained under the existing Building 2 roof line eave above and the increase in runoff is expected to be minor. The pergola is also designed to be appropriately drained.

Recommendation



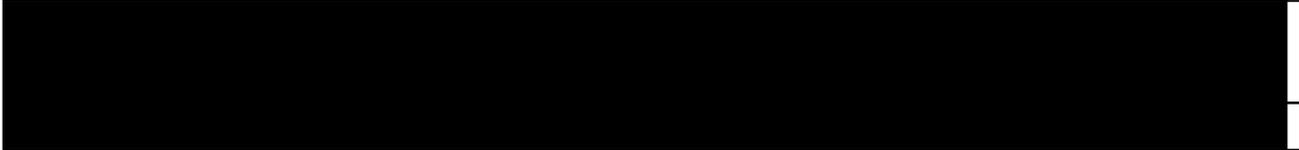
69. The proposal is generally consistent with the relevant planning policies of the Alpine Resorts Planning Scheme and will contribute to the provision of fit for purpose visitor accommodation within the Falls Creek Alpine Village area.
70. The proposal is generally supported by the various referral agencies.
71. It is recommended that Planning Permit No. PA2403288 allowing various buildings and works to existing ski club and the display of an internally illuminated business identification sign at 3 Slalom Street, Falls Creek, be issued subject to conditions.
72. It is **recommended** that the applicant, referral authorities, and the council be notified of the above in writing.



Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
 - Completed the **Statutory Planning Services declaration of Conflict/Interest form.**
 - Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.



Reviewed / Approved by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

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