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Myers
Planning & Associates

Town Planning Report

Development Project – Our Lady Help of Christians
28 Selby Road, Warrnambool

Issued 3 June 2024
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Overview

Background

Address	28 Selby Road, Warrnambool
Lot Description	Lot 1 LP53987 Lot 2 LP53987 Lot 3 LP53987

Relevant Planning Controls

Municipal Planning Strategy	Clause 02.01 – Context Clause 02.02 – Vision Clause 02.03 – Strategic directions Clause 02.04 – Strategic Framework Plan
Planning Policy Framework	Clause 11 Settlement Clause 15 Built Environment and Heritage Clause 17 Economic Development Clause 18 Transport Clause 19 Infrastructure
Zone	General Residential Zone
Overlays	Nil
Particular Provisions	Clause 52.06 Car Parking Clause 52.34 Bicycle Facilities Clause 53.18 Stormwater Management in Urban Development Clause 53.19 Non-Government Schools

Permit Application Details

Description of Proposal	Buildings and works and associated demolition
Permit requirement	Clause 32.08-10 (GRZ) - buildings and works associated with a Section 2 use.

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Quality assurance

Town Planning Report

28 Selby Road, Warrnambool

Project Number

24-1286

Revision

01

Prepared By

CM

Project Lead

CM

Issued

3 June 2024

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Revision	Date	Issue
00	4 April 2024	Final version
01	3 June 2024	Correct error in car parking calculation

Acknowledgement of Country



We acknowledge the Traditional Owners of the Country on which this application applies and recognise their continuing connection to the land, water and culture. We pay our respects to their Elders past, present and emerging.

We care about our community



We donate a fixed percentage of our income each year to local organisations that work towards a better world. We also advise and represent a select group of clients on a reduced cost or pro bono basis.

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1. Introduction

1.1. Purpose

Myers Planning & Associates has prepared this report to support a planning permit application for buildings and works, as well as associated demolition at 28 Selby Road, Warrnambool (the 'Site'), also known as Our Lady Help of Christians Primary School.

The proposal is designed by Y2 Architecture and is site-responsive, adhering directly to the provisions of state and local planning policy and thereby complying with the Warrnambool Planning Scheme.

Accordingly, the proposal triggers the following permit requirements:

- Clause 32.08-10 (GRZ) - buildings and works associated with a Section 2 use.

After careful consideration of the proposal, it is concluded that it aligns with both state and local planning policies. Therefore, this report recommends that a planning permit is issued.

This will allow the school to pursue the required renewal and expansion of the campus.

1.2. Limitations

This report has considered the following documents:

- Warrnambool Planning Scheme (as of 18 March 2024);
- Certificate of Title (dated 18 March 2024);

1.3. Pre-application meeting

A pre-application meeting with the Department of Transport and Planning was undertaken on 26/03/2024 via Teams. The below comments were circulated via email from DTP following the meeting:

- *The application should include an assessment of how the proposal responds to the objectives and standards of Clauses 53.18-5 and 53.18-6 (Stormwater Management in Urban Development). A stormwater management plan can be conditioned on the planning permit.*
- *In regard to the proposed tree removal, the application will need to confirm whether the tree is native or non-native. This does not need to be in the form of a report and can be via an email from an arborist. If it is believed that the tree is planted, you may wish to justify the planted vegetation exemption at Clause 52.17-7.*
- *There is no concern with installing solar panels on the roof of the proposed education centre as it is not located within an area of heritage.*
- *Please also note that if any signage is proposed, the application will require clarification as to whether a planning permit is required under Clause 52.05 (Signs).*

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2. Site and surrounds

2.1. Site description and title particulars

Site address	28 Selby Road, Warrnambool
Title details	Lot 1 LP53987 Lot 2 LP53987 Lot 3 LP53987
Site description	<p>The Site is irregular in shape with an area of approximately 3.2 hectares. The site contains multiple frontages, including to Raglan Parade, Selby Road and Tower Square.</p> <p>Although this area relates to the school property in its entirety, spanning across several titles. The proposed buildings and works are only within the title details as abovementioned.</p>
Easements, restrictions or covenants	<p>LP53987 contains several easements marked as E-1 within the subdivisions plan, along the permitter boundaries, which is set aside for sewer/drainage.</p> <p>The site is not encumbered by any restrictions or covenants pursuant to Section 173 of the Planning and Environment Act 1987 and the Subdivision Act 1988.</p>

Refer to Appendix A - Certificate of Title.

2.2. Site analysis

Our Lady Help of Christians is a primary school located in the eastern part of Warrnambool, Victoria, Australia. The school is situated at 28 Selby Road and occupies a property of approximately 3.2 hectares. The property has multiple frontages to Selby Road, Raglan Parade, and Tower Square.

The school comprises several buildings typical of a primary school, including office and administration buildings, classrooms, gymnasium, sheds, amenities, car parking areas, fencing, playgrounds, and other outdoor and landscaped areas. Additionally, the site features a church and parish centre located in the eastern portion of the property, which is surrounded by car parking.

The site itself is relatively flat and has scattered vegetation throughout. The school has an oval designed for recreational activities and sports. The buildings are positioned primarily in the southern and eastern portions of the site.

The school has pedestrian access to Raglan Parade, a major road in Warrnambool. There are several signs throughout the property identifying the school, making it easy to locate.

Vehicular access to the school is primarily from Selby Road, which is used for staff parking and student drop-off. The school has ample parking facilities to accommodate the staff, students, and visitors.

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Refer to Figure 1 – Aerial Plan



Figure 1: Aerial Plan

2.3. Site Context

The site is situated in the eastern part of Warrnambool, about 3 kilometres away from the CBD, and is surrounded by residential areas. The site has multiple frontages to the north, south, and east.

To the north of the site, you can find the Warrnambool Eastern Activity Centre and Gateway Plaza, located on the other side of Raglan Parade. The site is serviced by school buses, and a pedestrian link connects it to the service lane on Raglan Parade.

The school site also includes a church in the eastern portion, which is operational throughout the year in relation to the Christian faith. Access for vehicles is through Selby Road, and the traffic speed along Selby Road reflects a school zone of 40 kilometres per hour.

The Site's key interfaces are as follows:

North	To the north is a row of existing dwellings from 131 – 147 Raglan Parade The Princes Highway (Raglan Parade) is also located to the north, including its service lane which provides frontage to the school site.
East	To the east is Selby Road, as well as further existing residential development, part of Reginald Grove and Auty Street.

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<p>South</p>	<p>Immediately to the south of the site are existing dwellings which have a Selby Road frontage and share a boundary fence with the school.</p> <p>To the south east is a water tower as part of 'tower square', which forms an iconic roundabout and landmark for the subdivision, whilst servicing the Warrnambool community with water supply, courtesy of Wannon Water.</p>
<p>West</p>	<p>To the west is additional residential development, as well as the Stihl retail premises, which sells the likes of lawnmowers, chainsaws, tools and equipment.</p> <p>Also to the west is a small public reserve within the Public Park and Recreation Zone. This is a passive space, containing some mature native trees.</p>

Refer to Figure 2 - Context Plan.

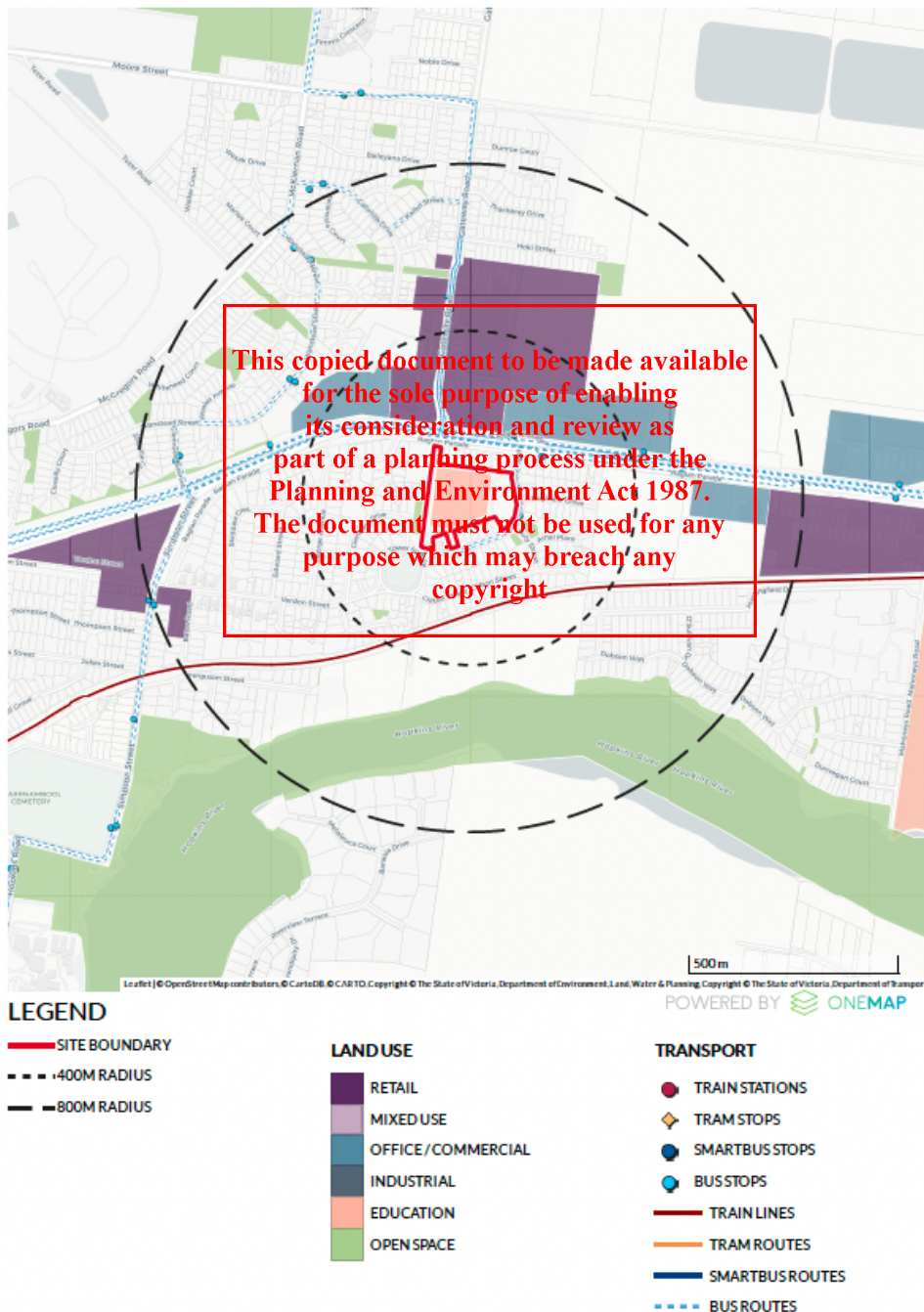


Figure 2: Context Plan

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3. Proposal

The proposal seeks planning approval for the partial re-development of the primary school campus known as Our Lady Help of Christians:

Key elements of the proposal include:

- Demolition of an existing playground and external basketball court.
- Construction of a new single storey primary school education, learning building comprising of General-Purpose Learning Areas, Resource Area, Staff Planning Room, and Amenities.
- External hard and soft landscaping around the new building.
- New Playground, new external basketball/netball court.
- Modifications to an existing car park,
- Removal of one tree (planted)

The new general purpose learning area (GPLA) building is the predominant new building within the proposal.

The southern main wall is to be 8 metres away from the nearest residential boundary of the existing dwellings; however, there will be an outdoor terrace learning space within this space. The building will be setback approximately 6940 millimetres from the existing hall to the west.

The floor layout includes GPLA classrooms, breakout and resource spaces, amenities, offices and other flexible spaces.

Landscaping is also proposed to be undertaken in the locality around the new building, including along the boundary adjoining existing residential properties. The plan provided is in concept form, and a detailed landscape plan could be requested via a permit condition prior to any works commencing for the project.

The GPLA building is approximately 931 square metres in size and will have a maximum overall height of 6890 millimetres.

The new building will be of a modern design, provides for articulation and will be of visual interest. The building utilises mixed materials, including metal cladding, red brick, timber claddings, fibre cement cladding, and metal roof sheeting.

One native tree is proposed to be removed but is considered to be planted, as described by the attached Arborist Report prepared by Carter's Tree Services and Arboricultural Consultancy.

Please refer to the enclosed town planning drawings for full details of the proposal.

Although the proposal is for 'buildings and works' and the land use is not under consideration. The school has provided the following information with respect to staff and students:

The enrolment is currently 475. There is a projected enrolment of 486, with the capacity to go to 525 if all classes (21) are at 25 students. It is difficult to understand if there is to be an increase in staff due to the change in full-time equivalent and part-time alterations. However, as a guide, there are currently 57 staff, 17 of which are part-time.

It is confirmed that no signage is included as part of this planning application. And the school is aware of the requirements of Clause 52.05. Further planning permission is likely to be required in the future should signage be added.

3.1. Planning permit triggers

In accordance with the provisions of the Warrnambool Planning Scheme, the proposal triggers the following planning permit requirements:

- Clause 32.08-10 (GRZ) - buildings and works associated with a Section 2 use.



4. Planning policies and controls

4.1. Municipal Planning Strategy

The Municipal Planning Strategy (MPS) sets out the municipal context, outlines the Council vision, and provides for strategic directions for planning with a focus on specific areas and issues within Warrnambool. The most relevant clauses within the MPS are set out below.

- Clause 02.01 – **Context** - Warrnambool is Victoria's largest coastal regional city and serves as the fastest-growing economy and population centre in South West Victoria. The city has a steadily growing population of about 35,200 in 2019 (ABS) that is expected to increase to 43,000 people by 2031. Warrnambool provides support for education and has numerous primary and secondary schools. Additionally, Deakin University is located on the eastern outskirts of the city.
- Clause 02.02 – **Vision** – The Council Plan (2017-2021) sets out the following vision for Warrnambool:

- o *A cosmopolitan city by the sea*

The Council Plan identifies four objectives relevant to land use planning:

- o Sustain, enhance and protect the natural environment.
- o Foster a healthy, welcoming city that is socially and culturally rich.
- o Maintain and improve the physical places and visual appeal of the city.
- o Develop a smarter economy with diverse and sustainable employment.

- Clause 02.03 – **Strategic directions**:
 - Clause 02.03-1 **Settlement**: Warrnambool is forecast to grow at 1.4 percent per annum until 2040, with an additional 250 dwellings required per year. The flow on effect of population growth leads to increasing enrolments at local schools.
 - Clause 02.03-5 **Built environment and heritage**: Ecologically sustainable development is appropriately promoted, allowing for pedestrian and cycling access to contribute to social interaction, whilst conserving, maintaining and enhancing the character of heritage precincts. In addition, policy seeks to support signs that are in context with the scale of development, the surrounding environment and signage patterns.
 - Clause 02.03-7 **Economic development**: Warrnambool is the Great South Coast Region's main service centre for retail, business services, health and education, seeking to develop value-adding opportunities.
 - Clause 02.03-8 **Transport and infrastructure**: Warrnambool features an extensive range of education, community and health services to support local lifestyles. Education provides the City with a strong employment base, whereby infrastructure should be supported due to the social and economic benefits they provide the City.
- Clause 02.04 – **Strategic Framework Plan**:

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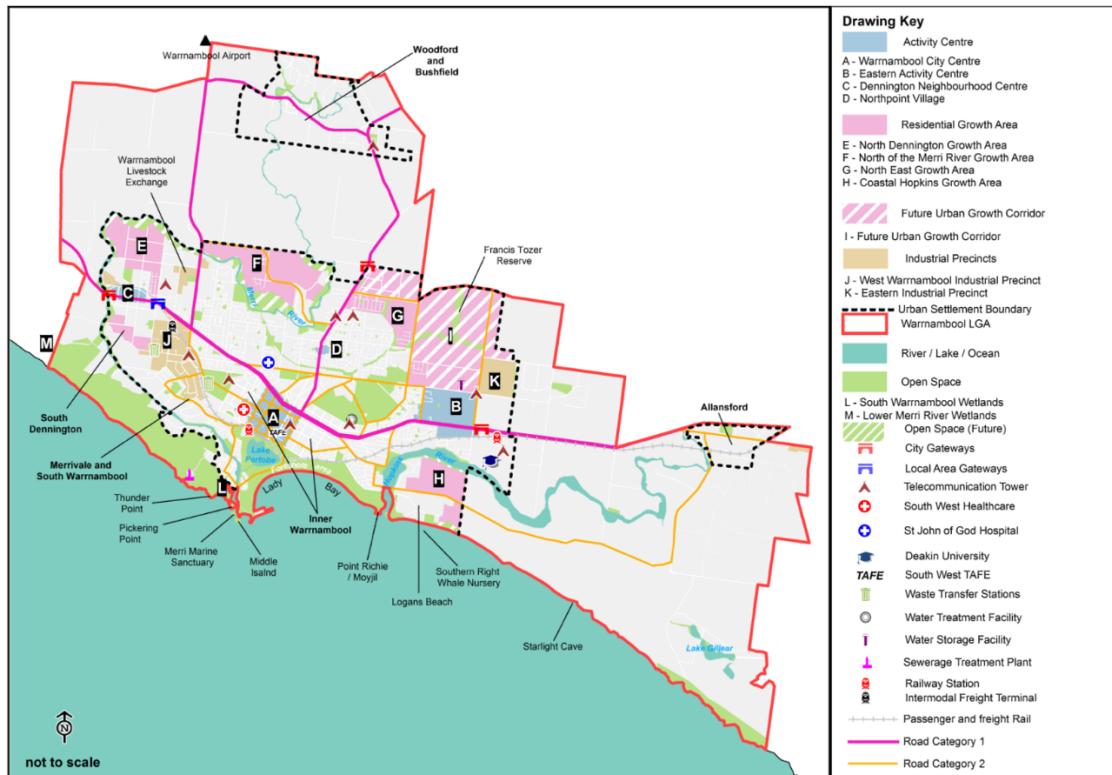


Figure 3: Strategic Framework Plan

4.2. Planning Policy Framework (PPF)

To ensure the overarching objectives of planning in Victoria are met, policies contained within the Planning Policy Framework (PPF) must be considered. The PPF clauses of most relevance to the Site and the proposal are set out below.

Clause 11 Settlement

- Clause 11.01-1S **Settlement**: To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.
- Clause 11.01-1R **Settlement – Great South Coast**: To attract more people to the region.
- Clause 11.01-1S **Supply of urban land**: To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

Clause 15 Built Environment and Heritage

- Clause 15.01-1S **Urban design**: To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
- Clause 15.01-1L-01 **Urban design**
- Clause 15.01-2S **Building design**: To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.
- Clause 15.01-5S **Neighbourhood character**: To recognise, support and protect neighbourhood character, cultural identity, and sense of place.
- Clause 15.03-2S **Aboriginal cultural heritage**: To ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Clause 17 Economic Development

- Clause 17.01-1S **Diversified economy**: To strengthen and diversify the economy.

Clause 18 Transport

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- Clause 18.02-1S **Walking**: To facilitate an efficient and safe walking network and increase the proportion of trips made by walking.
- Clause 18.02-2S **Cycling**: To facilitate an efficient and safe bicycle network and increase the proportion of trips made by cycling.
- Clause 18.02-3S **Public transport**: To facilitate an efficient and safe public transport network and increase the proportion of trips made by public transport.

Clause 19 Infrastructure

- Clause 19.02-2S **Education facilities**: To assist the integration of education and early childhood facilities with local and regional communities.
- Clause 19.02-2R **Education precincts – Great South Coast**: To support the renewal, maintenance and improvement of educational facilities, and facilitate the development and expansion of education precincts at Warrnambool.

4.3. General Residential Zone

The Site is located within the General Residential Zone (Clause 32.08). The purpose of the General Residential Zone is:

- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to Clause 32.08-10 **Table of uses**, the existing and proposed centre (Primary School) is a Section 2 Use.

Pursuant to Clause 32.08-10 **Building and works associated with a Section 2 use**, a permit is required to construct a building or construct or carry out works associated with a Section 2 use.

An assessment under the OneMap Site Reports (Appendix B) for the extent of the General Residential Zone.

Refer to the OneMap Site Reports (Appendix B) for the extent of the General Residential Zone.

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4.4. Particular Provisions

The Particular Provisions are specific prerequisites or planning provisions pertaining to a range of uses and development, and apply consistently across the state. The following Particular Provisions are relevant to the proposal.

4.4.1. Clause 52.06 Car Parking

The proposal requires consideration under Clause 52.06 **Car Parking**. The purpose of Clause 52.06 is:

- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Pursuant to Clause 52.06-2 **Provision of car parking spaces**, before a new use commences, the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the responsible authority on the land.

Pursuant to Clause 52.06-5 **Number of car parking spaces required under Table 1**, primary school use requires 1 car parking spaces to each employee that is part of the maximum number of employees on the site at any time.



The proposal seeks to modify the existing car parking area in a way that does not result in the loss of any spaces. This area, under existing conditions, contains 94 spaces. The proposed conditions also propose 94 spaces.

The car parking spaces that will be provided will meet the minimum requirements, and the aisles will be designed to ensure orderly traffic flow towards Selby Road in a one-way loop. Additional line marking can be provided to ensure consistency with the plans.

Under existing conditions, the school includes 57 staff, with 17 part-time.

Under the proposed conditions, the school may see several additional staff, but this is yet to be confirmed due to some shared classroom arrangements. The same number of staff may be maintained. It is noted that not all of the 57 staff are on site at one time.

Conservatively, if all staff were on-site at the same time, the car parking requirement would be 57. The school campus has a credit in the number of spaces provided across the site.

On balance, the provisions of Clause 52.06 are considered to have been met, with no planning permit requirement.

4.4.2. Clause 52.17 Native Vegetation

With respect to this clause, one tree is to be removed to make way for the new building. It is a large established tree which is native to Victoria. The school had commissioned a Targeted Tree Risk Assessment in 2022. It confirmed that the trees within the school campus are planted and are not remnant vegetation. Please refer to Appendix F

This planning application has, therefore, provided enough evidence for the Responsible Authority to comfortably consider that the proposal can meet the 'planted' exemption within Clause 52.17.

No further assessment is required against this clause; however, generally speaking there is the opportunity for a net gain in on site vegetation as part of the project due to the number of proposed plantings (refer to landscaping concept).

4.4.3. Clause 52.34 Bicycle Facilities

The proposal requires consideration under Clause 52.34 Bicycle Facilities. The purpose of Clause 52.34 is:

- To encourage cycling as a mode of transport.
- To provide secure, accessible and convenient bicycle parking spaces and associated shower and change facilities.

Pursuant to Clause 52.34-2 **Permit requirement**, a permit may be granted to vary, reduce or waive any requirement of Clause 52.34-5 and 52.34-6.

Pursuant to Table 1 of Clause 52.34-5 **Required bicycle facilities**, a primary school requires 1 bicycle space to each 20 employees, and 1 to each 5 pupils over year 4.

Under existing conditions, the school includes 57 staff, and 141 pupils over year 4.

Under the proposed conditions, the school will be able to maintain 57 staff and comprise 151 pupils over year 4, an increase of 9 students. This increase means that the number of spaces to be assessed should only be 1 bicycle space (1 space per 5 students).

The overall school figures would attract a rate of 32 spaces across the site.

Currently, there is a bike shelter in the north-eastern part of the site. Bikes are placed internally as appropriate.

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4.4.4. Clause 53.18 Stormwater Management in Urban Development

The proposal requires consideration under Clause 53.18 Stormwater Management in Urban Development. The purpose of Clause 53.18 is:

- To ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Pursuant to Clause 53.18-3 **Requirements**, an application to construct a building or construct or carry out works must meet all of the objectives, and should meet all of the standards, of Clause 53.18-5 and Clause 53.18-6.

An assessment under Clause 53.18 is provided under **Section 5.2.5** of this report.

4.4.5. Clause 53.19 Non-Government Schools

The proposal will be considered under Clause 53.19 Non-Government Schools. The purpose of Clause 53.19 is:

- To facilitated new non-government schools.
- To facilitate upgrades and extensions to existing non-government schools.

This clause applies to an application under any provision of the Warrnambool Planning Scheme, to use or develop land for a secondary school on the same land as an existing secondary school.

Pursuant to Clause 53.19-2, an application to which Clause 53.19 applies is exempt from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act.

4.5. Other planning considerations

4.5.1. Aboriginal Cultural Heritage Sensitivity

The Site is identified as being an 'area of cultural heritage sensitivity' pursuant to the Aboriginal Heritage Regulations 2018. These areas relate to landforms and soil types where Aboriginal places are more likely to be located.

A Cultural Heritage Management Plan (CHMP) is required for an activity if the activity is a 'high impact activity' and falls in whole or part within an area of cultural heritage sensitivity.

Division 5 – High Impact Activities

Regulation 46 Buildings and works for specified uses

(1) The construction of a building or the construction or carrying out of works on land is a high impact activity if the construction of the building or the construction or carrying out of the works—

- (a) would result in significant ground disturbance; and
- (b) is for, or associated with, the use of the land for any one or more of the following purposes—
 - (viii) an education centre;

(3) Despite sub regulation (1), the construction of a building or the construction or carrying out of works on land is not a high impact activity if it is for, or associated with, a purpose listed under subregulation (1)(b) for which the land was being lawfully used immediately before 28 May 2007.

The proposed works are associated with a land use (education centre) that has been operating for many years on the land – Our Lady Help of Christians Primary School.

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5. Planning Assessment

5.1. Overview

The following chapter outlines the key planning considerations of the proposal in response to relevant policy and the provisions of the Warrnambool Planning Scheme. In summary, the following key considerations are relevant to the assessment of the proposal:

- Is the proposal consistent with the Municipal Planning Strategy and Planning Policy Framework?
- Does the proposal appropriately respond to the General Residential Zone?
- Does the proposal respond to the relevant particular provisions?

5.2. Key considerations

5.2.1. Is the proposal consistent with the Municipal Planning Strategy and Planning Policy Framework?

The proposal requires assessment under the Planning Policy Framework (PPF) and Municipal Planning Strategy (MPS) of the Warrnambool Planning Scheme.

Warrnambool is recognised as a place of state significance, whereby the proposal seeks to re-develop and expand the existing primary school campus, whilst accommodating for future growth potential as the Region's population continues to rise (Clause 11.01-1S **Settlement** and Clause 02.03-1 **Settlement**).

Supporting growth and economic activities within the existing sector for the region, the proposal adds significant value, facilitating future planning opportunities for Christians (Clause 02.03-7 **Economic development**, Clause 02.03-8 **Transport and infrastructure**, Clause 11.01-1R **Settlement – Great South Coast** and Clause 17.01-1S **Diversified economy**).

To meet the community's future education needs, the proposal facilitates an opportunity to grow the student base and with new state of the art educational facilities for the students (Clause 11.02-1S **Supply of urban land**, Clause 19.02-2S **Education facilities** and Clause 19.02-2R **Education precincts – Great South Coast**).

The high-quality building and surrounding outdoor and landscape design promotes an attractive environment, applying high-end design techniques that are complementary to the existing school campus and surrounding context. The layout maintains safe and efficient vehicle and pedestrian access from Selby Road and the internal car parking areas. The setbacks proposed will retain an acceptable level of amenity for surrounding residents and the proposed built form and colours and materials will provide for an attractive built environment (Clause 02.03-5 **Built environment and heritage** and Clause 15.01-1S **Urban design**, Clause 15.01-1L-01 **Urban design**).

Respecting the neighbourhood character values and built form of the existing buildings upon the Site, the high quality design produces colours that are in keeping with the remainder of the college, whilst using a variety of materials to break up the built form and massing (Clause 02.03-5 **Built environment and heritage**).

Maintaining pedestrian access from Raglan Parade and Selby Road, the proposal encourages walking and cycling, with direct, comfortable and safe walkways, linking the various buildings to the college grounds and to the street interfaces (Clause 18.02-1S **Walking** and Clause 18.02-2S **Cycling**). With a bus stops along Tower Square, the school enables convenient access to these bus routes without the need to walk through the entire college grounds (Clause 18.02-3S **Public transport**).

In light of the above, the proposal is considered to appropriately respond to the relevant policies of the PPF and MPS of the Warrnambool Planning Scheme.

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5.2.2. Does the proposal appropriately respond to the General Residential Zone?

The proposal requires consideration under the General Residential Zone, encouraging development that respects the neighbourhood character and allowing education uses to serve the local community.

The larger building within the proposal (the GPLA) is located within the southern portion of the land, adjacent to existing residential development to the south along Selby Road. These dwellings have always had a rear backyard and fence with an interface with the school, including to the larger gymnasium building.

The building will be located at a minimum distance of 8 meters from the main wall that interfaces with these properties to the south. It will be constructed using mixed materials, finishes, and colours that complement the existing school buildings. Further, the design provides for a low-scale form (where possible) and utilise materials and finishes to better reflect the residential context, through the use of metal cladding, red brick, timber claddings, fibre cement cladding, and metal roof sheeting.

The proposed modern design will have a maximum height of 6.8 meters. Adequate landscaping will be planted to create a buffer zone that will also help to visually soften the built form from different angles. This landscaping will assist with the residential and school interface, particularly along the southern boundary.

It has been ensured that the proposed buildings are set back enough to avoid casting shadows on nearby properties, especially to the south. The diagrams for overshadowing have been provided to illustrate that the combination of the building's height and setback, especially towards the southern boundary, would not negatively impact the surrounding neighbour's backyard, and their comfort will not be compromised.

The GPLA is a single-storey building co-located with other buildings, in a location that also previously comprised portable buildings. This means that while the buildings are being replaced with a larger building, the area was always subject to development.

There are no plans to change the waste collection procedures for the campus. The new building includes designated areas for plants and services, however, this is not a major concern in terms of planning. Waste collection vehicles can still access the site with ease and collect waste as usual.

The new sports court, running track, and playground areas are in line with the standard operations that can be expected from a school. They do not require any major construction work or further planning assessment, except to mention that their design and details are not expected to have a negative impact on neighbouring residents' quality of life.

In light of the above, the proposal is considered to appropriately respond to the General Residential Zone.

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5.2.3. Does the proposal respond to the relevant particular provisions?

Stormwater

The subject site contains existing connections to underground pits and stormwater infrastructure which will be able to cater for onsite detention prior to discharge to Council's stormwater infrastructure. Further stormwater assessment and any required upgrade of this infrastructure can be appropriately managed through conditions imposed on any permit granted. Given that a large portion of the area to be re-developed was previously hardstand, any new buildings in this location (south-eastern part of the site) are not expected to be problematic for stormwater management. The site will be required to be connected to the legal point of discharge to the satisfaction of Warrnambool City Council engineers.

With regards to site management (Clause 53.18-6), the following measures will be undertaken to prevent environmental pollution during the construction period:

- Stockpiles of topsoil, sand, aggregate, spoil or other material will be stored clear of any drainage path or easement, natural watercourse, footpath, kerb or road surface and will have measures in place to prevent the movement of such material off site.
- Building operations such as brick cutting, washing tools, concreting and bricklaying will be undertaken on the building block. The pollutants from these building operations will be contained on site.
- Builders waste will not be burnt or buried on site. All waste must be contained and removed to a Waste Disposal Depot.

The above measures are considered to meet the objectives and strategies set out in Clause 53.18-6 and can be appropriately managed through conditions imposed on any permit granted, such as via a construction and environmental management plan. This is also consistent with the pre-application advice received from DTP.



6. Conclusion

This report outlines a proposed redevelopment of a primary school that requires a planning permit. The proposal has been assessed against relevant policy and planning controls of the Warrnambool Planning Scheme.

The redevelopment aims to modernise the campus and increase its capacity to support additional students and staff, which is essential for a growing regional city. This aligns with the applicable policies for educational facilities.

After careful assessment, this report concludes that the proposal is in line with the purposes and intent of the planning controls and policy framework of the Warrnambool Planning Scheme. Therefore, the recommendation is that a planning permit be issued for the proposal.

We are eager to collaborate with the Department of Transport and Planning during the assessment of the application, and Warrnambool City Council if needed as a referral authority.

Myers Planning & Associates

June 2024

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PLAN**

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Appendices

Appendix A	Certificate of Title
Appendix B	OneMap Site Report
Appendix C	Site Photos
Appendix D	Town Planning Drawings
Appendix E	Landscape concept sketch
Appendix F	Targeted Tree Risk Assessment

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