

# V-SATELLITE BELL PARK

## Temporary Accommodation for Veterans

Vasey RSL Care

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### ADVERTISED PLAN

Layout No.	Drawing Title	Revision
TP.000	Cover Page	TP01
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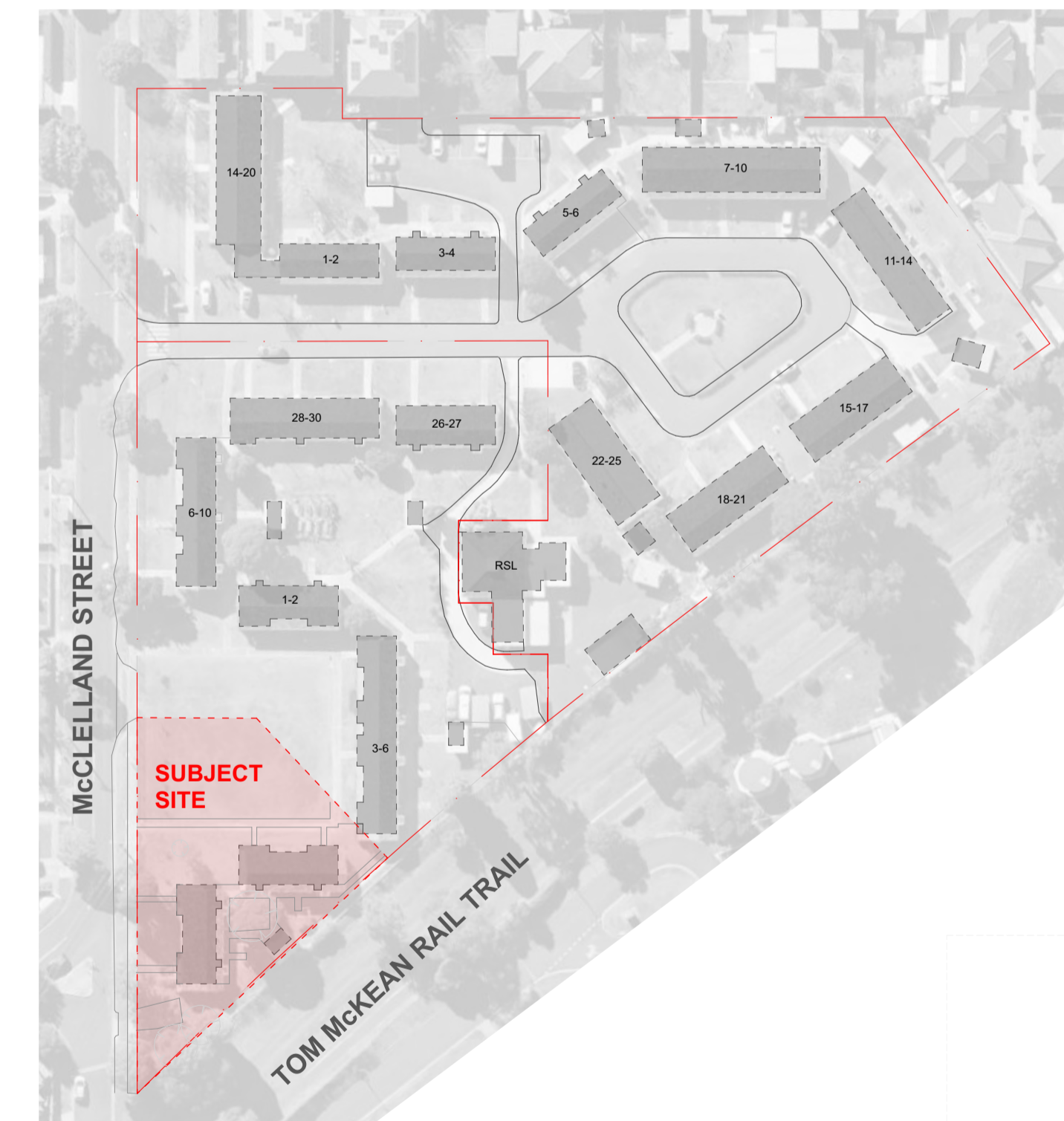
TP02



6 3D VIEW 01 | West Elevation



1 LOCATION PLAN  
Scale 1:2500



2 EXISTING SITE PLAN  
Scale 1:1000

NOTES  
1. DO NOT SCALE DRAWINGS.  
2. FIGURED DIMENSIONS TAKE PRECEDENCE.  
3. DIMENSIONS ARE IN MILLIMETRES.  
4. ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS SHALL BE REFERRED TO FOREGROUND ARCHITECTURE.  
5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SECONDARY CONSULTANTS DRAWINGS, DETAILS AND SPECIFICATIONS, AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING THE COURSE OF THE CONTRACT.  
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY SHOP DRAWINGS OR WORKS ON SITE.

REV	DATE	BY	CH	DESCRIPTION
TP00	15/12/2025			TOWN PLANNING ISSUE
TP01	26/03/2026			TP RFLs

ID	CHANGE DESCRIPTION

**Foreground**  
architecture

Swanston Central Tenancy 3, Upper Mezzanine Level  
160 Victoria Street, Carlton VIC 3053  
Wurundjeri Woi Wurrung Country

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SCALE 1:2500  
@A1 1:1000, 2:1,  
DRAWN 1:200, 1:1.42

CHECKED

PLOT DATE 26/03/2026

DRAWING TITLE  
**Cover Page**

PROJECT  
V-SATELLITE BELL PARK  
McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
Wurundjeri Country  
FOR  
Vasey RSL Care

PROJECT  
**2513**

DWG NO.  
**TP.000**

REVISION  
**TP01**

**DEMOLITION SITE-200:**

- GENERAL SITE NOTES:**
- REFER TO SURVEY FOR ALL EXISTING SITE LEVELS.
  - ALL WORKS TO BE WITHIN THE EXISTING BOUNDARY.
  - EXTENT OF DEMOLITION WORKS TO EXISTING ILU (3-6) TO BE CONFIRMED (FOR PORTION OF THE VERANDAH).
  - ASBESTOS TO BE CONFIRMED.

**EXISTING AREA SCHEDULE (STAGE 01):**

SITE AREA: 1,695m<sup>2</sup>  
 TOTAL EXISTING BUILDING AREA: 213m<sup>2</sup>  
 EXISTING SITE COVERAGE: 437m<sup>2</sup> (26%)  
 EXISTING PERMEABILITY: 74%

- EXISTING ADJACENT BUILDING
- EXISTING STRUCTURE (TO BE DEMOLISHED)
- BOUNDARY LINE
- VIEW # EXISTING PHOTOS / DEMOLITION MARK-UP

- TREE PROTECTION NOTES:**
- TREE LOCATIONS AND NUMBERING AS PER ARBORIST REPORT BY (TREE CARE CONSULTING, 03.11.25).
  - TREE PROTECTION ZONE (TPZ) AND STRUCTURAL ROOT ZONE (SRZ) SHOWN IN ACCORDANCE WITH AS 4370:2009.
  - REFER TO ARBORIST REPORT FOR FULL TREE DATA AND RECOMMENDATIONS.

TPZ TREE PROTECTION ZONE (REFER ARBORIST REPORT)



**VIEW 01:**  
EXISTING ILU'S TO BE DEMOLISHED (LOOKING UP McCLELLAND STREET)



**VIEW 02:**  
EXISTING ILU'S TO BE DEMOLISHED (LOOKING SOUTH)



**VIEW 05:**  
EXISTING ILU (PARTIAL DEMOLITION)



**VIEW 03:**  
EXISTING ILU'S TO BE DEMOLISHED (LOOKING EAST)



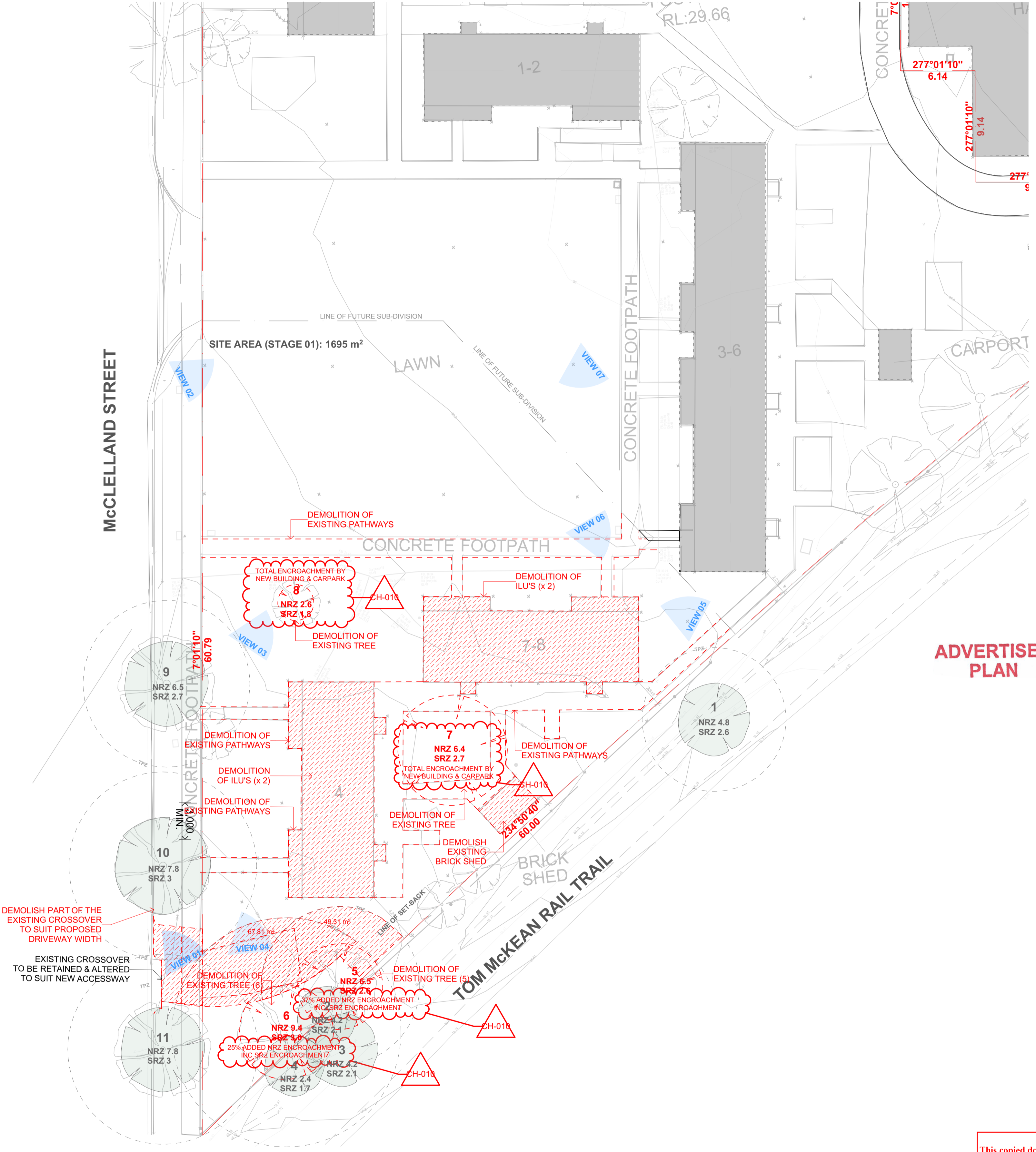
**VIEW 06:**  
EXISTING ILU (PARTIAL DEMOLITION)



**VIEW 04:**  
EXISTING ILU'S TO BE DEMOLISHED (LOOKING EAST)



**VIEW 07:**  
EXISTING ILU'S TO BE DEMOLISHED (LOOKING SOUTH)



**ADVERTISED PLAN**

**1 DEMOLITION SITE PLAN**  
Scale 1:200

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REV	DATE	BY	CH	DESCRIPTION
TP00	15/12/2025			TOWN PLANNING ISSUE
TP01	26/03/2026			TP RFLs

ID	CHANGE DESCRIPTION
CH-010	% NRZ ENCROACHMENTS ADDED

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 PLOT DATE 26/03/2026

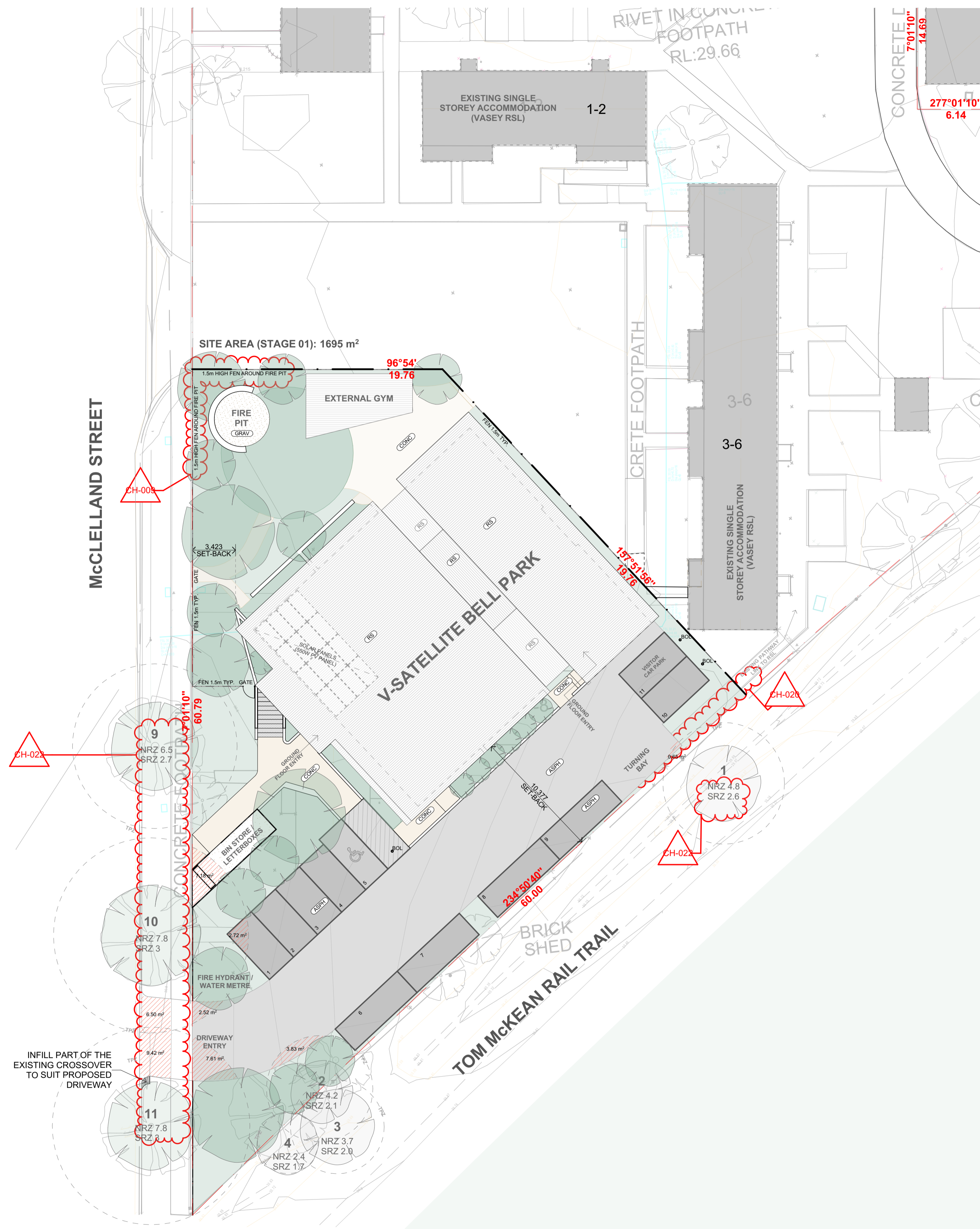
DRAWING TITLE  
**Demolition Site Plan**

PROJECT  
 V-SATELLITE BELL PARK  
 McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
 Wurundjeri Country  
 FOR  
 Vasey RSL Care

PROJECT  
**2513**

DWG NO.  
**TP.010**

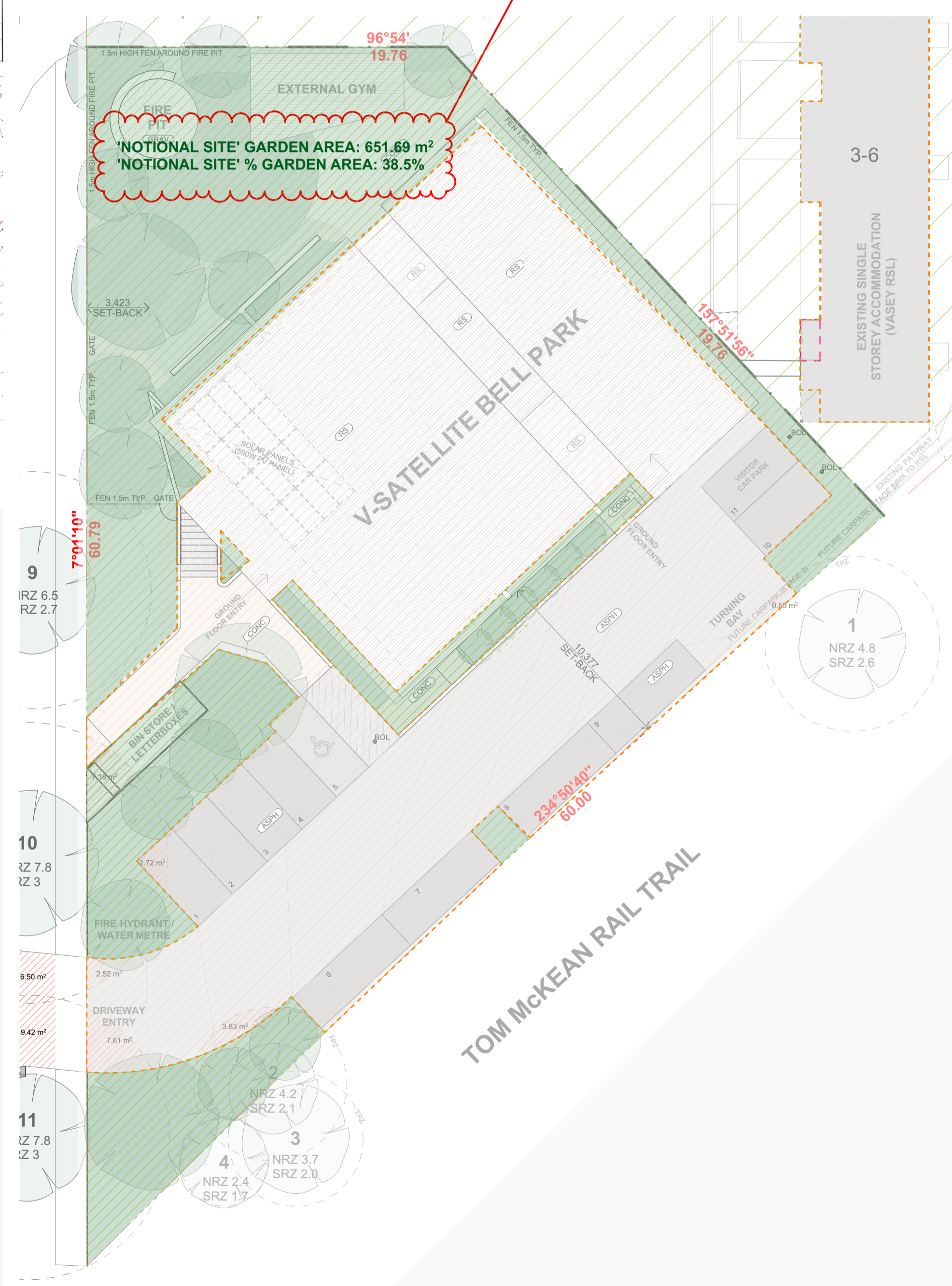
REVISION  
**TP01**



1 PROPOSED SITE PLAN  
Scale 1:200

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ADVERTISED PLAN



5 PROPOSED SITE PLAN (GARDEN AREA)  
Scale 1:200

**GENERAL SITE NOTES:**

- REFER TO SURVEY FOR ALL EXISTING SITE LEVELS.
- ALL WORKS TO BE WITHIN THE EXISTING BOUNDARY.
- REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPING, CANOPY COVERAGE, GARDEN AREAS & GENERAL SITE PLANTING INTENT.
- REFER TO GROUND FLOOR PLAN FOR BUILDING & SITE DIMENSIONS / LEVELS.

**AREA SCHEDULE (STAGE 01):**

**SITE AREA:** 1,695m<sup>2</sup>

**PROPOSED BUILDING AREA:** 783m<sup>2</sup>

**GROUND FLOOR PLAN:** 400m<sup>2</sup>

**FIRST FLOOR PLAN:** 383m<sup>2</sup>

**EXTERNAL GYM (UNDERCOVER):** 26m<sup>2</sup>

**PROPOSED SITE COVERAGE:** 580m<sup>2</sup> (34%)

**PROPOSED PERMEABILITY:** 510m<sup>2</sup> (30%)

**GARDEN AREA:** 651.7m<sup>2</sup> (38.5%)

**EXISTING TREE PROTECTION SCHEDULE:**

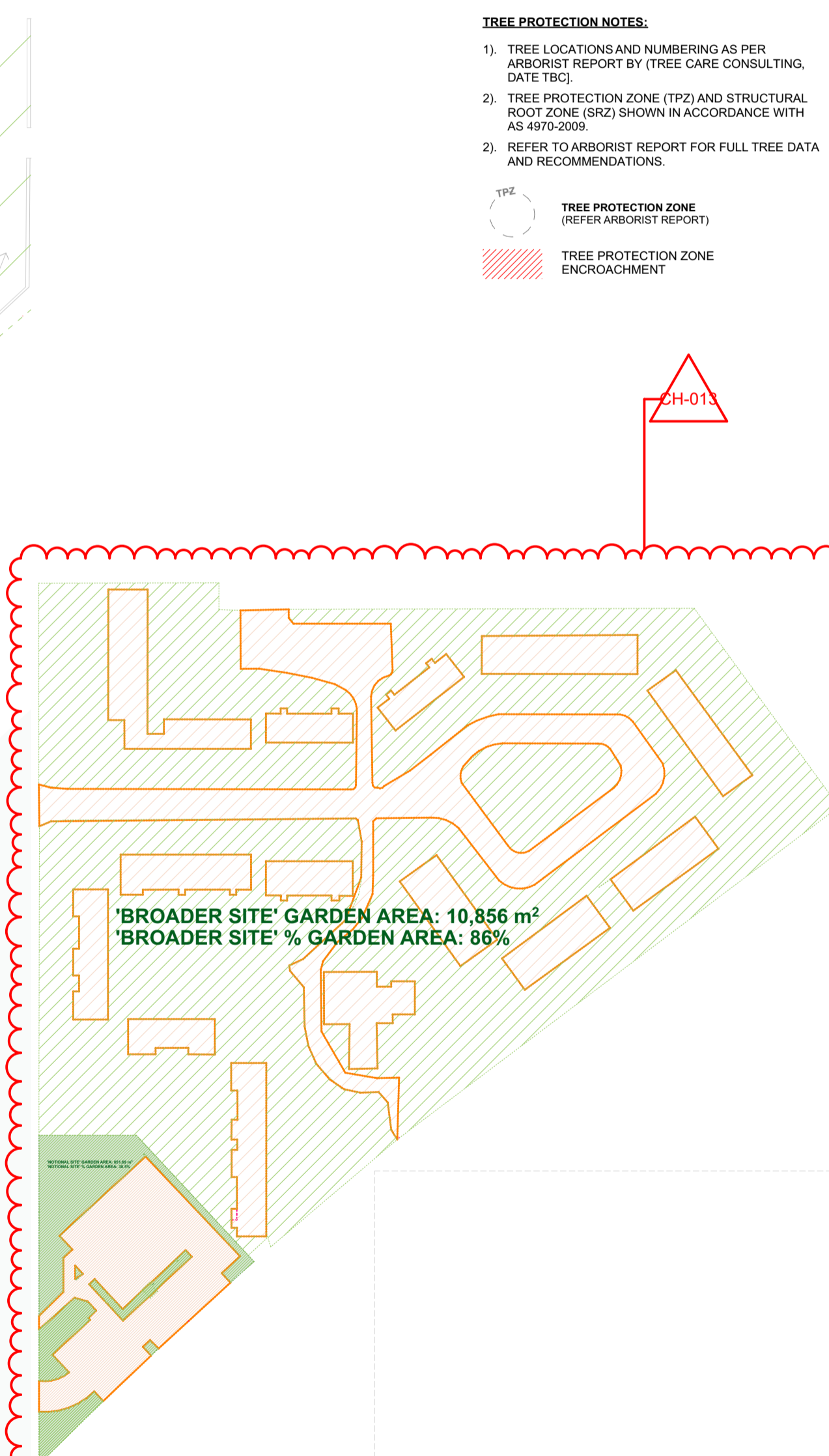
TREE ID	TPZ (RADIUS / AREA)	10% ENCR. (MAX)	PROPOSED ENCR. (MAX)
TREE 01:	4.8m / 72.38m <sup>2</sup>	7.24m <sup>2</sup>	<1m <sup>2</sup>
TREE 02:	4.2m / 55.42m <sup>2</sup>	5.54m <sup>2</sup>	3.83m <sup>2</sup>
TREE 03:	3.7m / 43.01m <sup>2</sup>	4.3m <sup>2</sup>	NONE
TREE 04:	2.4m / 18.10m <sup>2</sup>	1.81m <sup>2</sup>	NONE
TREE 09:	6.5m / 132.73m <sup>2</sup>	13.27m <sup>2</sup>	NONE
TREE 10:	7.8m / 191.13m <sup>2</sup>	19.13m <sup>2</sup>	18.92m <sup>2</sup>
TREE 11:	7.8m / 191.13m <sup>2</sup>	19.13m <sup>2</sup>	17.03m <sup>2</sup>

**LEGEND:**

- EXISTING ADJACENT BUILDING
- GARDEN AREA
- FENCE / GATE, BATTEN TYPE:
  - TYP. NOM 1500mm ABOVE NGL
  - NOM 1800mm ABOVE NGL AROUND FIRE PIT
  - (ANODISED ALUMINIUM MID BRONZE)
- BOUNDARY LINE
- RS - ROOF SHEET - KLIPIKOR OR SIMILAR (COLORBOND SOUTHERLY)
- RWT - RAINWATER TANK - 10,000L SLOTTED POLY (MELRO OR SIMILAR, JASPER)
- PAV - PAV - BRICK PAVING (TO MATCH BRICK CLADDING)
- CONC - CONC - EXPOSED AGGREGATE, LIGHT / NATURAL FINISH
- GRAV - GRAV - RECYCLED AGGREGATE (LOOSE), NATURAL LIMESTONE COLOUR
- ASPH - ASPH - DRIVEWAY & CAR PARKS

**TREE PROTECTION NOTES:**

- TREE LOCATIONS AND NUMBERING AS PER ARBORIST REPORT BY (TREE CARE CONSULTING, DATE TBC).
- TREE PROTECTION ZONE (TPZ) AND STRUCTURAL ROOT ZONE (SRZ) SHOWN IN ACCORDANCE WITH AS 4970-2009.
- REFER TO ARBORIST REPORT FOR FULL TREE DATA AND RECOMMENDATIONS.



6 PROPOSED SITE PLAN (GARDEN AREA)  
Scale 1:1000

- NOTES:**
- DO NOT SCALE DRAWINGS.
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REV	DATE	BY	CH	DESCRIPTION
TP00	15/12/2025			TOWN PLANNING ISSUE
TP01	22/01/2026		TP01	TP REVISION (SITE LEVELS)
TP02	26/03/2026		TP	RFIs

ID	CHANGE DESCRIPTION
CH-009	FENCE NOTED @ 1.5M HIGH
CH-013	BROADER SITE AREA %
CH-020	'FUTURE' CARPARKS NOTED
CH-022	COORDINATION WITH ARBORIST REPORT

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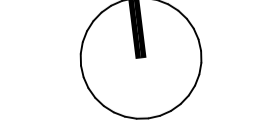
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@A1 1:1000  
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PLOT DATE: 26/03/2026

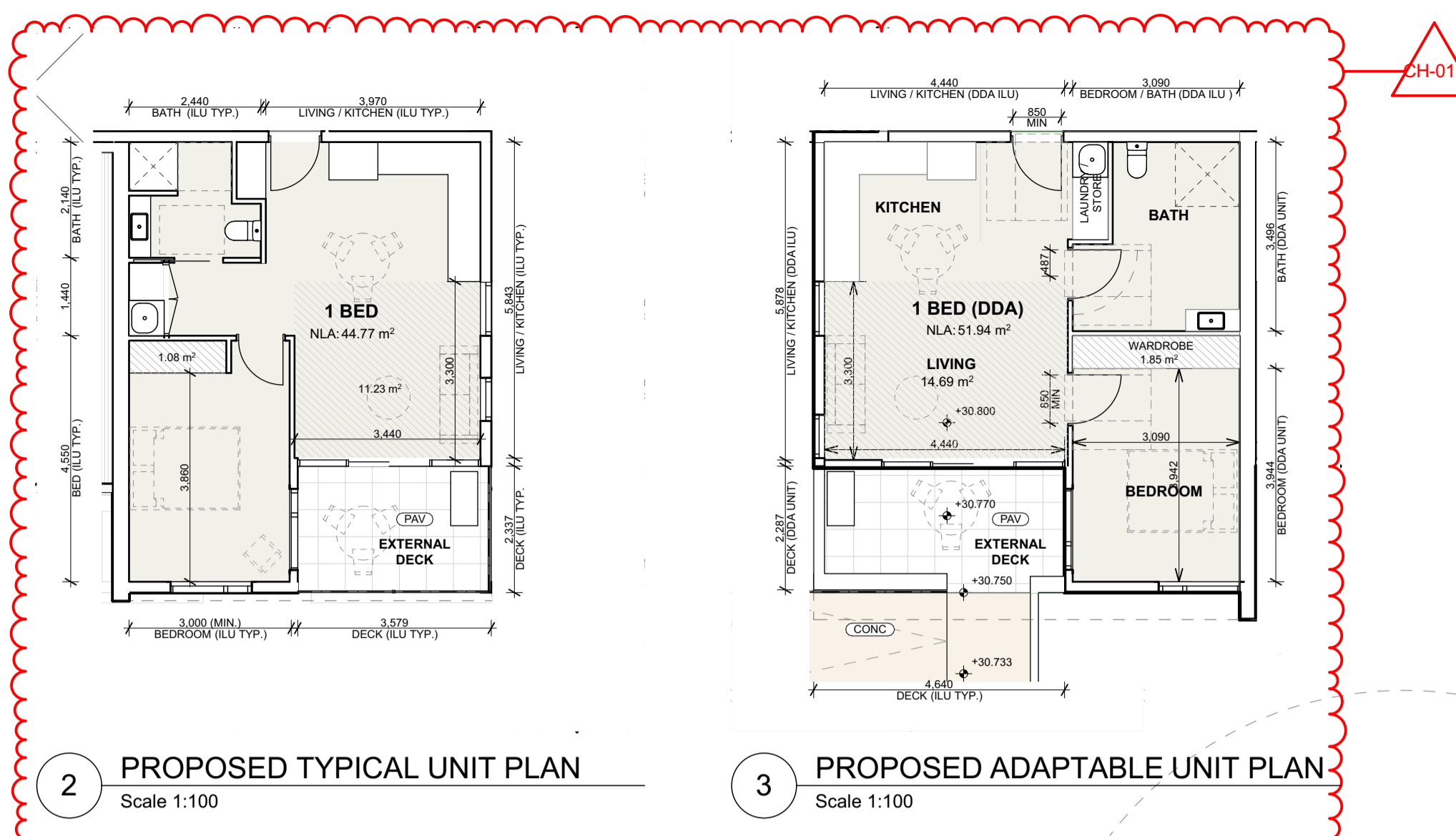
DRAWING TITLE  
**Proposed Site Plan**

PROJECT  
V-SATELLITE BELL PARK  
McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
Wurundjeri Country  
FOR:  
Vasey RSL Care

PROJECT  
**2513**

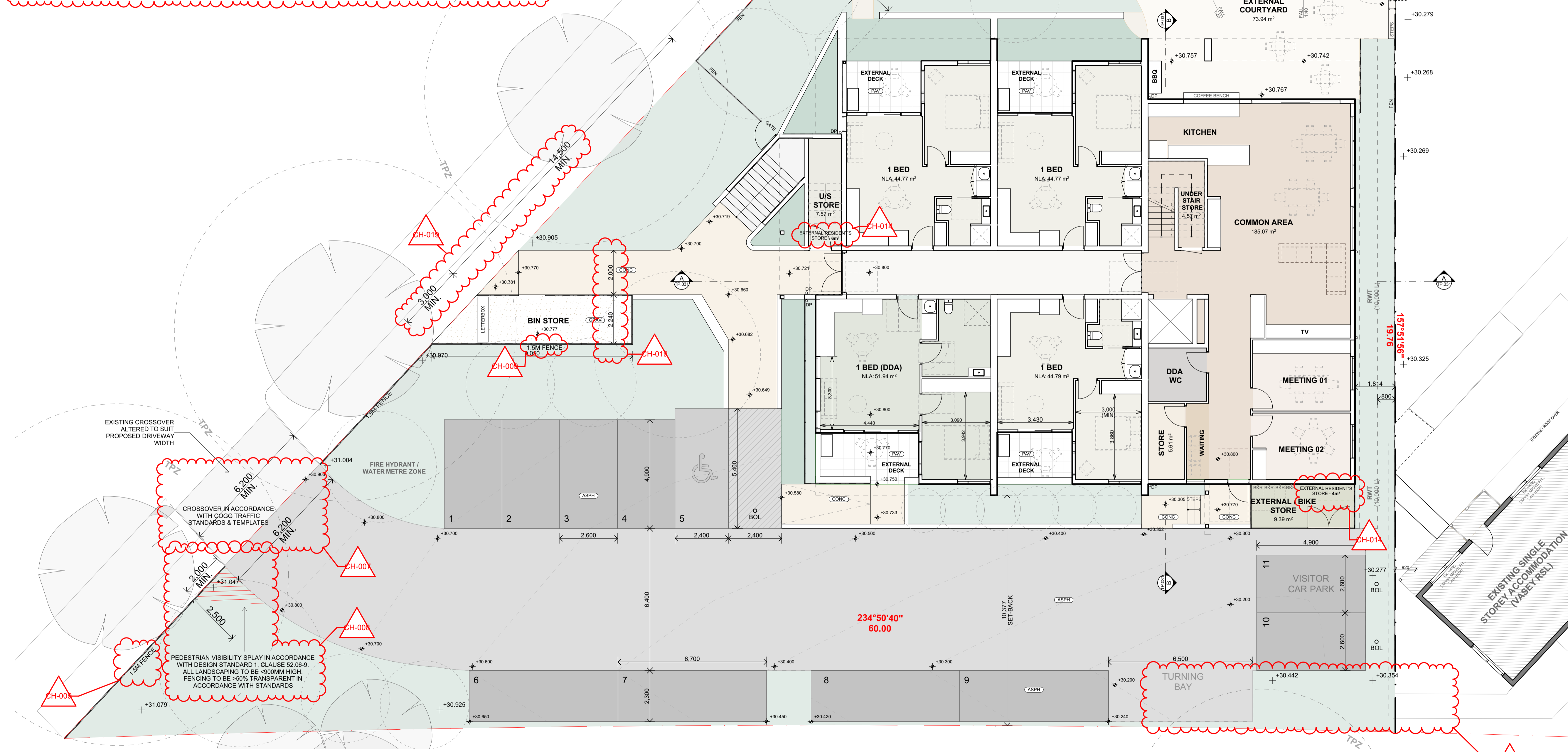
DWG NO.  
**TP.011**

REVISION  
**TP02**



2 PROPOSED TYPICAL UNIT PLAN  
Scale 1:100

3 PROPOSED ADAPTABLE UNIT PLAN  
Scale 1:100



1 PROPOSED GROUND FLOOR PLAN  
Scale 1:100

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- FLOORPLAN-100:**
- GENERAL SITE NOTES:**
- REFER TO SURVEY FOR ALL EXISTING SITE LEVELS.
  - ALL WORKS TO BE WITHIN THE EXISTING BOUNDARY.
  - REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPING, FENCING, GATES, GARDEN AREAS & GENERAL SITE PLANTING INTENT.
  - REFER TO FIRST FLOOR PLAN FOR TYPICAL UNIT DIMENSIONS
- UNIT AREA SCHEDULE (STAGE 01):**
- ILU TYPICAL:**
- GFA (m<sup>2</sup>) - TO EXTERNAL WALLS 58.0m<sup>2</sup>
  - NLA (m<sup>2</sup>) - TO INTERNAL WALLS 44.8m<sup>2</sup>
  - EXTERNAL DECK / BALCONY (m<sup>2</sup>) 8.0m<sup>2</sup>
  - INTERNAL STORAGE (m<sup>2</sup>) 5.0m<sup>3</sup>
  - EXTERNAL STORAGE (m<sup>2</sup>) 1.0m<sup>3</sup>
- ILU ADAPTABLE:**
- GFA (m<sup>2</sup>) - TO EXTERNAL WALLS 68.5m<sup>2</sup>
  - NLA (m<sup>2</sup>) - TO INTERNAL WALLS 51.9m<sup>2</sup>
  - EXTERNAL DECK / BALCONY (m<sup>2</sup>) 10.9m<sup>2</sup>
  - INTERNAL STORAGE (m<sup>2</sup>) 6.1m<sup>3</sup>
  - EXTERNAL STORAGE (m<sup>2</sup>) 1.0m<sup>3</sup>
- LEGEND:**
- EXISTING ADJACENT BUILDING
  - FENCE / GATE, BATTEN TYPE:
    - TYP. NOM 1500mm ABOVE NGL
    - NOM 1800mm ABOVE NGL AROUND FIRE PIT
    - (ANODISED ALUMINIUM MID BRONZE)
  - BOUNDARY LINE
  - DOWNPIPE
  - ROOF SHEET - KLIPOK OR SIMILAR (COLORBOND SOUTHERLY)
  - BOLLARD
  - RAINWATER TANK - 10,000L
  - SLIMLINE POLY (MELROD OR SIMILAR, JASPER)
  - PAV - BRICK PAVING (TO MATCH BRICK CLADDING)
  - CONC - EXPOSED AGGREGATE, LIGHT / NATURAL FINISH
  - GRAV - RECYCLED AGGREGATE (LOOSE), NATURAL LIMESTONE COLOUR
  - ASPH - DRIVEWAY & CAR PARKS
  - INDICATIVE TREE LOCATION (REFER LANDSCAPE PLAN)
  - TREE PROTECTION ZONE (REFER ARBORIST REPORT)

ADVERTISED PLAN

- NOTES:**
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REV	DATE	BY	CH	DESCRIPTION
TP00	15/12/2025			TOWN PLANNING ISSUE
TP01	22/01/2026			TP01 TP REVISION (SITE LEVELS)
TP02	26/03/2026			TP RFLs

ID	CHANGE DESCRIPTION
CH-007	MIN 6.2M CROSSOVER AND ROADWAY
CH-008	2M WIDE PEDESTRIAN SPLOY TO SOUTH
CH-009	FENCE NOTED @ 1.5M HIGH
CH-011	STANDARD B3-7 COMPLIANCE
CH-012	SETBACK DIMENSIONS TO GYM
CH-014	DISTRIBUTED EXTERNAL STORAGE AREAS
CH-019	ADDITIONAL DIMENSIONS
CH-020	'FUTURE' CARPARKS NOTED

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@A1  
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PLOT DATE 26/03/2026

DRAWING TITLE  
**Proposed Ground Floor Plan**

PROJECT  
V-SATELLITE BELL PARK  
McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
Wurundjeri Country  
FOR  
Vasey RSL Care

PROJECT  
**2513**

DWG NO.  
**TP.020**

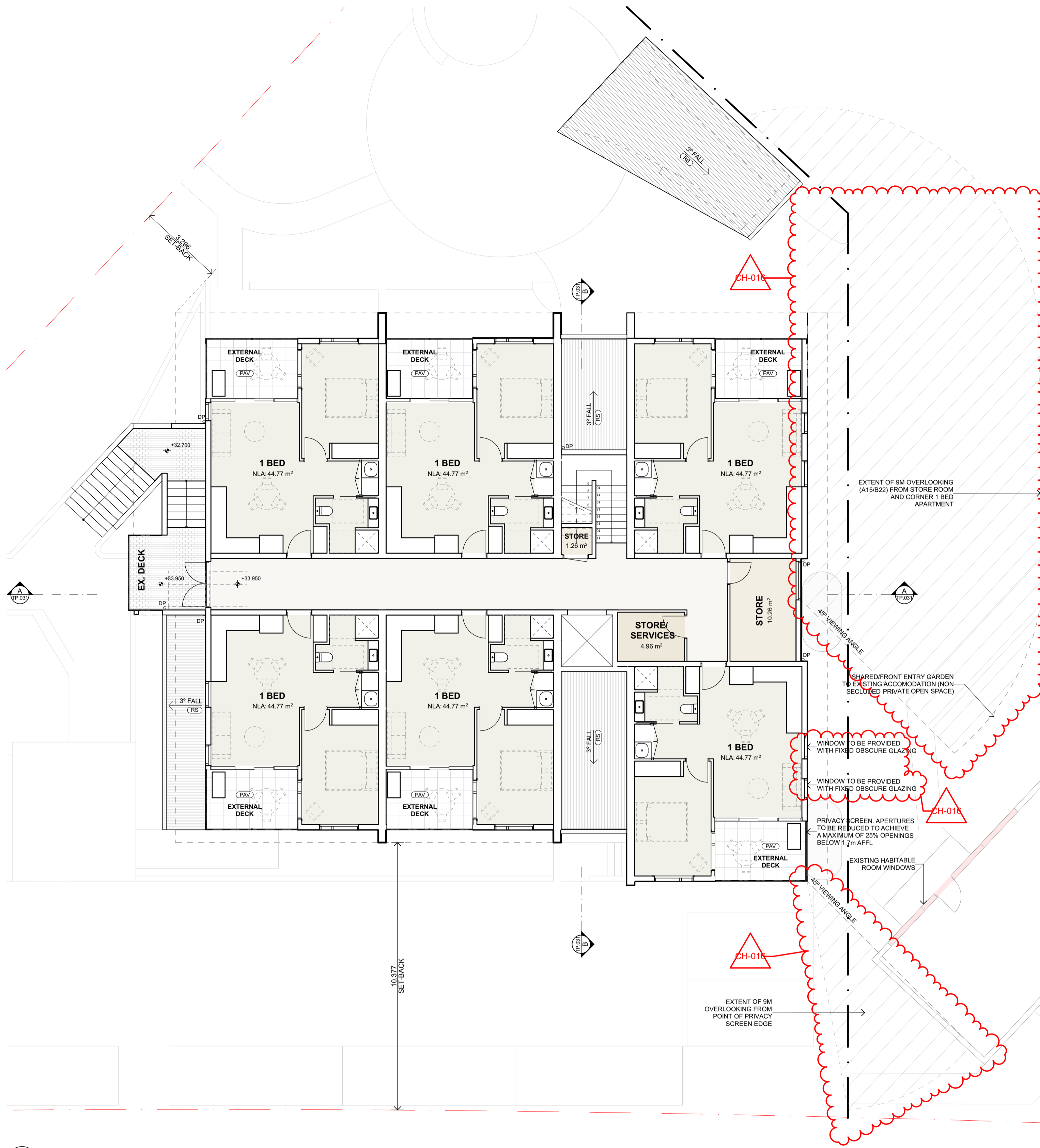
REVISION  
**TP02**

FLOORPLAN-100:

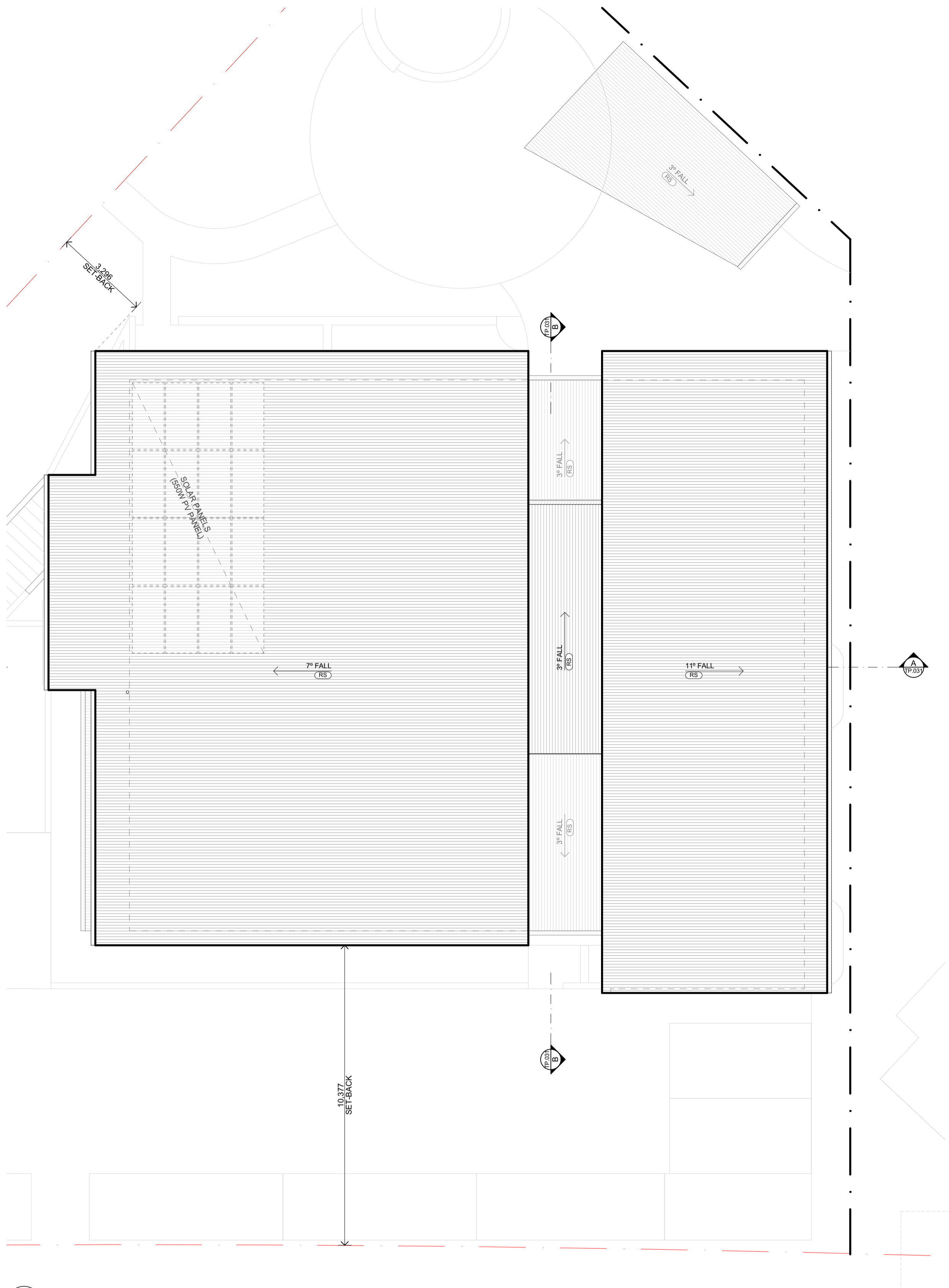
GENERAL SITE NOTES:

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- ALL WORKS TO BE WITHIN THE EXISTING BOUNDARY.
- REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPING, FENCING, GATES, GARDEN AREAS & GENERAL SITE PLANTING INTENT.
- REFER TO GROUND FLOOR PLAN FOR ADAPTABLE (DDA) UNIT DIMENSIONS

- EXISTING ADJACENT BUILDING
- BOUNDARY LINE
- EAVES GUTTER
- DOWNPIPE
- ROOF SHEET - KLIPOK OR SIMILAR (COLORBOND SOUTHERLY)
- RAINWATER TANK - 10,000L SLIMLINE POLY (MELRO OR SIMILAR, JASPER)



1 PROPOSED FIRST FLOOR PLAN  
Scale 1:100



2 PROPOSED ROOF PLAN  
Scale 1:100

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ADVERTISED PLAN

- NOTES
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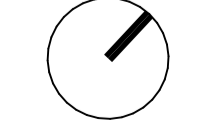
REV	DATE	BY	CH	DESCRIPTION	ID	CHANGE DESCRIPTION
TP02	26/03/2026			TP RFI's	CH-016	ADDITIONAL OVERLOOKING INFORMATION

**Foreground**  
architecture

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SCALE 1:100  
DRAWN @A1  
CHECKED  
PLOT DATE 26/03/2026

DRAWING TITLE  
Proposed First Floor & Roof Plan

PROJECT  
V-SATELLITE BELL PARK  
McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
Wurundjeri Country  
FOR  
Vasey RSL Care

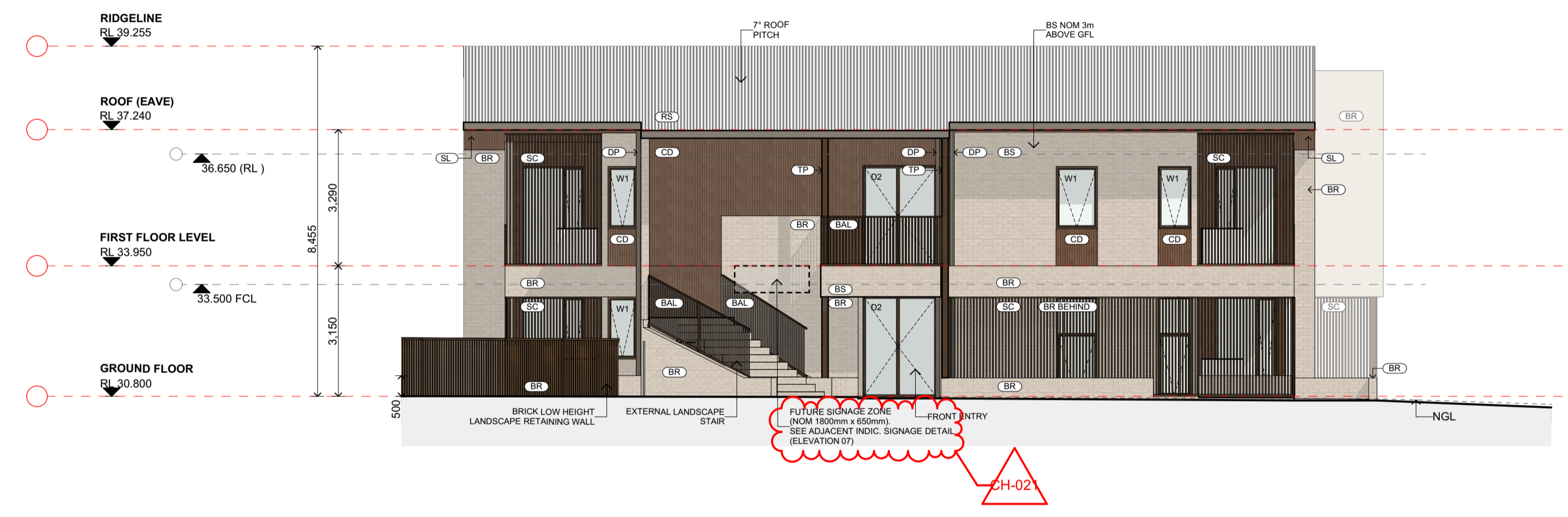
PROJECT  
2513

DWG NO.  
TP.021

REVISION  
TP02



1 NORTH-WEST ELEVATION  
Scale 1:100

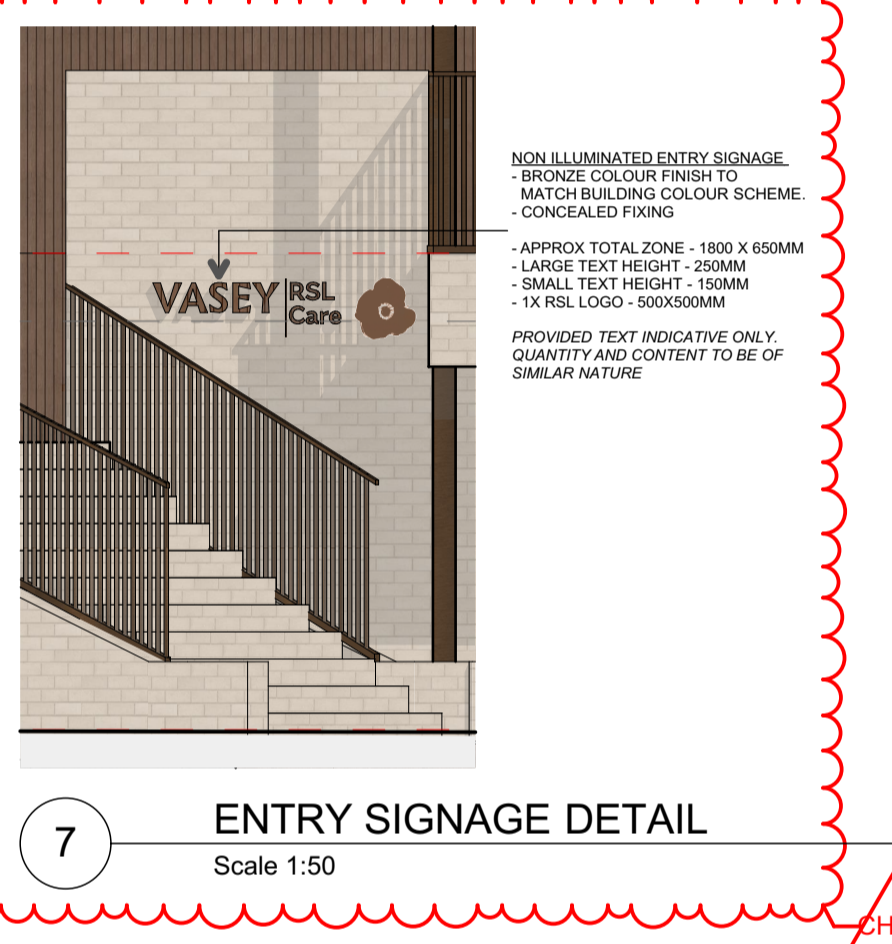


2 SOUTH-WEST ELEVATION  
Scale 1:100



3 SOUTH-EAST ELEVATION  
Scale 1:100

ADVERTISED PLAN



7 ENTRY SIGNAGE DETAIL  
Scale 1:50

MATERIALS SCHEDULE:


ELEVATIONS & SECTIONS-100:

- W1 WINDOW TYPE 01 (FIXED / SLIDING / AWNING), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED
- W2 WINDOW TYPE 02 (FIXED / SLIDING / AWNING), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED (OBSCURE FOR OVERLOOKING)
- D1 DOOR / WINDOW TYPE 01 (SLIDING), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED
- D2 DOOR TYPE 02 (HINGED), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED
- ESC EXTERNAL STORAGE CABINET (GYM), (COLORBOND JASPER)
- BAL BALUSTRADE (ANODISED ALUMINIUM MID BRONZE)
- BOL BOLLARD
- BR BRICK VENEER / LANDSCAPE RETAINING WALLS
- BS BRICK SLIPS
- CD CLADDING (FC TEXTURED PRE-FINISHED LINING BOARDS)
- DP DOWNPIPE (COLORBOND JASPER)
- EG EAVES GUTTER (COLORBOND JASPER)
- RS ROOF SHEET - KLIPLOK OR SIMILAR (COLORBOND SOUTHERLY)
- SL SOFFIT LINING (FC TEXTURED PRE-FINISHED LINING BOARDS)
- SC METAL SCREEN (ANODISED ALUMINIUM MID BRONZE)

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4 NORTH-EAST ELEVATION  
Scale 1:100

NOTES  
1. DO NOT SCALE DRAWINGS.  
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6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY SHOP DRAWINGS OR WORKS ON SITE.

REV	DATE	BY	CH	DESCRIPTION
TP02	26/03/2026			TP RFLs

ID	CHANGE DESCRIPTION
CH-016	ADDITIONAL OVERLOOKING INFORMATION
CH-018	ADDITIONAL MATERIAL SCHEDULE DETAILS
CH-021	ENTRY SIGNAGE DETAILS

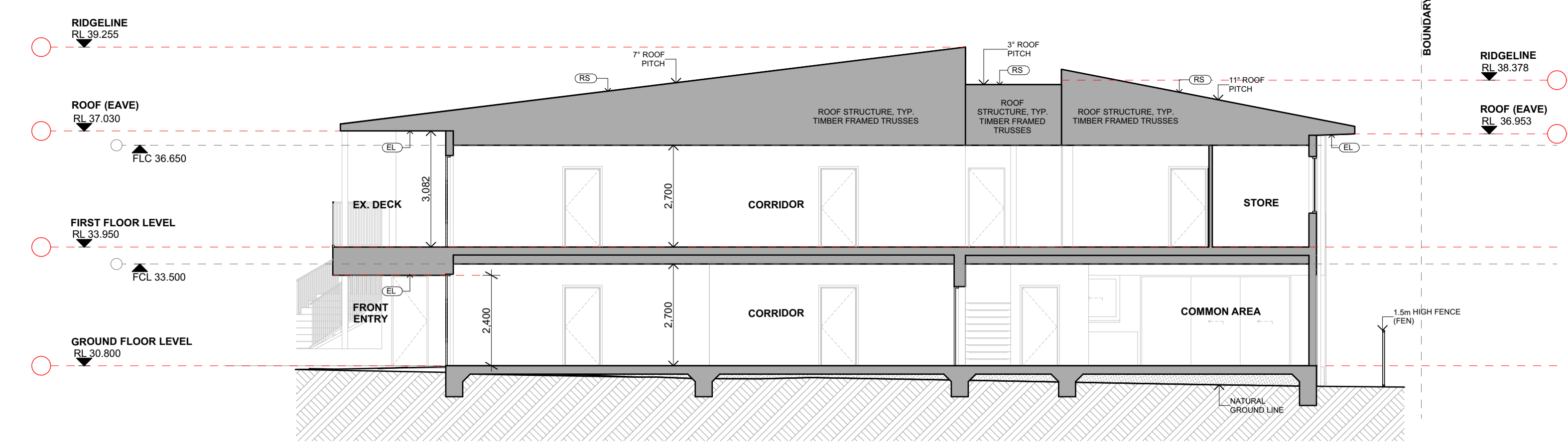
**Foreground architecture**  
Swanston Central Tenancy 3, Upper Mezzanine Level  
160 Victoria Street, Carlton VIC 3053  
Wurundjeri Woi Wurrung Country  
foregroundarchitecture.com.au  
info@foregroundarchitecture.com.au  
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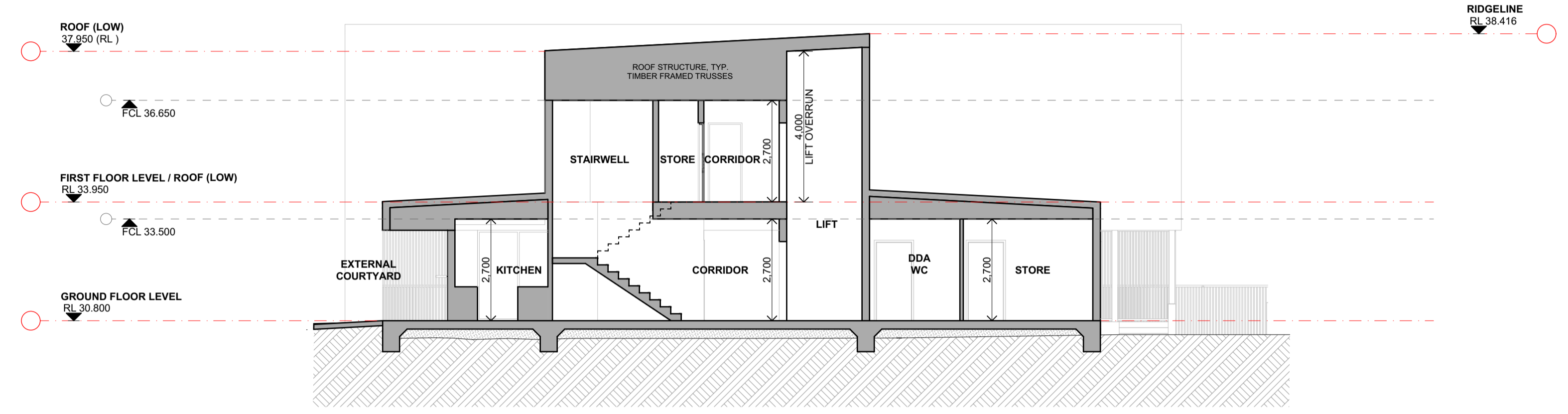
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DRAWN  
CHECKED  
PLOT DATE 26/03/2026

DRAWING TITLE  
**Elevations**  
PROJECT  
V-SATELLITE BELL PARK  
McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
Wurundjeri Country  
FOR  
Vasey RSL Care

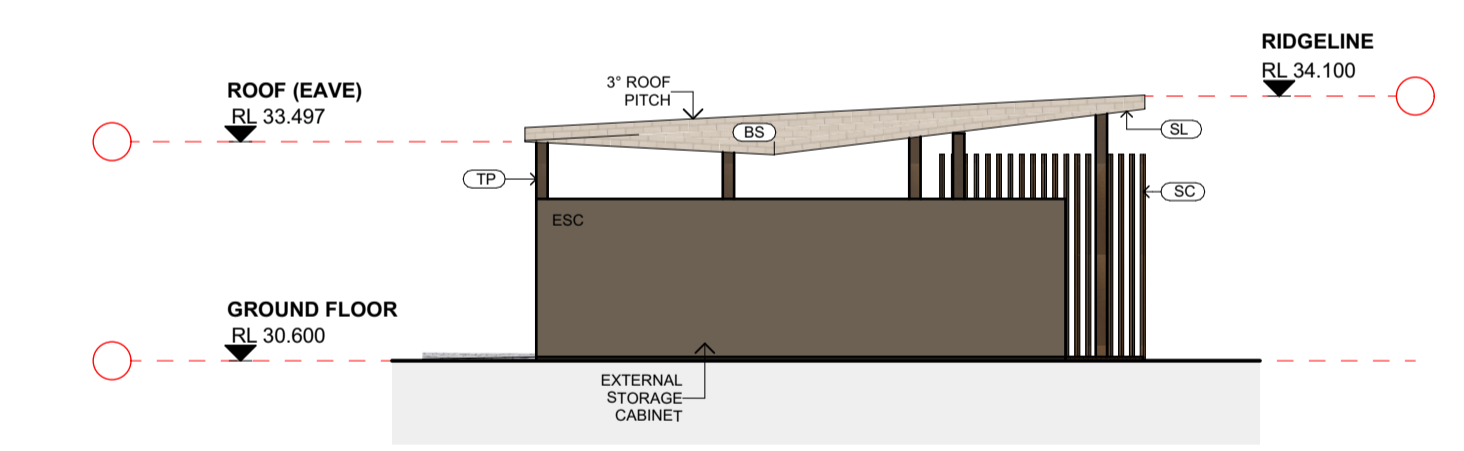
PROJECT  
**2513**  
DWG NO.  
**TP.030**  
REVISION  
**TP02**



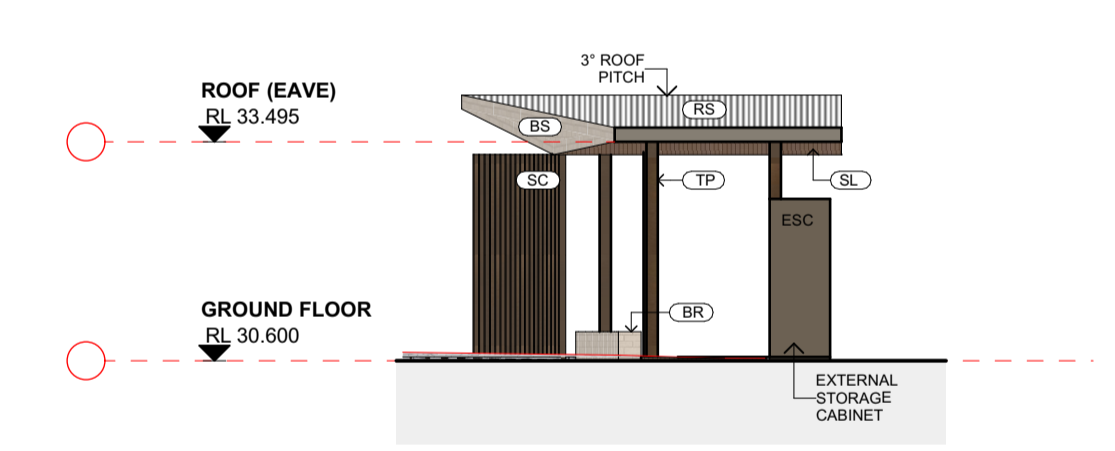
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Scale 1:100



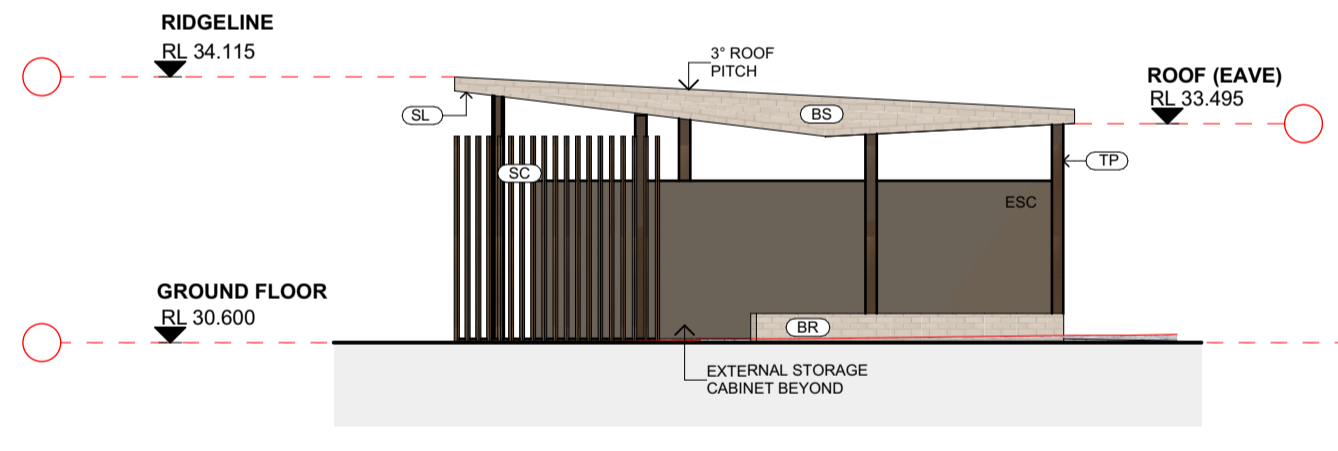
2 SECTION B  
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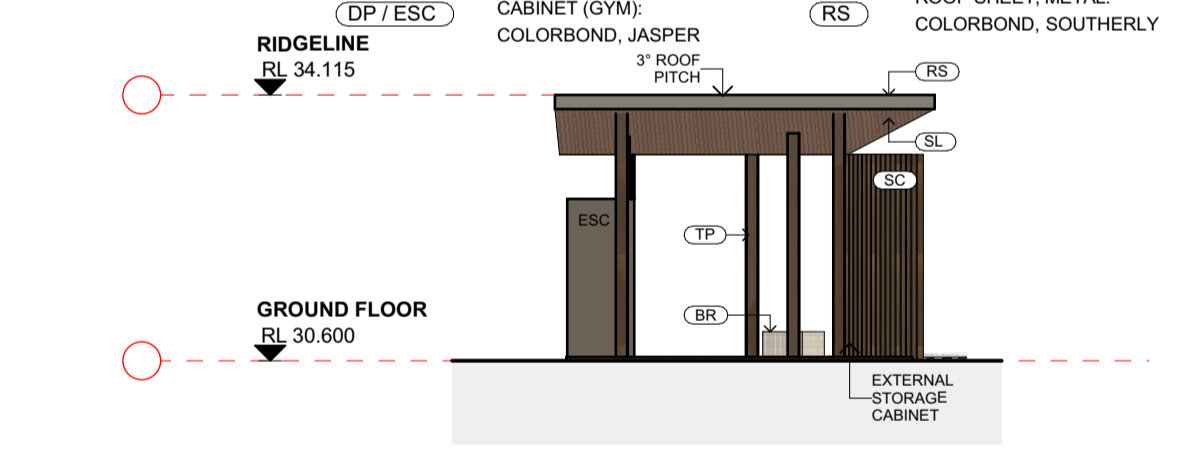
3 NORTH-WEST GYM ELEVATION  
Scale 1:100



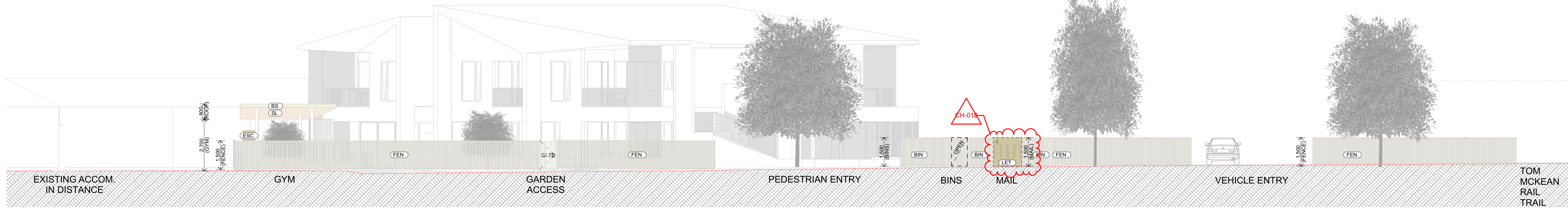
4 NORTH-EAST GYM ELEVATION  
Scale 1:100



6 SOUTH-EAST GYM ELEVATION  
Scale 1:100



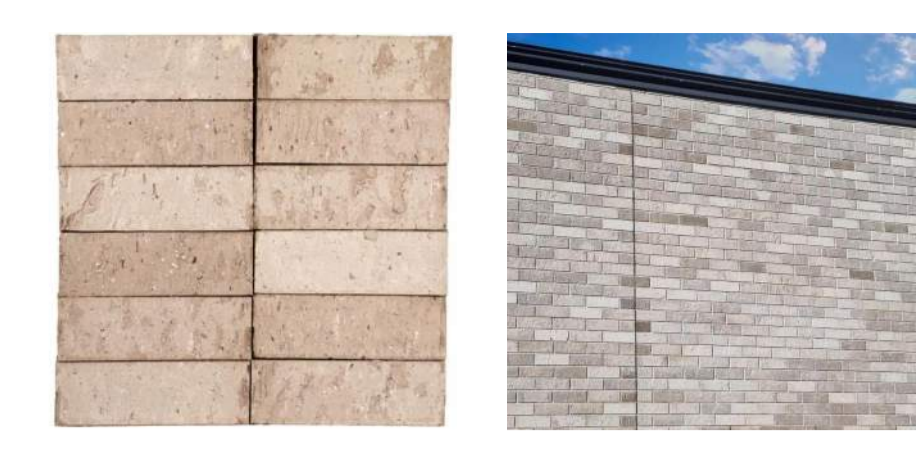
7 SOUTH-WEST GYM ELEVATION  
Scale 1:100



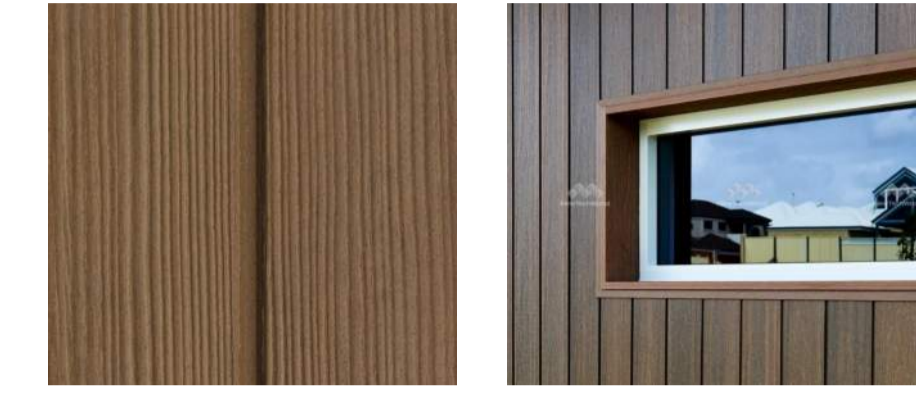
9 McCLELLAND ST ELEVATION  
Scale 1:100

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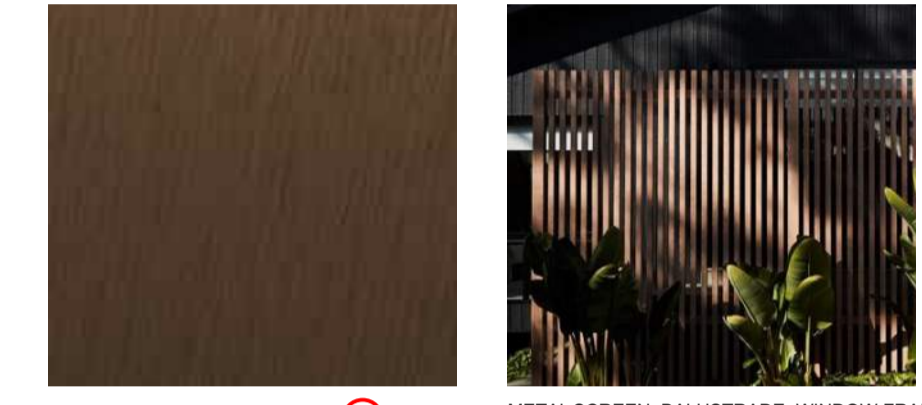
MATERIALS SCHEDULE:



(BR / BS) BRICK VENEER, BRICK SLIP CLADDING, LANDSCAPE RETAINING WALLS: LITTLE HAMPTON, NEW ASH BRICK / BRICK SLIP OR SIMILAR



(CD) FC, TEXTURED PRE-FINISHED LINING BOARDS: CEMINTEL TERRITORY, WOODLANDS TEAK OR SIMILAR



METAL SCREEN, BALUSTRADE, WINDOW FRAMES, FENCING: ANODISED ALUMINIUM, MID BRONZE OR SIMILAR  
APPROX 50x50MM ALUMINIUM SHS PROFILE VISUAL PERMEABILITY AS FOLLOWS  
SC - MAX 25% PERMEABILITY (A15B2)  
W1 - WINDOW FRAME - PERMEABILITY NA  
FEN - APPROX. 80%  
BAL - APPROX. 66%  
BIN - APPROX. 66%  
LET - PLAT SHEET - PERMEABILITY NA



(DPT / ESC) DOWNPIPES, STORAGE CABINET (GYM): COLORBOND, JASPER  
(RS) ROOF SHEET, METAL: COLORBOND, SOUTHERLY

ELEVATIONS & SECTIONS-100:

- W1 WINDOW TYPE 01 (FIXED / SLIDING / AWNING), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED
- W2 WINDOW TYPE 02 (FIXED / SLIDING / AWNING), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED (OBSCURE FOR OVERLOOKING)
- D1 DOOR / WINDOW TYPE 01 (SLIDING), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED
- D2 DOOR TYPE 02 (HINGED), ALUMINIUM FRAMED (ANODISED MID BRONZE), DOUBLE GLAZED
- ESC EXTERNAL STORAGE CABINET (GYM), (COLORBOND JASPER)
- (BAL) BALUSTRADE (ANODISED ALUMINIUM MID BRONZE)
- (BOL) BOLLARD
- (BR) BRICK VENEER / LANDSCAPE RETAINING WALLS
- (BS) BRICK SLIPS
- (CD) CLADDING (FC, TEXTURED PRE-FINISHED LINING BOARDS)
- (DP) DOWNPIPE (COLORBOND JASPER)
- (EG) EAVES GUTTER (COLORBOND JASPER)
- (RS) ROOF SHEET - KLIPILOK OR SIMILAR (COLORBOND SOUTHERLY)
- (SL) SOFFIT LINING (FC, TEXTURED PRE-FINISHED LINING BOARDS)
- (SC) METAL SCREEN (ANODISED ALUMINIUM MID BRONZE)

- NOTES
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  - FIGURED DIMENSIONS TAKE PRECEDENCE.
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REV	DATE	BY	CH	DESCRIPTION
TP02	26/03/2026			TP RFLs

ID	CHANGE DESCRIPTION
CH-017	ADDITIONAL McCLELLAND STREETCAPE ELEVATION
CH-018	ADDITIONAL MATERIAL SCHEDULE DETAILS

**Foreground architecture**

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SCALE 1:100  
DRAWN @A1  
CHECKED  
PLOT DATE 26/03/2026

DRAWING TITLE  
**Elevations (Gym) & Sections**

PROJECT  
V-SATELLITE BELL PARK  
McClelland Drive, Overend Court & Neilson Square, Bell Park VIC 3215  
Wurundjeri Country  
FOR  
Vasey RSL Care

PROJECT **2513**

DWG NO. **TP.031**

REVISION **TP02**