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# Heritage Impact Statement

Our Lady of Sion Convent  
York Street, Sale

Author Janice Yeung M.Arch M.UCH  
Claire Miller M.Arch Ph.D M.ICOMOS  
Trethowan Architecture  
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# 1 Introduction

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## 1.1 Background

This Heritage Impact Statement (HIS) has been commissioned by Y2 Architecture on behalf of the owner of the Our Lady of Sion Convent, 1/3-23 Codrington Street, Sale (the subject site), to accompany a planning application for works to convert the site to a new Catholic Primary School use. This report provides an assessment of the heritage impacts of proposed works, which include partial demolition, alterations, and additions. Site visits were conducted on 22 – 23 May, and 13 June 2023 to review the exterior and interior of the site, and the surrounding area. A desktop review of the site has been conducted through a point cloud survey (provided by the client) Google Maps and Nearmap.

This assessment is based on a review of relevant planning controls in the Wellington Planning Scheme and good heritage practice informed by the *Australia ICOMOS Burra Charter, 2013* (the Burra Charter).

Pre-application advice was provided by Council's Heritage Advisor via email on 15 June 2023, following an on-site meeting. Generally, the reactivation of the subject site is positive and links to its history as a Catholic school and religious institution.

Council's advice is summarised as follows:

- *The materiality including the warm colourway, and possibly the fine-grained nature, of the building's walls should be referenced in the cladding of the proposed additions.*
- *The minimum demolition should occur in relation to the first-floor extension (to the south side of the North Wing), creating legible openings in the brick walls where required for circulation, lowering a window to floor level where a narrow opening is required, and retaining in situ windows where possible.*
- *Similarly, on the north side of the South Wing, where the circulation tower is to be built, windows enclosed in the tower should remain visible on the exterior (and ideally the interior) for those not converted into doors.*
- *Balustrade for ramp to front (east) entrance should be as transparent as possible (acknowledging that a glass balustrade is not appropriate for school use). Similarly, the potential visual impact of a largely solid new balustrade on the north side of the buildings should be considered by the heritage architect.*
- *The retention of all original bluestone external steps and balustrades in situ is supported, even if (carefully) covered by new decking.*
- *The overall project should include repair and conservation works as specified by the heritage architect.*

The above advice has been taken into consideration, the proposed scheme revised and reflected in the application.

## 1.2 Reference Documents

Reference is made to documents, guidelines, policies of the Wellington Planning Scheme, and the following:

- *City of Sale Heritage Study, Volume 2: Inventory of Places*, prepared by Context Pty Ltd and the Centre for Gippsland Studies in March 1994
- *Sale's Heritage*, prepared by the City of Sale in 1994
- *Spaces of Dialogue: The Pedagogical Characteristics of the Schools of Our Lady of Sion*, written by Patricia Watson nds, 2015.
- *Our Lady of Sion Sisters in Gippsland: An Enduring Influence on Education in the Sale Diocese*, written by Trish Hindmarsh, 2016.



- Architectural drawing set prepared by Y2 Architecture in June 2023, revised in July 2023, as follows:

<b>Drawing No.</b>	<b>Drawing Name</b>
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**B0: Cover and Site Drawings**

TP01	Cover Sheet
TP02	Existing/Demo Site Plan
TP03	Proposed Site Plan
TP04 to 06	Site Plan – Part 1 to 3
TP07	Site Details
TP08	Site Details – Shade Structure

**Building A: Convent Refurbishment**

TP10 to 13	Existing/Demo Floor Plan – Ground to Roof
TP14 to 16	Existing/Demo Elevations – Sheet 1 to 3
TP17 to 19	Floor Plan – Ground to Second
TP20	Roof Plan
TP21 to 24	Elevations – Sheet 1 to 4
TP25	Sections

**Building B: New Learning Neighbourhood**

TP31 P2	Proposed Floor Plan
TP32 P2	Proposed Roof Plan
TP33 P2	Proposed Elevations

## 2 Site Details

### 2.1 Location

The subject site is located centrally within Sale, and is bound by Raglan Street to the north, York Street to the east, Raymond Street to the west, and Codrington Street to the south (Figure 1). The surrounding area is characterised as residential, with commercial premises concentrated on both sides of York Street.

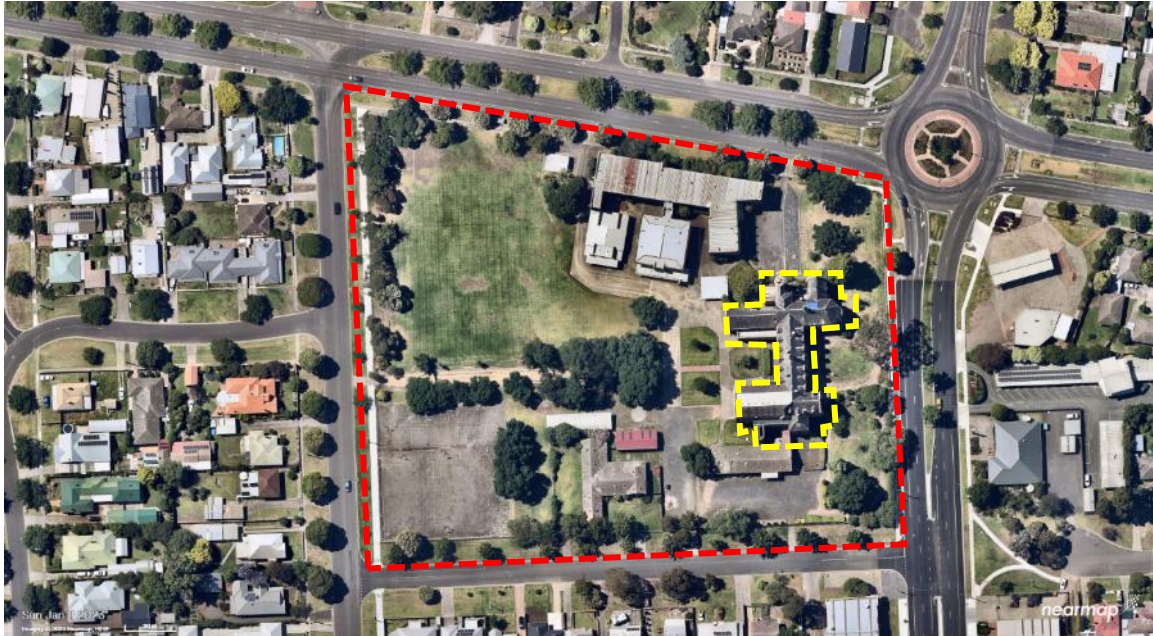


Figure 1: Aerial view of the subject site, indicated in red, within its immediate surroundings. The former Our Lady of Sion Convent building, indicated in yellow, lies within the eastern portion of the site. Source: Nearmap, 2023.

### 2.2 Description and Condition

The subject site, previously the Catholic College Sale, comprises a complex of buildings surrounded by trees, sheds, lawns, and hard landscaping such as car parking, sports courts, and paths. Generally, buildings occupy the eastern portion of the site; and the western portion comprises an oval and a car park. Trees surround the site boundary, and an avenue of trees extends from the west boundary to lawns in the centre of the site (Figure 2). A low brick and wrought metal fence, with central gate, runs along the east site boundary with short returns at the north and south (Figure 3).



Figure 2: East view of the avenue of trees. Note the west façade of the Convent building in the background. Source: Trethowan Architecture, 2023.



Figure 3: View of the east entrance gates and the Convent building in the background. Source: Trethowan Architecture, 2023.

## 2.2.1 Convent Building

Known as the Our Lady of Sion Convent building, a large, three-storey, red brick building with slate and metal sheet roofing is located centrally along the east site boundary (Figure 4). The steeply pitched roof contains chimneys, flèches/spirelets, and bell towers. The building generally has an H-shape plan, with a central wing (c.1893) that spans from north to south, a Chapel added to the north-east (1901) and projecting north (1953) and south (c.1938) wings (Figure 5). Circulation towers (c.1970s) project from the north and South Wings. Services such as metal work platforms, ramps, stairs, and air-conditioning units are installed throughout the façades.

The general condition of the building is fair but declining. The slate roof appears to be covered in biological growth, there is evidence of delamination, and some areas of missing slates notably at the north of the Chapel. On all façades, materials such as brick, freestone, bluestone, and timber are observed to have experienced cracking, chipping, biological growth, or salt erosion. Some areas appear to have been tuckpointed, however, their condition is declining.



Figure 4: View of the east (main) façade of the Our Lady of Sion Convent building from across York Street. Source: Trethowan Architecture, 2023.

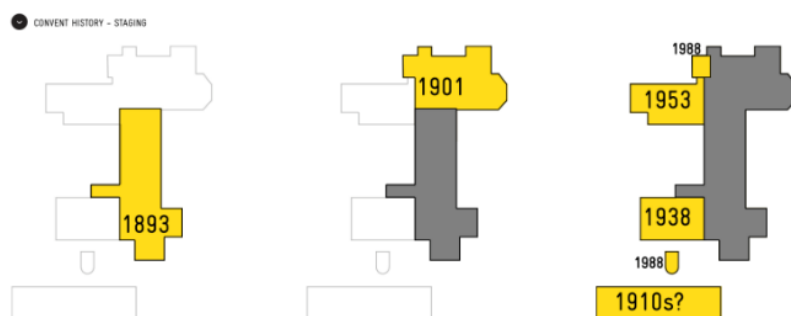


Figure 5: Diagram showing the stages of construction at the subject site. Source: Y2 Architecture, 2023.

### Original Building

The original 1893 portion of the Convent building is generally rectangular in shape, with smaller forms projecting in the east, west, and south. The roof is generally in gable form, clad in slate and features dormer windows on both east and west sides. The main entrance is located centrally on its east façade to York Street (Figure 6). Decorative elements, such as stringcourses, buttresses, and simple decorative stones to windows, can be found on all façades (Figure 7). Additional to these elements, the east (main) façade is more ornate with a main entrance that features diaper-pattern brickwork below the eaves, a freestone arch and a stone pediment above, decorative stones to the windows, and stained-glass fanlights.





Figure 6: View of the east façade of the original 1893 building. Note the decorative features, statue on the front lawn, and main entrance. Source: Trethowan Architecture, 2023.



Figure 7: View of the west façade of the original 1893 building. Note that it has been partially concealed by later extensions (indicated in red). Source: Trethowan Architecture, 2023.

### Chapel

The Chapel was constructed in 1901 (Figure 8). A section of its roof is damaged and is currently covered with a tarp. A polygonal, hip-roofed volume that contains the chapel is projected to the east, and a circular stair tower is to the north. A Sunroom (CO 301) abuts the east of the stair tower on the second level; this was previously an accessible flat roof which was later infilled (Figure 9).

### North Wing

The North Wing was constructed in 1953. It adopts a similar design to the original building. The two-storey, west-projecting 1953 portion is a gable-roofed structure, with a one-storey, flat-roofed volume abutting its south (Figure 10). A lift tower, built in c1970s, is located to its north.



Figure 8: View of the east façade of the 1901 North Wing chapel. Source: Trethowan Architecture, 2023.



Figure 9: View of the north façade of the Chapel stair tower and adjoining Sunroom to its east (indicated in red). Note the damaged roof, covered in blue tarp, in the far left. Source: Trethowan Architecture, 2023.



Figure 10: View of the 1953 portion of the North Wing from the west lawn. Note the flat-roofed structure with an accessible outdoor area abutting its south. Source: Trethowan Architecture, 2023.

### South Wing

The South Wing was constructed in 1938 and projects towards the west. It has a gable roof with a truncated, crenelated parapet and adopts a similar design language as the original building through red brick construction, rendered stringcourses and buttresses (Figure 11). Internally, the South Wing consists of large classrooms. An external two-storey fire-escape staircase in a rounded rectangular form was built in 1988 (Figure 12). It is connected to the south façade of the South Wing by a lightweight metal walkway.



Figure 11: View of the north and west façades of the South Wing. Source: Trethowan Architecture, 2023.



Figure 12: View of the south façade of the South Wing, connected to the external staircase by a work platform. Source: Trethowan Architecture, 2023.

## Internal Spaces

The building generally comprises of offices, classrooms, and associated services on the ground and first floors. The Chapel is triple height with associated prayer spaces at the north side (Figure 13). The second storey consists of small, east and west-facing dormitory rooms. Some original/early features and elements are still extant, such as ceiling mouldings and panelling, air vents, cornices, architraves, stairs, skirting boards, and floorboards. The ground floor level retains the highest amount of original and early decorative fabric (Figure 14). The first and second storeys are more simply detailed with evidence that some decorative elements have been removed (Figure 15 and Figure 16).



Figure 13: View of the chapel, part of the 1901 Chapel. Source: Trethowan Architecture, 2023.

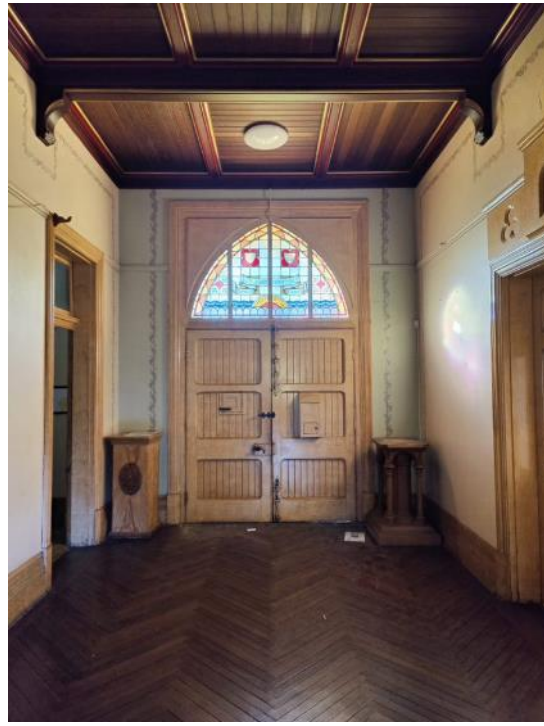


Figure 14: View of the main entrance foyer facing York Street. Source: Trethowan Architecture, 2023.



Figure 15: View of the Year 7 Martina room (CO 207) from the west. Source: Trethowan Architecture, 2023.



Figure 16: View of one of the dormitory rooms on the second level. Source: Trethowan Architecture, 2023.

## 2.2.2 Immediate Surroundings

Immediately in front of the Convent building's east (front) façade is a formal landscaped area with mature planting, a statue, grotto, and pathways. The vegetation appears to be in good condition but overgrown. The statue and some existing pathways appear to be intact but in declining condition due to the lack of maintenance. To the Convent building's west façade is a courtyard with a grass lawn (Figure 17). A hedge, small tree, flagpole and timber Crucifix are observed on the lawn.

To the north of the Convent building are a series of interconnected single and double-storey, red brick buildings designed in a modern style forming the Year 8 Buildings (Figure 18). There is an L-shaped building aligned along the north site boundary, adjoined by two square-shaped buildings to the south. A freestanding shelter structure is positioned in the open area between the south of the building and the North Wing of the Convent building.

To the south of the Convent building lies a single-storey, red brick building dating from c.1910s, which has been used for arts and music classes (Figure 19). The building has a tiled gable roof with chimneys, vents, and finials on both gable ends. The roof cantilevers out to the north and is supported by evenly spaced posts. The west end of the building appears to have a fair level of integrity with exposed brickwork and original/early door and window openings. However, its central and east portions have been extensively modified, where walls are rendered and painted in dark grey, openings altered, and modern entrance porch projecting towards the south (Figure 20). Internally, this building has been substantially altered with no evidence of original layout or fabric evident.

To the southwest of the Convent building is a single-storey, red brick building with a tiled gable roof. It consists of existing accommodation units (Figure 21). To its north are a single-storey shelter and shed. The structures are separated from the Convent building by gravel paving and a corrugated sheet metal fence.



Figure 17: View of the Convent building's west courtyard. A large timber cross is observed in the centre. Source: Trethowan Architecture, 2023.



Figure 18: View of the northeastern corner of the site. The modern Year 8 Building and freestanding shelter are in the left, and the Convent building in the right. Source: Trethowan Architecture, 2023.



Figure 19: View of the north façade of the c.1910 Building. This façade appears to be relatively intact. Source: Trethowan Architecture, 2023.



Figure 20: View of the west and south façades of the c.1910 Building. The central and east portions appear to have been extensively modified. The Convent building can be seen in the background. Source: Trethowan Architecture, 2023.



Figure 21: View of the accommodation units to the southwest of the Convent building. Source: Trethowan Architecture, 2023.

### 2.3 Historical Summary

The town of Sale was established in 1850. It developed rapidly in the following decades as a result of shipping trades and gold discoveries in the Gippsland mountains. At the time, commercial activity concentrated between Raymond, Foster, and York streets. The completion of the railway line between Melbourne and Sale in 1878 further consolidated its regional prominence.

In the 1880s, religious establishments in Sale flourished and the Catholic Diocese was founded in 1887. The new Bishop, Dr James Corbett, advocated education as the means of transmitting the faith and bringing civility to children; and decided to establish an all-girls school. A small group of nuns from the Sisters of Our Lady of Sion in France, led by Reverend Mother Raphaela, were invited to relocate to Sale to plan and staff the school. After much research, Mother Raphaela concluded that a new facility that housed the school and a home for the nuns, and later an orphanage, would be most suitable. Designed by renowned Melbourne architectural practice Reed Smart and Tappin and constructed by local builders Wynn and Bragg in the Victorian Gothic style, the red-brick building named Our Lady of Sion Convent was opened in 1893. It reflected Sale's importance as a regional centre, as students came from throughout Gippsland. The Convent operated for several decades until it was amalgamated with St Patrick's College, an all-boys school, to form the Sale Catholic College in 1977. Since 2021, the College relocated, and the subject site has been vacant.



Figure 22: Original drawing of the east (front) façade, dated 1892. Source: Bates Smart Archive, 68/13 Job #15, University of Melbourne Archive.



Figure 23: Illustration of the east (front) façade of the Convent building by architect Alfred Smart in 1892. Source: *Bates Smart, 150 Years of Australian Architecture*, p.93.

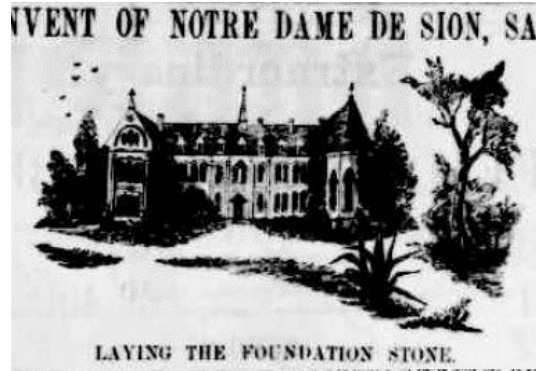


Figure 24: Illustration of the east (front) façade of the Convent building. Extracted from *Gippsland Times*, 7 December 1892, p.3. Source: Trove.



Figure 25: Photographs of the Chapel under construction, c1901. Source: Bates Smart Archive, 68/13 Job #15, University of Melbourne Archive.



Figure 26: View of an avenue of trees to the west of the Convent. Extracted from *Advocate*, 20 November 1924, p.35. Source: Trove.



Figure 27: View of the north and west façades of the Convent building. Note the absence of the north and South Wings, indicating the photo was taken prior to 1938. A section of wall appears to have been infilled. Source: State Library of Victoria.

## 3 Heritage Controls

### 3.1 Statutory Controls

#### 3.1.1 Victorian Heritage Register

The heritage place is not listed on the Victorian Heritage Register.

#### 3.1.2 Wellington Planning Scheme

Part of the subject site is located within Heritage Overlay *HO94: Our Lady of Sion Convent*, in the Wellington Planning Scheme (Figure 28). It is listed as *individually significant*. The Heritage Overlay (HO) extent covers the former convent building and forms a curtilage that covers part of some adjacent buildings and landscaped areas. This area is known as the heritage place.



Figure 28: Curtilage of HO94 (indicated in pink) within the subject site (indicated in blue). Note the Convent building's location (indicated in yellow) within the HO. Source: VicPlan, 2023.

The heritage place is subject to heritage-related clauses and policies of the Wellington Planning Scheme, as follows:

- 15.03-1S Heritage Conservation
- 43.01 Heritage Overlay

External paint controls and solar energy system controls apply to the heritage place as a result of Clause 43.01, Schedule to the Heritage Overlay. There are no other controls.

The HO listing includes an incorporated plan, *Individual Heritage Places (township areas) Permit Exemptions*. The document outlines a range of minor works for which no planning permit is required. Information relevant to the proposal is summarised below.

- Construction of an open-sided pergola or verandah with a finished floor level of no more than 800mm above natural ground level and a maximum building height no more than 3 metres above natural ground level. This does not apply if it would require the demolition of any part of a building identified as a significant feature.
- Construction of a deck with a finished floor level no more than 800mm above natural ground level. This does not apply if it would require the demolition of any part of a building identified as a significant feature.
- Construction of a front fence no more than 1.4 metres in height provided that this does not require the demolition of an existing front fence that contributes to the significance of the place.



## Statement of Significance

A Statement of Significance has been prepared for the heritage place in 2005. It is reproduced as follows:

*The Notre Dame de Sion College is a significant part of the heritage of Sale for reasons pertaining to its aesthetic, design and historical importance in the region.*

*As a landmark, the Sion Convent and chapel dominate the corner site which marks the traditional gateway into Sale from the north. The building's size and style are evocative of a past era and symbolise the importance of the Catholic Convent in the early development of Sale. (F.1, A.4)*

*The buildings have design importance as an outstanding example of a convent in Gippsland, exhibiting high architectural achievement. It is important as an example of the work of prominent Victorian architectural firm Reed, Smart and Tappin, and of local builders Wynn and Bragg. Comparable to Loreto Convent, Ballarat and Sisters of Mercy Convent, Fitzroy, it provides an outstanding example of Victorian Gothic convent design. (F.1, H.1)*

*The former convent and chapel have additional significance as evidence of the important role of the Sisters of Sion to the Catholic community, the largest serving of Catholic orders in Sale. (H.1, G.1)*

### 3.2 Non-Statutory Controls

The heritage place is listed in the database of the National Trust of Australia (Victoria) with *Property Number B3319: Our Lady of Sion Convent*. It has a local level significance and a Statement of Significance, as follows:

*Three-storey convent with adjoining chapel built 1892-1901 in brick with stone trim in Gothic detail with entrance porch, dormer windows in convent, stained glass in chapel, circular stair tower (possibly later truncated), several fleches; architects Reed, Smart and Tappin; 1938 and 1953 extensions excluded.*

Non-statutory heritage controls relate to property listings that have no formal or legal weight in the planning scheme. While having no legal recourse, such listings are customarily considered when making planning decisions and are representative of heritage values in the community.

### 3.3 Analysis of Significance

HO94's *individually significant* grading appropriately reflects the heritage values of the place. Overall, the place has maintained its historical use as a Catholic school campus. On the other hand, while the National Trust listing carries no legal weight, it sufficiently conveys the original/early sections of the Convent building as a place of local level architectural significance.

The east part of the place, in front of the main façade of the Convent building, contains the most significant formal landscaping with mature planting, statues, grotto, and pathways. To the west are lawns and an avenue of trees that extends all the way to the west site boundary. Although most parts of the avenue do not sit within the HO, it is known to be part of the former school's landscape as seen from a historic 1924 photo (Figure 26). It contributes to the understanding of the place as an educational facility and highlights the grandeur and formal symmetry of the Convent building's architecture. Comparatively, the landscaping to the north and south of the Convent building has no identified heritage significance and currently consists of some trees, small areas of lawn, and car parking. As such, the formal landscaping at the east, and the avenue of trees to the west, are considered to contribute to the significance of the place. Notwithstanding the HO boundary, the landscaping areas to the north and south contribute little to the identified significance of the place. Contrastingly, the landscape surrounding the Convent building is not addressed in the National Trust's Statement of Significance.

The Convent building is the central element of the HO, as suggested by its name *Our Lady of Sion Convent*. As described in the Statement of Significance, it is historically significant as a landmark that represents a gateway into Sale. Architecturally and aesthetically, it is an important example of



the work of prominent Victorian architectural practice, Reed, Smart and Tappin, and exhibits high architectural achievement as a Convent designed in the Victorian Gothic style. The place also symbolises the role of the Sisters of Sion in the Catholic community and represents the development of education in Sale. Although alterations and disrepair have been observed, the building maintains a fair level of integrity. Additionally, many interior spaces appear to be considerably intact with original/early features and elements still extant. Although there are no internal alteration controls, the heritage values of the place will benefit from internal conservation works, in addition to landscaping and external conservation works. Meanwhile, the National Trust listing only assesses the 1892 to 1901 built fabric to be of significance, excluding later additions from the Statement of Significance.

To the south of the Convent building, the 1910s red brick structure sits within the curtilage of the HO but is not identified in the Statements of Significance for HO94 or the National Trust listing. Although it retains a fair level of integrity to its roof, west portion and north elevation, the building is otherwise of low integrity and has generally undergone a considerable degree of alteration. Therefore, its contribution to the understanding of the heritage place's significance and values is minimal. It also visually obstructs parts of the Convent building from Codrington Street, and detracts from the appearance of the Convent as the primary element on the site. Similarly, the later added school buildings to the north and southwest of the Convent building, partially included in HO94, are not integral to its heritage significance. Similarly, these buildings have no identified significance per the National Trust listing.



## 4 Proposed Demolition Works

It is proposed to adaptively reuse the subject site to form the Sion Campus of the St Thomas Catholic Primary School, with separate areas for the Diocese of Sale Catholic Education Ltd (DOSCEL). The works include partial demolition, alterations, and additions to the wider site and the heritage place. Due to the amount of proposed works, this Section only discusses the proposed demolition works. Proposed new works are to be discussed in Section 5.

Overall, it is proposed to demolish all buildings, sheds, lawns, and sports courts in the subject site except the Convent building (Figure 29). Some trees are also proposed to be removed. The following sub-sections outline the proposed demolition works for the Convent building and its immediate surroundings within the HO.

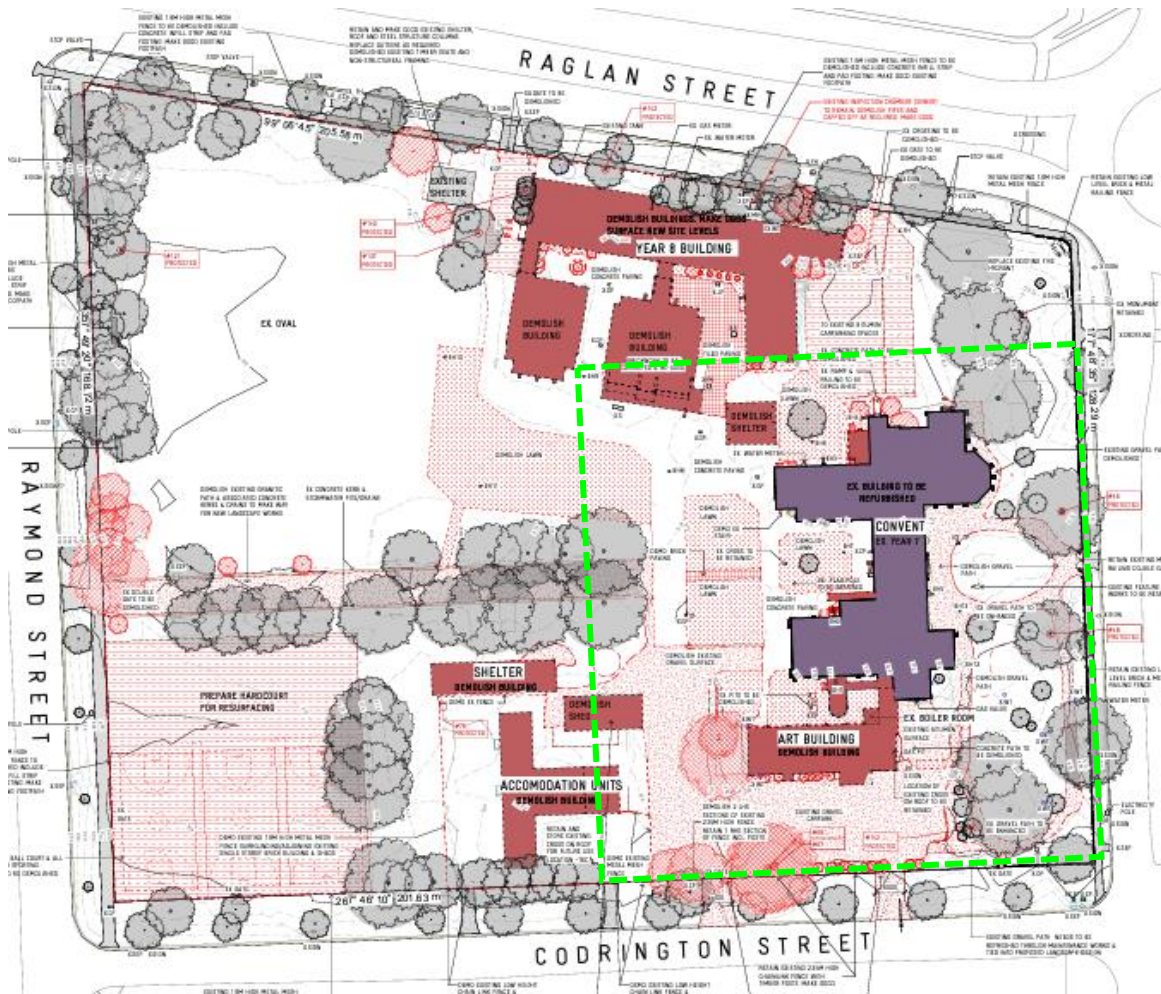


Figure 29: Extract of TP02 P2, proposed demolition plan, extent of demolition indicated in red. The HO curtilage is indicated in green, and the Convent building in purple. Source: Y2 Architecture, 2023.

### 4.1 Convent Building

#### 4.1.1 General

The entire existing slate roof cladding is to be removed and replaced. A section of flashings at the Chapel, a gutter, and downpipes at the North Wing, are also to be removed. All post-1970s additions are to be demolished, including the ground level external stairs and ramps, North Wing lift tower, and South Wing fire escape staircase and associated walkways.



#### 4.1.2 Original Building (c.1893)

At the east façade, the original main entrance double swing doors are to be removed to be later reinstated with new hinges. At the west façade, paint finish on the wall outside Toilet (CO110) is to be removed. A door and a section of wall on the first level outside the hallway adjacent to Conference room (CO 203) are to be demolished to enable a new opening to proposed addition in this area.

#### 4.1.3 Chapel

The Sunroom (CO 301) is to be demolished.

#### 4.1.4 North Wing

At the north façade, some windows and a section of wall on the ground level are to be removed (Figure 30).

At the south façade on ground level, a window and section of wall removed at WC CO 117G (Figure 31). On the first level, some areas of wall and existing openings are to be removed / altered to enable access to the new breakout space. The roof sheeting for the Outdoor Area (CO 211) is to be removed.



Figure 30: Extract of TP14 P2 E1, showing proposed demolition of windows and a section of wall at the North Wing's north façade (indicated in green). Source: Y2 Architecture, 2023.



Figure 31: Extract of TP16 P2 E8, showing the proposed demolition of the North Wing at the south façade. Source: Y2 Architecture, 2023.

#### 4.1.5 South Wing

At the north façade, a double swing door is to be removed on ground level, and the top section of a window is to be removed. Windows and sections of walls are to be demolished on first and second levels. At south façade, contemporary glazing and doors, and sections of walls that connect to the fire escape staircase and associated walkways are to be removed. In particular, a window on the first level of the north façade is to be removed and reused (Figure 32).

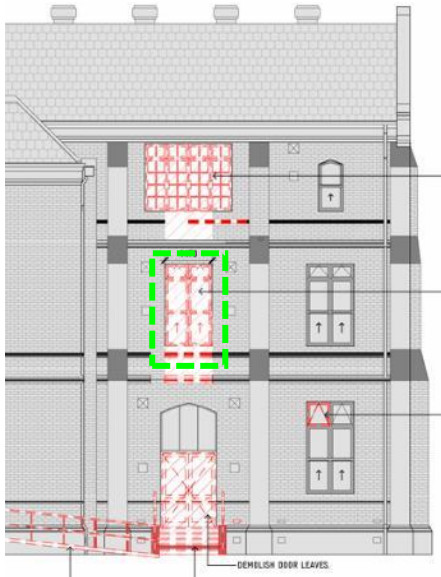


Figure 32: Extract of TP16 P2 E6, showing the extent of demolition of the South Wing at the north façade. A window on the first level is to be salvaged and reused (indicated in green). Source: Y2 Architecture, 2023.

#### 4.1.6 Internal Spaces

It is generally proposed to partially demolish some walls, door and window openings, partitions, stairs, fireplaces, bathroom and kitchen fixtures and fittings, and redundant services.

### 4.2 Immediate Surroundings

The Year 8 Buildings and shelter structure to the northwest of the Convent building, the c.1910s red brick building to the south, and brick buildings and shed structure in the southwest, are to be demolished. Lawns and paths, apart from the formal landscaping to the east and treed avenue at the west are to be removed. Some trees surrounding the Year 8 Building, to the north of the Convent, and to the south of the c.1910s red brick building are to be demolished, including two mature peppercorn trees along the south site boundary.



## 5 Proposed New Works

Following the proposed demolition works, new works seek to make alterations and additions to the wider site and the heritage place. The proposed new work has been informed by long-term master planning to future-proof the use of the site as a primary school. The proposal is constrained by the need to ensure future capacity for growth at the site, as well as specific compliance obligations related to school use. Alteration works are proposed to new sports courts, play areas, services and infrastructure, paths, and soft landscaping are to be constructed (Figure 33). Additional spaces are planned to accommodate two new buildings for future capacity.

The following sub-sections outline the proposed alteration and addition works for the Convent building and its immediate surroundings which lie within the curtilage of the HO. The overarching aim for the proposed works, from a heritage perspective, is to preserve and enhance the identified significance of the place.



Figure 33: Extract of TP03 P2, proposed site plan. The HO curtilage is indicated in green, the Convent building in purple, and new buildings/additions in yellow. Source: Y2 Architecture, 2023.

### 5.1 Convent Building

#### 5.1.1 Alterations

##### General

A new slate and sheet metal roof that matches the existing is to be installed. Particularly, Glendyne, a type of Canadian slate, is to replace existing Welsh slates due to the difficulties of sourcing new Welsh slates. The new slates closely resemble the original in colour and have matching geological properties. Furthermore, rainwater goods to the Chapel and North Wing are to be inspected and replaced as appropriate. If necessary, new rainwater goods, such as gutters, flashings, rainwater

head, and downpipes are painted to match existing. Where new doors and windows are to be introduced, they adopt a contemporary design and incorporate dark grey, aluminium powder coat frames.

### Original Building

At the east façade, new aluminium-framed, powder coated, glazed double swing doors are to be affixed to the original main entrance opening (Figure 34). The original doors will be retained, but not in use.

At the south façade on the ground level, an existing door in the Toilet (CO 110) is to be sealed shut. To its left, new black aluminium framed glazing and doors glazed door is to be installed to an existing opening (Figure 35). On the first level, two new white-coloured, aluminium-framed windows are to be installed. Beneath the windows, the existing cavity is to be infilled with brickwork recovered from demolished areas of the building. Where appropriate bricks are not available, like-for-like replacements are to be used. Rendered mouldings are also to be installed with composition and profile that matches existing. On second level, one new white-coloured, aluminium framed window is to be installed.



Figure 34: Extract of TP22 P2 1, showing the new double swing doors at the east façade of the original building. Source: Y2 Architecture, 2023.

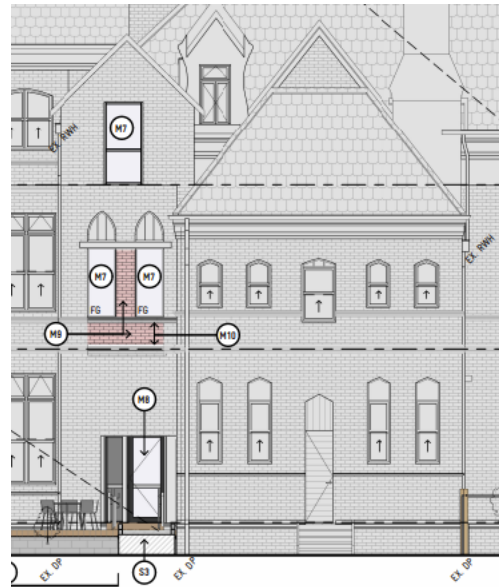


Figure 35: Extract of TP23 P2 1, showing the alterations to the original building's south façade. Source: Y2 Architecture, 2023.

### Chapel

At the south and west façades on the second level, the roof exposed by the demolition of the existing Sunroom (CO 301) is to be clad in sheet metal.

### North Wing

At the first level, a one-storey volume is to be built on top of the existing Outdoor area (CO 211), it will be a Breakout space for the adjacent classrooms. Externally, it has Colorbond 'Woodland Grey' profiled longline metal sheet cladding, burgundy glazing frames, and a sheet metal flat roof. From the south façade, the window openings are aligned with the existing windows on the ground level and are directed to provide views to the courtyard. Three evenly-spaced, circular skylights are located in the roof (Figure 36 and Figure 37). Internally, existing openings in the north wall are partially infilled to create arched doorways.

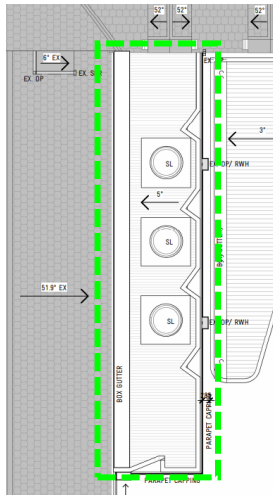


Figure 36: Extract of TP20 P2, showing the roof plan of the North Wing first level extension. Note that there are three circular skylights. Source: Y2 Architecture, 2023.

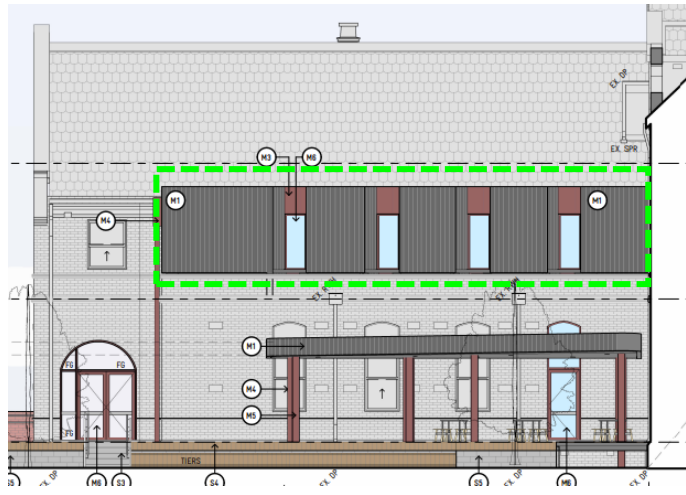


Figure 37: Extract of TP22 P2, showing the south façade of the North Wing first level extension. Source: Y2 Architecture, 2023.

### South Wing

At the south façade, altered windows and glazed doors associated with the external fire escape are to be modified (Figure 38). On the first level, an existing window is recovered from a demolished window from the north façade first level, as discussed in Section 4.1.5. A wall cavity is to be infilled with bricks recovered from demolition. Rendered moulding is also to be reinstated, with render composition and profile to match existing. On the second level, a new white aluminium framed window is to be installed. Similar to the first level, the wall cavity below is to be infilled with bricks recovered from demolition and rendered moulding reinstated.



Figure 38: Extract of TP23 P2 1, showing alterations to the windows and walls on the first and second levels. Source: Y2 Architecture, 2023.

### Internal Alterations

Internal changes are required to bring facilities and amenities up to contemporary requirements and compliance for use as a primary school. Generally, it is proposed to subdivide spaces and introduce new walls, doors, partitions, bathroom and kitchen fixtures and fittings, and joinery.



Internal spaces are to be divided into two parts, one as facilities for the school, and the other as the DOSCEL offices. School facilities, located on ground and first levels, generally include staff spaces, classrooms, breakout spaces, amenities such as bathrooms, storerooms, kitchens, and circulation. DOSCEL offices, apart from the existing Chapel, are mainly located on the second level, including workspaces, meeting spaces, and amenities such as bathrooms, storerooms, kitchens, and circulation. Internal upgrades such as fire sprinklers will be made to the building to ensure code compliance.

### 5.1.2 Additions

Generally, external additions are made to fences, exterior stairs and ramps, paths, paving, signage, and services. Generally, balustrades for ramps are proposed to be of perforated, powder coated burgundy flat metal plates.

#### Original Building

A new accessible ramp and stairs are proposed to connect the Convent's main entrance to the proposed new concrete path in the east landscaping area (Figure 39). Balustrades are to be of burgundy solid metal fins. The ramp and stairs both adjoin a new timber landing deck that connects to the main entrance.

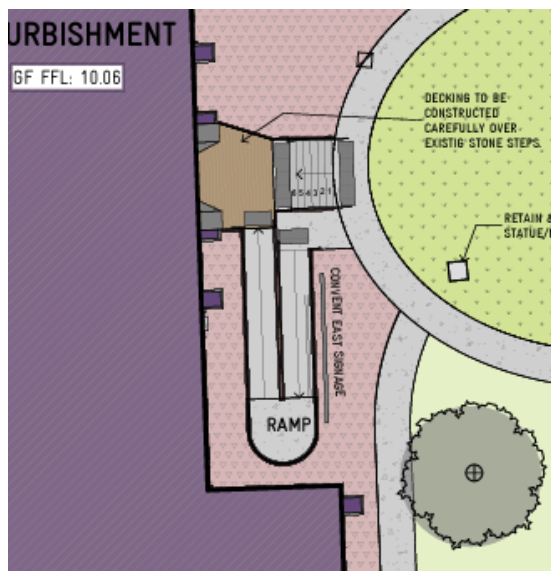


Figure 39: Extract of TP06 P2, showing the proposed plan of the new ramp, stair, and timber landing deck that connect to the Convent building's main entrance at the east façade. Source: Y2 Architecture, 2023.

#### North Wing

A new three-storey addition is to be constructed at the north façade, roughly at the same location as the 1970s lift tower (Figure 40). The addition provides separated circulation and access for the new school and DOSCEL, containing a lift, new stairs, an associated lift lobby and storage spaces, and an outdoor plant platform at the roof level. Externally, it is clad in Colorbond 'Woodland Grey' profiled longline metal sheeting and burgundy perforated metal screens. The metal screens conceal the roof-level plant platform. Large areas of glazing are located in the addition's north and west facades, with frames in matching burgundy colour. The new entry is via double swing doors on the north façade.

A new raised timber deck is proposed to wrap around the North Wing and courtyard (Figure 41). A porch that abuts the south façade ground floor is to be constructed on top of the deck. It has a thick-profiled, Colorbond 'Woodland Grey' profiled longline sheet metal roof and burgundy-coloured cylindrical columns (Figure 42). To the west of the porch, a new double swing door and glazed panels are to be installed to a new arched opening.



Figure 40: Render view of the North Wing addition from the northwest. Note that the colour of the 'Woodland Grey' cladding closely resembles that of the slate roof, and the burgundy perforated metal screens and glazing frames resemble that of the red brick. Source: Y2 Architecture, 2023.

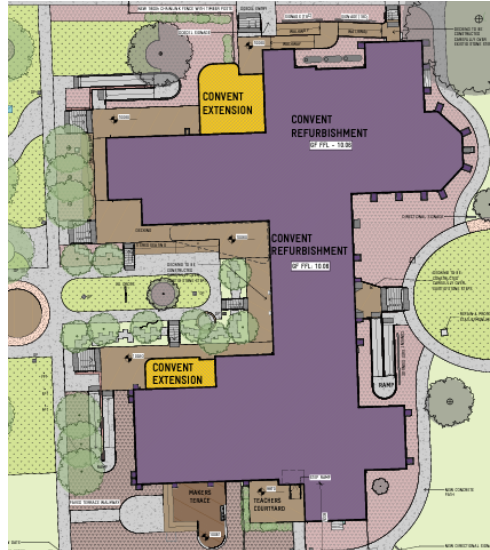


Figure 41: Extract of TP06 P2, proposed site plan. Note that a raised timber deck (indicated in brown) wraps around the North Wing and west courtyard. Source: Y2 Architecture, 2023.

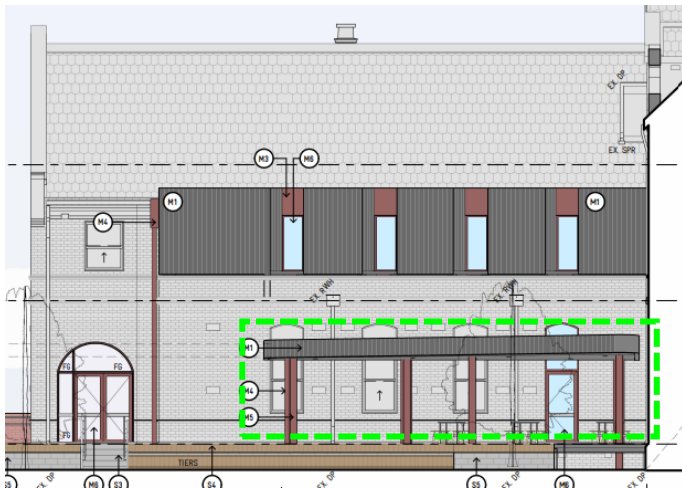


Figure 42: Extract of TP23 P2 2, showing the North Wing porch (indicated in green). Source: Y2 Architecture, 2023.

### South Wing

A new three-storey addition is to be constructed at the north façade, providing circulation and access for the new school (Figure 43). Similar to the North Wing addition, it contains a lift, new stairs, an associated lift lobby and storage spaces, and an outdoor plant platform at the roof level. Externally, it is clad in Colorbond 'Woodland Grey' profiled longline metal sheeting and burgundy perforated metal screens. Large areas of glazing are in the addition's north façade, with frames in matching burgundy colour. The new entry is via double swing doors on the north façade.

At south façade on the ground level, an elevated Learning Terrace and a Teachers Terrace project from the south façade (Figure 44). They are to be constructed with concrete blocks and surrounded by landscaping.

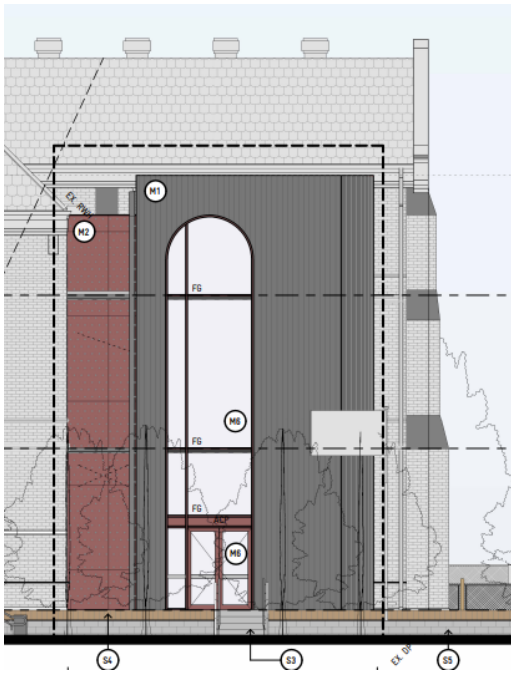


Figure 43: Extract of TP21 P2 2, showing the north façade of the South Wing addition. Source: Y2 Architecture, 2023.



Figure 44: Extract of TP23 P2 1, showing the elevated Learning Terrace and Teachers Terrace. Source: Y2 Architecture, 2023.

## 5.2 Immediate Surroundings

### 5.2.1 Alterations

#### Landscaping

Enhancements are proposed to the formal landscaping area east of the Convent building, and an existing gravel path is to be resurfaced with new edging (Figure 45).

#### Carparks

Minor changes are proposed to the north carpark, where it is expanded slightly with a new ground surface. With new line markings, the circulation of the carpark is to be improved, and the number of parking spaces increased from 10 to 27. Similarly, the south carpark is to undergo minor changes to improve circulation and provide clearer indication of parking spaces. The ground surface is to be modified, and 46 spaces and a new bin area are to be provided. A new 1.8-metre high palisade fence is to be installed to separate both carparks from the adjacent school buildings and open spaces. The existing crossovers will be utilised but altered slightly.



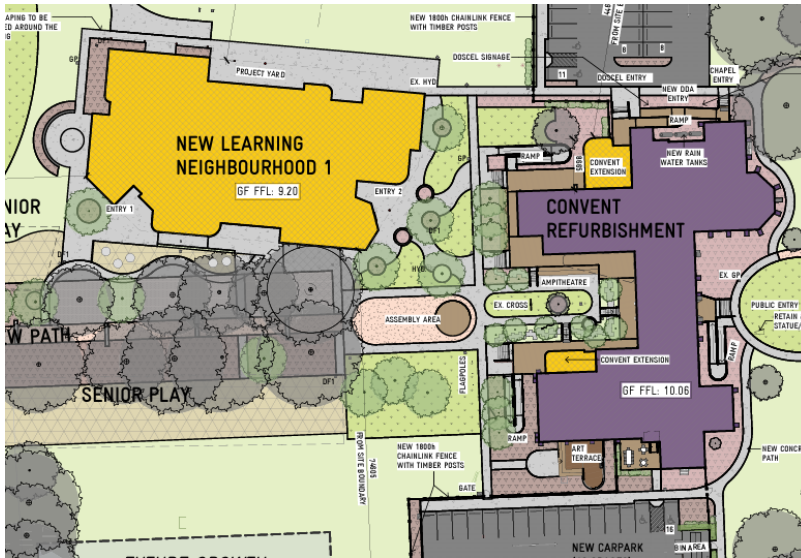


Figure 46: Extract of TP03 P2, showing the new Learning Neighbourhood building in relation to the Convent building. Source: Y2 Architecture, 2023.



Figure 47: Extract of TP33 P2 1, north elevation of the new Learning Neighbourhood building. Source: Y2 Architecture, 2023.



Figure 48: Extract of TP33 P2 2, east elevation of the new Learning Neighbourhood building. Source: Y2 Architecture, 2023.

### 5.3 Conservation Work

As stated in Section 3.1.1, it is assessed that conservation works would assist to preserve and enhance the identified significance of the heritage place. However, a full scope of work has not been determined, and it is requested that this be considered as a permit condition.



## 6 Assessment of Proposed Demolition Works

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As the HO listing is limited to the Convent building and its immediate surroundings, there are no heritage concerns with the proposed works to areas of the wider subject site that are outside of the HO curtilage. The proposed demolition of all buildings, sheds, lawns, and sports courts apart from the Convent building is generally supportable from a heritage perspective. These elements have no heritage value, and the proposed work removes unsympathetic later additions that detract from the significance of the heritage fabric. On the other hand, the retention of the open landscape and historic avenue of trees, and the reworking of the sports courts and play areas contribute positively to the significance of the heritage place by retaining the original design intent of the site as an education facility.

### 6.1 Convent Building

#### 6.1.1 General

The demolition of the building's entire slate roof and some rainwater goods in the Chapel and North Wing is acceptable as these elements are currently in poor condition and require replacement. Should they not be rectified, the everyday functioning of the building will be negatively impacted, contributing to the further dilapidation of the place.

Council generally supports works that *ensure an appropriate setting and context for heritage places is maintained or enhanced* per Policy 15.03-1s. The removal of later additions, including the ground level external stairs and ramps, North Wing lift tower, and South Wing fire escape staircase and associated walkways, is a good heritage outcome. It will remove unsympathetic elements that have historically concealed original/early portions of the building and hence affect the understanding of its cultural heritage significance.

#### 6.1.2 Original Building

At the west façade, the removal of paint finish outside Toilet (CO 110) is supportable as it is an unsympathetic later modification to the heritage fabric. It is acknowledged that there are physical and visual impacts arising from the demolition of a door and section of wall on the first floor. This work is essential and allows for circulation between spaces in the Convent building and the new Breakout space. Generally, demolition is limited at the original building, which is apposite approach that concentrates change at later and less significant parts of the heritage place.

#### 6.1.3 Chapel

The removal of the infill forming the second level sunroom (CO 301) is acceptable as it is a later addition to the building with no heritage values. Its removal will enhance the understanding of the heritage fabric's original design intent. This space will be returned to an open roof area.

#### 6.1.4 North Wing

It is acknowledged that the removal of some windows, doors, and sections of walls at the north façade may have impacts. However, this allows for the proposed insertion of a new addition. The addition is essential to the everyday operation of the renovated school building, and will ensure that it will be utilised into the future. As a result, this work is acceptable from a heritage perspective. Options have been considered to ensure minimal loss of fabric resulting from the proposed works.

At the south façade on the first level, the removal of the Outdoor area (CO 211) roof and part of the external wall, allows for the construction of a new Breakout space. This is supportable as a new Breakout space is essential for the provision of a new learning space as part of the school. While it is acknowledged that there are physical impacts concerning the partial demolition of existing wall sections and windows, the extent of demolition has been revised following pre-application feedback and further discussions with the structural engineer and heritage consultant. The overall extent of

demolition has been reduced and a more complementary design outcome achieved. Moreover, the provision and design of new openings are constrained around the planning of the building as an educational facility, as intended historically. Various options have been considered with child safety design compliance as a priority, which determines the work to be essential in order to achieve a degree of openness, visibility, and connectivity of spaces. This supports the historic use of the building to be maintained, which would not be possible in the current arrangement.

### 6.1.5 South Wing

It is acknowledged that the removal of some windows, doors, and sections of walls on all levels may have impacts. However, this work allows for a new addition to connect with existing spaces within the South Wing. To mitigate impacts arising from the loss of fabric, the proposed demolition is kept at a minimum. Where windows etc are concealed by the new addition they are to be retained and preserved.

The demolition of unsympathetic contemporary glazing and doors on all levels of the south façade is a good heritage outcome.

### 6.1.6 Internal Spaces

As internal alteration controls do not apply to the HO, there are no heritage concerns regarding the extent of internal demolition works. Nevertheless, the proposed extent of work is supported by the need to remove unsympathetic modifications and adapt the heritage place to a new use.

## 6.2 Immediate Surroundings

### 6.2.1 Year 8 Buildings

Although the interconnected, modern buildings to the north of the Convent building are associated with the subject site's history as a Catholic educational institution, they are unsympathetic and do not contribute to the identified significance of the heritage place. These structures are outside the HO curtilage. As such, the demolition of these structures will not detract from the heritage values of the place. Additionally, the proposed removal will enhance the understanding of the place by allowing clear, unobstructed views of the Convent building from the street front in the north.

### 6.2.2 c.1910s Building

The c.1910s building to the south is a later addition to the subject site and has been substantially modified. The original design intent can no longer be understood through the defaced walls, altered openings, and contemporary entrance porch. Internally, no evidence of original layout or fabric are evident. Both the external and internal integrity of the building is low. Furthermore, the proposed removal also allows the south façade of the Convent building to be viewed from the street front without obstruction. The proposed demolition is therefore an acceptable heritage outcome.

### 6.2.3 Buildings to the Southwest

The demolition of the red brick building and associated structures to the southwest of the Convent building is supported. Although the red brick building is essentially sympathetic to the design of the Convent building, it does not have any known cultural heritage significance as it is not acknowledged in HO94's place citation nor the National Trust's Statement of Significance. Moreover, its removal provides space for new structures that meet contemporary requirements and compliances to be constructed. This is essential to the long-term development, use, and maintenance of the heritage place as an educational institution.



## 6.2.4 Landscaping

Generally, the proposed demolition of lawns, play areas, and sports courts is supportable from a heritage perspective. These elements have no heritage value, and the proposed work removes unsympathetic later additions that detract from the significance of the heritage fabric.

It is acknowledged that there are concerns regarding the proposed removal of two mature peppercorn trees located along the south site boundary within the HO. Tree controls do not apply to the HO, and the trees are not acknowledged in the Statement of Significance. The trees have been identified by an arborist as being mature (50-150 years), but without a specific age range. No historical evidence has been found that relates the planting of the trees to any notable point in the establishment or development of the Convent, and they do not fit within the formal planting arrangement seen at the east. The peppercorn trees are a non-native species and do not contribute to the understanding of the significance of the place. Contrastingly, although not within the HO curtilage, the extensive avenue of trees in the west portion of the site enhances the Convent building's heritage significance and visual prominence. It comparatively is of a higher significance. Considering the conservation and enhancement of this avenue, the removal of the two peppercorn trees is acceptable.



## 7 Assessment of Proposed New Work

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As the HO listing is limited to the Convent and its immediate surroundings, there are no heritage concerns with the proposed new works to areas of the wider subject site that are outside of the HO curtilage. Generally, Council *encourage(s) appropriate development that respects places with identified heritage values* per Policy at Clause 15.03-1s. As such, the proposed construction of new buildings, sports courts, play areas, services and infrastructure, paths, and soft landscaping is acceptable as these facilities are essential to the operation of a primary school. Alteration works to the oval is also acceptable on this basis. Generally, there are no heritage concerns regarding the location and size of spaces planned for new buildings.

### 7.1 Convent Building

#### 7.1.1 Alterations

##### General

Recladding the roof with new slates is necessary for the functioning and maintenance of the heritage place. The proposed use of Glendyne slate for the new roof is acceptable as it is unfeasible to source Welsh slates to match the original. It is acknowledged that there may be visual impacts arising from the slight colour difference between the Glendyne and the original slates. However, Glendyne slates closely resemble the original in colour and have matching geological properties. This work is therefore supportable from a heritage perspective, and is considered essential.

Generally, the proposed introduction of new doors and windows is acceptable as they improve the amenity of the building which is required for its long-term operation and conservation. The use of dark grey, aluminium powder coat frames is acceptable as they are visually recessive and complement the heritage fabric.

##### Original Building

It is acknowledged that there are visual impacts associated with the addition of new doors at the east façade ground level entrance in front of the original doors. To mitigate impacts, a visually recessive design with a dark grey frame that does not detract from the significance of the Convent building has been proposed. The original doors will be retained, although not used, and the entrance may be reinstated to its original arrangement in future.

There are no concerns with sealing the door in the Toilet (CO110) as it does not affect the appearance of the façade. This work also allows the room to be repurposed to other uses. The installation of grey panelling, and glazed doors and windows in grey framing are also acceptable as they are visually recessive, and can be understood as new.

##### North Wing

The proposed first level extension is acceptable as the provision of new Breakout and circulation spaces are necessary for bringing the Convent building up to contemporary standards as an educational facility. The use of flat roofs minimally obstructs sightlines to historical features and elements on the Convent building's roof. It allows the original steep roof form to remain visually prominent at street level. The selection of Colorbond 'Woodland Grey' profiled longline Colorbond metal sheeting for the new extensions is appropriate, as the textured material elevates the heritage fabric's fine-grained nature, as advised by Council; its colour also references the Convent building's dark grey slate roof. The burgundy window frames and perforated metal panels complement the warm colourway of the red brick Convent building, as emphasised by Council. The longline profile cladding provides a fine-grain texture to the new work, without copying original building details.

The proposed large areas of glazing, particularly on the extension's south façade, provide an opportunity for the original fabric to be visible from the exterior. Arched window openings reflect the arches of the original building, but interpreted in a contemporary form to suit the primary school use. Options for other materials and colours have been considered, however are deemed unfeasible due to budgetary constraints, and the requirement for non-combustible, durable materials for school buildings. Overall, the proposed extension is supportable from a heritage perspective.

## South Wing

The installation of new glazed doors and windows in grey framing is acceptable as they are visually recessive and can be understood as new.

### Internal Alterations

As internal alteration controls do not apply to the HO, there are no heritage concerns regarding the internal alteration works. Nonetheless, these works are supported as they are respectful of the heritage fabric, and essential in bringing facilities and amenities up to contemporary requirements and compliance to be used as a primary school. The works, therefore, ensure that the original education use of the place is maintained into the future. The outcome will be further supported by intended conservation works.

#### 7.1.2 Additions

Generally, external additions such as fences, exterior stairs and ramps, paths, paving, signage, and services are acceptable as they are essential for the future operation and conservation of the subject site.

### Original Building

A new ramp and stairs are to be connected to a timber landing deck connected to the building's east (main) entrance. This work is necessary to meet contemporary requirements and compliance needed for a primary school. The material and colour palette of the balustrade and landing deck are appropriate responses that incorporate a lightweight, visually recessive material in a burgundy colour that is complementary to the red brick building. Options were considered for the balustrade material, but choices are constrained by budget, the need to meet child safety compliance, and the intention for the balustrade to be lightweight and visually permeable.

Likewise, the new glazed double swing doors is a contemporary interpretation of the historic double swing doors with stained-glass panels, which will be retained.

Overall, the proposed ramp, stair, deck, and doors are supportable from a heritage perspective.

### North Wing

The proposed addition to the North Wing is essential to the future development of the subject site as a school campus in support of the long-term use and maintenance of the heritage place. It also provides a separate entrance and circulation space for the DOSCEL, enabling it to be used separately from the school. The addition is not visible from the Convent building's principal east façade and is minimised and concealed as far as possible from the other street-facing façades. Specifically, the proposed location is the same as the existing c.1970s lift tower in the effort to utilise existing opening and retain original fabric as far as possible. The form is acceptable from a heritage perspective as it is a contemporary interpretation of the original design. In particular, the round arched windows share similarities with the arches of the Convent building. Similar to the North Wing first floor extension, the material and colour palette, as well as the use of flat roof, are sympathetic to the heritage fabric and do not detract from its cultural heritage significance. As a result, the proposed addition is supportable from a heritage perspective.

The proposed deck is supportable as it is a necessary part of the new school building. It is a lightweight structure that can easily be understood as a later addition and does not detract from the cultural heritage significance of the heritage fabric. The form, and material and colour palette of the porch respond to those of the adjacent north wing first floor extension.

### South Wing

The proposed addition of a three-storey volume in the South Wing is essential to the future development of the subject site as a school campus and would guarantee the long-term use and maintenance of the heritage place. The addition is not visible from the Convent building's principal east façade, and is minimised and concealed as far as possible from other street-facing façades. The form is acceptable from a heritage perspective as it is a contemporary interpretation of the original design. In particular, the round arched windows share similarities with the arches of the Convent building, interpreted in a contemporary language. Similar to the North Wing addition, the

material and colour palette, as well as the use of flat roof, are sympathetic to the heritage fabric and do not detract from its cultural heritage significance. It is acknowledged that some windows, doors, and sections of walls are to be removed as a result of this work, they are necessary to support the functioning of the addition and have been minimised as far as possible. Contrastingly, the relocation and reuse of a window from the first level of the north façade to that of the south façade is generally a good heritage outcome as it makes use of redundant materials removed from the heritage fabric (Figure 49 and Figure 50).

The proposed elevated Learning Terrace and Teachers Terrace are acceptable as they are integral to the functioning of the school building. They are lightweight structures that can be read as separate but complementary to the heritage fabric.

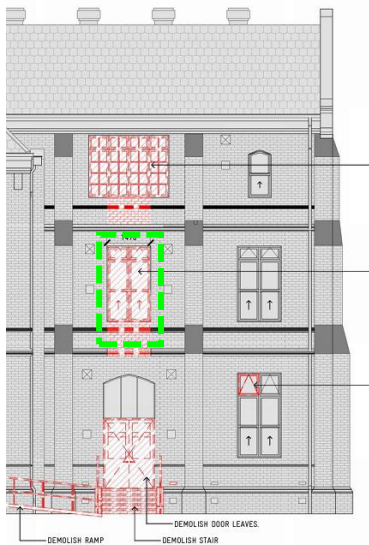


Figure 49: Extract of TP16 P2 E6, showing the window to be relocated (indicated in green). Source: Y2 Architecture, 2023.

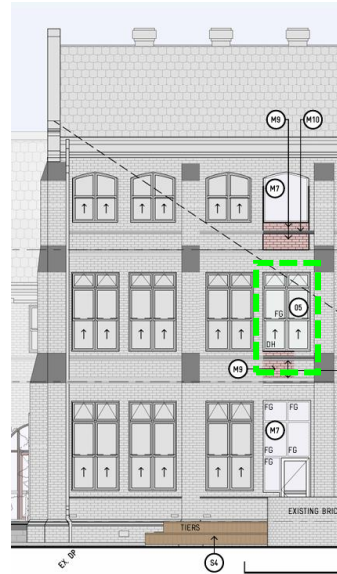


Figure 50: Extract of TP23 P2 1, showing the relocated window (indicated in green). Source: Y2 Architecture, 2023.

## 7.2 Immediate Surroundings

### 7.2.1 Landscaping

The enhancement of landscaping elements adjacent to the east and west façades of the Convent building, such as paths and lawns, is supportable as they are essential for the place's proposed use as a school ground and allow the landscaping to be used and maintained in the future. Similarly, this is supported by Council per Policy at Clause 15.03-1s where *an appropriate setting and context is maintained or enhanced*. The design and placement of the paths and lawns are contemporary and easily legible as later elements.

The proposed construction of new concrete paths to the formal landscaping area east of the Convent building is supportable. The paths upgrade the amenity of the area, allowing it to be used safely. They also support the circulation from the area to the north and south carparks, and other parts of the subject site.

### 7.2.2 Carparks

Carparking to the north of the site is outside the HO boundary and, as such, there are no heritage concerns with this work. It is acknowledged that there may be visual impacts arising from the proposed provision of car parking to the south of the Convent building. However, this is mitigated by altering an existing open carpark area and utilising existing crossovers, rather than creating new. The proposed carparking is essential to the future masterplan development of the school campus and is informed by the number of car spaces required, flow of vehicles, and circulation within the



site. Most importantly, the design must meet child safety requirements including buffer zones between buildings, open play areas and car parks.

After considering various options regarding location, size, and layout, the current proposal was found to be the only feasible arrangement that met all requirements. This work is essential to the long-term viability of the project and therefore supports the adaptive reuse and future occupation of the place. The open car park ensures unobstructed views of the Convent building from the south. The altered carparking to the south is, therefore, an acceptable outcome as it supports the ongoing use of the place, and minor impacts have been mitigated.

### 7.2.3 New Learning Neighbourhood Building

The proposed location of the new Learning Neighbourhood building is acceptable as it is appropriately separated from the heritage fabric. The massing and form of the single-storey structure do not obstruct sightlines to and from the Convent building and is simply detailed with a restrained material and colour palette complements the Convent building while readily identifiable as new. Particularly, the use of recycled red bricks extracted from demolished buildings is a good heritage outcome that acknowledges the history and enhances the significance of the place.

## 7.3 Conservation Works

Per Policy at Clause 15.03-1S, Council *encourage(s) the conservation and restoration of contributory elements of a heritage place*. Generally, conservation works would lead to a good heritage outcome and enhance the significance of the heritage place. These works are supported in principle, and it is requested that they be applied as a permit condition.

## 8 Conclusion

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Demolition works of existing buildings and landscaping elements are generally acceptable as they have no impact on the identified cultural heritage significance of the heritage place. It is acknowledged that Council has queried the proposed removal of the 1910s building and the adjacent peppercorn trees that are within the HO curtilage. However, these elements do not contribute to the understanding of the Convent building's heritage values and their removal would support the adaptive reuse of the place and allow an enhanced and unobstructed view of the building.

Proposed new buildings are sited away from the Convent building and do not detract from its significance. Proposed landscaped elements, specifically the south car park, are essential to the development of the site as an educational institution and support its ongoing future use and maintenance. The proposed conservation and enhancement of the east and west lawns surrounding the Convent building, as well as the avenue of trees to the western portion of the site, are particularly good heritage outcomes that contribute to the understanding of the heritage place's character.

Demolition works to the Convent building are generally supportable. The proposed removal of roof slates improves its condition and contributes greatly to the building's long-term, continuous use as a school, as historically intended. The proposed removal of unsympathetic later additions enhances the integrity of the building, ensuring that the cultural heritage significance of the place is secured into the future. While it is acknowledged that some original/early fabric is to be removed, these works are essential to the planning of the building as an educational facility, as intended originally. These works guarantee the safety and well-being of school children, the predominant users of the place.

Likewise, new works to the Convent building are generally supportable as they support the long-term future development of the heritage place by providing additional spaces that are required for a contemporary educational facility. While there may be visual and physical impacts associated with the new volumes, the proposed design is visually recessive and at the same time complementary to the heritage fabric. They are not visible from the Convent building's principal east façade on York Street, and hence minimally detract from its identified values.

Generally, Council *support(s) adaptive reuse of heritage buildings where their use has become redundant* per Policy at Clause 15.03-1s. While impacts have been identified for certain areas of the proposal, they have been mitigated as far as possible with the aim to achieve a good heritage outcome. On balance, positive impacts, such as the removal of unsympathetic elements, the reactivation of the heritage site through adaptive reuse, and the forthcoming conservation works, outweigh the identified impacts. Overall, the proposed scheme delivers a supportable heritage outcome and contributes to a better understanding of the cultural heritage significance of the place.