

ADVERTISED FOR PLAN

AMENDED PLANNING PERMIT

Permit No:	PlnA00729/14
Application Ref No:	PPA25-0073
Planning Scheme:	Casey Planning Scheme
Responsible authority:	City of Casey

ADDRESS OF THE LAND:	271-275 Pearcedale Road CRANBOURNE SOUTH VIC 3977 CP 157233
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THE PERMIT ALLOWS:

Planning Scheme Clause No.	Matter for which the permit has been granted
Clause 35.04-1	Use and development of education centre
Clause 44.04-2	Buildings and Works within LSI0
Clause 42.01-2	Buildings and Works

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THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Conditions: 1-77 and Notes (Inclusive)

Environmental Audit

1. Prior to the commencement of the use or of buildings and works associated with the use the applicant must provide:
 - (a) A Certificate of Environmental Audit in accordance with Section 53Y of the Environment Protection Act 1970; or
 - (b) A Statement of Environmental Audit under Section 53Z of the Environment Protection Act 1970. A statement must state that the site is suitable for the use and development allowed by this permit.
2. All the conditions of the Statement of Environmental Audit must be complied with to the satisfaction of the Responsible Authority, prior to the commencement of the use of the site. Written confirmation of compliance must be provided by a suitably qualified environmental professional or other suitable person acceptable to the Responsible

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Authority. In addition, sign off must be in accordance with any requirements in the Statement conditions regarding verification of works.

Amended Plans

3. Before the use and/or development start/s, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application, but modified to show:

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- (a) All annotations referring to the 'Slager' to be deleted
 - (b) Buildings constructed with finished floor levels set no lower than 600 mm above the applicable flood level; and
 - (c) Fully coloured elevations that demonstrate all material specifications in context utilising muted, neutral or earthy colours appropriate to the Green Wedge Zone;
 - (d) A Waste collection area with access from the main vehicle entrance of the development;
 - (e) The bus parking bays with a length of 15 to 20 metres;
 - (f) A disabled carspace to comply with AS/NZS 2890.6-2009
 - (g) The dimensions of all car spaces and access aisles to comply with the requirements of Clause 52.06 of the Casey Planning Scheme;
 - (h) Truck swept paths for buses, delivery trucks and waste collection services of the development;
 - (i) Loading and unloading area for deliveries;
 - (j) A pedestrian path that connects to the existing external footpath network;
 - (k) The channelised right turn lane in Pearcedale Road to access the proposed school entry;
 - (l) An auxillary left turn lane in Pearcedale Road to access the proposed school entry;
 - (m) A pedestrian refuge in front of the proposed school in Pearcedale Road;

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- (n) Adequate lighting at the driveway and in the carparking areas for safe night time traffic movement to accord with Australian Standards AS/NZ 2890.1:2004;
- (o) Provision of bicycle facilities to comply with Clause 52.34 of the Casey Planning Scheme; and
- (p) Signage pavement, line markings, pram crossings, TGSI's designed to comply with the relevant Australian Standards.
- (q) The foyer areas to be completely roofed to the front steps to provide protection from the weather.
- (r) The provision of shading devices on the eastern and western side of the school building.
- (s) The hydrant pump, storage tanks and pumping station to be screened with a permanent material in natural colours.
- (t) The provision of a no right hand turn sign near the exit of the site (to the south of the substation).

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Stormwater Drainage Strategy and Stormwater Management

4. Prior to the submission of the engineering and stormwater drainage plans, a Stormwater Drainage Strategy must be submitted to and approved by the Responsible Authority. The Strategy must take the following matters into consideration:
 - The proposed alignment of drainage infrastructure that will convey the 1 in 5 year ARI flow and the designated overland flow paths that will convey the 1 in 100 year ARI flow.
 - The runoff from the site must not exceed the pre development runoff. Any excess runoff must be retarded on site to the satisfaction of the Responsible Authority.
 - Show the provision of adequate on-site stormwater detention measures such as a retarding basin and demonstrate that the rate of stormwater discharge in the 1 in 100 year ARI storm does not exceed the pre-development flow rate.
 - Any road or access way intended to act as an overland flow path and that it satisfies the Floodway Safety Criteria.
 - The development has provision for overland flows from all upstream catchments that drain through the property. The alignment of roads and reserves with any

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adjoining estates must ensure continuity and provide uninterrupted conveyance of overland flows.

- Show the relevant Melbourne Water flood levels for the property and demonstrate that the proposed buildings have adequate freeboard.
- How the stormwater will be conveyed from the development area to the Melbourne Water outfall drains or proposed wetlands. (The Drainage Strategy must demonstrate both short term and long term works.)
- The stormwater discharge from the site will not cause excessive flooding to the downstream properties up to the Melbourne Water outfall drains.

5. Before the development starts, plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must show the provision of a litter and/or sediment trap to control runoff from the carpark/development. The litter trap will become the responsibility of the property owner to maintain.

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6. Before the development starts, construction plans for any dam or bioretention basin required by the relevant authority, must be designed in accordance with sound engineering practice to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. The plans must be drawn to scale with dimensions and three copies must be provided. When approved, the plans will be endorsed and will then form part of the permit. The plans must show as relevant :

- The site of the dam with the dimensions of the dam and offsets to the property boundary and nearby watercourse.
- The wall of the dam to have a suitable foundation and be constructed so as to be completely stable and watertight.
- Details of the spillway and/or overflow system of the dam constructed of suitable material.
- The cross section/s of the dam/s.

Removal and Creation of Drainage Easement Conditions

7. Following the completion of works to remodel the internal drain in accordance with the requirements of the relevant authority, the existing drainage easement must be removed

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and replaced by a new drainage easement to the satisfaction of Melbourne Water and Council.

Landscape Plan

8. Prior to use of the development, a landscape plan prepared by a person suitably qualified or experienced in landscape design to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plan will be endorsed and will then form part of the permit. The landscape plan must be drawn to scale on A1 paper size with dimensions and three copies must be provided in electronic format. The landscape plan must be generally in accordance with the development plan for the site and must achieve compliance with bushfire management provisions of this permit except that the landscape plan must show:

- (a) A survey (including botanical names, trunk location, trunk diameter and canopy spread) of all existing vegetation to be retained and/or removed. The survey must clearly mark existing vegetation to be retained and removed. the survey must also include any street tree height
- (b) Buildings and trees (including botanical names, trunk location trunk diameter and canopy spread) on neighbouring properties within three metres of the boundary.
- (c) Details of surface finishes of pathways and driveways.
- (d) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.
- (e) A clear delineation of the proposed landscaping for the development.
- (f) Landscaping and planting within all open areas of the site including:
 - (i) A landscaping strip a minimum of four (4) metres wide along the Pearcedale Road frontage.
 - (ii) Landscaping and planting at appropriate locations along internal driveways and footpaths.

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- (iii) Planting of shrubs, grasses and groundcovers of varying sizes and species at appropriate locations between the proposed school buildings, and adjacent to playgrounds and sports grounds.
- (g) Landscape areas must be planted with shrub and groundcover species capable of achieving a minimum density of at least 85% coverage 12 months after planting.
- (h) All garden beds adjoining turf or gravel surfaces must have hard garden edging;
- (i) Trees in the following areas:
 - (i) Within the Penrithdale Road frontage
 - (ii) Within and/or adjacent to all car park areas
 - (iii) Adjacent to sports grounds
 - (iv) Within the open space areas adjacent to school buildings.
- (j) 1200mm organic mulch diameter around any retained or proposed trees in lawn areas.

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All species selected must be to the satisfaction of the Responsible Authority. Landscaping must demonstrate the use of sustainable practices and if irrigation is to be provided it must not use potable water. Any planting within an easement must utilise species suitable for planting within easements and must have a natural growing height of no more than two metres.

Waste Management Plan

- 9. Before the use commences, a Waste Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved the Waste Management Plan shall be endorsed and shall form part of this permit. The Waste Management Plan must indicate the waste collection area, the size of the garbage trucks, the frequency of garbage collection, recycling arrangements and truck turning areas with the development to ensure that vehicles can exit the site in a forward direction.

Materials and Finishes Schedule

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10. Before the development starts, a schedule of construction materials, external finishes including the use of natural muted colours to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the schedule will be endorsed and will then form part of the permit.

Detailed Plans

11. Two copies of detailed engineering plans are to be submitted to and approved by the Responsible Authority. The plans must be drawn to scale and dimensioned and must generally accord with endorsed development plan approved under condition 3 of the planning permit. The drawings must include the following information:

- Proposed drainage systems, location of services, construction details for Pearcedale Road, internal accessways and roads, pedestrian accessways and carparking. Building canopies, and all works are completed to the satisfaction of the Responsible Authority.

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Offsets Required before Native Vegetation Removal

12. In order to offset the removal of 0.013 hectares of native vegetation and eleven (11) scattered trees approved as part of this permit, the applicant must provide a native vegetation offset prior to the removal of any native vegetation on site that meets the following requirements, and is in accordance with the *Permitted clearing of native vegetation – Biodiversity assessment guidelines* and the *Native vegetation gain scoring manual*:

1.0 General offset

The offset must:

- contribute gain of 0.076 general biodiversity equivalence units;
- be located within the Port Phillip and Westernport Catchment Management Authority boundary or City of Casey municipal district; and
- have a strategic biodiversity score of at least 0.257.

2.0 Offset evidence

Before any native vegetation is removed, evidence that an offset has been secured must be provided to the satisfaction of the Responsible Authority. This offset must meet the offset requirements set out in this permit and be in accordance with the requirements of *Permitted clearing of native vegetation – Biodiversity assessment guidelines* and the *Native vegetation gain scoring manual*. Offset evidence can be either:

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- a security agreement, to the required standard, for the offset site or sites, including a 10 year offset management plan.
- a credit register extract from the Native Vegetation Credit Register.

Tree Protection Measures

13. Before works start, the permit holder must advise all persons undertaking the vegetation removal/works on site of all relevant conditions of this permit.
14. Before the removal or pruning works commence, the native vegetation to be removed must be inspected by an appropriately qualified zoologist to determine the presence or otherwise of any native fauna living or nesting in the trees and remnant patches of native vegetation. If any native animals are living or nesting in the trees or remnant patches of native vegetation they must be caught and relocated to the satisfaction of the Responsible Authority.
15. Before works start, a native vegetation protection fence must be erected around all scattered trees and remnant patches of native vegetation to be retained on site. This fence must be erected around the patch at a distance of five metres from retained native vegetation.
16. The protection fence must be constructed of star pickets/chain mesh/or similar to the satisfaction of the Responsible Authority. The protection fence must remain in place at least until all works are completed to the satisfaction of the Responsible Authority.
17. Except where specified on the endorsed plan, no other vegetation may be removed from the site, without the further written consent of the Responsible Authority.
18. No vehicular or pedestrian access, trenching or soil excavation or filling is to occur within the tree protection zone without the written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Zone.
19. Any pruning that is required to be done to the canopy of any tree to be retained is to be done by a qualified arborist to Australian Standard – Pruning of Amenity Trees AS4373-2007. Any pruning of the root system of any tree to be retained is to be done by hand by a qualified arborist.

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Environmental Management Plan

20. Fourteen (14) days before the development starts a site specific Environmental Management Plan (Site EMP) must be submitted to and approved by the Responsible

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Authority. The Site EMP must be prepared in accordance with Council’s ‘Site EMP Kit’ to the satisfaction of the Responsible Authority. No alterations to the Site EMP may occur without the consent of the Responsible Authority. All works must be undertaken in accordance with the approved Site EMP to the satisfaction of the Responsible Authority.

- The Site EMP Kit is available on City of Casey’s website, www.casey.vic.gov.au .
- In preparation of the Site EMP, the applicant must use the environmental protection measures as set out in EPA’s publication 480 “Environmental Management Guidelines for Major Construction Sites” unless he/she can demonstrate that alternative techniques can fulfill the specified site requirements.

Works Required

21. The development must not be occupied until the following works have been completed to the satisfaction of the Responsible Authority

- (a) The site has been connected to reticulated sewerage, water supply, drainage and underground electricity to the requirements of the relevant servicing authority.
- (b) Fire hydrants have been provided to comply with Country Fire Authority requirements
- (c) The areas set aside for the parking of vehicles and access lanes as shown on the endorsed plans have been:
 - (i) The turning bay, pedestrian crossing and the first three southern rows of the carpark including the disabled bays shown on the plan must be constructed with an all weather seal coat.
 - (ii) Properly formed to such levels that they can be used in accordance with the plans.
 - (iii) Drained and maintained.
 - (iv) Linemarked to indicate each car space and all access lanes.
 - (v) Clearly marked to show the direction of traffic along access lanes and driveways.
 - (vi) Kept available for their approved purpose.

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- (d) All landscaping works have been completed generally in accordance with the endorsed plan
- (e) An informal area on-site for overflow carparking;
- (f) A waste collection area.
- (g) A loading and unloading area for deliveries
- (h) A disabled carspace to comply with AS/NZS 2890.6:2009 and be clearly line marked, signed and be DDA compliant.
- (i) A bus parking bay of between 15 to 20 metres in length.
- (j) Internal footpaths
- (k) A pedestrian path that connects to the external footpath network.
- (l) A pedestrian refuge in front of the school on Pearcedale Road.
- (m) Pedestrian crossing signage within the car park must be provided at the crossing points in accordance with Australian Standards.
- (n) ***DELETED***
- (o) Channelised right turn lane from Pearcedale Road designed for 80kph speed limit to provide access to the school entry.
- (p) Installation of Electronic School Speed Limit Signs (ESSLS) on Pearcedale Road at the cost of the school and be to the satisfaction of VicRoads and Council.
- (q) The payment of a 10 year maintenance fee to Council for the Electronic School Speed Limit Signs (ESSLS).

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Melbourne Water Conditions Ref: 216596

- 22. Pollution and sediment laden runoff shall not be discharged directly or indirectly into Melbourne Water's drains or waterways
- 23. The buildings must be constructed with finished floor levels set no lower than 600 mm above the applicable flood level.

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24. The existing overland flow paths are to remain unobstructed to ensure that the development does not increase flood levels on adjacent properties. Any modification to the overland flow paths are to be approved by Melbourne Water.
25. Any vehicular and/or pedestrian access must be designed and constructed to comply with the following safety criteria associated with the applicable flood level: (A) Depth of flows does not exceed 0.35m; (B) Velocity of flow does not exceed 1.5 m/s; (C) the Depth x Velocity product does not exceed 0.35m²/s.
26. Any imported fill within the flood-affected area must be kept to a minimum on the property and must only be used for the sub floor areas of the buildings with minimal car park and driveway ramping.
27. Prior to the commencement of works, plans and supporting design documentation of the underground drainage system, planning and retaining basin are to be submitted to Melbourne Water for assessment and approval under the Planning and Approval Act 1987.
28. Any new fencing must be an open style of construction, to allow flows to pass through this property.

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Melbourne Water Conditions Ref: 1138311

29. Prior to the development plans being endorsed, amended plans must be submitted to Council and Melbourne Water addressing Melbourne Water's conditions. Plans must be submitted with ground and floor levels to Australian Height Datum (AHD) and must be amended as follows:
 - (a) Proposed building must be constructed with finished floor levels set no lower than 600mm above the applicable flood level. (Changes to applicable flood level to stage 1 and all other stages to be determined with the applicant's updated Stormwater Drainage Strategy)
30. Proposed Stage 1 building must be constructed with finished floor levels set no lower than 600mm above the applicable flood level. (Changes to applicable flood level to stage 1 and all other stages to be determined with the applicant's updated Stormwater Drainage Strategy)
31. The existing overland flow paths must remain unobstructed to ensure that the development does not increase flood levels on adjacent properties. Any modification to the overland flow paths are to be approved by Melbourne Water.

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32. Any vehicular and/or pedestrian access must be designed and constructed to comply with the following safety criteria associated with the applicable flood level:
- (a) Depth of flow does not exceed 0.35m;
 - (b) Velocity of flow does not exceed 1.5m/s;
 - (c) The Depth x Velocity product does not exceed 0.35 m²/s.

Stage 1 works requires to address the issue of the low point in Pearcedale Road being located opposite the proposed entrance to the school. (Note: Stormwater flows off of the upstream catchment in excess of the capacity of the existing road culverts will flow over the road at the low point and enter the school site)

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33. Any imported fill within the flood affected area must be kept to a minimum on the property and must only be used for the sub floor areas of the building, with minimal car park and driveway ramping.
34. Prior to the commencement of works, plans and supporting design documentation of the underground drainage system, any dam or bio-retention basin required in the applicable stage must be submitted to Melbourne Water for assessment and approval.
35. Any new fencing must be an open style of construction to allow flows to pass through this property.
36. Treatment of stormwater runoff from the site will need to meet best practice objectives.
37. The requirements set out in the planning permit will need to be satisfied for each stage of the development and/or the requirements set out in the planning permit for particular stages of the development.
38. Following the completion of works to remodel the internal drain, the existing drainage easement must be removed and replaced by a new drainage easement to the satisfaction of Melbourne Water and Council.

South East Water Conditions Ref: Case Number 23128151 File 14PD1647

39. The owner of the subject land must enter into an agreement with South East Water for the provision of potable water supply and fulfil all requirements to its satisfaction.
40. The owner of the subject land must enter into an agreement with South East Water for the provision of sewerage and fulfil all requirements to its satisfaction.

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VicRoads Conditions Ref: 11685/14

- 41. Prior to the commencement of the development hereby approved, the applicant must install Electronic School Speed Limit Signs (ESSLS) on Pearcedale Road on approach to the site access. ESSLS must be installed at the applicant's cost to the satisfaction of and at no cost to VicRoads.
- 42. The proposed works require separate approval from VicRoads under the Road Management Act. Please contact VicRoads prior to commencing any works.

Country Fire Authority Condition Ref: 8000-418985-437316

- 43. Before the development starts, staged plans clearly showing access, construction standards, vegetation management and water supplies to the satisfaction of Country Fire Authority must be submitted and endorsed by the Responsible Authority. The plan must show the following bushfire mitigation measures, unless otherwise agreed in writing by the Country Fire Authority and the Responsible Authority.

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1.0 Access:

Access for the fire fighting purposes which meets the following requirements:

- Curves must have a minimum inner radius of 10 metres.
- Have a minimum trafficable width of six metres of all-weather construction.
- Be clear of encroachments for at least 0.5metres on each side and 4 metres above the accessway.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

2.0 Construction Standard:

- All buildings must have minimum construction level of BAL 12.5 unless a greater level is required to meet the requirements of the Bushfire Management Overlay provisions at Clause 44.06 of the Casey Planning Scheme to the satisfaction of the Country Fire Authority and the Responsible Authority.

3.0 Vegetation Management

- Show an area of defendable space for a distance of 40 metres around the proposed buildings or to the property boundary, where vegetation (and other

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flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within three metres of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed five square metres in area and must be separated by at least five metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least five metres.
- There must be a clearance of at least two metres between the lowest tree branches and ground level.

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4.0 Water Supply

- A reticulated water supply with booster connections and dual head hydrants must be provided to the satisfaction of the Country Fire Authority.

General Conditions

44. The use and/or development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
45. Water Sensitive Urban Design initiatives such as using permeable surfaces, rain gardens etc within the development to reduce storm water run-off must be utilised to the satisfaction of the Responsible Authority.
46. All wastewater must be discharged into the reticulated sewerage system to the satisfaction of the Responsible Authority.

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47. Before the use/occupation of the development starts or by such later date as is approved by the Responsible Authority in writing, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority.
 48. The landscaping shown on the endorsed plans must be maintained in accordance with the endorsed plans to the satisfaction of the Responsible Authority. Areas shown on the endorsed plan as landscaped must not be used for any other purpose. For the avoidance of doubt, maintaining landscaping includes the removal and replacement of any dead, diseased or damaged plants.
 49. No plant, equipment, services or architectural features other than those shown on the endorsed plans are permitted above the roof level of the building/s without the written consent of the Responsible Authority.
 50. The disabled car space must be designed in accordance with Australian Standards AS/NZS 2890.6: 2009 and be DDA compliant.
- Stormwater Discharge**
51. Storm water must not be discharged from the site other than by means of an underground pipe drain discharged to an approved outlet to the satisfaction of the Responsible Authority.
 52. Polluted drainage must not be discharged beyond the boundaries of the lot from which it emanates, or into a watercourse or easement drain, but must be treated and/or absorbed on that lot to the satisfaction of the Responsible Authority.

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Vehicle Access

53. Vehicular crossing/s must be constructed/altered and widened to the road to suit the proposed driveway/s to the satisfaction of the Responsible Authority and any existing crossing or crossing opening must be removed and replaced with footpath, nature strip, and kerb and channel to the satisfaction of the Responsible Authority.
54. Access to the site shall only be at the nominated crossing shown on the endorsed plan. The crossing and road pavement works are to be constructed to the satisfaction of the Responsible Authority.

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Amenity During Construction

55. Construction activities must be managed so that the amenity of the area is not detrimentally affected, through the:
- (a) Transport of materials, goods or commodities to or from the land.
 - (b) Inappropriate storage of any works or construction materials.
 - (c) Hours of construction activity.
 - (d) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste and storm water runoff, waste products, grit or oil.
 - (e) Presence of vermin.
56. Appropriate sediment control measures must be undertaken during construction to ensure that the development site is adequately managed in such a way that no mud, dirt, sand, soil, clay or stones are washed into or allowed to enter the stormwater drainage system.
57. All works must be undertaken in a manner that minimises soil erosion, and any exposed areas of soil must be stabilised to prevent soil erosion, to the satisfaction of the Responsible Authority.
58. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.
59. The land must be filled in a manner that does not:
- (a) Cause an unreasonable amount of dust to be carried onto nearby land; and,
 - (b) Adversely affect the drainage of adjacent land.

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Aboriginal Cultural Heritage

60. Works must cease immediately upon the discovery of any Aboriginal cultural material, and Aboriginal Affairs Victoria must immediately be notified of any such discovery.
61. Development under this permit must cease immediately upon the discovery of any suspected human remains. The Police or State Coroner must be informed of the

AMENDED PLANNING PERMIT

Permit No:	PlnA00729/14
Application Ref No:	PPA25-0073
Planning Scheme:	Casey Planning Scheme
Responsible authority:	City of Casey

discovery without delay. If there are reasonable grounds to suspect that the remains are Aboriginal, the discovery must also be reported to Aboriginal Affairs Victoria.

Use Conditions

62. Not more than 125 students may be enrolled at the school, at any one time without the written consent of the Responsible Authority.
63. No external sound amplification equipment or loud speakers are to be used for the purpose of announcement, broadcast, playing of music or similar purpose.
64. Noise levels emanating from the premises must not exceed those required to be met under State Environment Protection Policy (Controlling of Music Noise from Public Premises), No. N-2. This information must be excluded for protection purposes (Controlling its consideration and review as part of a planning process under the Planning and Land Use Act 1987. The Authority's Information Bulletin No. N3/89 Interim Guidelines for the Control of Noise in Community Victoria may breach any copyright
65. Noise levels emanating from the land must comply with the requirements of the Environment Protection Authority's Information Bulletin No. N3/89 *Interim Guidelines for the Control of Noise in Community Victoria*. This information must be excluded for protection purposes (Controlling its consideration and review as part of a planning process under the Planning and Land Use Act 1987. The Authority's Information Bulletin No. N3/89 Interim Guidelines for the Control of Noise in Community Victoria may breach any copyright
66. All security alarms or similar devices installed on the land must be of a silent type in accordance with any current standard published by Standards Australia International Limited and be connected to a security service.
67. The use and development must be managed to the satisfaction of the Responsible Authority so that the amenity of the area is not detrimentally affected, through the:
 - (a) Transport of materials, goods or commodities to or from the land.
 - (b) Appearance of any building, works or materials.
 - (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.
 - (d) Presence of vermin
68. The use of the premises must not be changed without the further written consent of the Responsible Authority.
69. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the Responsible Authority.

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Date issued: 16 October 2016
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Signature for the responsible authority:

AMENDED PLANNING PERMIT

Permit No:	PlnA00729/14
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70. Waste collection should be limited to when the school is not operational. The operator of the use must comply with the approved Waste Management Plan. The Waste Management Plan may only be amended with the written consent of the Responsible Authority.

Advertising Signs Conditions

71. The location and details of the sign/s, including those on the supporting structure, shown on the endorsed plans, must not be altered without the written consent of the Responsible Authority.

72. The signs must not contain any flashing light.

73. The signs must not be illuminated by external or internal light except with the written consent of the Responsible Authority.

74. The signs must be constructed and maintained to the satisfaction of the Responsible Authority.

75. This permit expires 15 years from the date of this permit.

76. On expiry of the permit, the sign and structures built specifically to support and illuminate it must be removed.

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Permit Expiry

77. This permit will expire if one of the following circumstances applies:

- The development and use is/are not started within **three (3) years** of the date of this permit.
- The plan to remove an existing drainage easement and create a new drainage easement is not certified within **eight (8) years**.
- The development is not completed within **eight (8) years** from the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires; within six months afterwards for the commencement of use and / or development; or within 12 months afterwards for the completion of development.

AMENDED PLANNING PERMIT

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Planning Scheme:	Casey Planning Scheme
Responsible authority:	City of Casey

Council Notes:

- (i) On completion of works, Council’s Planning Investigations Officer is to be contacted in order to arrange an inspection of the site.
- (ii) A permit must be obtained through Council’s Roads and Construction Department prior to works commencing for the construction of a crossover. Contact Customer Service on 9705 5200.
- (iii) The granting of this permit does not obviate the necessity for compliance with the requirements of any other authority under any act, regulation, or local law.
- (iv) Unless no permit is required under the Planning Scheme, advertising signs must not be constructed or displayed without a further permit.

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 Act 1987. The document must not be used for any
 purpose other than that for which it was
 prepared.**

VicRoads Note:

- (i) Speed limit signs and major traffic control devices under the Road Safety (Road Rules) Regulations, and the written consent of VicRoads is required to erect, establish, display, maintain or remove such signs.

Melbourne Water Notes:

- (i) The applicable 1% ARI flood level for this property grades from 58.50 metres to Australian Height Datum (AHD) along the eastern boundary down to 55.50 metres to AHD along the western boundary.
- (ii) If further information is required in relation to Melbourne Water’s permit conditions shown above, please contact Melbourne Water on 9679 7517, quoting Melbourne Water’s reference 216596.

Melbourne Water Advice:

1. Stormwater Drainage and Management Strategy
 Stormwater Drainage and Management Strategy is still required for the site outlining the existing stormwater drainage through the property and how this will be retained or modified subject to the approval of the relevant authority. The strategy must also address the issue of the low point in Pearcedale Road being located opposite the proposed entrance to the school, any stormwater flows off of the upstream catchment in excess of the capacity of the existing road culverts will flow over the road at the low point and enter the school site. These overland flows will need to be managed to safely

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Date issued: 16 October 2016
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Signature for the responsible authority:

AMENDED PLANNING PERMIT

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pass along the school driveways, car parks, land, etc to then discharge downstream into the existing waterways and overland flow path(s).

Stormwater drainage needs to be designed for at least the 20% AEP event as well as the management of safe passage of the 1% AEP event runoff through the site without increasing the 1% AEP flood levels on adjacent properties. The Stormwater Drainage and Management Strategy is particularly important as the development is being undertaken in stages and the strategy can outline what works will be undertaken at the various stages. Temporary drainage works to comply with planning permit conditions may need to be undertaken that will subsequently be upsized or even abandoned/removed in later stages. The outline of works at the various stages is then documented for the site. It has already been agreed that the remodelling of the watercourse for the dispersing the runoff from the eastern portion of the property from east to west will not form part of the Stage 1 works and that temporary drains will be provided within the property to service the Stage 1 development.

2. Treatment of stormwater runoff from the site. Information submitted to Melbourne Water by applicant can be utilised for this objective.
3. Stage 1 Concept Plan and on-going discussions with Melbourne Water
With respect to KLM Spatial proposed Stage 1 Concept plan and outlining various matters, Melbourne Water is happy to organize another meeting with the consultants to discuss what drainage works will be required in Stage 1. It is noted again that both the Stormwater Drainage and Management Strategy and the Stage 1 works will need to address the issue of the low point in Pearcedale Road.
4. Flood Level changes

It should be noted that the flood levels shown on the submitted plan are from a flood modelling study undertaken when the property was still being used as a chicken farm. As the site has been cleared of the chicken farm buildings, changes that have occurred to the surface levels of the property will result in changes to the flood levels. The required Stormwater Drainage Strategy under the planning permit should address the expected changes through each stage of the development and outline the investigations and information that will be supplied with each stage of the development.

AMENDED PLANNING PERMIT

Permit No:	PlnA00729/14
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Responsible authority:	City of Casey

THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:

Date of amendment	Brief description of amendment	Name of responsible authority that approved the amendment	Section of the Act under which the permit has been amended
16/09/2025 (App. Ref. No. PPA25-0073)	<ul style="list-style-type: none"> Condition 21(n) Deleted Condition 3(t) Added 	City of Casey	Section 74 of the planning and Environment Act
26 May 2025 (App. Ref. No. PPA24-0159)	<ul style="list-style-type: none"> Condition 21(n) Amended Conditions 3(d), 3(r), 3(s) Added 	City of Casey	Section 72 of the planning and Environment Act
09 July 2019 (App. Ref. No. PlnA00729/14.A)	<ul style="list-style-type: none"> Preamble Amended Conditions Amended, Deleted and Added Remaining Conditions Renumbered 	City of Casey	Division 1A of Part 4 of the Planning and Environment Act 1987

THIS PERMIT HAS BEEN EXTENDED AS FOLLOWS – DELETE IF NOT APPLICABLE

Date of extension	Brief description of the extension	Duration of extension
17 September 2018	A time extension has been granted to allow an additional two years for the commencement of the permit.	Two years

AMENDED PLANNING PERMIT

Permit No:	PlnA00729/14
Application Ref No:	PPA25-0073
Planning Scheme:	Casey Planning Scheme
Responsible authority:	City of Casey

USEFUL INFORMATION:

(the following information does not form part of this permit)

1. The permitted use or development may need to comply with, or obtain the following further approvals:
 - a. The recommendations of a cultural heritage management plan approved under the *Aboriginal Heritage Act 2006*.
 - b. A building permit under the *Building Act 1993*.

CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**

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IMPORTANT INFORMATION ABOUT THIS PERMIT

WHAT HAS BEEN DECIDED?

The responsible authority has issued a permit.

(NOTE: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

The responsible authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

WHEN DOES A PERMIT BEGIN?

A Permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
 - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
 - (ii) the date on which it was issued in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:-
 - the development or at any stage of it does not start within the time specified in the permit; or
 - the development requires the certification of a plan of subdivision or consolidation under the **Subdivisions Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
 - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the **Subdivision Act 1988**.
2. A permit for the use of land expires if:-
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
 - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if:
 - the development or any stage of it does not start within the time specified in the permit; or
 - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
 - the use does not start within the time specified in the permit, or if no time is specified, within two years after the completion of the development; or
 - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in Section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision:-
 - the use or development of any stage is to be taken to have started when the plan is certified; and
 - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

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WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a Notice of Decision to Grant a Permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on the relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must also be served on the responsible authority.
- Details about applications for review and fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

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sheet 23 of 23

Date issued: 16 October 2016
Page 23 of 23

Signature for the
responsible authority:

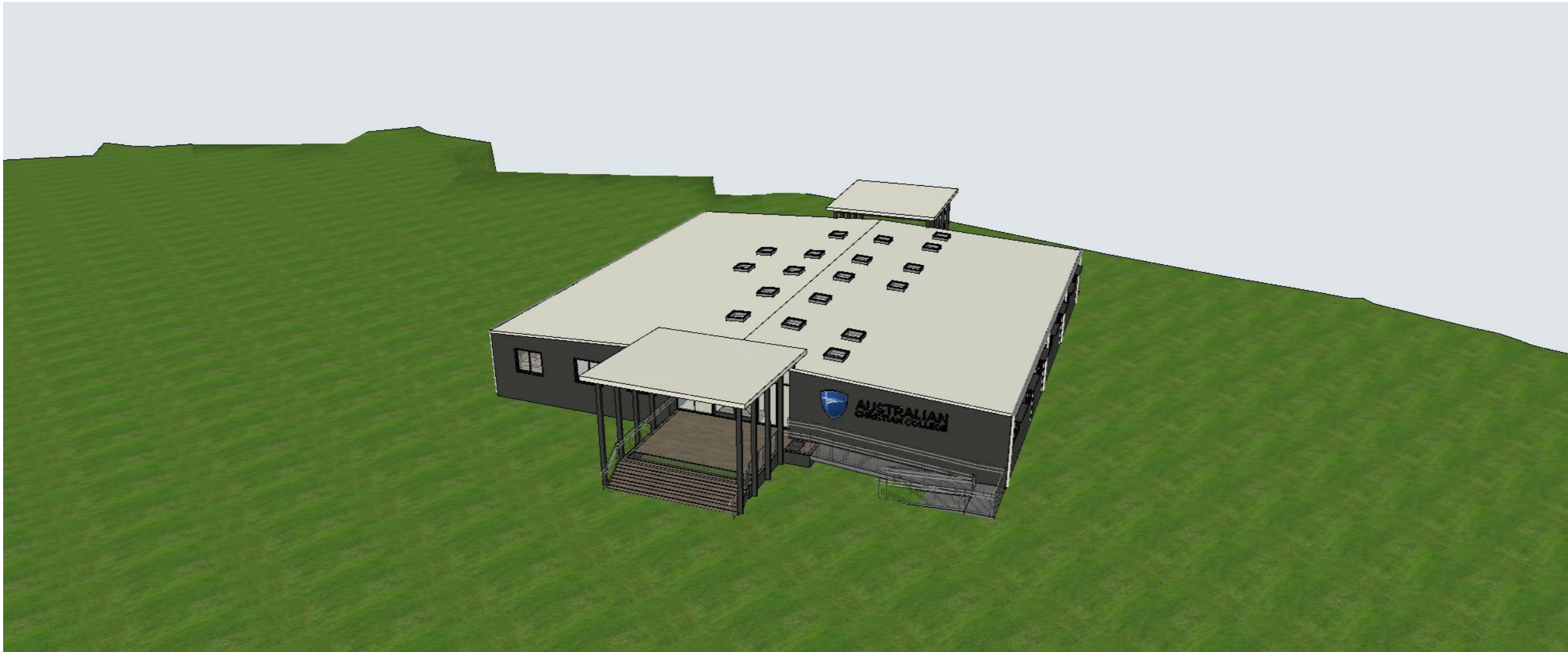
ACC Casey Stage 01

271-275 Pearcedale Rd, Cranbourne South, VIC 3977



CHRISTIAN
EDUCATION
MINISTRIES

ACC CASEY STAGE 01



Legend

(a)	ABOVE
C	CLADDING TYPE
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
F	FRIDGE
FG	FIXED GLASS
LVR	LOUVRED GLASS
MR	METAL ROOF
PB	PLASTERBOARD
SG	SLIDING GLASS
SNK	SINK
STR	STORAGE
(u)	UNDER
VNL	VINYL

Rev	Description	Transmitted By	Date
01	Issue for Development Application	Troy Chan	14/11/2024
02	Response to RFI	Troy Chan	14/11/2024

1
DA000 **3D Perspective - Casey Stage 01**

DRAWING LIST

DA000	Cover Page
DA001	Site Plan
DA100	Building Floor Plan
DA101	Building Roof Plan
DA200	Elevations
DA201	Elevations
DA300	Sections

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Site 271-275 Pearcedale Rd,
Cranbourne South

Project No. 18130-02-2201

Project Status Development Application

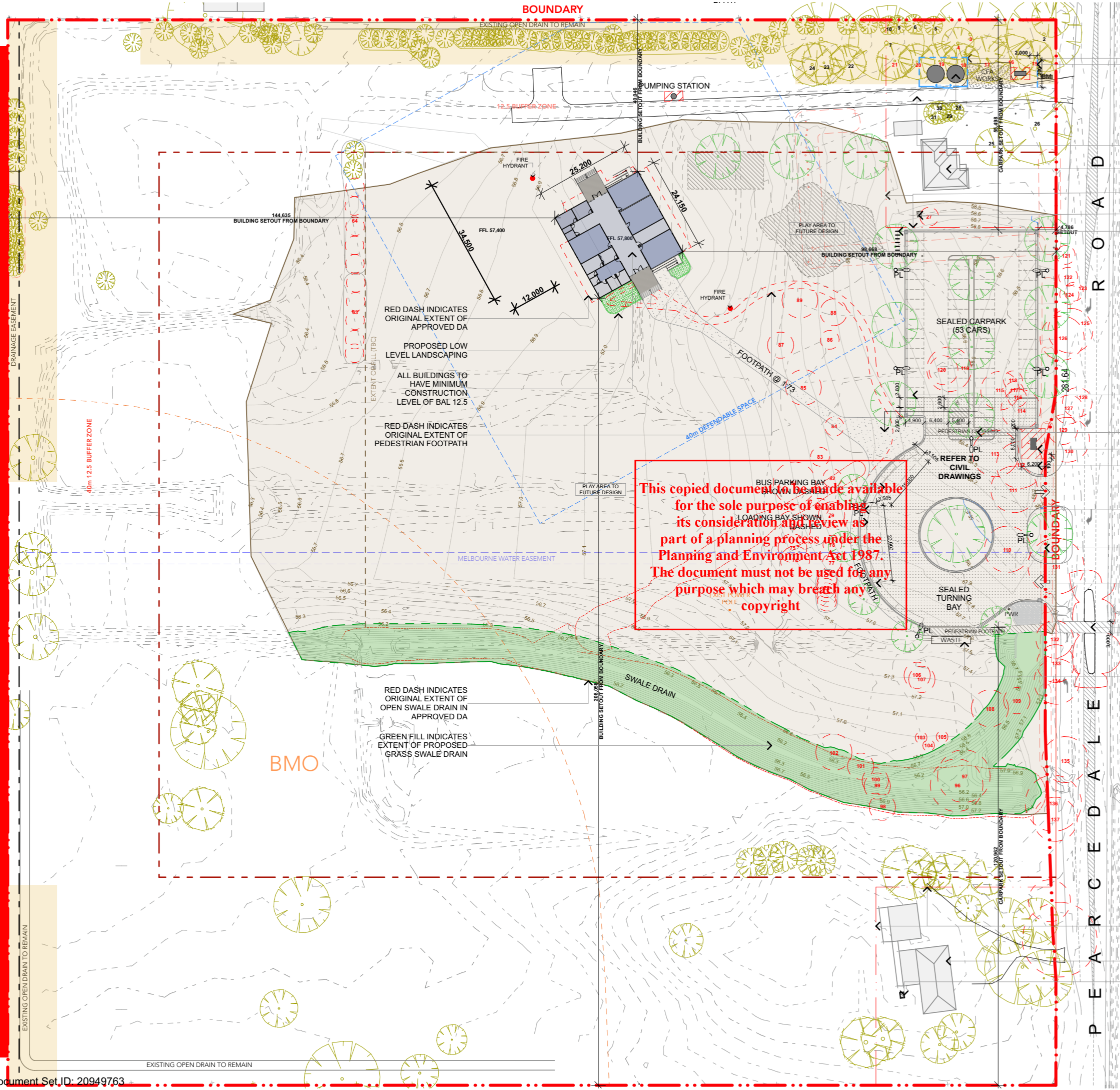
Drawn / Checked TYC / EO

Plot Date
12.06.2025

Drawing Title
Cover Page

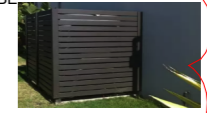
DA000

Drawing No.



BLUE DASH INDICATE HYDRANT PUMP & FIRE STORAGE TANKS TO BE SCREENED IN ACCORDANCE WITH CONDITION 3(s)

WELDED ALUMINUM SLAT, UTILITY COVER FENCING, FINISH IN DURATEC WILDERNESS MATT



UPGRADE EXISTING GRAVEL DRIVEWAY TO MIN 4m WIDE

EXISTING BRICK RESIDENCE AND OUTBUILDING TO REMAIN

PROPOSED FENCING TO EXISTING HOUSE

APPROX LOCATION OF SEPTIC TANK

PROPOSED 14 BICYCLE PARKING SPACE

- LEGENDS:**
- Proposed trees in landscaping
 - Trees to be removed
 - Existing Trees
 - Arborist code of trees

- PROPOSED OVERFLOW CARPARKING (19 SPACES)
- PROPOSED PEDESTRIAN CARPARK CROSSING
- NEW PADMOUNT KIOSK SUBSTATION
- PROPOSED SIGNAGE LOCATION
- LIGHTING TO DRIVEWAY & CARPARKING TO AS2890.1
- MODIFIED BOUNDARY LINE

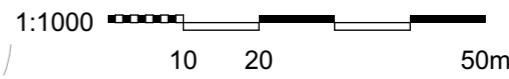
DROP OFF ZONE (8 SPACES) BEFORE AND AFTER SCHOOL - BUS AND LOADING ZONE AT OTHER TIMES (AS SIGNED)

PEDESTRIAN PATH & REFUGE ISLAND. REFER TO APPROVED ENGINEERING CONSTRUCTION PLAN SEng00026/20

WASTE COLLECTION AREA - WHEELIE BIN LOCATION ON COLLECTION DAY

- Defendable Space Vegetation Management Requirements:**
- Grass must be short cropped and maintained during the declared fire danger period.
 - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
 - Within 10m of a building, flammable objects must not be located close to vulnerable parts of the building.
 - Shrubs must not be located under the canopy trees.
 - Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5m.
 - Trees must not overhang or touch any elements of the buildings.
 - The canopy of trees must be separated by at least 5m.
 - There must be clearance of at least 2m between the lowest tree branches and ground level.

- PROPOSED FENCE TO EXISTING DWELLING
 - EXISTING BRICK RESIDENCE AND OUTBUILDING TO REMAIN
 - APPROX LOCATION OF SEPTIC TANK
- NOTE:**
Approximate trees & bushes to be removed = 88. Refer to arborist report for further specification.



ACC CASEY STAGE 01

Legend

(a)	ABOVE
C	CLADDING TYPE
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
F	FRIDGE
FG	FIXED GLASS
LVR	LOUVRED GLASS
MR	METAL ROOF
PB	PLASTERBOARD
SG	SLIDING GLASS
SNK	SINK
STR	STORAGE
(u)	UNDER
VNL	VINYL

Rev	Description	Transmitted By	Date
01	Issue for Development Application	Troy Chan	14/11/2024
02	Response to RFI	Troy Chan	14/11/2024

Site	271-275 Pearcevale Rd, Cranbourne South
Project No.	18130-02-2201
Project Status	Development Application
Drawn / Checked	TYC / EO

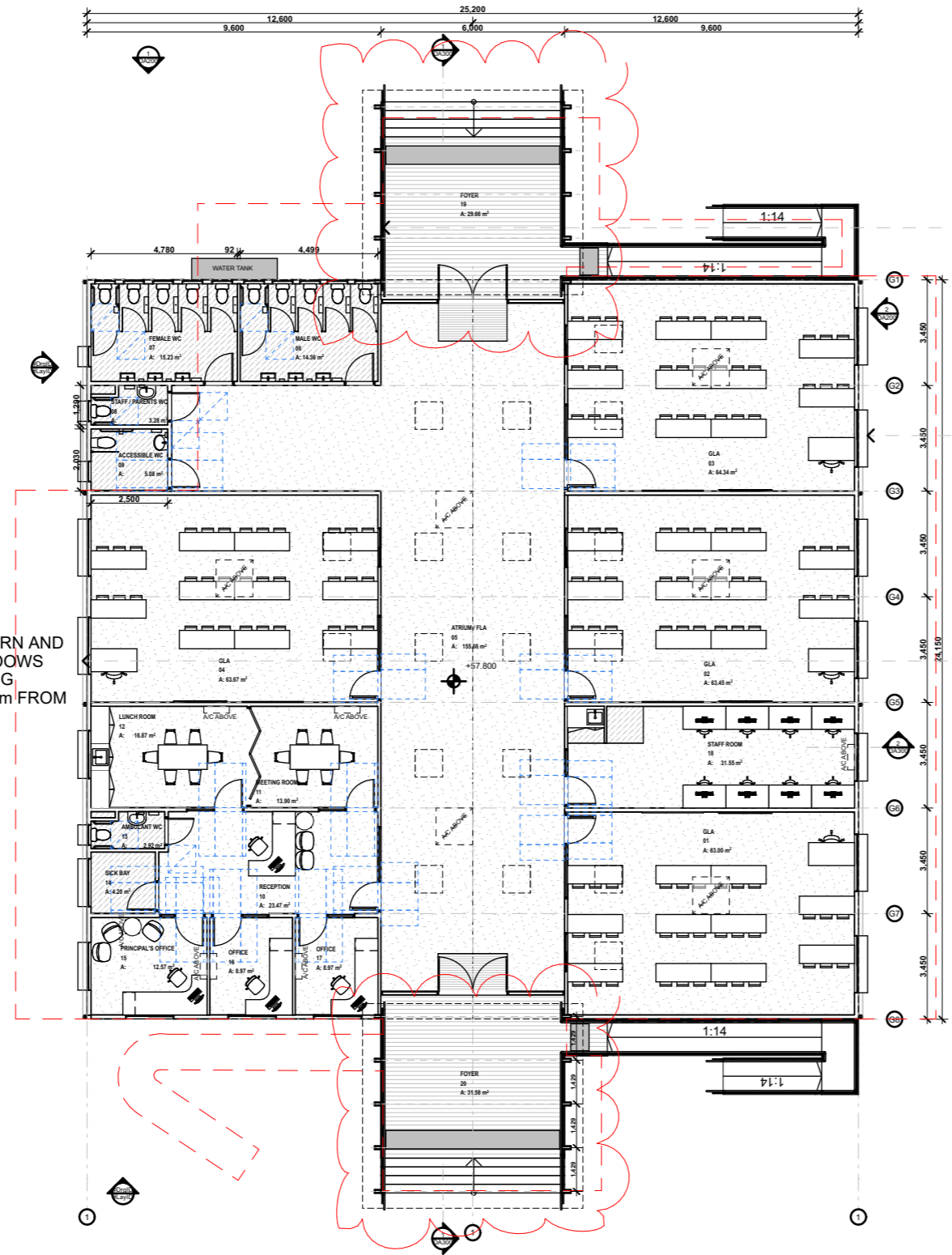
Plot Date
26.06.2025

Drawing Title
Site Plan

Drawing No.
DA001

ACC CASEY STAGE 01

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BOXES ALONG THE WESTERN AND EASTERN ELEVATION WINDOWS DEMONSTRATE SUN SHADING DEVICES EXTENDING 300mm FROM THE WINDOWS

BUILDER TO PROVIDE PROVISION FOR FUTURE ACCESS TO ADDITIONAL CLASSROOMS

BOXES ALONG THE WESTERN AND EASTERN ELEVATION WINDOWS DEMONSTRATE SUN SHADING DEVICES EXTENDING 300mm FROM THE WINDOWS

BOXES ALONG THE WESTERN AND EASTERN ELEVATION WINDOWS DEMONSTRATE SUN SHADING DEVICES EXTENDING 300mm FROM THE WINDOWS

1 Plan Ground
#LayID Scale 1:200

Legends
- - - Building extent of original approved DA



Legend

(a)	ABOVE
C	CLADDING TYPE
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
F	FRIDGE
FG	FIXED GLASS
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SNK	SINK
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(u)	UNDER
VNL	VINYL

Rev	Description	Transmitted By	Date
01	Issue for Development Application	Troy Chan	14/11/2024
02	Response to RFI	Troy Chan	14/11/2024

Site 271-275 Pearce Dale Rd, Cranbourne South
Project No. 18130-02-2201
Project Status Development Application
Drawn I Checked TYC
EO

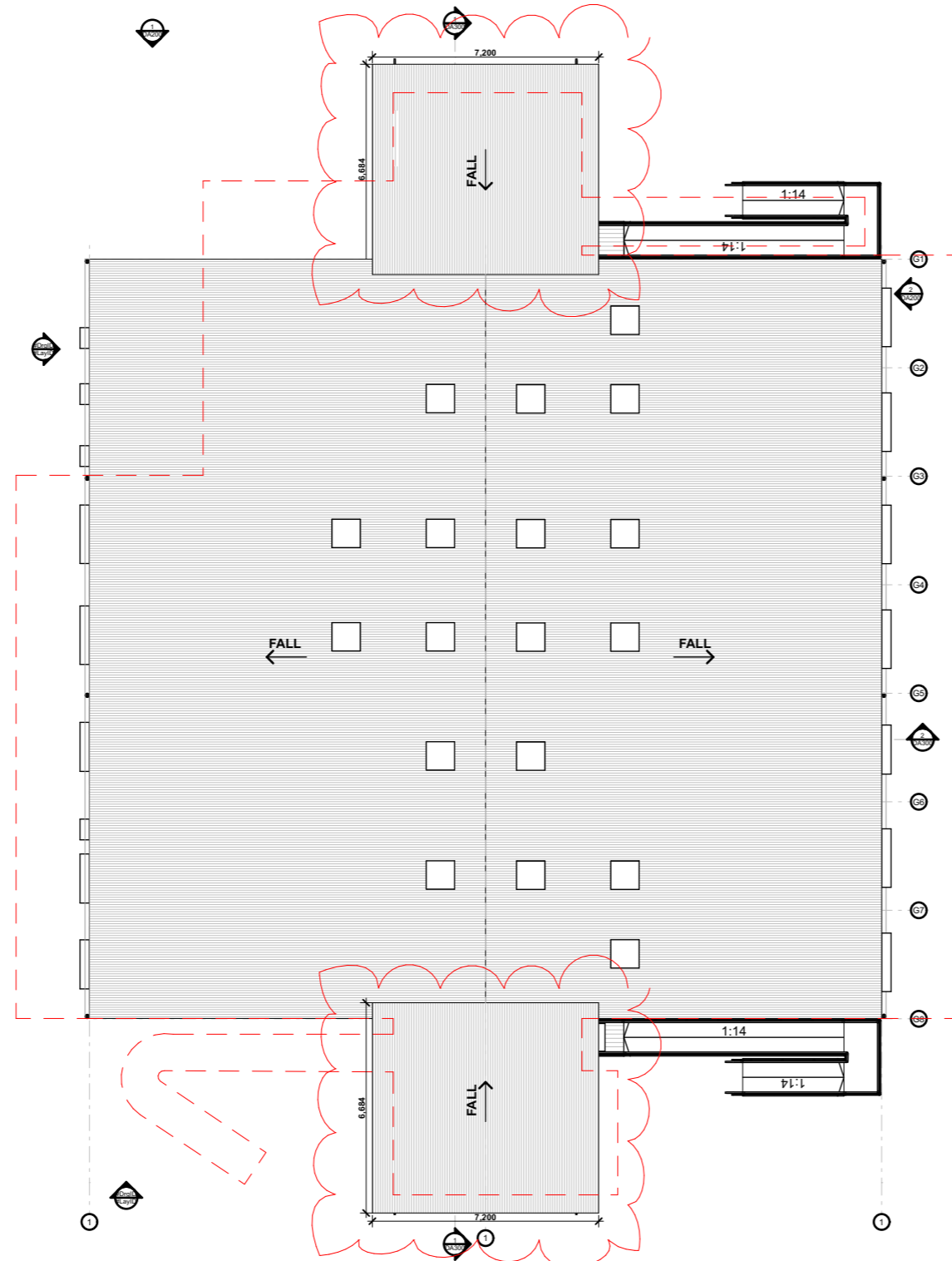
Plot Date
12.06.2025

Drawing Title
Building Floor Plan

DA100

Drawing No.

ACC CASEY
STAGE 01



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1 Roof Plan
#LayID Scale 1:200

Legends
- - - Building extent of original approved DA



1:200 2 4 10m

Legend

(a)	ABOVE
C	CLADDING TYPE
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
F	FRIDGE
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Rev	Description	Transmitted By	Date
01	Issue for Development Application	Troy Chan	14/11/2024
02	Response to RFI	Troy Chan	14/11/2024

Site 271-275 Pearcedale Rd, Cranbourne South

Project No. 18130-02-2201

Project Status Development Application

Drawn I Checked TYC EO

Plot Date

12.06.2025

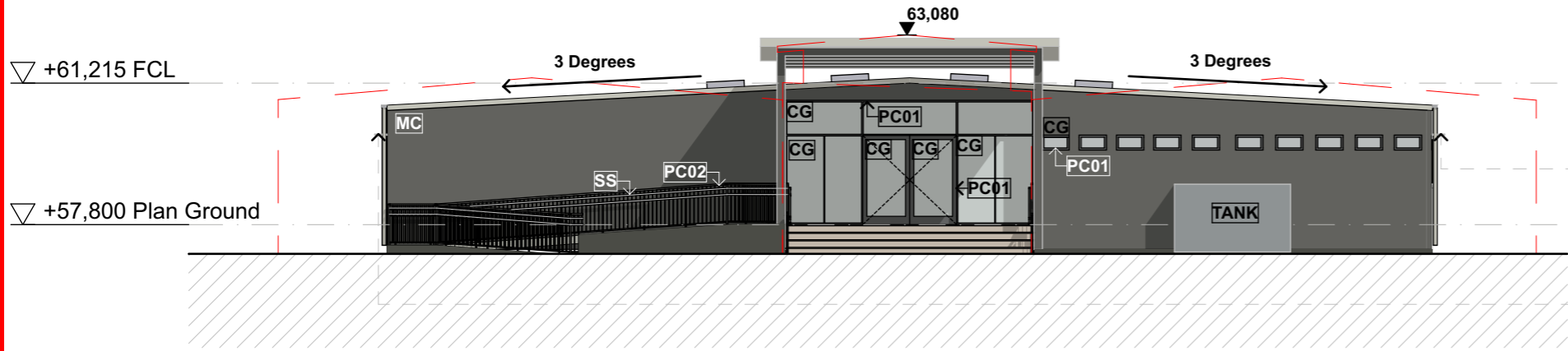
Drawing Title

Building Roof Plan

Drawing No.

DA101

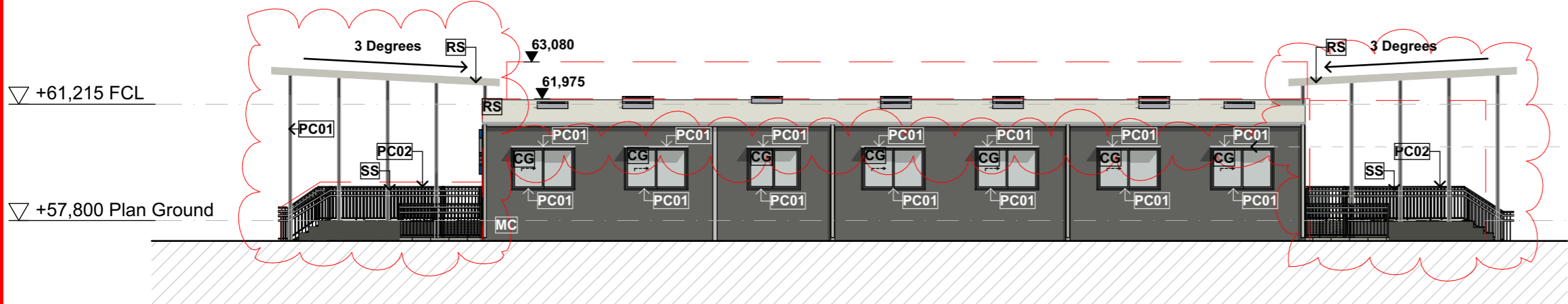
**ACC CASEY
STAGE 01**



SUN SHADING DEVICES EXTENDING 300mm FROM THE WINDOWS

SUN SHADING DEVICES EXTENDING 300mm FROM THE WINDOWS

1 [North] Elevation
Scale 1:150



SUN SHADING DEVICES EXTENDING 300mm FROM THE WINDOWS

2 [East] Elevation
Scale 1:150

Legend

(a)	ABOVE
C	CLADDING TYPE
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
F	FRIDGE
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Rev	Description	Transmitted By	Date
01	Issue for Development Application	Troy Chan	14/11/2024
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Site: 271-275 Pearcedale Rd, Cranbourne South

Project No. 18130-02-2201

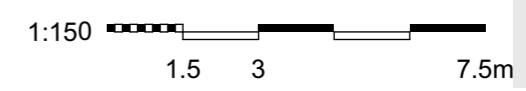
Project Status: Development Application

Drawn | Checked: TYC | EO

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Legends

---	Building extent of original approved DA
MC	Metal Cladding - Colorbond Woodland Grey
RS	Roof Sheeting - Colorbond Surfist
GS	Galvanised Steel
PC01	Powdercoat - Colourbond Surfist
PC02	Powdercoat - Colourbond Woodland Grey
CG	Clear Glass
FG	Frosted Glass
SS	Stainless Steel

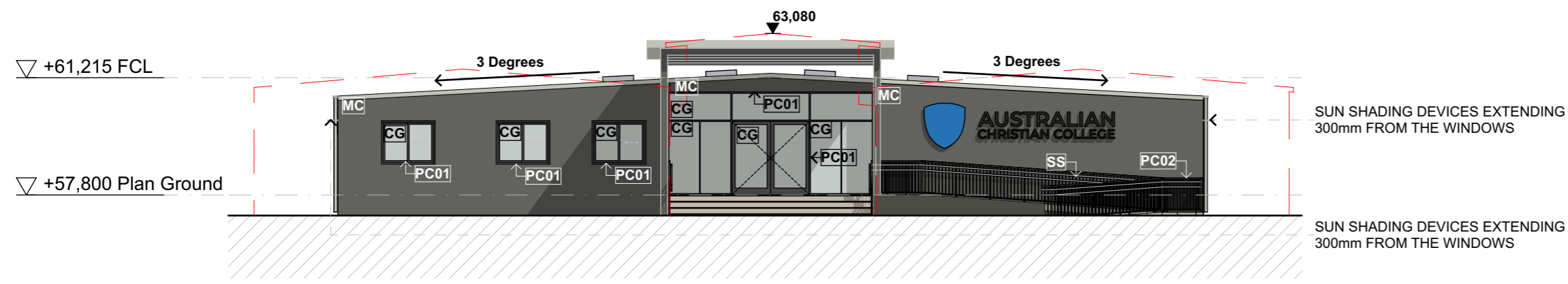


Plot Date: **12.06.2025**

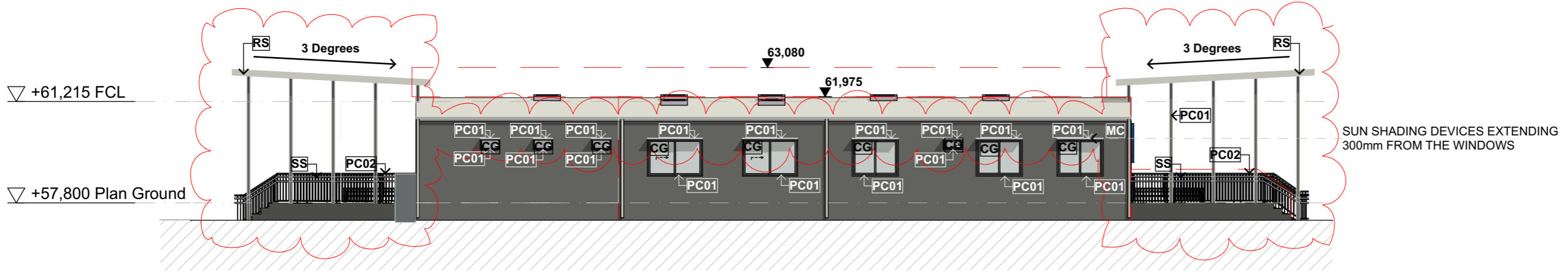
Drawing Title: **Elevations**

Drawing No.: **DA200**

ACC CASEY STAGE 01



1 [South] Elevation
Scale 1:150



2 [West] Elevation
Scale 1:150

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Legend

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Site 271-275 Pearceedale Rd, Cranbourne South

Project No. 18130-02-2201

Project Status Development Application

Drawn | Checked TYC | EO

Plot Date

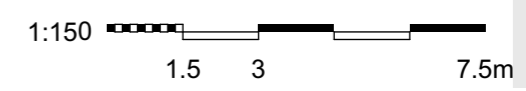
12.06.2025

Drawing Title Elevations

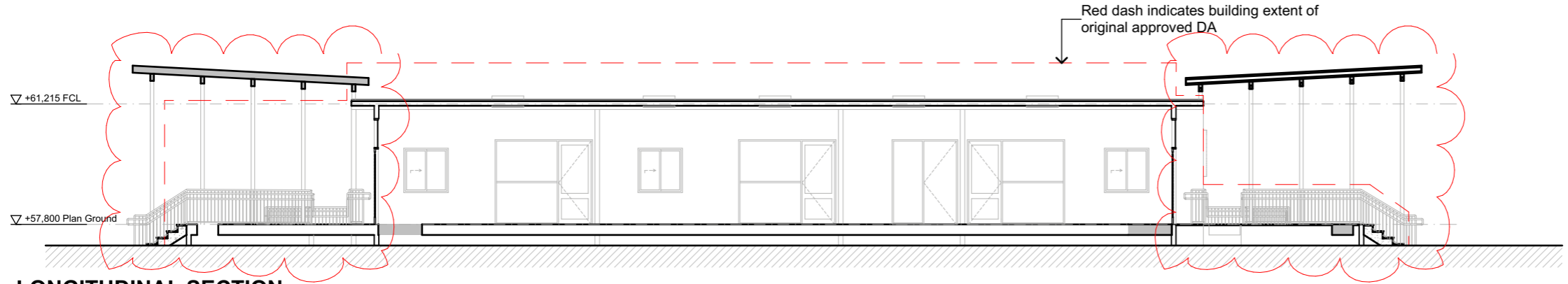
DA201

Drawing No.

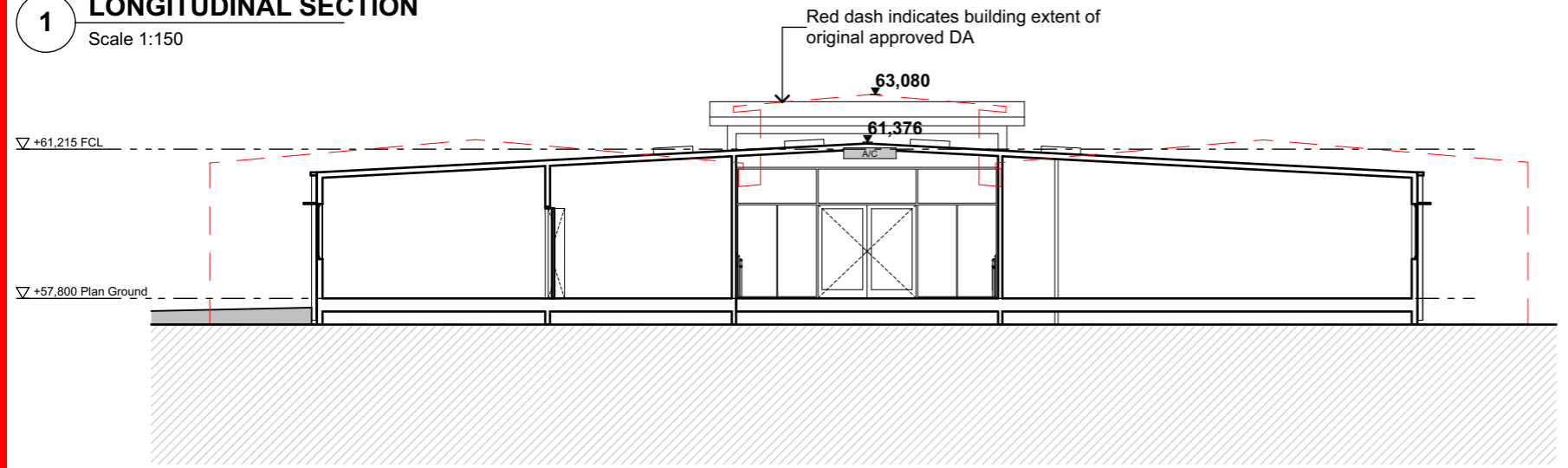
- Legends
- - - Building extent of original approved DA
 - MC Metal Cladding - Colorbond Woodland Grey
 - RS Roof Sheeting - Colorbond Surfist
 - GS Galvanised Steel
 - PC01 Powdercoat - Colourbond Surfist
 - PC02 Powdercoat - Colourbond Woodland Grey
 - CG Clear Glass
 - FG Frosted Glass
 - SS Stainless Steel



ACC CASEY STAGE 01



1 LONGITUDINAL SECTION
Scale 1:150



2 CROSS SECTION
Scale 1:150

Legend

(a)	ABOVE
C	CLADDING TYPE
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
F	FRIDGE
FG	FIXED GLASS
LVR	LOUVRED GLASS
MR	METAL ROOF
PB	PLASTERBOARD
SG	SLIDING GLASS
SNK	SINK
STR	STORAGE
(u)	UNDER
VNL	VINYL

Rev	Description	Transmitted By	Date
01	Issue for Development Application	Troy Chan	14/11/2024
02	Response to RFI	Troy Chan	14/11/2024

Site 271-275 Pearcedale Rd, Cranbourne South

Project No. 18130-02-2201

Project Status Development Application

Drawn | Checked TYC | EO

Plot Date

12.06.2025

Drawing Title

Sections

DA300

Drawing No.

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