

485 Golf Links Road, LANGWARRIN SOUTH

Planning Permit Application

Application No. PA2302502



Officer Assessment Report
Development Approvals & Design

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Department
of Transport
and Planning

Executive Summary

Key information	Details										
Application No.:	PA2302502										
Received:	22 September 2023										
Statutory Days:	46										
Applicant:	Woodleigh School c/- Echelon Planning										
Planning Scheme:	Frankston										
Land Address:	485 Golf Links Road Langwarrin South										
Proposal:	Buildings and works for an existing education centre (secondary school), for the development of a Year 10 learning centre, and removal of native vegetation.										
Development value:	\$3.2m										
Why is the Minister responsible?	In accordance with the schedule to Clause 72.01 of the Planning Scheme, the Minister for Planning is the Responsible Authority for this application because: Primary school or secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school, if any of the following apply: The estimated cost of development is \$3 million or greater.										
Why is a permit required?	<table> <tr> <th>Clause</th><th>Trigger</th></tr> <tr> <td>Clause 32.03-4 (LDRZ)</td><td>Buildings and works associated with a section 2 use under the LDRZ</td></tr> <tr> <td>Clause 43.02 (DDO)</td><td>Construct a building or construct or carry out work</td></tr> <tr> <td>Clause 42.03-2 (SLO2)</td><td>Construct a building or construct or carry out work</td></tr> <tr> <td>Clause 42.03-2 (SLO2)</td><td>Remove, destroy or lop native vegetation</td></tr> </table>	Clause	Trigger	Clause 32.03-4 (LDRZ)	Buildings and works associated with a section 2 use under the LDRZ	Clause 43.02 (DDO)	Construct a building or construct or carry out work	Clause 42.03-2 (SLO2)	Construct a building or construct or carry out work	Clause 42.03-2 (SLO2)	Remove, destroy or lop native vegetation
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Clause 42.03-2 (SLO2)	Construct a building or construct or carry out work										
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Zone:	Clause 32.02 Low Density Residential Zone (LDRZ)										
Overlays:	<table> <tr> <td>Clause 42.03</td><td>Significant Landscape Overlay – Schedule 2 (SLO2) (Langwarrin Hinterland)</td></tr> <tr> <td>Clause 43.02</td><td>Design and Development Overlay – Schedule 4 (DDO4) (Langwarrin Rural Residential Area)</td></tr> </table>	Clause 42.03	Significant Landscape Overlay – Schedule 2 (SLO2) (Langwarrin Hinterland)	Clause 43.02	Design and Development Overlay – Schedule 4 (DDO4) (Langwarrin Rural Residential Area)						
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Particular Provisions:	<table> <tr> <td>Clause 53.19</td><td>Non-Government Schools</td></tr> <tr> <td>Clause 13.02-1S</td><td>Bushfire Planning</td></tr> <tr> <td>Clause 53.18</td><td>Stormwater Management in Urban Development</td></tr> </table>	Clause 53.19	Non-Government Schools	Clause 13.02-1S	Bushfire Planning	Clause 53.18	Stormwater Management in Urban Development				
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Clause 53.18	Stormwater Management in Urban Development										
Cultural Heritage	The site is subject to Aboriginal Cultural Heritage Sensitivity pursuant to the Aboriginal Heritage Act 2016. As the proposal is for a development associated with a purpose for which the land was being lawfully used prior to 28 May 2007 (the existing school), the activity does not require a Cultural Heritage Management Plan (CHMP).										
Total site area:	22.2 Hectares										
Gross Floor Area:	270m ²										
Referral authorities	Frankston City Council (Notice - Section 52)										
Public Notice	Notice of the application was undertaken by the applicant pursuant to the CCZ1 and SLO. Advertising commenced on 9 November 2023 and closed on 5 December 2023, with nil submissions received.										
Recommendation	The application is recommended for approval subject to the conditions as discussed within this report.										



1. The key milestones in the process of the application were as follows:

Milestone	Date
Pre-application meeting (DTP and Council)	N/A
Application lodgement	26 September 2023
Further information requested	11 September 2023
Further information received	30 October 2023
Further plans submitted (formally under section 50 of the Act)	N/A
Further informally substituted sketch plans submitted (date)	N/A
Decision Plans	Architectural Plans prepared by Mcildowie Partners and dated 12 October 2023 Landscape Concept Plans prepared by Sam Cox Landscape and dated 20 October 2023 Arborist Report prepared by Civica and dated 30 October 2023 Planning Report prepared by Echelon Planning and dated October 2023 Bushfire Assessment Report prepared by Terralogic and dated 9 September 2023 Soil Assessment prepared by DRC Environmental and dated 20 March 2023 Traffic Impact Assessment prepared by One Mile Grid and dated 8 September 2023 Tree Impact Assessment prepared by Civica and dated 12 September 2023 Waste Management Plan prepared by One Mile Grid and dated 8 September 2023 STORM Report dated 20 September 2023 BESS Report dated 12 September 2023

2. The subject of this report is the decision plans (as described above).

3. The proposal can be summarised as follows:

- It is proposed to carry out buildings and works at an existing education centre (secondary school) for a new year 10 learning centre green building. The new building is proposed to be located north of the existing cluster of campus buildings.
- The year 10 area will consist of three single-storey buildings connected by a central integrated outdoor learning space. Figure 1 shows that the three buildings comprise of five classrooms (74-87m²), two breakout meeting rooms (14m²), a coworking/homestead space (84m²), a staffroom (85m²) and student and staff toilets. There is also a shaded deck along the northern elevation that provides additional outdoor learning spaces.
- The new development is setback approximately 91 metres from the adjoining residential property to the north and 16 metres from the reserve to the east.
- Remove 51 indigenous (native) trees that are determined to be of 'low' retention value as identified in the submitted arborist report.
- The trees located along the western boundary were planted in 2013 and the trees located in the middle and to the east of the site were planted in 2017 by the school. Substantial landscaping is proposed including native grasses, shrubs and trees to replace the vegetation that is being removed and restore the site to a landscape that enhances and contributes to the biodiversity of the surrounding area.
- Staff and student numbers will not increase as a result of proposal.

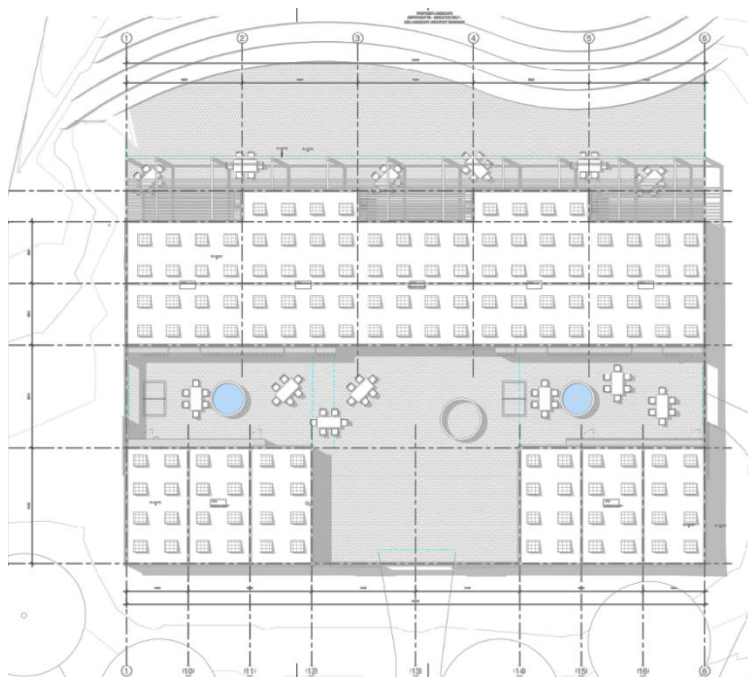


Figure 1. Proposed aerial view (left) Figure 2. Proposed building materiality (right)

4. The proposed building seeks to include the following ESD features:
- Use of agroforestry timbers
 - Green roof for insulation and enhanced efficient thermal cooling/heating
 - Rooftop solar panels (figure 1)
 - Use of recycled brick
 - Use of double-glazed windows
 - Substantial planting of native vegetation including trees to be planted north of the development
 - On-site wastewater treatment plant, for the capture and reuse of water
5. The 51 native trees proposed to be removed as discussed above are planted vegetation and therefore exempt from Clause 52.17 (Native Vegetation), however still trigger the requirements of Clause 42.02-2 (Significant Landscape Overlay) as planted vegetation is not exempt from a permit requirement to lop or remove.
6. The applicant has provided the following concept image/s of the proposal:

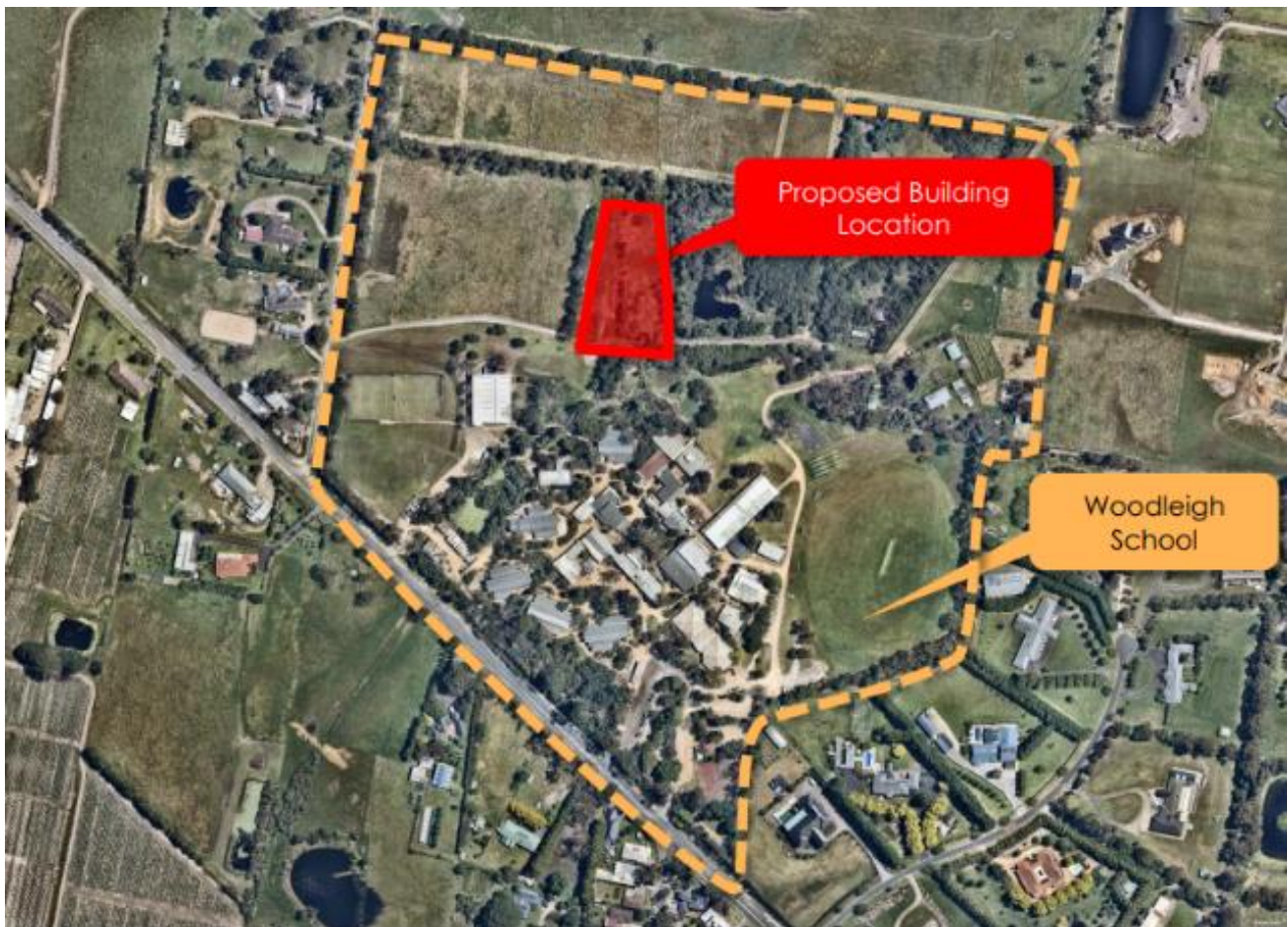


Figure 3: Subject site aerial view (highlighted red)



Site Description

7. The site is located at 485 Golf Links Road Langwarrin South and is part of Woodleigh School which houses year 7 to 12 secondary school students. The secondary school is located approximately 60km from Melbourne CBD. The School is located on the northern side of Golf Links Road and covers an area of approximately 2.2 Hectares.
8. The existing site comprises of education buildings, at-grade car parks, and sporting facilities. The area subject to this planning permit application is located north of the existing cluster of development well centred within the property.
9. Main access for vehicles and pedestrians is from Golf Links Road to the south and additional access is from Barretts Road to the west.
10. The site is formally described as comprising the following land parcels:
 - Lot 1 on TP709321Q
 - Lot 1 PS444671
11. While the proposed building is not to be located within an easement, there is a pipeline easement relevant to the site. The easement travels north/south and is located on the subject site's western boundary and is covered by the Covenant H625552. No covenants exist that would otherwise impact the subject site or issue of a planning permit.

Site Surrounds

12. The surrounding development consists mainly of low-density residential area of Langwarrin South bound by the Golf Links Road to the south, Barretts Road to the West, and residential properties to the north and east. To the south-west is the Baxter Train Station, commercial area and municipal hub situated along Baxter-Tooradin Road.
13. Development surrounding the site can be described as follows:
 - To the **north** of the site: is a large residential property, with the boundary being lined with trees. The Langwarrin Flora & Fauna Reserve is located 1km north of the site.
 - To the **south** of the site: directly abuts Golf Links Road and further south there are properties that are used for agricultural purposes. Southwest of the site is the Baxter town centre and the Baxter Train Station. Further south is Sommerville, Sommerville Train Station and Sommerville Central Shopping Centre.
 - To the **east** of the site: directly adjacent to a number of low-density residential lots that back onto the school, with trees again lining the boundary between the properties. A large nursery is located on the corner of Warrandyte Road and Baxter-Tooradin Road.
 - To the **west** of the site: bordered by Barrett's Road and low-density residential properties. This continues until the Peninsula Link Freeway 1.6 km west where there is a transition to higher density residential development in Frankston South.



Figure 4. Gate 1 entry southern view from Golf Links Road (left)



Figure 5. Large residential lots abutting eastern boundary, restricted view from tree line (right)



Figure 6. Low density residential dwellings south on Golf Links Road (left)



Figure 7. View from western boundary, 176 Barretts Road (right)



Figure 8. View from western boundary, 173 Barretts Road



Municipal Planning Strategy

14. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause no.	Description
02.01	Context
02.02	Vision
02.03-2	Environmental and Landscape Values – Biodiversity and indigenous vegetation
02.03-3	Environmental Risks and Amenity – Amenity Protection
02.03-5	Built Environment and Heritage – Built form and Design
02.03-7	Economic Development
02.04-1	Municipal Strategic Framework Plan – Environmentally Sensitive Area
02.04-4	Environmental and Landscape Values - Environmentally Sensitive Area

Planning Policy Framework

15. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause no.	Description
11	Settlement
11.01-1R	Settlement – Metropolitan Melbourne
12	Environmental and Landscape Values
12.01-1S	Protection of Biodiversity
12.01-1L	Protection of Biodiversity
12.01- 2S	Native Vegetation Management
12.05-1S	Environmentally Sensitive Areas
12.05-2S	Landscapes
12.05-2L	Frankston Landscapes
13	Environmental Risks and Amenity
13.02-1S	Bushfire Planning
13.07-1L	Non-residential uses in residential zones
15	Built Environment and Heritage
15.01-1S	Urban Design
15.01-1L-02	Urban Design
15.01-2S	Building Design
15.01-2L-01	Environmentally Sustainable Design
15.01-2L-02	Efficiency and Sustainability
15.01-5L	Frankston preferred neighbourhood character
19	Infrastructure
19.02-2S	Education Facilities
19.03-3S	Integrated Water Management

16. The Assessment section of this report provides a detailed assessment of the relevant planning policies (as relevant to the proposal and key considerations)

Clause 15.01-5L – Frankston Preferred Neighbourhood Character

17. Clause 15.01-5L contains strategies and policy guidelines for the Langwarrin South area (LWS1) and response against the proposal as follows:

Strategies	Policy guideline	Response
Strengthen the native vegetation dominated streetscapes	Providing as part of development: - Landscaping that includes substantial trees and vegetation. - Retention of large, established trees and understorey. - The planting of new native trees. - Siting and designing the buildings to incorporate space for the planting of substantial vegetation. - Locating building footings outside root zones. - Only removing low retention value vegetation.	Largely met, planted vegetation by the School is proposed to be removed, however extensive landscaping is intended to reinstate the temporary loss in native vegetation.
Minimise site disturbance and impact of the building on the landscape.	Utilising existing contours of the site or step down the site.	Largely met, part of proposal seeks to utilise natural slope to create small amphitheatre
Preserve the existing rhythm of dwelling spacing	Providing setbacks from all boundaries to create a semi-rural setting with space for generous landscaping.	Met. Subject site is located well within the school campus and surrounded by extensive canopy cover along all boundaries
Ensure buildings do not dominate the streetscape and wider landscape setting	Providing muted colours and tones on external finishes.	Met. The design and materials chosen for the built form ensures that the three small buildings respect the existing landscape, while the use of green roofs, neutral and soft materials, prevents the development from dominating the surroundings. The building is anticipated to be surrounded by proposed and existing trees, which will soften the appearance and reduce visibility.
Enhance the continuous flow of vegetation across the landscape	Providing no fencing or post and wire style fencing other than along heavily trafficked roads.	Met. No fencing is proposed as part of the proposal
Encourage building elements that respects any wetland environment and do not dominate the landscape	Where a site adjoins a wetland: - Locating building mass away from the wetland. - Setting back the second storey component of any building from the ground floor wetland elevation a distance of at least the ground floor building height.	Met. A body of water is located nearby within a conservation area contained within the School campus. The area is fenced and protected.

Statutory Planning Controls

LDRZ

18. A planning permit is required to construct a building or construct or carry out works for a Section 2 use in accordance with Clause 32.03-1. The purpose of the LDRZ is:
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*

SLO

19. A planning permit is required to remove, destroy or lop native vegetation in accordance with Clause 42.03-1 (any vegetation removal requires a planning permit unless stated within the exemption table under Clause 42.03-2).

- 
20. The objectives and decision guidelines relevant to the proposal are:
- Demonstration of the avoidance hierarchy.
 - The impact of the proposal on bio links across the landscape.
 - The impact of the proposal on the visual landscape or biological values of the area.
 - Replacement planting to address the loss of vegetation having regard to the local and regional conservation significance of the vegetation.
 - Whether the removal of vegetation including for defensible space has been avoided or minimised having regard to the bushfire risk and other available siting options.

DDO

21. A planning permit is required to construct a building or construct or carry out works in accordance with Clause 43.01-1. No exemptions are included in the relevant schedule.
22. The objectives and decision guidelines relevant to the proposal are:
- The appropriateness of the subdivision, buildings or works having regard to the Preferred Neighbourhood Character statement for the area, and land capability, including landform, slope, drainage and the presence of remnant vegetation.
 - The impact of the subdivision, building or works on the landscape quality of the area.
 - The extent to which the proposed development meets the objectives and design responses contained in the relevant Neighbourhood Character Study Character Statement precinct brochure for the area.

HO

23. The HO (Woodleigh School) applies to a small portion of the site and does not apply to the area of proposed works subject to this application. The overlay therefore does not form part of this assessment.

PAO

24. The PAO (PAO2 – Road Purposes) applies to Barrett's Road along the sites boundary and does not apply to the area of proposed works subject to this application. The overlay therefore does not form part of this assessment.

Particular provisions

25. The following particular provisions are relevant to the proposal:
- Clause 53.19 – Non-Government Schools
 - Clause 13.02-1S – Bushfire Planning
 - Clause 53.18 – Stormwater Management in Urban Development
26. Clause 52.17 (Native Vegetation) does not form part of this application pursuant to the exemptions allowed under Clause 52.17-7 to remove planted vegetation.



Referrals

27. The application was referred to the following groups:

Provision/ Clause	Organisation	Response Received (date)
Section 52 – Notice	Frankston City Council	Referral issued on 4 October 2023. On 12 January 2023 Council provided their support of the proposal subject to recommended conditions.

Municipal Council comments

28. The Frankston City Council provided their support for the proposal on 12 January 2023 subject to conditions. The recommended permit conditions largely related to tree protection measures, providing a detailed landscape plan and drainage.
29. DTP considers the majority of the recommended conditions appropriate to place onto the permit, with the exception of amending the wording to reflect DTP templating. The drainage conditions are to be captured within the standard civil development condition of the permit or within the notes section.

Notice

30. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions:
- LDRZ
 - SLO1
 - DDO4
31. The applicant was directed to give notice by way of erecting a sign/s on the site and notice to adjoining owners and occupiers. Public advertising commenced on 9 November 2023 and concluded on 5 December 2023, with nil submissions received.



What are the key considerations?

Strategic Direction and Land Use

32. The Planning Policy Framework (PPF) encourages appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
33. The proposed development is considered to satisfactorily respond to these policies by providing low-scale development within the school with a high-quality and environmentally conscious design outcome. While policy consideration is given to education centres, they are different to dwellings in their purpose and function. The proposal however remains sympathetic to the Frankston neighbourhood character and integrates well within the surrounding environment.
34. The proposal incorporates the following environmentally sustainable design features in support of Clauses 15.01-2L-01, 15.01-2L-02 and 19.03-3S (refer also to submitted Sustainable Development Assessment):
 - Use of agroforestry timbers
 - Green roof for insulation and enhanced efficient thermal cooling and heating
 - Rooftop solar panels for reduced reliance on fossil fuels
 - Use of recycled brick
 - Use of double glazed windows for insulation and enhanced efficient thermal cooling and heating
 - Substantial planting of vegetation including new trees to be planted at north of development

Built Form

35. The zoning and overlay provisions have been considered in the application.
36. The purpose of the LDRZ has been considered and it is noted that education centres are different to dwellings in their purpose and function and can have different built form (including height, scale and mass) pursuant to Clause 19.02-2S.
37. The development is consistent with the purpose and decision guidelines of the DDO (Schedule 4 – Langwarrin Rural Residential Area) as follows:
 - The new development is significantly set back from all boundaries and does not change the frontage of the school, nor any boundaries abutting residential dwellings/properties.
 - The proposal retains large amounts of vegetation and proposes extensive planting of native vegetation to ensure the site retains its 'green' landscape and character.
 - The use of muted and earthy materials and colours, in addition to environmentally conscious design elements (listed above in section 34) ensures that the buildings complement the existing character and prevents the development from dominating the landscape.
 - The shared open courtyard and split of the development into three smaller forms further emphasise the focus on the surrounding environment by breaking the massing (figure 9).
 - The alfresco style approach to the built forms further emphasises the seamless integration with the surrounding vegetated character and landscape.

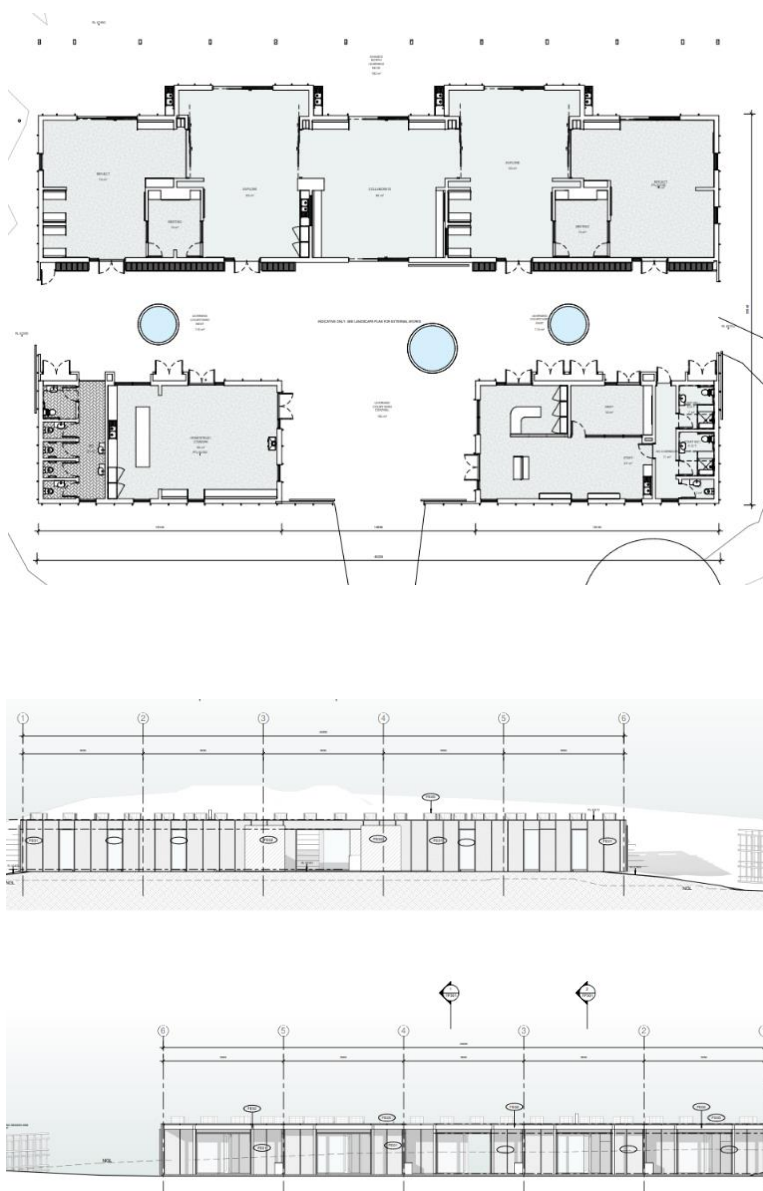


Figure 9. Ground Floor Plan (top)
Figure 10. North and south elevation (bottom)

Amenity

38. The proposal will not have an unreasonable amenity impact on the surrounding residential development as follows:
- The location of proposed works is setback approximately 91m from the north and approximately 174m to the west from the adjoining residential properties. The significant setbacks in addition to both established and new vegetation will sufficiently screen the development from view and reduce any acoustic effects.
 - The design, height, setback and appearance of the proposed buildings and works are positive. The design incorporates elements and materials that complement and enhance the positive aspects of the landscape.
 - The proposed landscaping is consistent with the existing landscaping onsite and will positively contribute towards the character of the area.
 - The proposal does not involve any increase in staff or student numbers on site and therefore does not trigger the requirements of providing additional car and bicycle parking. There is therefore no intensification in use that would impact surrounding development.

- A Waste Management Plan has been prepared which demonstrates that this development will not generate excessive waste and appropriate loading and refuse collection can occur on site (refer to submitted Waste Management Plan prepared by One Mile Grid and dated 8 September 2023).

Landscaping and Native Vegetation Removal

39. A planning permit is required to remove, destroy or lop native vegetation in accordance with Clause 42.03-1 (Significant Landscape Overlay) (any vegetation removal requires a planning permit unless stated within the exemption table under Clause 42.03-2).
40. The proposal seeks to remove 51 native trees that were planted by the School in 2013 and 2017 and retain eight (8) native trees. The proposal includes replacement planting to ensure that the new development contributes to the rural landscape and objectives of the SLO.
41. The application is supported by an Arboricultural Impact Assessment (AIA) prepared by Civica and dated 30 October 2023. The AIA identifies the planted trees as largely juvenile (82%) and of low retention value (Category C). Category C trees are *'of low quality with an estimated life expectancy of 5-15 years, or young trees that are easily replaceable, may have poor health and/or structure, are easily replaceable, or are of undesirable species and do not warrant design consideration'*. The trees are all self-sown endemic, juvenile species that are anticipated to be replaced with extensive native landscaping that continues to deliver the objectives of the SLO. It is also noted that the location of works is located deep within the school site and has negligible visible impacts from the streetscape.
42. The submitted landscape concept plan prepared by Sam Cox Landscape and dated 20 October 2023 shows an indicative layout of planting on the site and schedule of over 2000 native vegetative items to be introduced.
43. The proposed replacement planting to address the loss of vegetation having regard to the local and regional significance of the vegetation is reflected in the native planting schedule and remains sympathetic to the decision guidelines under the SLO. On balance, DTP considers the proposal to remove vegetation and reinstate it acceptable. A permit condition will require that any planted vegetation or replacement vegetation remain native and be maintained to the satisfaction of Frankston City Council.
44. Eight (8) trees have been identified to be retained, two (2) of which are determined as Category B (moderate retention) trees by the AIA. The remaining six (6) trees are Category C (low retention) trees, however, are largely setback from the proposed area of works. A permit condition will require that all eight (8) trees will have Tree Protection Zones (TPZ's) further detailed by the submitted AIA and identified within the architectural plans.
45. An amended landscape plan will be requested to refine the landscaping details consistent with any recommended plan changes and Tree Protection Zones (TPZ's).

Car Parking, Loading, Bicycle Storage and Other Services

46. The proposal does not seek to increase staff and student numbers. Car and bicycle parking therefore do not form part of this assessment.
47. Access arrangements are not anticipated to change as a result of the proposal.

Waste

48. The proposal does not seek to increase staff and student numbers. As such, there is no impact or intensification of traffic or waste. The applicant has submitted a waste management plan prepared by One Mile Grid and dated 8 September 2023 that details the current arrangements on site including types of waste, signage, noise control and scheduling.

Environmental

Environmentally Sustainable Design (ESD) and Water Sensitive Urban Design (WSUD)

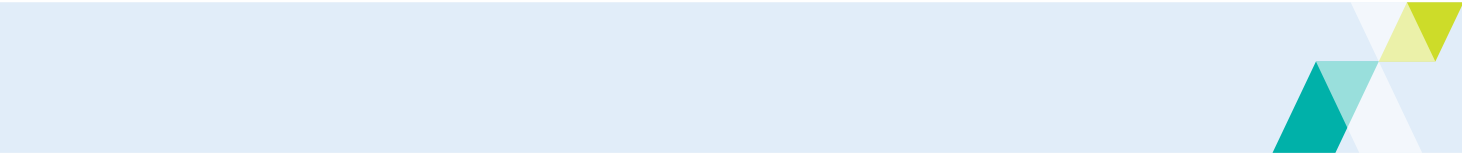
49. An ESD is not required to be submitted pursuant to Clause 15.01-2L-01 as the proposal is under 300sqm. However, the applicant has provided a STORM Report and BESS Report to support the application.
50. The proposal achieves a 62% BESS report score, remaining within the best practice guidelines and objectives.
51. The STORM Report generated on 20 September 2023 achieves a STORM rating of 164, remaining within the best practice guidelines and objectives.

Stormwater management

52. The application is supported by a STORM Report, Soil Assessment Report and Landscape Plan indicating stormwater mitigation measures.
53. Clause 53.18-5 and Clause 53.18-6 seeks to ensure that stormwater is appropriately managed and to mitigate the impacts of stormwater to the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.
54. The proposal's stormwater management system meets the best practice performance under the Urban Stormwater Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999) pursuant to Clause 53.18. The proposal meets the objectives of the Clause as follows:
 - The proposal maximises the retention and re-use of stormwater through the use of a water storage tank and sensitively designed landscaping.
 - A WMP has been prepared that will help avoid litter from entering into the drainage system.
 - The new landscaping proposed will help to cool the environment and reduce areas of embodied heat.
 - The proposal will not result in the production of disposal of chemical pollutants.
 - The building will be serviced by the existing drainage system installed at the site. This system will not be overburdened by the proposal given that stormwater will be captured and reused, and permeable surfaces will not be limited.
 - Works at the site will be managed during construction to prevent waste, chemicals and sediment from entering the drainage system.
 - Given the infill nature of the development and the established urban context of the site, it is not expected that erosion will result during construction.

Native Vegetation / Bushfire risk

55. No Bushfire Management Overlay (BMO) applies to the site, however pursuant to the Frankston Planning Scheme the Bushfire Protection Area (BPA) applicable to the site makes it subject to Section 192A of the Building Act 1993. The BPA designation triggers a bushfire construction requirement under the National Construction Code 2016 (National Construction Code). A minimum construction standard of Bushfire Attack Level (BAL) – 12.5 applies in all parts the BPA. The applicant has stated that they seek to build against BAL29 (A rating of 'high' within the construction standards applicable to bushfire-prone areas).
56. A Bushfire Management Plan has been prepared by Terralogic and dated 9 September 2023 pursuant to Clause 13.02-1S (Bushfire Planning). The report satisfactorily details risk assessment and recommended bushfire mitigation measures that should be endorsed and form part of the planning permit.
57. A condition will be placed onto the permit to reiterate that the development is subject to the above building standards.



Other Matters

Cultural Heritage

58. The site is subject to Aboriginal Cultural Heritage Sensitivity pursuant to the Aboriginal Heritage Act 2016. The applicant has stated that as the proposal is for a development associated with a purpose for which the land was being lawfully used prior to 28 May 2007 (the existing school), the activity does not require a Cultural Heritage Management Plan (CHMP).



Recommendation

59. **It is recommended that a Delegate of the Minister for Planning** issue Planning Permit No. PA2302502 to allow buildings and works for an existing education centre (secondary school), for the development of a Year 10 learning centre, and removal of native vegetation at 485 Golf Links Road, Langwarrin South subject to conditions.

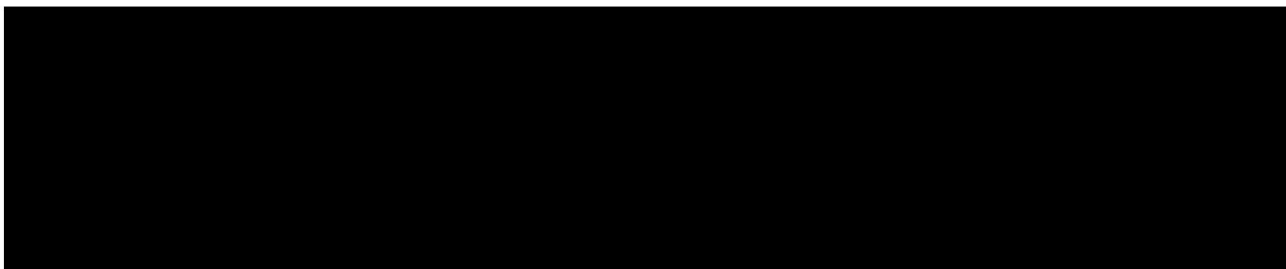
Conclusion

60. The proposal is generally consistent with the relevant planning policies of the Frankston Planning Scheme and will contribute to the provision of education facilities within the Langwarrin South area.
61. The environmentally sustainable design and low scale-built form compliments the surrounding landscape. Whilst trees will be removed to accommodate the proposed development, the existing trees are planted juvenile species of low retention value. The substantive landscaping proposed aids in both restoring and enhancing the sites biodiversity and ecological value within the SLO. The overall outcome is considered positive and should be endorsed.
62. The proposal is generally supported by the various formal and informal referral agencies.
63. It is recommended that the applicant be notified of the above in writing.

Prepared by:

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- ☒ **No Conflict**
- ☐ Conflict and have therefore undertaken the following actions:
- ☐ Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
 - ☐ Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
 - ☐ Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.



Reviewed / Approved by:

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