



**Clarke
Hopkins
exists**

MORNINGTON PENINSULA SPECIALIST HOSPITAL
220088 | 9-13 CRANBOURNE ROAD & 69 PLAYNE STREET, FRANKSTON

TOWN PLANNING PACKAGE

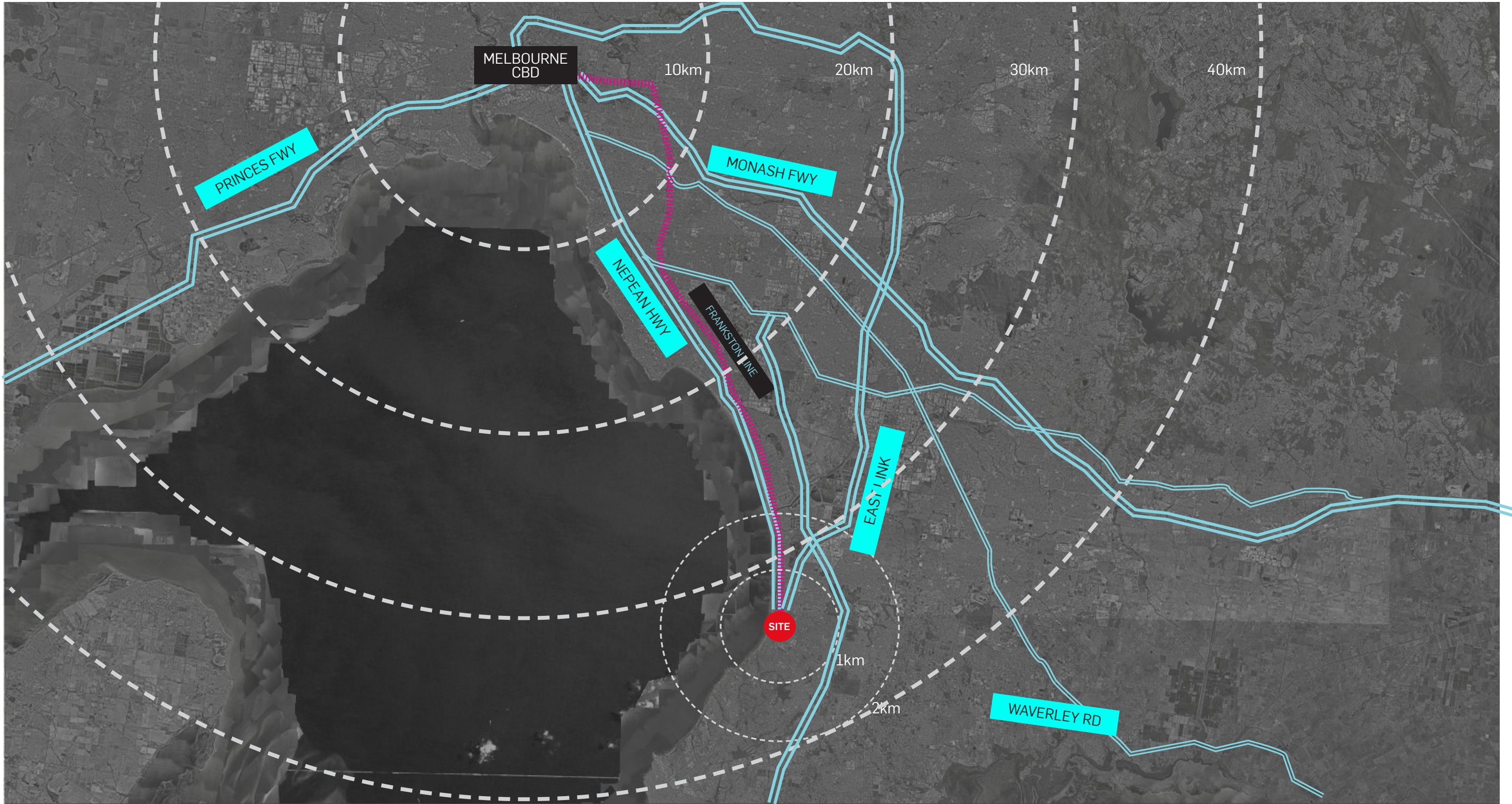
REV b | 28 SEPTEMBER 2023



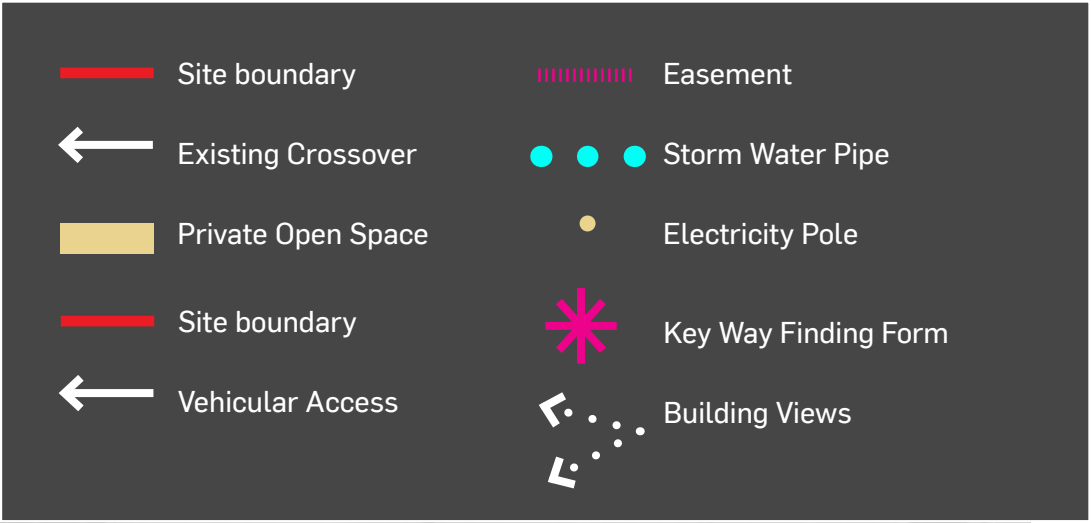
Clarke
Hopkins
associates

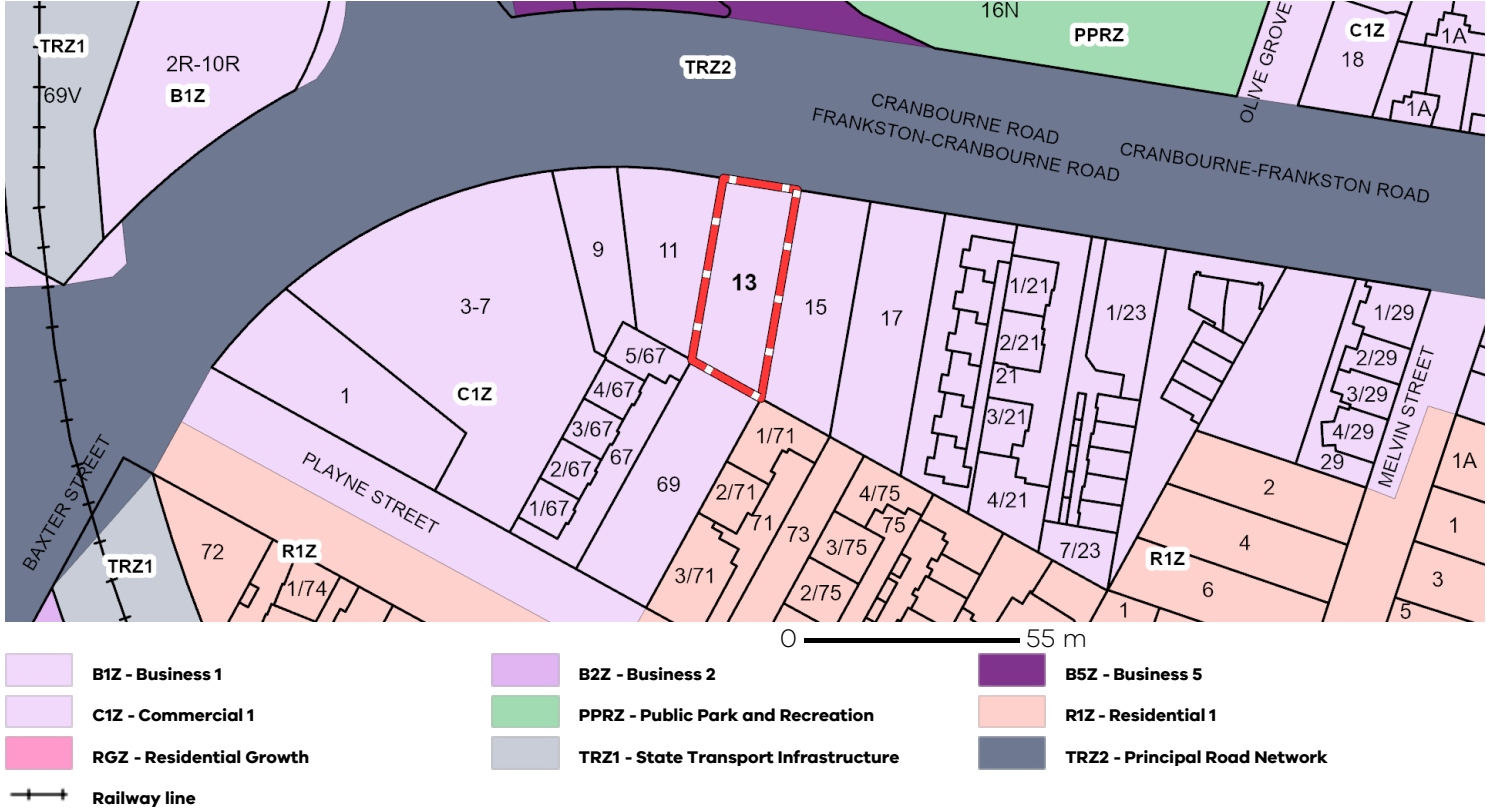
01

SITE ANALYSIS

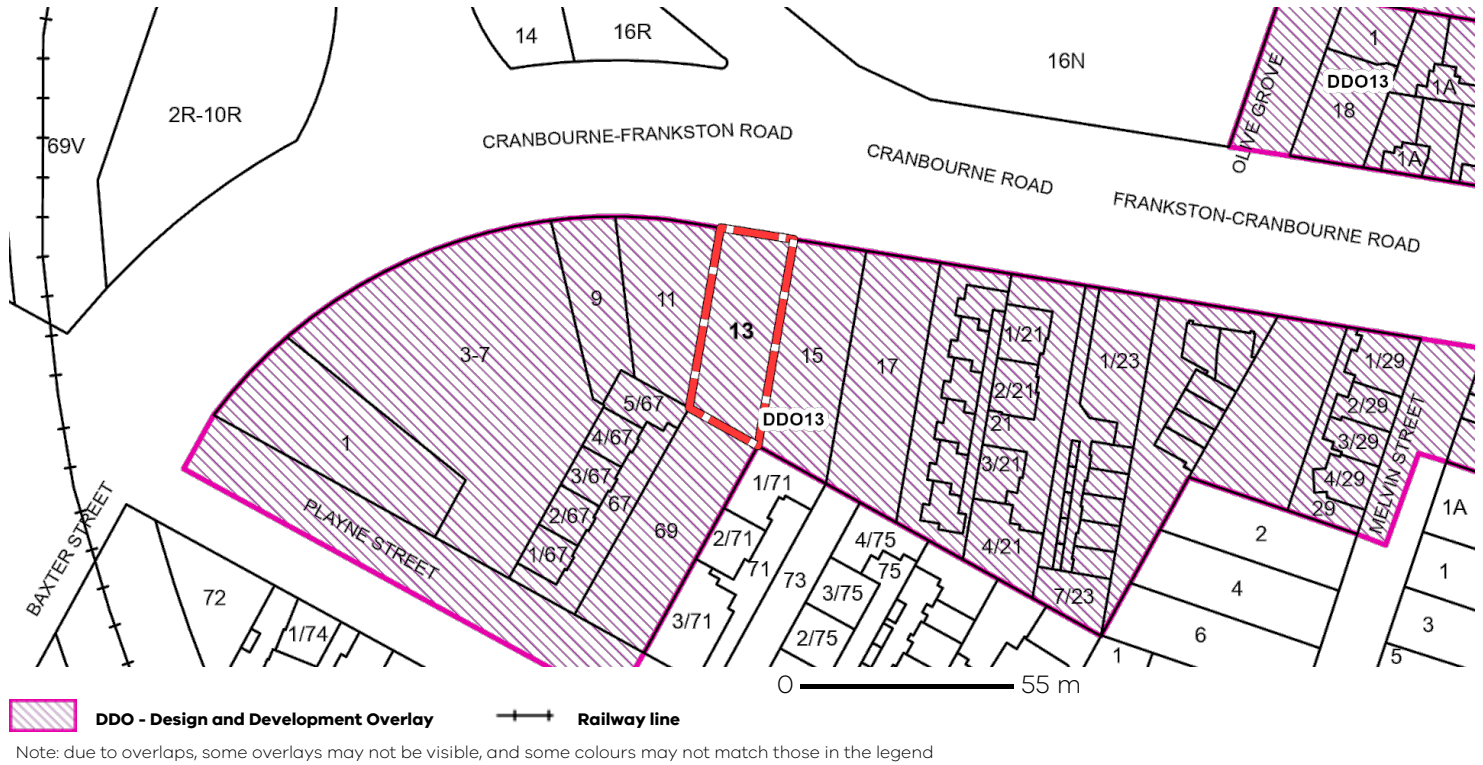








PLANNING ZONES
COMMERCIAL ZONE 1(C1Z)



PLANNING OVERLAY
DESIGN AND DEVELOPMENT OVERLAY (DDO)



1. BUS STOP CRANBOURNE ROAD



2. CRANBOURNE ROAD SITE BOUNDARY



3. FIRE STATION CRANBOURNE ROAD



4. INTERSECTION OF FLETCHER & CRANBOURNE ROAD



5. PLAYNE STREET SITE BOUNDARY

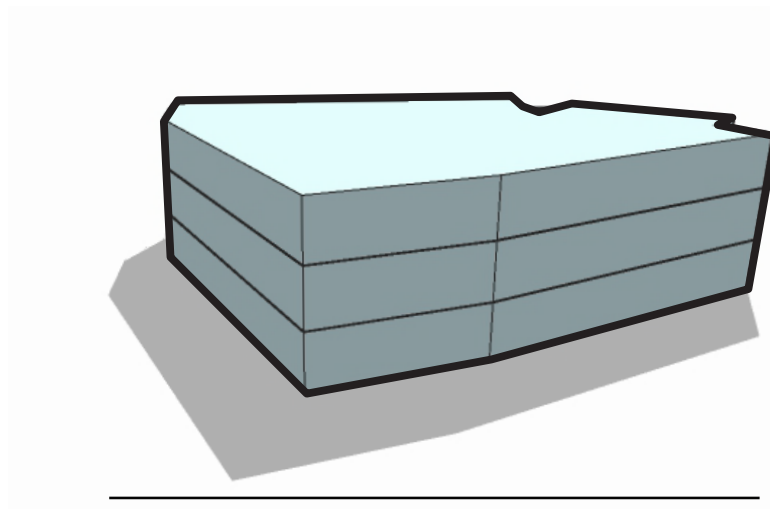


6. PLAYNE STREET ENTRY

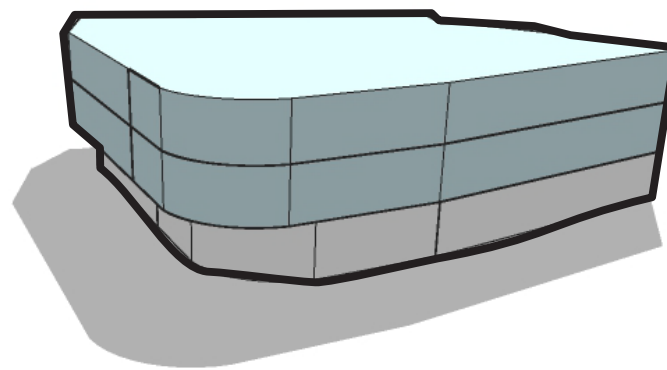


02

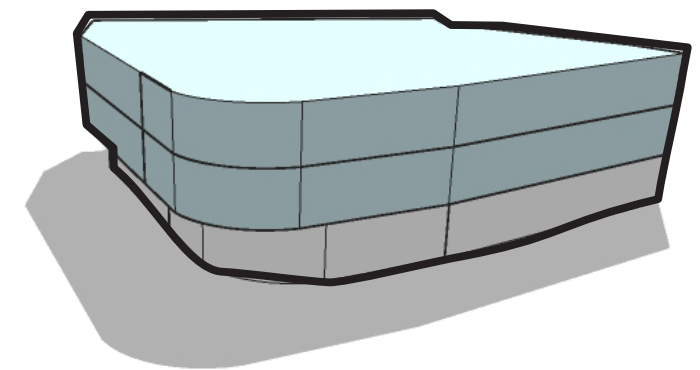
CONCEPT DESIGN



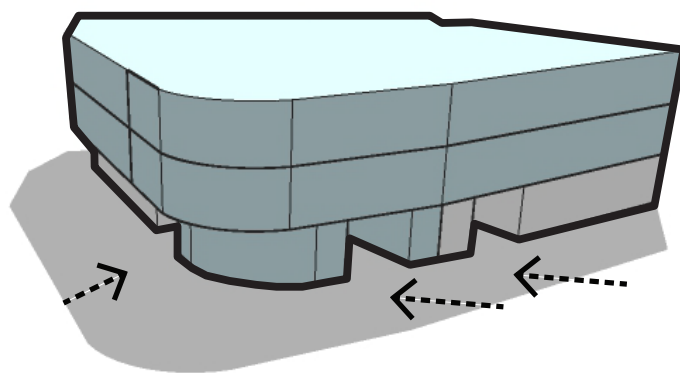
SOLID SINGLE MASS



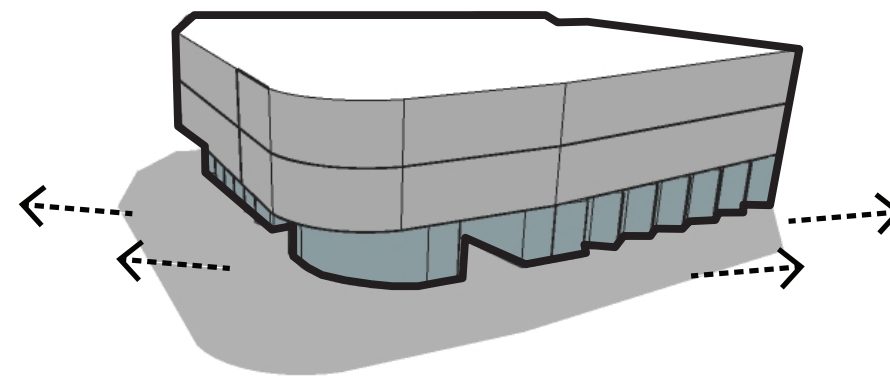
SPLIT MASS



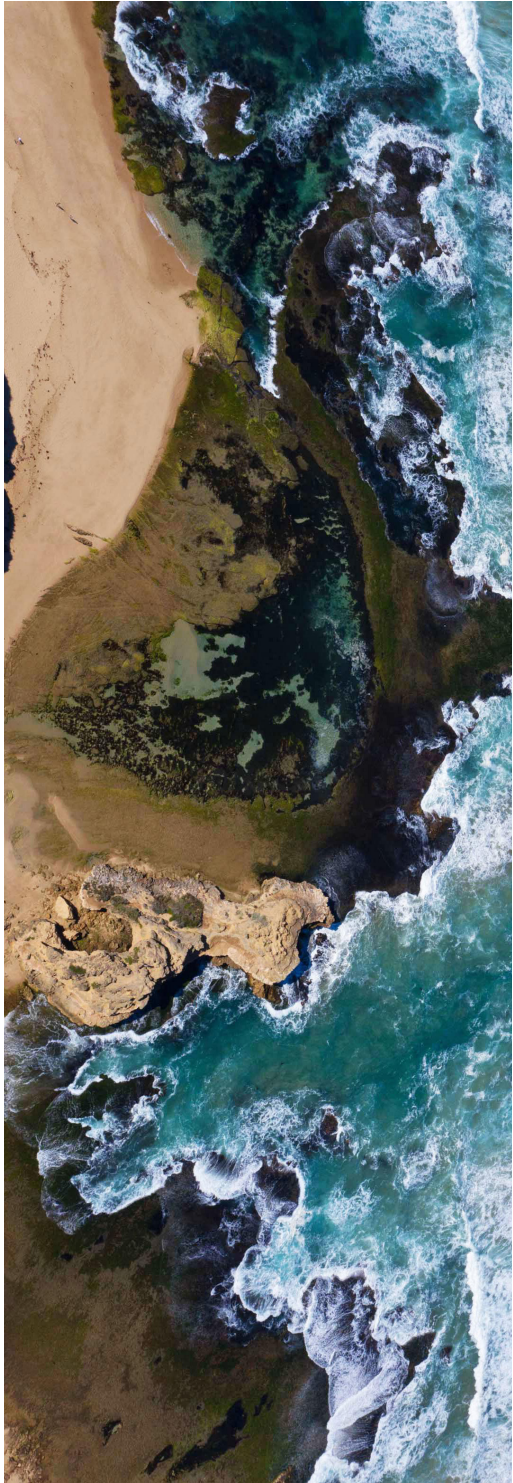
PUSH & PULL FORM



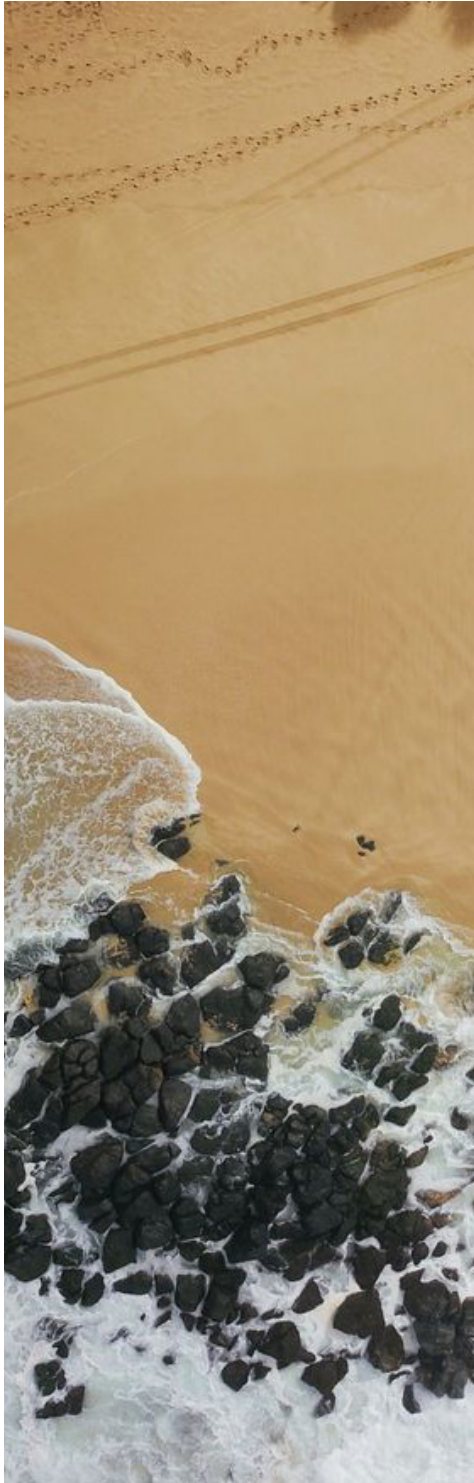
KEY FORM ENTRY



SELECTIVE VIEWS



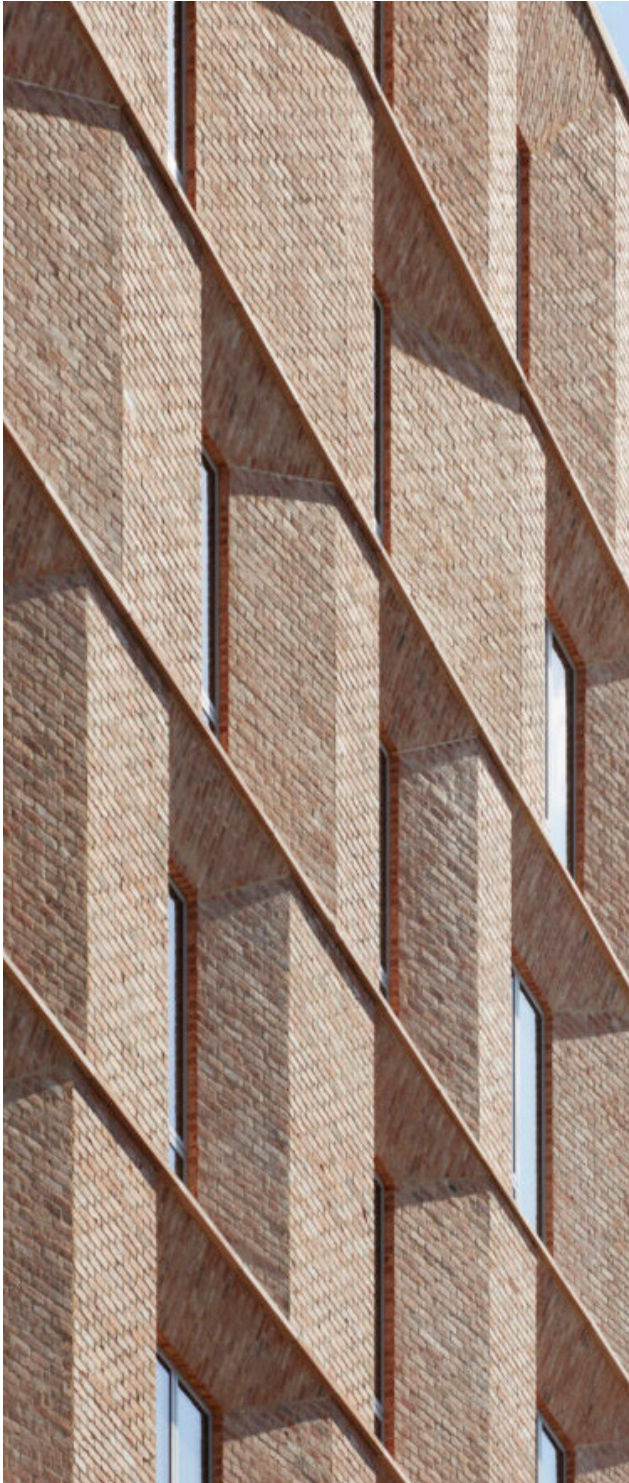
MATERIALS DRAWN FROM
COASTAL NATURAL TONES



USE OF BIOPHILIC DESIGN
PRINCIPLES & CREATING DIRECT
& INDIRECT CONNECTIONS TO
NATURE



CREATE TONAL VARIANCE BY TRANSLATING THESE
NATURAL TONES INTO THE FACADE MATERIALS WITH
BRICK AND METAL. PAIRING THIS WITH A GENTLE CURVE
CREATES A SOFT AND INVITING BUILDING



USE OF ANGLED PANEL TO MIMIC CARVED
SANDSTONE AND INJECT A SENSE OF LUXURY INTO
THE SKIN OF THE BUILDING





MATERIALS DRAWN FROM
COASTAL NATURAL TONES



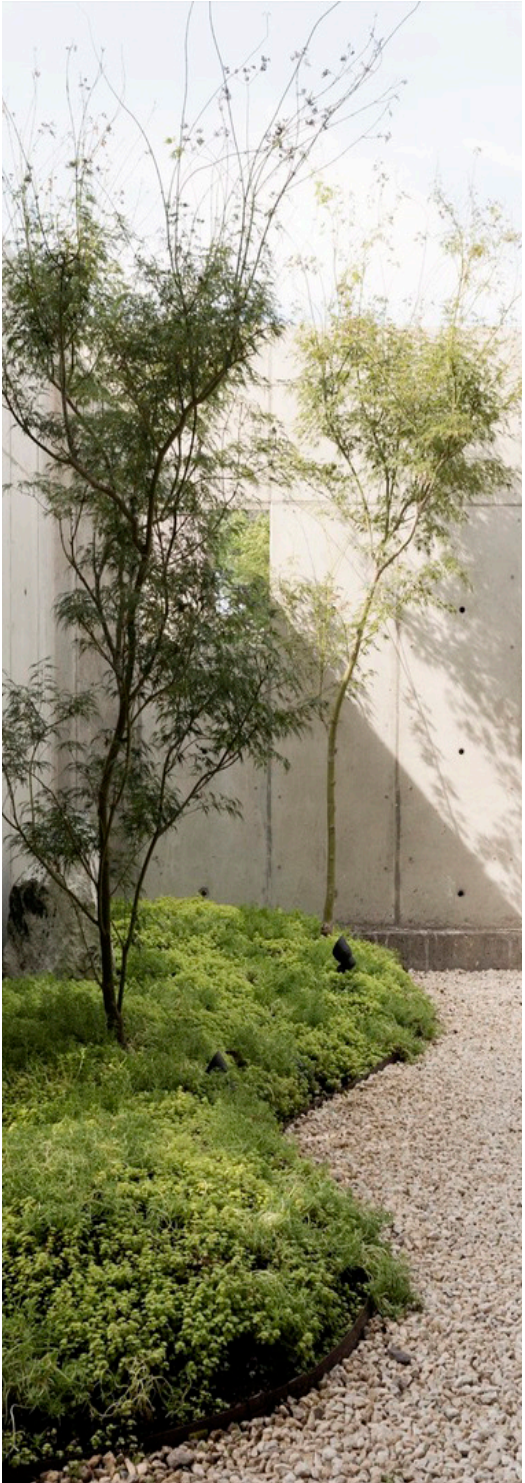
POWDER COATED PERFORATED
ALUMINIUM



SAND BRICKWORK



WOOD PANELLING



LANDSCAPING TO SOFTEN











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03

ARCHITECTURAL DRAWINGS

Site & Neighbourhood Description

- 1 SUBJECT SITE: 9-11 CRANBOURNE ROAD, FRANKSTON IS 3,300MP OF VACANT LAND CONTAINING A DRAINAGE EASEMENT.
- 2 FRANKSTON RECREATION CENTRE: EXISTING SINGLE STOREY PUBLIC BUILDING
- 3 FRANKSTON FIRE BRIGADE: EXISTING SINGLE STOREY
- 4 CRANBOURNE RD. PRIVATE EXISTING SINGLE STOREY BRICK RESIDENCE TO THE EAST OF THE SITE.
- 5 PLAYNE STREET PRIVATE EXISTING SINGLE STOREY BRICK RESIDENCE TO THE EAST OF THE SITE.
- 6 PLAYNE STREET PRIVATE EXISTING SINGLE STOREY BRICK RESIDENCE TO THE WEST OF THE SUBJECT SITE.
- 7 EXISTING CONCRETE CROSSOVER
- 8 EXISTING EASEMENT ON SITE
- 9 PUBLIC PARKING



PRELIMINARY



Design Response

- 1 SUBJECT SITE: 9-11 CRANBOURNE ROAD, FRANKSTON IS 3,800M² FOR A NEW SPECIALIST HOSPITAL FACILITY
- 2 PROPOSED HIGH WINDOWS
- 3 MAIN SITE ENTRY - KEY WAYFINDING FORM
- 4 ROOF TOP PLANT WITH ACOUSTIC SCREENING
- 5 PROPOSED WIDENING OF CROSSOVER
- 6 PROPOSED NEW CARPARK
- 7 PRIVATE RESIDENTS
- 8 EXISTING FRANKSTON FIRE STATION
- 9 PROPOSED LANDSCAPING WORKS - REFER LANDSCAPE ARCHITECTS DOCUMENTATION
- 10 LANDSCAPE BUFFERING SITE BOUNDARY







Legend - Site

- ASPHALT PAVING
- PAVING UNITS
- DECKING
- GRASS AREA
- GARDEN BED AREA
- EXISTING TREE (BLUE DASHED LINE IS TPZ)
- DEMOLISHED TREES
- PROPOSED TREE
REFER TO LANDSCAPE ARCHITECTS DRAWINGS

DEVELOPMENT SUMMARY

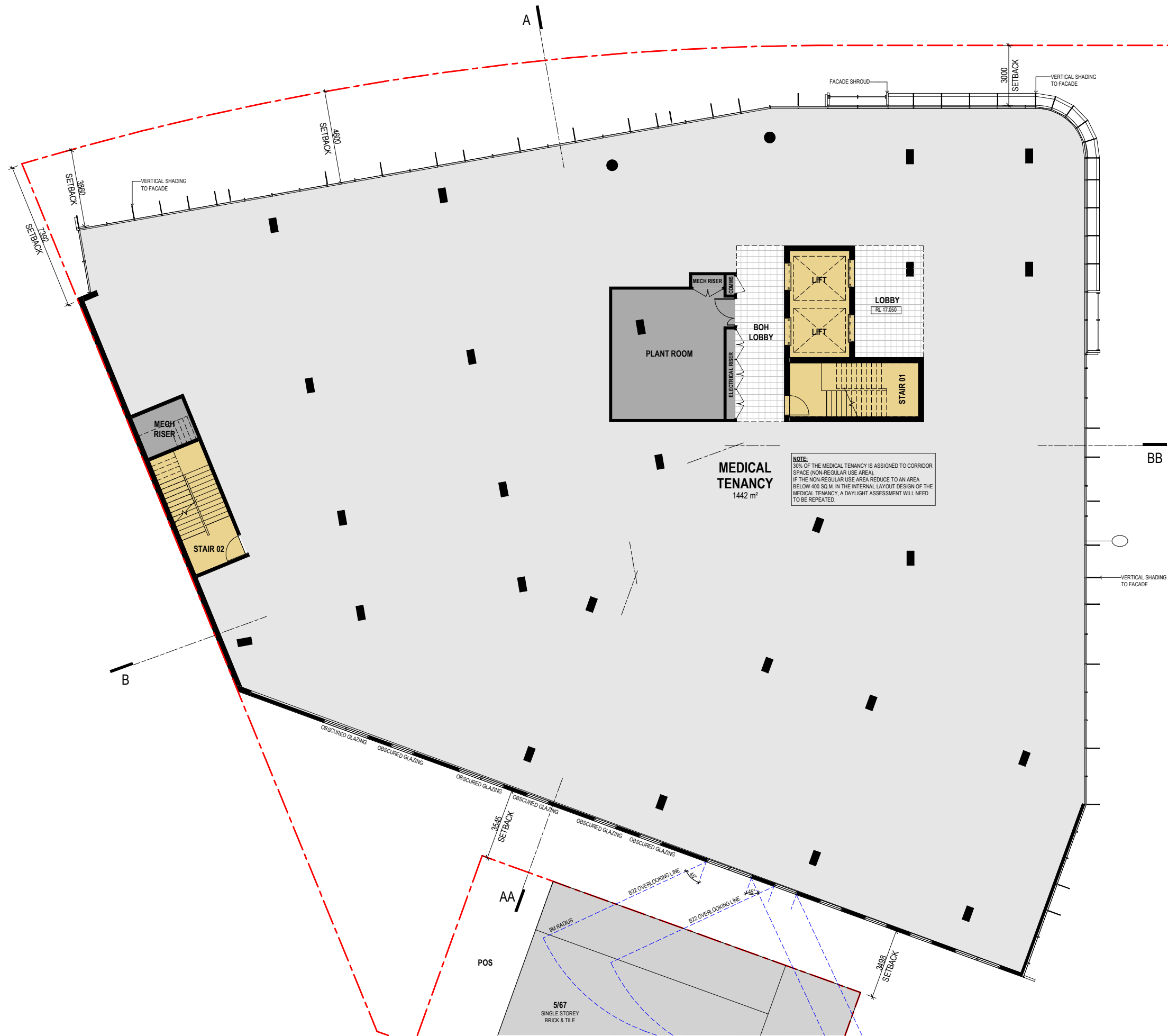
TENANCY	AREA
MEDICAL TENANCY (GROUND)	429m ²
PATHOLOGY TENANCY	51m ²
ADMINISTRATION	100m ²
MEDICAL TENANCY (LEVEL 1)	1442m ²
DAY PROCEDURE CENTRE	1475m ²

	AREA	PERCENTAGE
TOTAL SITE AREA	6000m ²	
SITE COVERAGE	1607m ²	26%
PERMEABLE COVERAGE	995m ²	17%
IMPERVIOUS AREA	5045m ²	83%
LANDSCAPING	1030m ²	17%

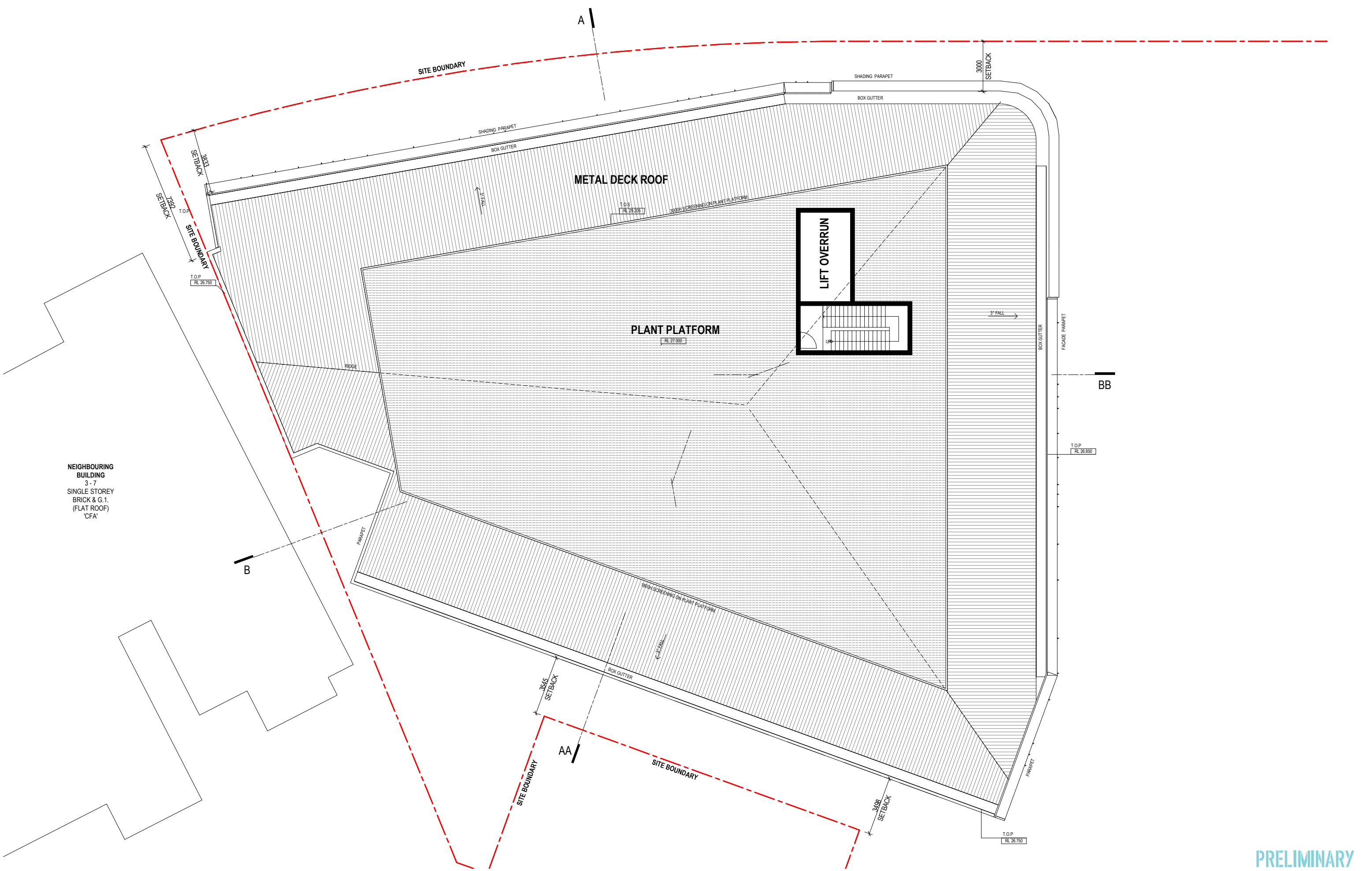
TOTAL NUMBER OF CAR SPACES	138
TOTAL NUMBER OF BIKE SPACES	18

ESD INITIATIVES

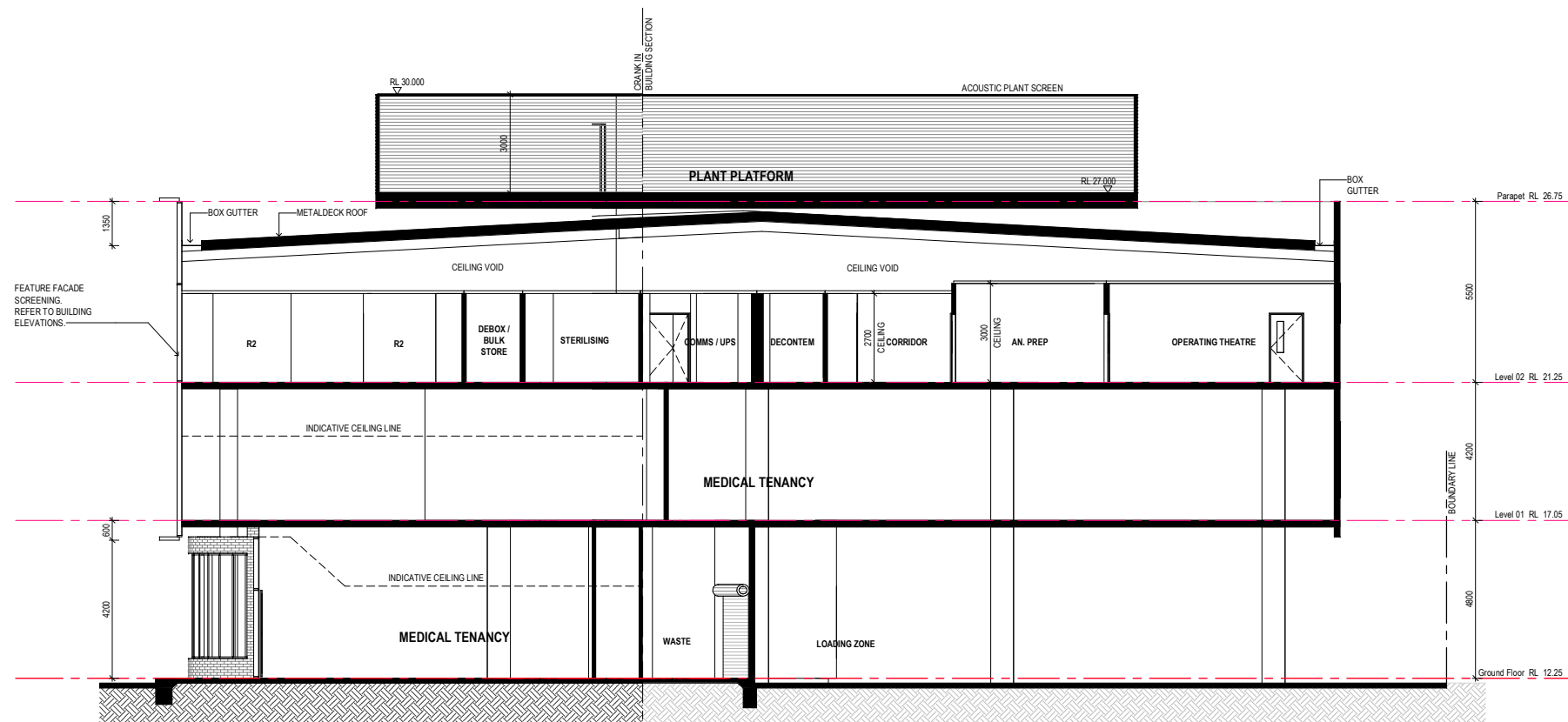
- HIGH PERFORMANCE INSULATION BEYOND THE MINIMUM REQUIREMENT IN NATIONAL CONSTRUCTION CODE (NCC);
- HIGH PERFORMANCE HVAC SYSTEMS AND DOMESTIC HOT WATER SYSTEMS BEYOND THE MINIMUM REQUIREMENT IN THE NATIONAL CONSTRUCTION CODE (NCC);
- REDUCTION OF POTABLE WATER CONSUMPTION THROUGH EFFICIENT HIGH WELS RATED SANITARY FIXTURES AND APPLIANCES;
- RECYCLING WASTE FACILITIES TO ENCOURAGE DIVERSION OF WASTE TO LANDFILL;
- ADEQUATE NATURAL DAYLIGHT TO REGULAR OCCUPIED INTERIORS OF BUILDING;
- BEST PRACTICE LIGHTING COMFORT AS PER GREEN STAR REQUIREMENTS;
- WATER-EFFICIENT LANDSCAPE;
- RAINWATER COLLECTION FOR REUSE IN TOILETS;
- REPLACING CEMENT WITH SUPPLEMENTARY CEMENT MATERIALS (SCM).



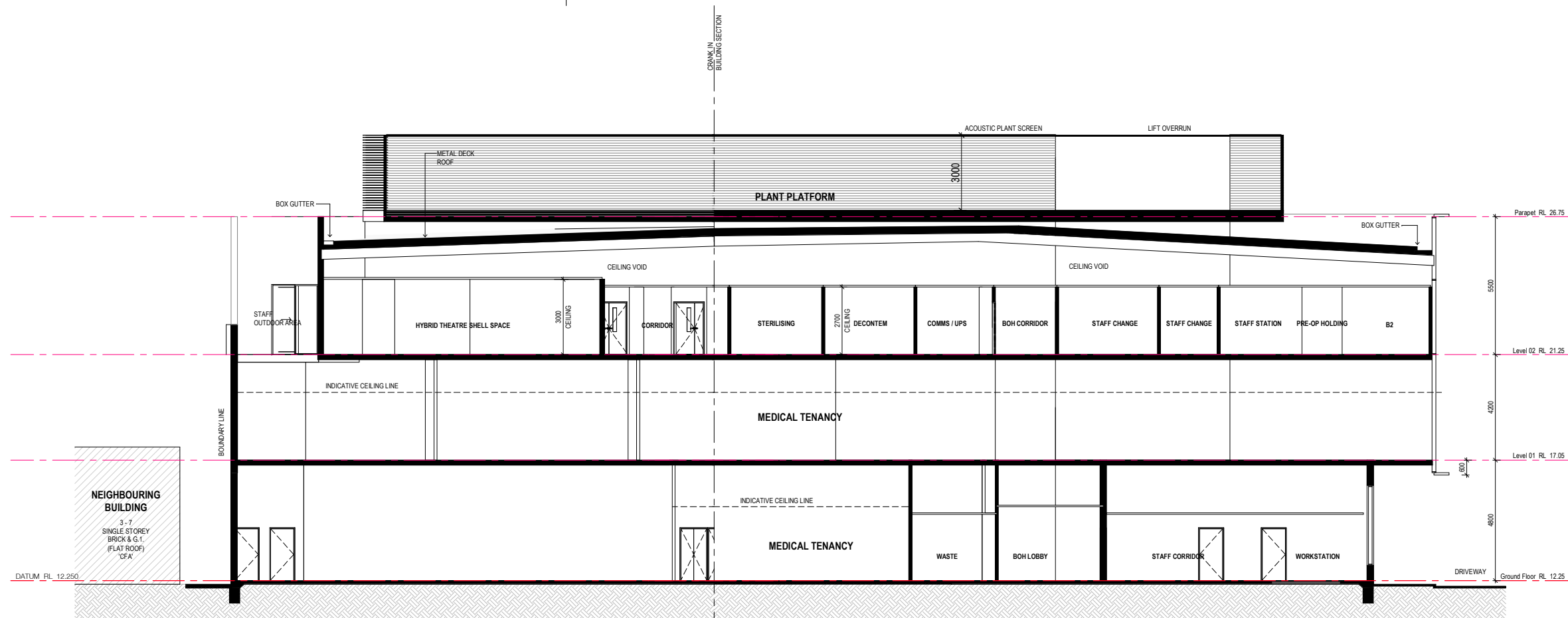




NEIGHBOURING
BUILDING
3-7
SINGLE STOREY
BRICK & G.I.
(FLAT ROOF)
'CFA'



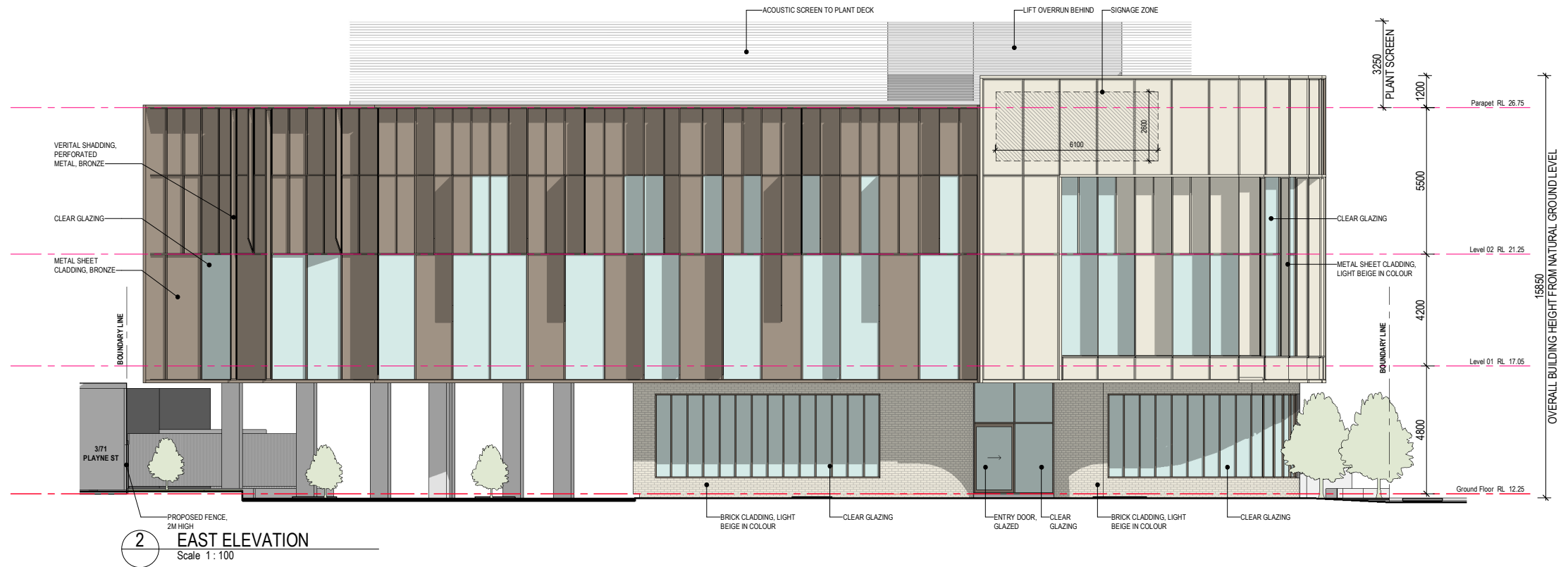
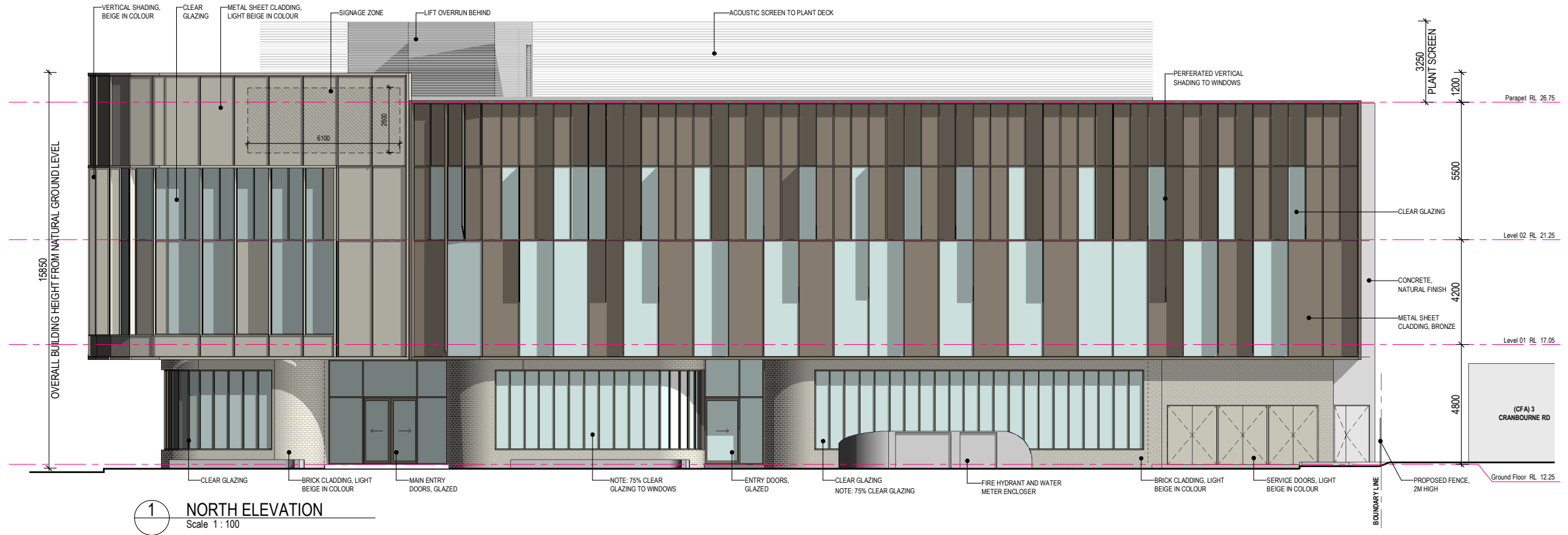
AA Section AA
Scale 1:100










BB Section BB
Scale 1:100

LEGEND - MATERIALS

- BRICK CLADDING, LIGHT BEIGE
- METAL SHEET CLADDING, LIGHT BEIGE
- METAL SHEET CLADDING, BRONZE
- PERFORATED METAL, BRONZE
- FIBRE CEMENT SHEET CLADDING, PAINTED GREY
- CONCRETE, NATURAL FINISH
- CLEAR GLAZING



LEGEND - MATERIALS

	BRICK CLADDING, LIGHT BEIGE
	METAL SHEET CLADDING, LIGHT BEIGE
	METAL SHEET CLADDING, BRONZE
	PERFORATED METAL, BRONZE
	FIBRE CEMENT SHEET CLADDING, PAINTED GREY
	CONCRETE, NATURAL FINISH
	CLEAR GLAZING

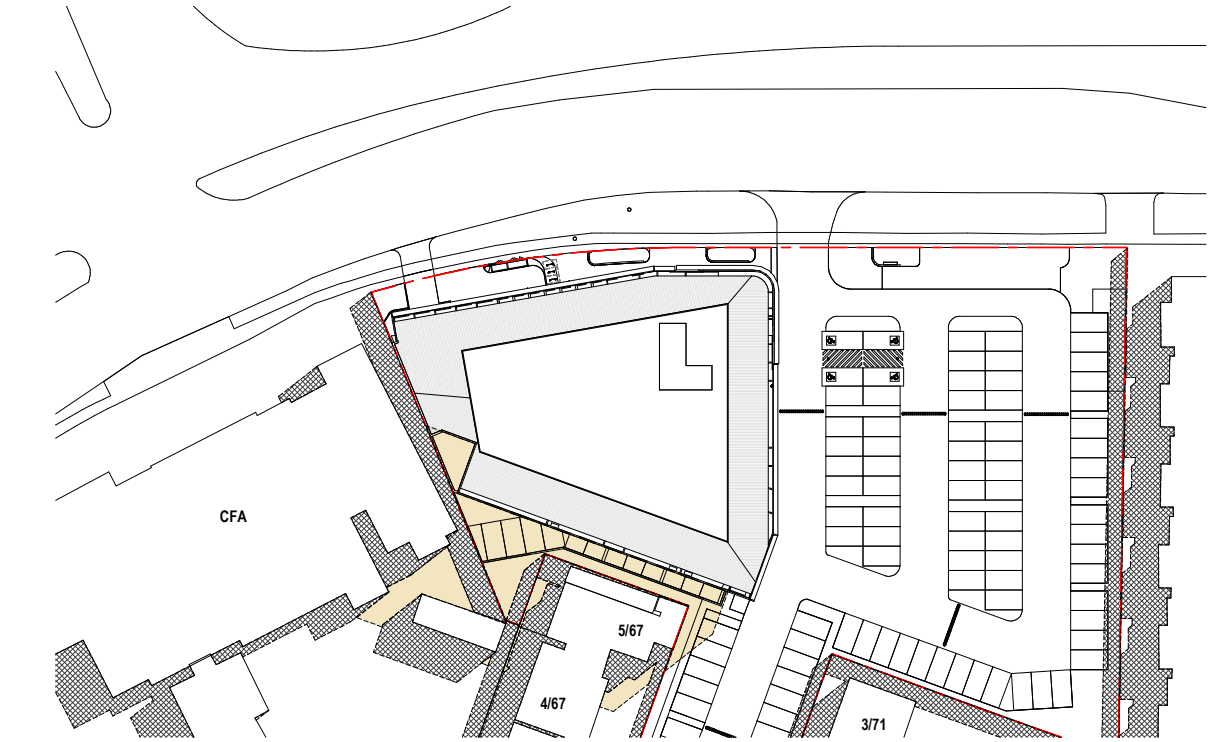


1 SOUTH ELEVATION
Scale 1 : 100

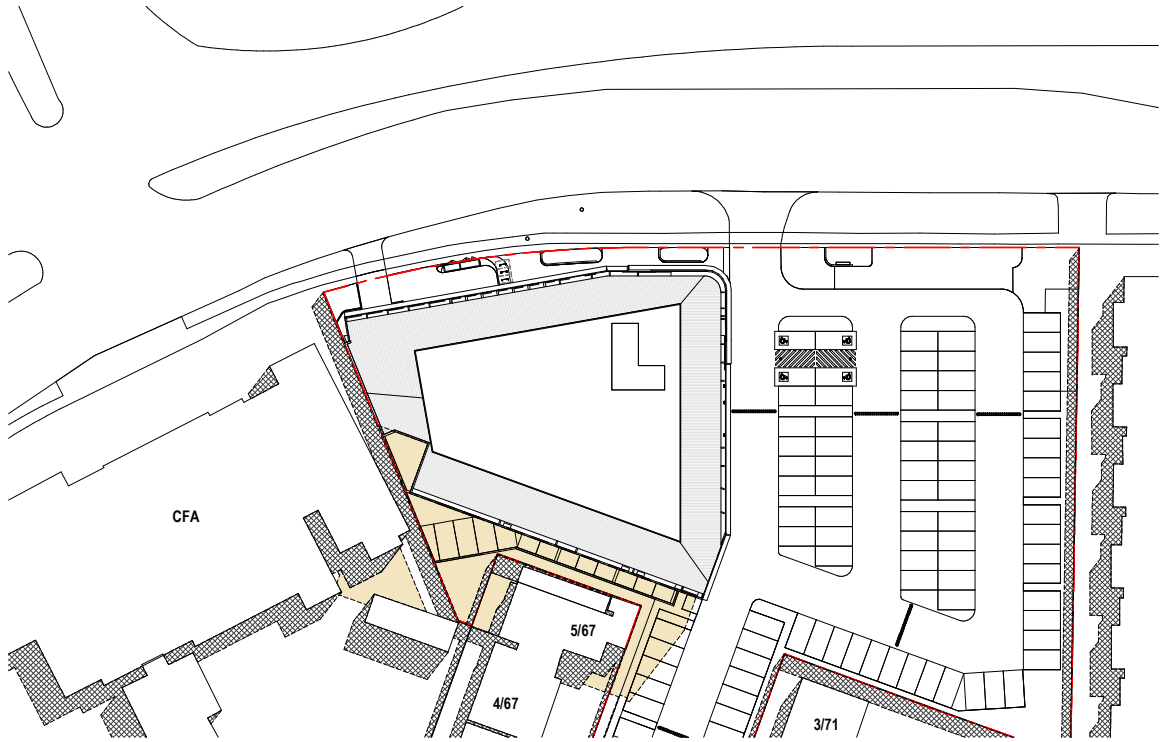


2 WEST ELEVATION
Scale 1 : 100

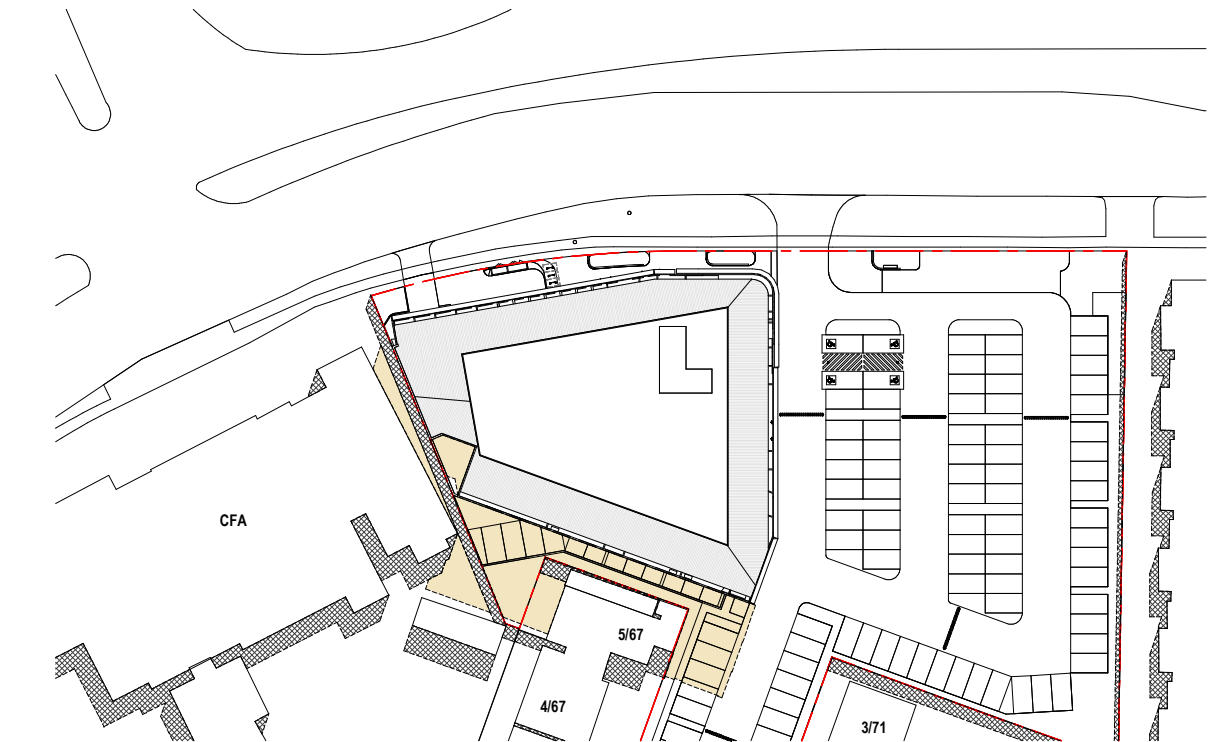
- EXTENT OF SHADOWS ON NEIGHBOURING PROPERTIES CAST BY EXISTING STRUCTURES
- EXTENT OF ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES CAST BY PROPOSED STRUCTURES. NOTE: EXTENT OF SHADOW SHOWN IS AT GROUND LEVEL



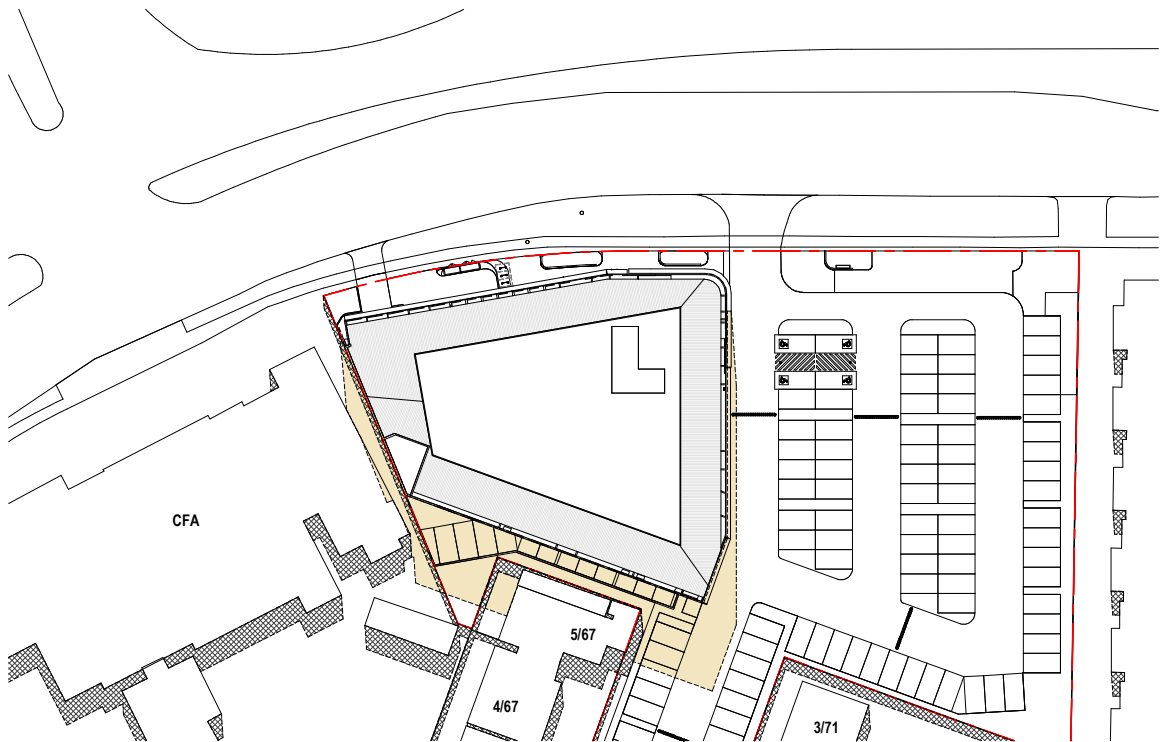
1 Shadows for Sept 22 at 9am
Scale 1:500



2 Shadows for Sept 22 at 10am
Scale 1:500

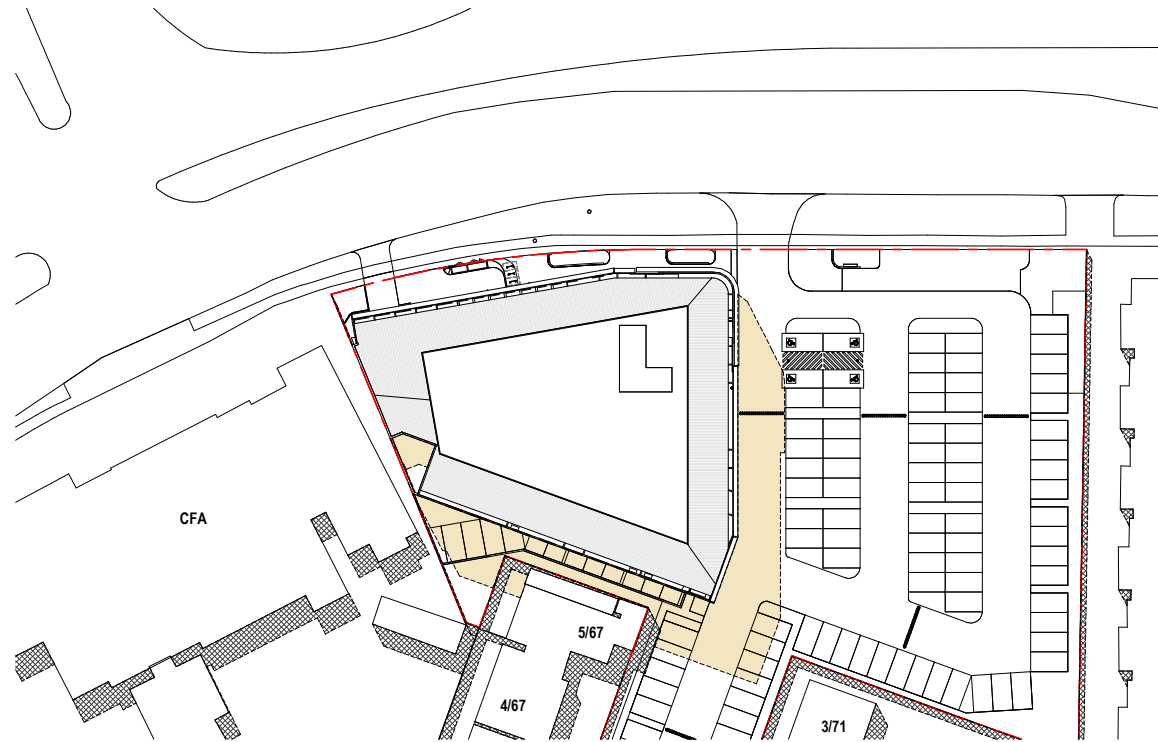


3 Shadows for Sept 22 at 11am
Scale 1:500

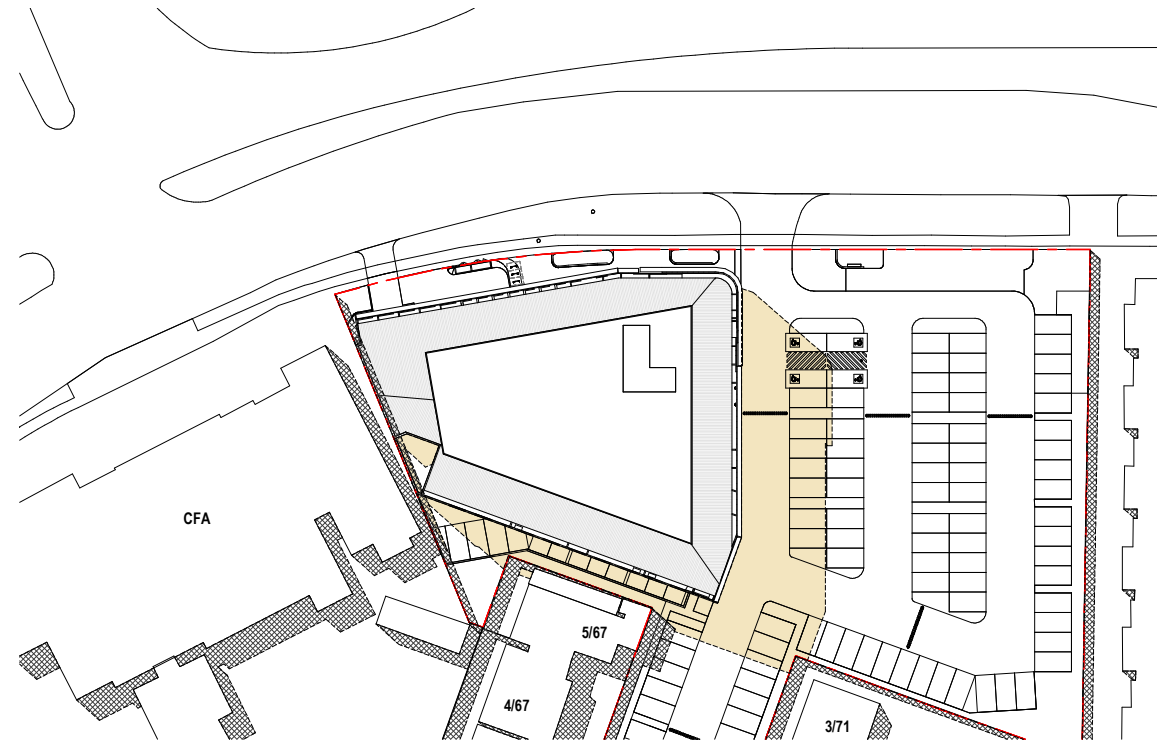


4 Shadows for Sept 22 at 12 noon
Scale 1:500

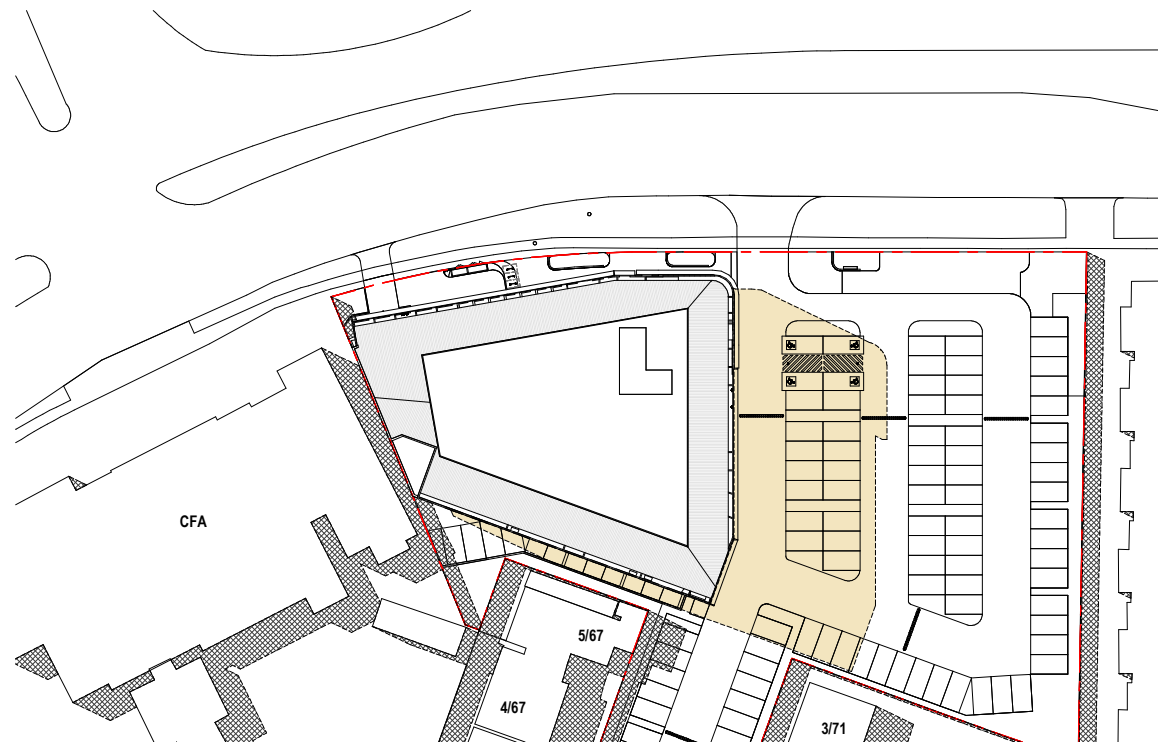




1 Shadows for Sept 22 at 1 pm
Scale 1:500



2 Shadows for Sept 22 at 2 pm
Scale 1:500

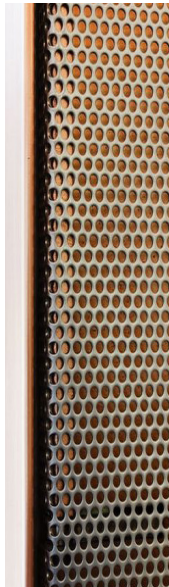


3 Shadows for Sept 22 at 3 pm
Scale 1:500

Shadow Analysis Statistics - September Equinox (22 Sept)				
	5/67 Playne Street Frankston	4/67 Playne Street Frankston	3/71 Playne Street Frankston	
9AM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	118.1m ²
	Existing shadowed SPOS (minimum width of 3.0m)	31m ²	39.8m ²	52.5m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	7.3m ²	2.9m ²	65.6m ²
	Additional shadowed SPOS (minimum width of 3.0m)	7.3m ²	1.7m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	0m ²	1.2m ²	65.6m ²
10AM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	118.1m ²
	Existing shadowed SPOS (minimum width of 3.0m)	18.4m ²	20.2m ²	41.8m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	19.9m ²	22.5m ²	76.3m ²
	Additional shadowed SPOS (minimum width of 3.0m)	19.9m ²	0m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	0m ²	22.5m ²	76.3m ²
11AM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	118.1m ²
	Existing shadowed SPOS (minimum width of 3.0m)	7.1m ²	5.7m ²	14.7m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	31.2m ²	37.0m ²	103.4m ²
	Additional shadowed SPOS (minimum width of 3.0m)	26.7m ²	0m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	2.0m ²	37.0m ²	103.4m ²
12PM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	138.2m ²
	Existing shadowed SPOS (minimum width of 3.0m)	11.9m ²	11.7m ²	25.4m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	26.4m ²	31.0m ²	112.8m ²
	Additional shadowed SPOS (minimum width of 3.0m)	15.8m ²	0m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	7.8m ²	31.0m ²	112.8m ²
1PM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	118.1m ²
	Existing shadowed SPOS (minimum width of 3.0m)	16.3m ²	16.7m ²	41.1m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	22.0m ²	26.0m ²	77.0m ²
	Additional shadowed SPOS (minimum width of 3.0m)	7.6m ²	0m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	13.7m ²	26.0m ²	77.0m ²
2PM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	118.1m ²
	Existing shadowed SPOS (minimum width of 3.0m)	22.4m ²	25.8m ²	57.4m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	15.9m ²	16.9m ²	60.7m ²
	Additional shadowed SPOS (minimum width of 3.0m)	1.6m ²	0m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	14.3m ²	16.9m ²	60.7m ²
3PM	Total secluded private open space (minimum width of 3.0m)	38.3m ²	42.7m ²	118.1m ²
	Existing shadowed SPOS (minimum width of 3.0m)	30.7m ²	39.5m ²	79.7m ²
	Existing unshadowed SPOS (minimum width of 3.0m)	7.6m ²	3.2m ²	38.4m ²
	Additional shadowed SPOS (minimum width of 3.0m)	0m ²	0m ²	0m ²
	Post-development unshadowed SPOS (minimum width of 3.0m)	30.7m ²	39.5m ²	38.4m ²



01



02



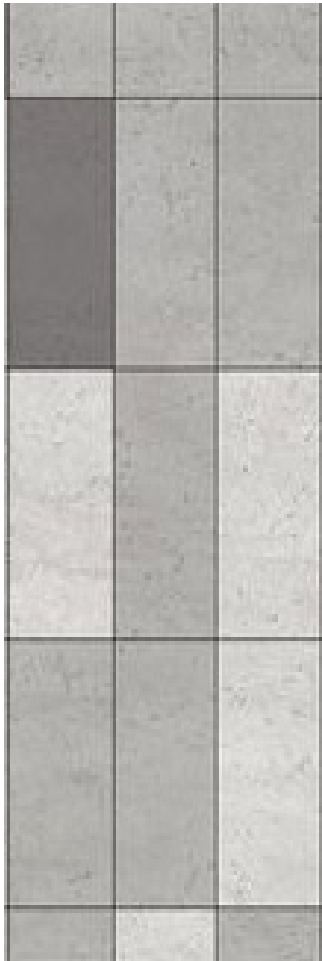
03



04



05



06



07



08

MATERIALS BOARD

- 01. METAL SHEET CLADDING, BRONZE
- 02. PERFORATED METAL, BRONZE
- 03. POWDERCOATED ALUMINIUM, BRONZE
- 04. BRICK CLADDING, LIGHT BEIGE
- 05. TIMBER CLADDING
- 06. FIBRE CEMENT SHEET CLADDING, GREY
- 07. CLEAR GLAZING
- 08. CONCRETE, NATURAL FINISH



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