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Planning Report

**Cabin 4, Parcel B, White Horse Village,
Mount Buller**

Final Report

Prepared for Hannah Nguyen

20 April 2026

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- Victorian Government Department of Transport and Planning.

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Biosis staff involved in this project were:

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Biosis acknowledges the Aboriginal and Torres Strait Islander peoples as Traditional Custodians of the land on which we live and work.

We pay our respects to the Traditional Custodians and Elders past and present and honour their connection to Country and ongoing contribution to society.

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1 Introduction

1.1 Background

Biosis Pty Ltd (Biosis) has been engaged by Hannah Nguyen (the 'applicant') to prepare this report in support of a planning application to amend planning permit 201529926-16 (existing planning permit or planning permit) under Section 72 of the *Planning and Environment Act 1987* (PE Act).

Planning permit 201529926-16 relates to a larger tract of land referred to as 'White Horse Village' comprising Crown Allotment 2017 and Crown Allotment 2031 (Parcel D), Crown Allotment 2032 (Parcel B), Part of Crown Allotment 2033 (Parcel A) (White Horse Village) and Crown Allotments 2034 and 2035 (leased) and Crown Allotments 2020 and 2036 (unleased) White Horse Road, Mt Buller (White Horse Village or permit land).

This application is made in relation to a part of the permit land, being the sub-lease area of Cabin 4 within Parcel B of White Horse Village (the 'site'). See Figure 1.

This Section 72 amendment application seeks to amend the endorsed architectural plans under Planning Permit 201529926-16 to update the floor layout and terrace design of the existing cabin (the 'proposal'). The cabin has already been constructed in accordance with the current endorsed plans, and this application relates solely to renovations to the built form. No changes are proposed to the planning permit preamble or conditions.

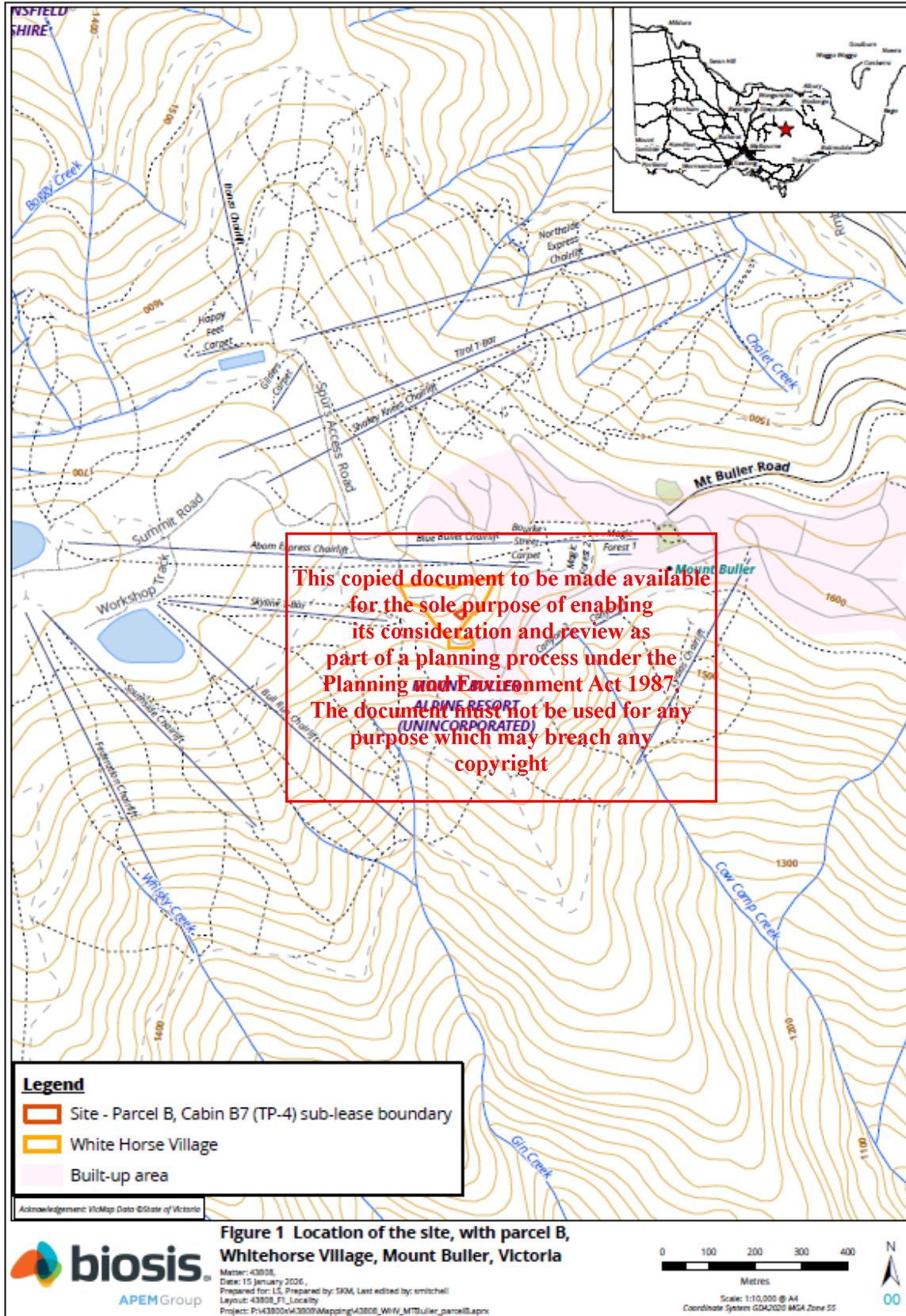
This report has been prepared to address the relevant policies and statutory requirements of the Alpine Resorts Planning Scheme (Planning Scheme).

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Figure 1: Location of the site



1.2 Planning permit history

Planning permit 201529926 was granted to Grollo Group (permit holder) in 2016 for six chalets, a hotel and new vehicle access connecting to Standard Lane, works to Standard Land, the removal of vegetation and reduction in the car parking requirements.

Since its approval, Planning permit 201529926 has been amended on 16 November 2018 (Permit no. 201529926-1), 29 October 2020, (Permit no. 201529926-2), 30 April 2021 (Permit no. 201529926-3), 14 September 2021 (Permit no. 201529926-4), 10 February 2022 (201529926-5), 9 September 2022 (201529926-6) and 21 November 2023 (201529926-7), 24 November 2023 (201529926-8), 9 May 2024 (201529926-9), 2 July 2024 (201529926-10), 30 July 2024 (201529926-11), 19 August 2024 (201529926-12), 19 September 2024 (201529926-13), 23 December 2024 (201529926-14), 7 February 2025 (201529926-15) and 24 October 2025 (201529926-16) (the existing permit).

1.3 Planning controls

The site is subject to the Comprehensive Development Zone schedule 1 (CDZ1) (Figure 2), Design and Development Overlay Schedule 1 (DDO1-A1) (Figure 3), Erosion Management Overlay Schedule 1 (EMO1) (Figure 4) and Bushfire Management Overlay Schedule 1 (BMO1) (Figure 5).

The site is not affected by the Environmental Significance Overlay schedule 1 (ESO1), (Figure 6), however it is within close proximity to land affected by this overlay, as shown in Figure 6. Notwithstanding, the proposal does not seek additional impacts to any vegetation, including native vegetation, as to what is currently endorsed under the planning permit 201529926-16. No works are proposed outside of the site or Parcel B and will remain within the original development footprint of White Horse Village. ESO1 is not discussed further in this report hereinafter as it is not considered to be relevant to the proposal and application.

1.4 Planning scheme requirements

A planning permit is required for the proposal pursuant to the following provisions of the Planning Scheme:

- Clause 37.02-2 - Comprehensive Development Zone Schedule 1 (CDZ1) to construct a building or construct or carry out works.
- Clause 43.02-2 - Design and Development Overlay Schedule 1 (DDO1-A1) to construct a building or construct or carry out works.
- Clause 44.01-2 - Erosion Management Overlay Schedule 1 (EMO1) to construct a building or construct or carry out works.
- Clause 44.06 - Bushfire Management Overlay Schedule 1 (BMO1) to construct a building or construct or carry out works associated with Accommodation.

A detailed assessment of the proposal against the requirements of the Planning Scheme is provided in sections 5 and 6 of this report.

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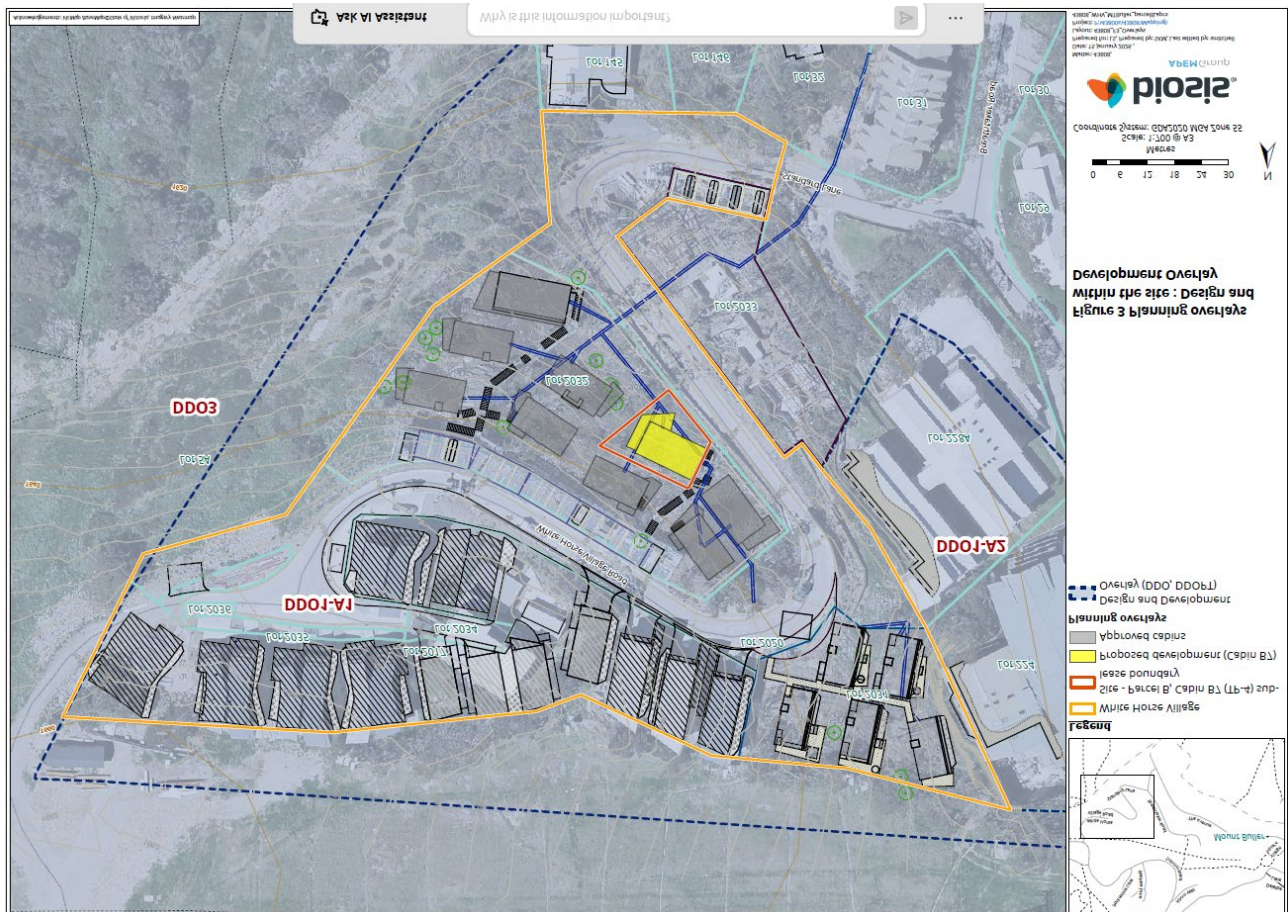
Figure 2: Zones



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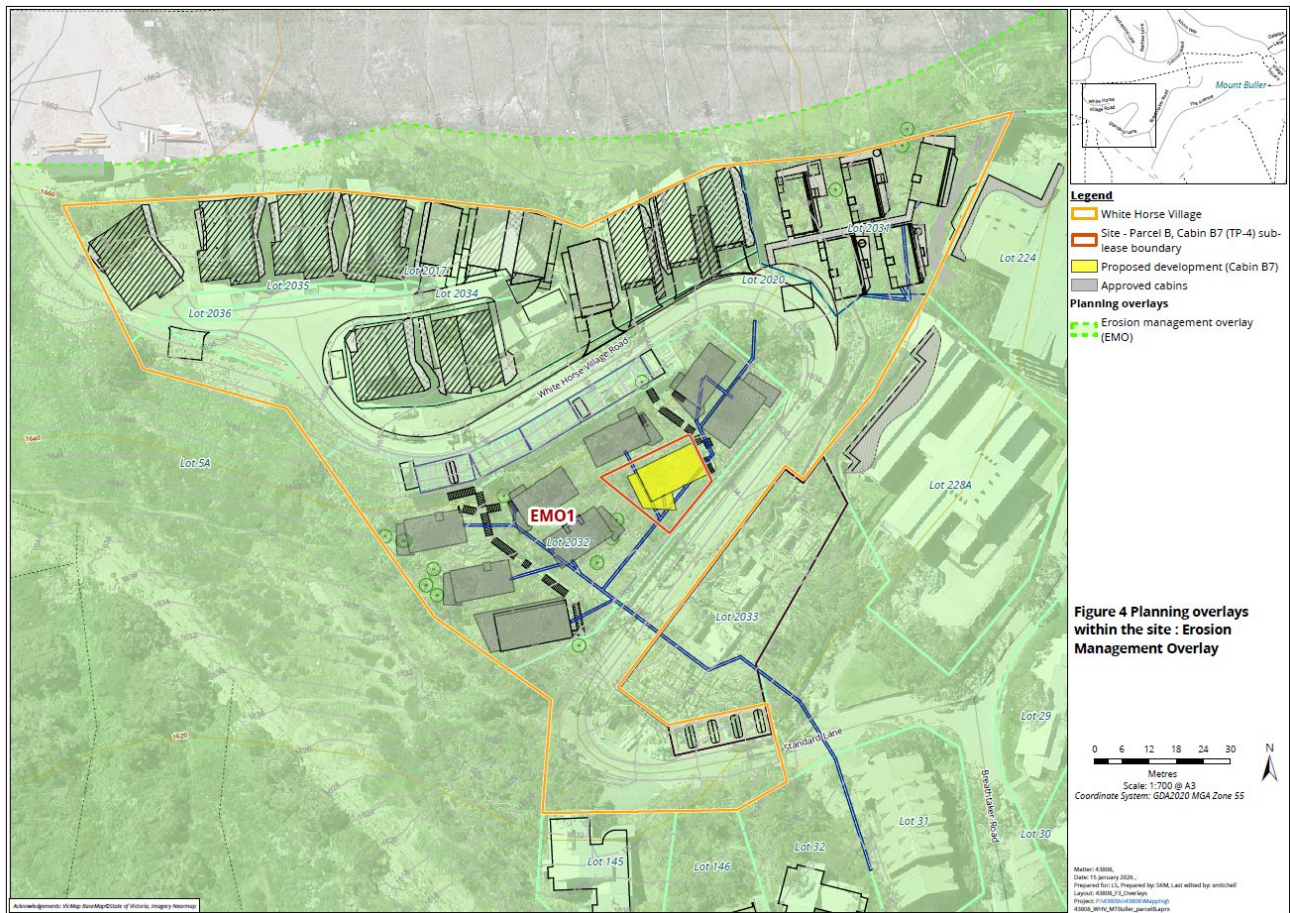
Figure 3: Design and Development Overlay schedule 1



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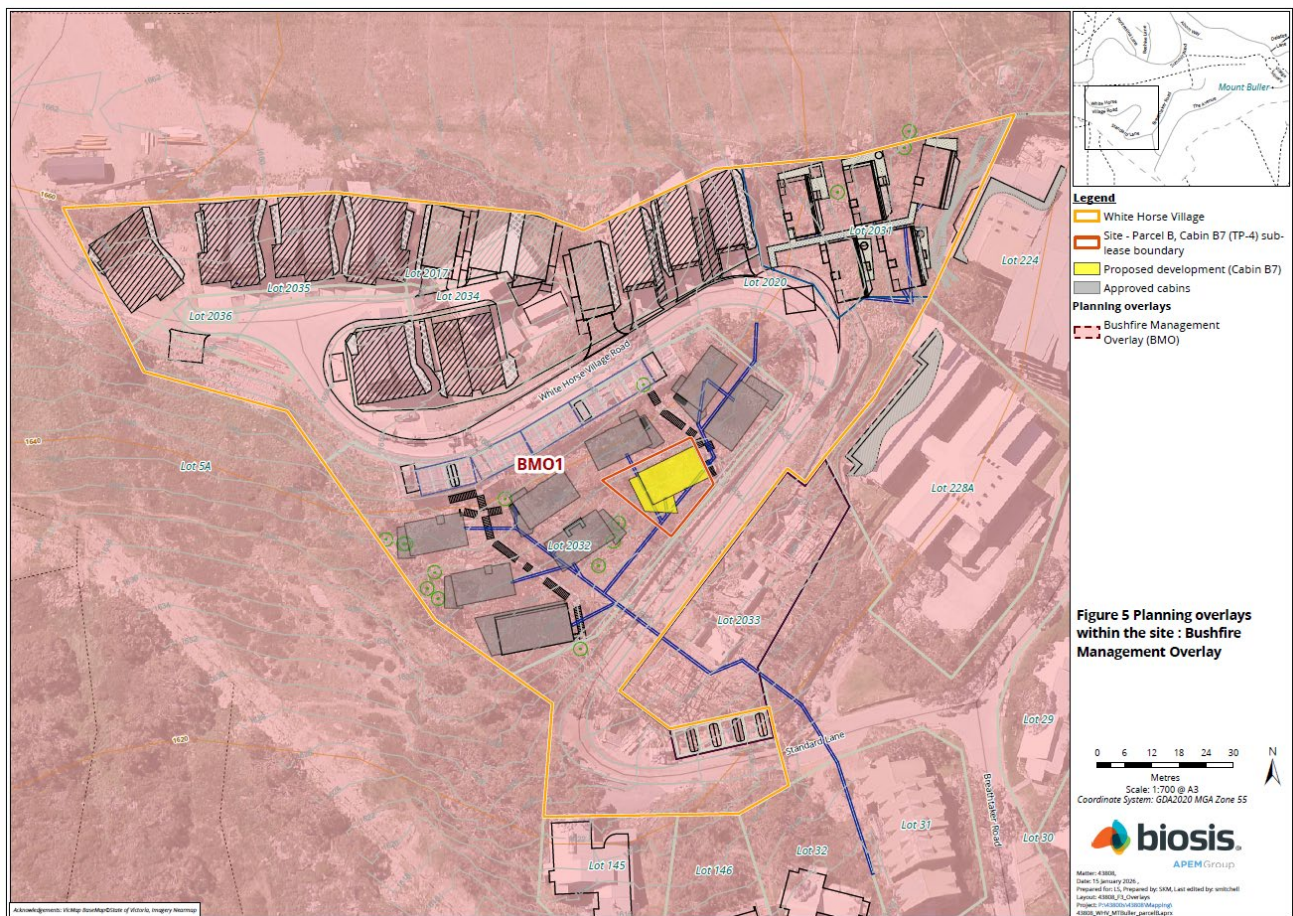
Figure 4: Erosion and Management Overlay schedule 1



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Figure 5: Bushfire Management Overlay schedule 1



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Summary of supporting documentation

Table 1 below provides a summary of documents accompanying this planning report in response to the application requirements relevant to the proposal.

Table 1 Summary of supporting documentation

Item/information requirement	Description	Attachment
Notification to the landowner	Copy of notification to the landowner pursuant to Section 48 of the <i>Planning and Environment Act 1987</i> .	Attachment 1
Copy of land titles	Copy of the Crown allotment plan.	Attachment 2
Architectural drawing package	Refer to site plans, floor, roof and elevation plans prepared by Interlandi Mantesso Architects.	Attachment 3
Endorsed Site Environmental Management Plan (SEMP)	Required pursuant to the CDZ1. Refer to the endorsed Site Environmental Management Plan, prepared by Biosis Pty Ltd, dated 21 December 2020.	Attachment 4
Geotechnical advice	Geotechnical advice from D.M. Lawrance Soil Testing Pty Ltd	Attachment 5
Endorsed Bushfire Management Plan (Parcel B and D)	Refer to the endorsed Bushfire Management Plan prepared by Biosis September 2024.	Attachment 6

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Notice and referral requirements

Clause 66 of the Planning Scheme specifies the notice and referral requirements under the PE Act.

An application must be referred under Section 55 of the PE Act to the person or body specified as the referral authority in Clause 66.03, unless a schedule to this overlay specifies otherwise.

This application would be referred to the following agencies:

- Country Fire Authority (CFA) (Recommending referral authority) pursuant to Clause 66.03 of the Planning Scheme.
- Mt Stirling and Mt Buller Resort Management Board (now referred to as Alpine Resorts Victoria (ARV)) (Determining referral authority) (Clause 7.0 of Schedule 1 to CDZ (37.02) Alpine Village).

This application is exempt from notice requirements pursuant to:

- Clause 4.2 of Schedule 1 to CDZ, an application is exempt from the notice requirements and review rights if the development is consistent with the CDZ1.
- Clause 6.0 of the Schedule 1 to EMO, the planning permit application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the PE Act.
- Clause 44.06-7 to BMO, an application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act, unless a schedule to this overlay specifies otherwise.

2 Site context

2.1 Location

The site is located within Crown Allotment 2032 (Parcel B) of White Horse Village in Mt Buller Alpine Resort.

Whilst the permit applies to all of White Horse Village, this amendment application is related to land within the sub-lease boundary of Cabin 4 ('the site') (see Figure 1).

As illustrated in the aerial image in Figure 7, the site is positioned in the southeastern section of White Horse Village and is surrounded by several adjoining sub-lease boundaries. Cabin 3 is located immediately to the north of the site, Cabin 2 to the east, and Cabin 6 to the west. To the east, the site also interfaces with a shared pedestrian pathway, while road infrastructure is situated immediately to the south. The subject site is therefore located within an established cluster of existing cabins

Figure 7: Ariel image of site



Source 1: Aerial imagery of the subject site sourced from VicPlan (Victorian Government, Department of Transport and Planning), accessed on 1/4/2026. Used for planning and assessment purposes.

2.2 Existing conditions

The site is situated within the built environment of Mt Buller Alpine Resort, surrounded by the natural setting of the alpine environment and areas cleared of vegetation for development or recreational uses such as ski run areas or walking trails.

The site contains an existing cabin that has already been constructed in accordance with the permit and previously endorsed plans. (i.e. vegetation removal and rehabilitation of adjacent land).

The site is at an elevation of approximately 1,600 metres and consists of a natural slope which rises to the northwest. The site is accessible via the existing Mt Buller Alpine Village Road network and White Horse Village Road.

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2.3 Land tenure

Land within Mt Buller Alpine Resort is identified as Crown land managed by Alpine Resorts Victoria (Mt Buller Mt Stirling) pursuant to *Alpine Resorts (Management) Act 1997*.

White Horse Village (including the site) is identified as Crown land operated by Grollo Group under lease arrangements with Alpine Resorts Victoria (ARV). This is apart from Parcel A (Crown Allotment 2033), which is controlled by Stirling Vista Pty Ltd.

Grollo Group are the head-leasee and are responsible for construction and operational requirements across the White Horse Village generally. The site (land within sub-lease boundary associated with Cabin 4) is sub-leased from the Grollo Group by the applicant.

2.4 Current land use

The site is currently used for Residential / Accommodation. Since the time of the original application, the whole of White Horse Village has been under construction in accordance with the existing planning permit (i.e. vegetation removal, construction and works with Chalets, Cabins and White Horse Road). Some sub-lease areas within White Horse Village are currently vacant however construction is expected to be completed in accordance with the existing permit.

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3 The proposal

This Section 72 amendment application seeks to amend the endorsed architectural plans under Planning Permit 201529926-15 to make changes to the floor layout associated with the site (the 'proposal'). No changes are proposed to the planning permit preamble or conditions.

The changes to the floor layout include:

- An additional new ground floor comprising of 64.2sqm.
- Increase in total floor area from 128.5sqm to 192.7sqm
- An additional 1 bedroom and 1 bathroom.
- Modifications to the entry landing and accessway.

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The proposal does not include native vegetation removal and remains in accordance with the existing permit.

3.1 Planning permit conditions

Review of the existing planning permit indicates that the conditions are not affected by the proposal.

No changes to the planning permit preamble or conditions are proposed as part of this application.

3.2 Proposed changes to the endorsed plans

Amended architectural plans have been prepared in support of the proposal (see Attachment 3).

The following documents enclosed within Attachment 3 are requested to be endorsed under the planning permit:

- Drawing Nos. TP 0.01.09 (Masterplan – Tenure), TP 0.02.09 (Masterplan – Parcel B), TP 0.03.09 (Staging Plan – Stage 0, 1A & 1B), TP 0.04.09 (Staging Plan – Stage B), TP 0.05.09 (Staging Plan – Stage D), TP1.00.04 (Parcel B – Site Plan), TP1.00.5 (Parcel B – Lower Ground Floor Plan), TP1.01.05 (Parcel B – Ground Floor Plan), TP1.02.05 (Parcel B – Roof Plan), and TP2.02 (Cabin Type A Variation 1 – Plans & Elevations).

The following plans that form part of the existing endorsed plans are requested to be superseded with the amended plans provided in Attachment 3:

- Drawing Nos. TP 0.01.07 Rev A (Masterplan – Tenure), TP 0.02.07 Rev A (Masterplan Parcel B), TP 0.03.07 Rev A (Staging Plan – Stage 0 1A+1B), TP 0.04.07 Rev A (Staging Plan – Stage B), TP 0.05.07 Rev A (Staging Plan – Stage D), TP1.00.01 Rev E (Parcel B Site Plan), TP1.00.2.01 Rev E (Parcel B – Lower Ground Floor Plan), TP1.01.02 Rev D (Parcel B – Ground Floor Plan), TP1.02.02.01 Rev D (Parcel B – Roof Plan), and TP2.02 (Cabin Type C3 Variation 1 – Plans & Elevations).

The following documents endorsed under the existing permit remain accurate for this proposal and do not require any amendments to be made as a result of the proposed changes:

- Staging Plan (Condition 6)
- Site Environmental Management Plan (SEMP) (Condition 16)

- Rehabilitation Plan (Condition 17)
- Road Management Plan and Design Construction Plans (Condition 22)
- Storm Water (Condition 23)
- Waste Management Plan (WMP) (Conditions 24 to 28)
- Detailed Flora and Fauna Assessment (FFA) (Condition 32)
- Bushfire Management Statement (BMS) (Conditions 48 to 50)

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4 Related assessment and approvals

4.1 *Flora and Fauna Guarantee Act 1988*

A protected flora permit was obtained by Grollo Group (head leasee and planning permit holder) in December 2020. No further approval under the *Flora and Fauna Guarantee Act 1989* (FFG Act) is required. The proposal does not include additional native vegetation removal and remains in accordance with the existing permit.

4.2 *Aboriginal Heritage Act 2006*

Section 52 of the *Aboriginal Heritage Act 2006* (AH Act) provides that a planning permit cannot be granted for a high impact activity within an area of cultural heritage sensitivity until a Cultural Heritage Management Plan (CHMP) has been approved under Part 4 of the AH Act for the proposal.

The proposal is defined as a high impact activity and the permit land (or Activity Area) is within an area of cultural heritage sensitivity and therefore a CHMP is required to be prepared.

Cultural Heritage Management Plan No. 13391, prepared by Biosis and approved 3 June 2015 (Biosis 2015), and Cultural Heritage Management Plan No. 15649, prepared by Biosis and approved 23 July 2018 (Biosis 2018), applies to White Horse Village.

The proposal is within the activity area and consistent with the activity description of CHMP No. 13391 and CHMP No. 15469. The proposal does not trigger the requirement for a new CHMP as it falls within the scope of the approved CHMPs.

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5 Alpine Resorts Planning Scheme

5.1 Alpine Resorts Planning Strategy

The following provisions under the Alpine Resorts Planning Strategy are relevant to this proposal:

- Clause 2.01 – Context
- Clause 2.02 – Vision
- Clause 2.03 – Strategic Directions
 - Clause 02.03-1 Settlement and housing
 - Clause 02.03-2 Environmental and landscape values
 - Clause 02.03-3 Environmental risks and amenity
 - Clause 02.03-4 Natural resource management
 - Clause 02.03-5 Built environment and heritage
 - Clause 02.03-6 Economic development
 - Clause 02.03-7 Transport
 - Clause 02.03-8 Infrastructure
- Clause 2.04 – Mt Buller Strategic Land Use Framework Plan – Village Precinct

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5.2 Planning Policy Framework

The following Planning Policy Framework (PPF) provisions are considered to be relevant to this proposal:

- Clause 11 Settlement
 - Clause 11.01-1L Mt Buller Village
- Clause 12 Environmental and Landscape Values
 - Clause 12.04 Alpine Areas
 - Clause 12-04-1S Sustainable development in alpine areas
 - Clause 12.05 Significant environments and landscapes
 - Clause 12.05-1S Environmentally sensitive areas
- Clause 13 Environmental Risks and Amenity
 - Clause 13.02 Bushfire
 - 13.02-1S Bushfire planning
 - Clause 13.04 Soil Degradation
 - Clause 13.04-2S Erosion and landslip
- Clause 15 Built Environment and Heritage

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- Clause 15.01-2L Building design in Mt Buller
- Clause 16 Housing
 - Clause 16.01-1S – Housing supply
- Clause 17 Economic Development
 - Clause 17.04 Tourism
 - Clause 17.04-1S Facilitating tourism

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5.3 Zoning control

5.3.1 Comprehensive Development Zone – Schedule 1 – Alpine Village

The site is located within the Comprehensive Development Zone schedule 1 (CDZ1) (Figure 2).

The purpose of the CDZ1 is:

- to encourage development and the year round use of land for a commercially orientated, alpine resort.
- to provide for residential development in a variety of forms in an alpine environment.
- to encourage development and the use of the land which is in accordance with sound environmental management and land capability, its consideration and review as part of a planning process under the Planning and Environment Act 1987.
- to provide for the integrated development of land in accordance with a comprehensive development plan incorporated in this scheme.

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Permit requirements

Pursuant to Clause 4 of CDZ1, a permit is required to construct a building or construct or carry out works for the proposal.

The use of land for 'Accommodation' is a Section 1 'permit not required' use.

Application requirements

Pursuant to Clause 4.3-3 of CDZ1, a Site Environmental Management Plan (SEMP) is required for all applications for buildings and works.

The proposal seeks to rely on the existing endorsed SEMF dated 21 December 2020. Review of the endorsed SEMF indicates that the proposal does not require the SEMF to be updated to accompany this S72 permit amendment application.

5.4 Overlay controls

The site is subject to the following relevant overlays under the Planning Scheme:

- Design and Development Overlay schedule 1 (DDO1-A1) (Figure 3)
- Erosion Management Overlay schedule 1 (EMO1) (Figure 4)
- Bushfire Management Overlay schedule (BMO1) (Figure 5)

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5.4.1 Clause 43.02 - Design and Development Overlay schedule 1 – A1 (DDO1-A1)

The objectives to be achieved under DDO1 are:

- To ensure that development within the Mt Buller Village creates and enhances the identifiable individual resort character.
- To ensure building design provides a visually attractive and functionally effective interface with the public domain, particularly within the Village Square and adjacent to the Bourke Street ski run.
- To ensure view corridors are protected between buildings and provide opportunities for view sharing.
- To provide safe pedestrian and skier access and linkages within the Village and to the ski fields.

Permit requirements

Pursuant to DDO1, a planning permit is required to construct a building or construct or carry out works. A response to the application requirements applicable under DDO1-A1 is provided below.

Application requirements

A response to the application requirements under DDO1-A1 is provided in Table 3.

5.4.2 Clause 44.01 - Erosion Management Overlay - Schedule 1

The objectives to be achieved under EMO1 are:

- to ensure that applications for development are supported by adequate investigation and documentation of geotechnical and related structural matters.
- to ensure that development is appropriate to be carried out either conditionally or unconditionally, having regard to the results of those geotechnical and related structural investigations.
- to ensure that development is only carried out if identified geotechnical and related structural engineering risks are effectively addressed.

Permit requirements

The EMO1 contains specific permit triggers for applications to construct a building or construct or carry out works.

Application requirements

Pursuant to Clause 4.0 of Schedule 1 to the Erosion Management Overlay (EMO1), an application to construct a building or to construct or carry out works must be accompanied by a Geotechnical Assessment and, where required, a Landslide Risk Assessment prepared in accordance with the Australian Geomechanics Society Practice Note Guidelines for Landslide Risk Management (AGS 2007).

The updated Geotechnical Assessment and Landslide Risk Assessment prepared by D M Lawrance Soil Testing Pty Ltd (Lawrance 2026) is applicable to the proposal and satisfies the application requirements of the Erosion Management Overlay. Accordingly, no further geotechnical assessment is required at this stage. This advice is provided in the D M Lawrance Soil Testing report dated 27 March 2026 and is included in Attachment 5 in support of the proposal.

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5.4.3 Clause 44.06 - Bushfire Management Overlay

The purpose of the Bushfire Management Overlay (BMO) is:

- to implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- to ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- to identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- to ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

The objectives to be achieved under BMO1 are:

- to require tailored bushfire protection measures unique to Victoria's alpine resorts.
- to acknowledge the bushfire protection measures and protection of human life being achieved through emergency management arrangements unique to Victoria's alpine resorts.

Permit requirements

Under the BMO, a planning permit is required to construct a building or construct or carry out works associated with Accommodation.

Application requirements

The endorsed Bushfire Management Plan (BMP) under Planning Permit No. 201529926-13 (Attachment 6) applies to the site and remains accurate for the proposal. The endorsed BMP is therefore not required to be updated as the proposal does not impact its recommendations. Cabin 4 will be constructed to a bushfire attack level of BAL-40.

5.5 Particular provisions

5.5.1 Clause 53.02 Bushfire Planning

Clause 53.02 applies to an application under Clause 44.06 - Bushfire Management Overlay, unless the application meets all of the requirements specified in a schedule to Clause 44.06. A response to the requirements under Clause 53.02 is provided in Table 3 in Section 6.

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6 Planning considerations

6.1 What are the key considerations of this amendment?

The key considerations when assessing the appropriateness of the proposal are:

- Is the proposal in alignment with the Alpine Resorts Strategic Plan 2022-2025 (Strategic Plan) and Planning Policy Framework of the Alpine Resorts Planning Scheme?
- Is the proposal consistent with the existing planning permit?
- How does the proposal respond to the preferred built form outcomes of the site and White Horse Village?
- Will the proposed works cause material detriment to any person in accordance with section 52(1)(d) of the PE Act?

The following section addresses the considerations listed above.

6.2 Strategic Justification

The Alpine Resorts Strategic Plan 2022-2025 (Strategic Plan) applies to the proposal as it is referenced in the Planning Scheme.

The Strategic Plan recognises the important contribution the Mount Buller Alpine Resort makes within the alpine industry. The Strategic Plan refers to the Mount Buller Master Plan which sets out a comprehensive range of initiatives to position Mount Buller for future growth, based primarily around broadening the range of visitor experiences and value, with only a small increase in visitor beds.

This proposal is consistent with the strategic objectives for the Mount Buller Alpine Resort as it will contribute to a diverse range of accommodation supply at Mt Buller.

6.3 Alignment with the planning policy framework

The Planning Scheme sets out the objectives, policies and provisions relating to the use, development and protection of land within the Alpine Resort. Table 2 below provides an assessment of the proposal against the relevant requirements of the planning policies objectives in the Planning Scheme.

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Table 2 Assessment of the proposal against the state and local planning policies objectives

Policy	Assessment response
Alpine Resorts Planning Strategy	
• Clause 2.03 – Strategic Directions – Clause 02.03-1 Settlement and housing – Clause 02.03-2 Environmental and landscape values – Clause 02.03-3 Environmental risks and amenity – Clause 02.03-4 Natural resource management – Clause 02.03-5 Built environment and heritage – Clause 02.03-6 Economic development – Clause 02.03-7 Transport – Clause 02.03-8 Infrastructure	• The proposal is consistent with the current use of the site and is appropriately located within the established footprint of the White Horse Village development. The proposal integrates with the surrounding built form seamlessly and is sited to minimise adverse effects to adjoining neighbours. The additional new ground floor has been sited to respond to nearby development and natural topography and does not interrupt views from surrounding residences. • The proposal does not make any change to the mitigation measures required to be implemented during the construction and operation phases to White Horse Village under the existing permit. Additionally, the proposal has been designed so that it is consistent with the built form objectives for this part of the Mount Buller Alpine Resort.
• Clause 2.04 – Mt Buller Strategic Land Use Framework Plan – Village Precinct	• The site is identified within Comprehensive Development Plan 2 (CDP2) area for 'Mixed commercial / retail / accommodation' uses in the strategic land use framework plan at Clause 2.04 of the Planning Scheme. The proposal is consistent with the strategic land use plan by utilising built environments to deliver a sensitive response to the bulk of development within White Horse Village.
Planning Policy Framework	
• Clause 11 Settlement – Clause 11.01 Victoria ○ Clause 11.01-1L Mt Buller Village	• The proposal has been sited to consolidate development within White Horse Village and offer improved functionality of the proposed cabin. • The proposal maintains the established alpine character of Mt Buller Village while improving functionality through the introduction of a lower ground level within the existing footprint. This additional level is embedded into the natural slope rather than extending vertically above the current ground floor, ensuring the building remains low-profile and integrated with the terrain. Importantly, the proposal does not increase rooflines within identified view corridors. By locating the additional mass below existing ground level, the apparent height and skyline profile are preserved from key public vantage points. The lower ground floor is concealed within the slope, maintaining the stepped arrangement of cabins and minimising perceived bulk. Rooflines and angular forms remain unchanged, safeguarding the alpine character and avoiding significant obstruction of view corridors.
• Clause 12 Environmental and Landscape Values – Clause 12.04 Alpine Areas ○ Clause 12-04-1S Sustainable development in alpine areas	• The proposal does not detract or cause detrimental impact to the natural qualities of the wider significant landscape of Mt Buller. • The proposal supports sustainable development in alpine areas by retaining the existing building footprint and

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	minimising additional land disturbance. The introduction of a lower ground level improves thermal efficiency and weather protection, reducing energy demand in harsh alpine conditions.
• Clause 13 Environmental Risks and Amenity – Clause 13.02 Bushfire ○ Clause 13.02-1S Bushfire planning – Clause 13.04 Soil Degradation ○ Clause 13.04-2L Erosion and landslip in alpine resorts	• To be consistent with bushfire planning policy, the proposal seeks to implement the construction standards and defensible space management requirements of the existing endorsed Bushfire Management Plan (Attachment 6). • The proposal will implement the recommendations of the updated Geotechnical Assessment and Landslide Risk Assessment prepared by D M Lawrance Soil Testing Pty Ltd (Lawrance 2026). This assessment confirms that the site is suitable for the proposed works and that, with adherence to the recommended construction controls, the risk to property remains very low and there are no credible risks to life associated with the proposal. All geotechnical constraints outlined by Lawrance (2026) will be incorporated into the design and construction phases to ensure that potential impacts associated with erosion, soil disturbance and slope stability are effectively mitigated.
• Clause 15 Built Environment and Heritage – Clause 15.01 Built Environment ○ Clause 15.01-2L Building design in Mt Buller	• The proposed materials and scale of the proposal will not detract from the surrounding natural environment or existing built form of White Horse Village, or the broader Alpine Resort. The proposal is considered to deliver a sensitive response to the existing built form of the site and its neighbouring buildings. • While the introduction of a lower ground level does result in a modest increase in overall building mass, this change is not considered detrimental. The additional floor area is embedded within the natural slope and contained within the existing footprint, ensuring rooflines remain unchanged. Combined with consistent materials and a design that responds to site topography, the outcome remains visually sensitive and aligned with the alpine character of the village.
• Clause 16 Housing – Clause 16.01 Residential Development ○ Clause 16.01-1S – Housing supply	• The proposal is consistent with the relevant PPF objectives related to housing supply as it will respond to the changing needs of households thus strongly supporting the economic vitality of the area. • The proposal contributes to housing supply within Mt Buller Village by delivering an upgraded cabin that improves functionality and amenity without increasing the site's development footprint. The design supports the efficient use of existing land and infrastructure, ensuring continued provision of high-quality accommodation.
• Clause 17 Economic Development – Clause 17.04 Tourism ○ Clause 17.04-1S Facilitating tourism	• The proposal seeks to encourage and improve functional, well-designed and sited dwellings in proximity to tourism and recreational assets of Mt Buller.

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- The proposal supports tourism at Mt Buller by upgrading existing accommodation within White Horse Village, improving comfort and functionality for visitors.

6.4 Is the proposal consistent with the existing permit?

The proposal seeks to maintain and enhance the permitted uses and works in response to the changing accommodation needs of the applicant. As such, the proposed amendment is supported by the permitted use and is in accordance with the intent of White Horse Village as originally envisioned.

6.5 How does the proposal respond to the preferred built form outcomes of the site and White Horse Village?

The proposal has been designed to continue to deliver a sensitive response to preferred built form outcomes of the site and White Horse Village. Please refer to the figures below which show a 3D render of the proposed design.

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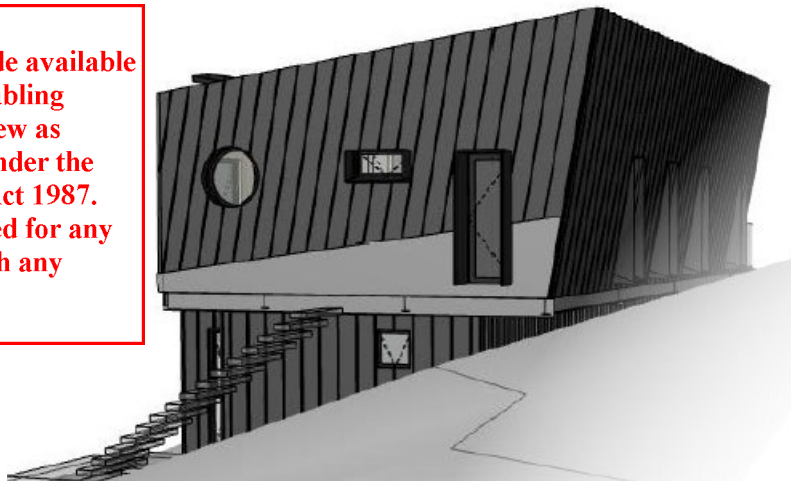


Figure 7 East Elevation

While the proposed design introduces refinements to the previous cabin layout and external articulation, it retains the core design intent and remains consistent with the objectives of DDO1 and the requirements under CDZ1. The proposal introduces a lower ground level within the existing footprint to enhance amenity and functionality, which aligns with the DDO1 objective of delivering a high-quality village image and visitor experience by ensuring development remains at an appropriate scale and density. While the amendment adds built form, this is justified through improved usability and internal layout efficiency, supporting the resort's aim to enhance amenity and visual appeal. The new level is embedded into the slope to remain visually recessive and integrated with the natural terrain, preserving the stepped cabin arrangement and reducing perceived bulk, in accordance with DDO1's emphasis on recognising landscape, environmental values, and topographical context. Rooflines, angular forms, and materials are consistent with surrounding alpine development, reinforcing the overlay's requirement for developments of permanence and high-level finish that complement village character. These elements collectively meet CDZ1's intent to encourage coordinated, character-appropriate development that integrates comfortably within the resort's built environment.

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The new design improves usability through the incorporation of a lower ground floor, which better integrates with the sloping terrain, contributing to improved thermal performance and weather protection. These changes support occupant comfort and resilience in alpine conditions while maintaining the architectural language of White Horse Village.

In terms of visual impact, the proposed amendment has been designed to minimise disruption to key view corridors while acknowledging the cabin's location within an established cluster of development. Although the additional level introduces some extra bulk, its integration into the slope ensures the building remains visually recessive. Views from the ski run to the west are partially filtered by existing cabins in the foreground, and while the site is visible from White Horse Village Road to the south, the use of consistent materials and finishes helps the structure blend with the surrounding built form. Existing vegetation screening to the east and surrounding cabins will also further soften views where possible. Overall, the change does not significantly interrupt public view corridors and maintains opportunities for visual cohesion within the precinct.

Overall, the design refinements represent a considered evolution of the original concept, delivering improved amenity and environmental performance while remaining aligned with planning objectives and the established character of the precinct.

Table 3 below provides a detailed response to the development requirements that should be met under DDO1-A1 and the materials and finishes that should be used for new development under DDO1.

Table 3 Response to requirements of Clause 43.02 – Design and Development Overlay schedule 1-A1

Requirements	Response
Building and Works (DDO1-A1) - Development should not cast a shadowing over the Village Square, Athletes Walk, Summit Road, or Bourke Street ski run for more than two hours in the period 10.00am to 3.00pm on 22 June. - In residential areas of the Village, development should be constructed so that it is generally level with, or below, the top of the existing tree canopy. - Development should avoid and minimise removal of vegetation. - Vegetation should not be removed to provide for view corridors from any development. - Development should not be visually intrusive above the tree canopy or on the skyline when viewed from within the Village and adjoining ski fields. - Vehicle and pedestrian access points should be combined where possible to minimise vegetation removal and visual impact on the street frontage.	The proposed changes do not increase the building's height beyond the approved envelope in a way that would cast additional shadow over the Village Square, Athletes Walk, Summit Road, or Bourke Street ski run during the critical period on 22 June. - The cabin will remain generally level with or below the existing tree canopy, ensuring the development does not dominate the alpine landscape. - No additional vegetation removal is proposed as the proposed lower ground level is contained within the existing footprint Cabin 4. - The proposal has been designed to ensure the development is not visually intrusive above the tree canopy or on the skyline when viewed from within the Village or adjoining ski fields. While the introduction of a lower ground floor increases the overall building mass, the endorsed height of Cabin 4 remains unchanged, and the additional level is embedded into the slope to avoid projecting above the existing roofline. - The proposed vehicle and pedestrian access points already approved under the existing permit is not detrimentally impacted upon.
Maximum Height (DDO1-A1) The maximum height of any part of a building is 3 storeys or 11 metres above natural ground level, whichever is the lesser height. A permit may be granted to increase the height of any roof structure	The proposed amendment introduces a lower ground level but does not exceed the maximum height requirement of three storeys or 11 metres above natural ground level. The overall building height, including the additional level, remains within the prescribed limit.

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or chimney by 1.5 metres provided no more than 20% of the roof area exceeds 11 metres in height.	Accordingly, the proposal complies with the applicable height controls.
Minimum Setbacks (DDO1-A1) - A building must be setback: 6 metres from the closest kerbside or constructed edge of a road abutting the frontage of the site and 3 metres from the frontage boundary of the site 3 metres from any other site boundary - An average of 4 metres from any other building on the same site 6 metres from any building on an adjoining site - Where any part of an external wall measured above natural ground level exceeds 3.6 metres in height, the minimum prescribed distance of the wall from a boundary shall be increased in the proportion of 100mm for every 300mm or part thereof by which that height of that part of the wall exceeds 3.6 metres.	- The proposed design does not alter the established building footprint in a way that materially affects setbacks. While minor refinements have been made to accommodate the lower ground level, all changes remain within the existing footprint envelope, ensuring compliance with DDO1-A1 setback requirements and avoiding any adverse impact on spatial separation between cabins. As shown in attachment 3 (Parcel B – Site Plan) the proposed design results in a setback of 6m to the closest kerbside. All setbacks to other side boundaries exceeds 3m to the northwest and south and over 6m from all other buildings on adjoining sites. - Minor platform/landing adjustments around the entry on the new lower ground floor may account for the small increase in “external area,”. This however does not classify as a “building” and therefore does not encroach on the 3 m or 6 m setback requirements. - The proposed amendment introduces a lower ground level but does not alter the building’s position relative to site boundaries. While parts of the external wall exceed 3.6 metres in height due to the additional level, the increased setback required under DDO1-A1 is achieved because the cabin remains within the existing footprint and maintains more than the minimum proportional distance from all boundaries. Therefore, the proposal complies with the setback adjustment requirement for walls exceeding 3.6 metres in height. - No modifications are proposed to the designated snow dumping area. The development continues to align with the endorsed Snow Management Plan (SMP) under the existing planning permit.
Maximum Site Coverage (DDO1-A1) 60% of the total site area	The proposed amendment does not increase the building footprint beyond the existing approved envelope. As a result, the site coverage remains unchanged and well within the prescribed maximum of 60% of the total site area under DDO1-A1.
Materials and finishes (DDO1) - Wall materials - Corrugated iron, profiled metal, timber, natural stone (preferably weathered granite), plastered masonry. - Natural stone should be used in new buildings and major extensions that add more than 20 per cent to existing floor area. A minimum of 15 per cent of all external facades visible from the road, public pedestrian route or ski fields should be constructed of natural stone. - Roof material	- A proposed schedule of materials and finishes are included in the architectural drawings in Attachment 3 and are considered to comply with the requirements of DDO1 - The use of natural stone is not considered to be complimentary to the ‘elevated’ design of cabins throughout White Horse Village and the proposed material remains consistent with what has been previously approved. The materials selected have been adopted to maintain consistency with the existing architectural character and to align with the overall design intent, which prioritises lightweight construction, sustainability objectives, and visual cohesion with surrounding development. This will allow the proposal to

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– Profiled metal, corrugated iron (non-reflective and muted tones). • Colours – The use of colour in the form of paintwork should be minimised and used only as a feature or element of contrast. The use of natural alpine colour tones should be used in materials and finishes.	achieve a complementary aesthetic outcome while meeting durability and performance requirements. • The roof is finished in non-reflective profiled metal in muted tones, consistent with DDO1 requirements and the existing village character. • Colours: The colour scheme uses natural alpine tones with minimal painted surfaces, applying colour only as a subtle feature for contrast. This approach ensures the building blends with the surrounding landscape and avoids visual intrusion.
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6.6 How does the amendment respond to geotechnical investigations already undertaken for White Horse Village?

A site-specific Geotechnical Assessment and Landslide Risk Assessment has been prepared for the proposal by D M Lawrance Soil Testing Pty Ltd (Lawrance 2026) in accordance with the requirements of the Erosion Management Overlay Schedule 1 (EMO1). This assessment responds directly to the proposed amendments at Cabin 4 and incorporates updated site investigations undertaken within six months of the planning application.

Review of the updated geotechnical assessment confirms that the site conditions, soil profile, slope characteristics and underlying granodiorite bedrock remain consistent with the geotechnical conditions previously identified for White Horse Village (Phil Styles & Associates 2015, 2018a, 2018b, 2018c, 2020). The Lawrance (2026) assessment concludes that the proposed lower ground level and related building works can be safely accommodated on the site provided the recommended geotechnical constraints are implemented, including engineered footings founded on slightly weathered granodiorite, appropriate drainage control, and careful excavation practices beneath the existing structure.

The findings confirm that the risk to property remains “very low” and the risk to life is “tolerable” under the AGS 2007 risk framework when the recommended construction controls are implemented. The assessment therefore verifies that the proposed works will not increase geotechnical or landslide risk beyond levels already accepted under the existing permit.

Accordingly, the updated geotechnical assessment is applicable to the proposal and satisfies the application requirements of EMO1. No further geotechnical investigation is required at this stage.

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7 Conclusion

This proposal is consistent with the purpose of the relevant objectives of the Planning Scheme and satisfies all relevant requirements.

The proposed amendment is considered worthy of approval based on the following:

- The proposed amendment is not considered to result in any adverse effect upon the surrounding neighbours or the planned development of White Horse Village as it was originally envisioned.
- The proposed amendment is in accordance with the permitted uses and works allowed for under the existing permit.
- The proposed amendment provides a site responsive design in keeping with the existing approved development footprint. The proposed design takes into account the cultural heritage values, biodiversity values, bushfire risk, urban design considerations and geotechnical considerations already approved under the existing permit.
- The proposed amendment responds to the relevant planning policies and controls that apply to Parcel B. The proposed amendment strategically aligns with the design objectives for White Horse Village.
- The proposal is considered to be in accordance with Planning Policy Framework.

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