

# Planning Assessment Officer Report

Application No: PA2504008  
20 Eastwood Street, BALLARAT CENTRAL  
(Eastwood Leisure Complex)



Planning Assessment Officer Report  
Development Assessment

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# Executive Summary



Key Information	Details		
<b>Application No:</b>	PA2504008		
<b>Received:</b>	20 October 2026		
<b>Statutory Days:</b>	24		
<b>Applicant:</b>	City of Ballarat c/- Urbis Pty Ltd		
<b>Planning Scheme:</b>	Ballarat		
<b>Land Address:</b>	20 Eastwood Street, Ballarat Central		
<b>Proposal:</b>	<p>Buildings and works to develop a new community centre in association with an existing leisure and recreation facility (Eastwood Leisure Centre) and a reduction in car parking and bicycle parking requirements.</p> <p>Key details of the proposal are as follows:</p> <ul style="list-style-type: none"> <li>Retention and refurbishment of the existing basketball stadium (gym) on the southern portion of the subject site</li> <li>Existing use rights established for leisure and recreation and place of assembly</li> <li>Maximum building height of 8.6 metres for new building</li> <li>A total of 2,337sqm GFA (Additional 337sqm of GFA from previous footprint)</li> <li>Removal of six non-native trees</li> <li>No additional car parking provided (existing 18 car parking spaces to be utilised)</li> </ul>		
<b>Development Value:</b>	\$14.5m		
<b>Why is the Minister responsible?</b>	In accordance with Clause 72.01 of the Planning Scheme, the Minister for Planning is the responsible authority for this application because it is a matter under Divisions 1, 1A, 2 and 3 of Part 4 of the Act and Clause 53.22 (Significant Economic Development) applies.		
<b>Why is a permit required?</b>	<b>Clause</b>	<b>Control</b>	<b>Trigger</b>
<b>Zone:</b>	Clause 34.01-4	Commercial 1 Zone (C1Z)	<i>Construct a building or construct or carry out works</i>
<b>Particular Provisions:</b>	Clause 52.06-3	Car Parking	<i>Reduction to the car parking requirements</i>
	Clause 52.34-2	Bicycle Facilities	<i>Reduction to the bicycle parking requirements</i>
<b>Cultural Heritage:</b>	The subject site is located in an area of Aboriginal Cultural Heritage Sensitivity. A Cultural Heritage Management Plan (CHMP) is not required as the Eastwood Leisure Complex (subject site) redevelopment is for a purpose for which the land was being lawfully used immediately before 28 May 2007 (r.46(3)) and does not constitute a high impact activity.		
<b>Total Site Area:</b>	2,979m <sup>2</sup>		
<b>Gross Floor Area:</b>	2,337m <sup>2</sup>		
<b>Height:</b>	8.58m (single storey)		
<b>Setbacks:</b>	North – 0m East – 1.211m South – 1.593m West – 0m		
<b>Parking:</b>	<b>Cars</b>	<b>Motorcycles</b>	<b>Bicycles</b>



	18 (existing)	0	8
<b>Referral Authorities:</b>	Ballarat City Council (the council) (Section 52(1)(b) – Notice)		
<b>Public Notice:</b>	Notice of the application was undertaken by the applicant at the direction of the Minister for Planning in the following manner: <ul style="list-style-type: none"><li>• Notice in the form of A1 signs posted on Short Street, Steinfeld Street and Eastwood Street site frontages</li><li>• Ordinary post to the owners and occupiers of surrounding properties</li></ul> <b>No</b> objections have been received.		
<b>Delegates List:</b>	Approval to determine under delegation received on <b>19 December 2025</b> .		



## Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
Pre-application meeting	2 September 2025
DFP Eligibility letter issued:	8 September 2025
Application lodgement	7 November 2025
Further information requested	5 December 2025
Further information received	18 December 2025 (Partial) Fully received and satisfied on 19 January 2026
Decision Plans	Plans prepared by Arch Architects, titled ' <i>Eastwood Leisure Complex Redevelopment</i> ' and dated 15 December 2025.
Other Assessment Documents	Planning Report prepared by Urbis and dated 2 September 2025 RFI Response Letter (Clause 53.22 Eligibility Letter Application Requirements) prepared by Urbis and dated 20 October 2025 RFI Response Letter prepared by Urbis and dated 18 December 2025 Certificate of Compliance (Section 97O) provided by City of Ballarat and dated 16 January 2026 RFI letter prepared by City of Ballarat and dated 5 December 2025 Urban Design Response memo prepared by Arch Architecture and dated 19 September 2025 Landscape Plan prepared by Site Image Landscape Architects and dated 10 October 2025 Preliminary Arborist Report prepared by Uber Arbor and dated 22 February 2024 Sustainability Management Plan prepared by Stantec and dated 16 July 2025 Stormwater Management Plan prepared by Stantec and dated 4 July 2025 Traffic Impact Assessment prepared by Stantec and dated 8 August 2025 Waste Management Plan prepared by Impact Traffic Engineering and dated 3 September 2025 Tree Protection Management Plan prepared by Uber Arbor and dated 19 August 2025 Acoustic Report prepared by Stantec and dated 2 September 2025 Heritage Advice Letter prepared by Heritage Insight and dated 27 July 2023 Site Survey Drawing prepared by Smith Land Surveyors and dated 28 February 2024 Land Title (Allot. 1 Sec. 96A TOWNSHIP OF BALLARAT EAST) produced 11 September 2025 July 1979 Floor Plan titled ' <i>Sports Stadium Eastwood Street Ballarat for Ballarat Youth Centre</i> '



2. The subject of this report is the decision plans (as described above).

## Proposal Summary

3. The proposal can be summarised as follows:

- Retention and refurbishment of the existing basketball stadium on the southern portion of the subject site.
- Maximum building height of 8.6 metres for new building.
- A total of 2,337sqm GFA (additional 337sqm of GFA from previous footprint).
- Removal of five non-native trees (no permit required).
- No additional car parking provided (existing 18 car parking spaces to be utilised).

4. Specific details of the application include:

### Landscaping

- Removal of five non-native trees. Two large canopy trees and three small trees/shrubs.
- Plant four large canopy trees within planters in the front setback and two small to medium trees at the rear of the site to informally offset the tree removal.
- All other remaining trees on site to be retained and protected.

### Hours of operation

- Existing: 8:30am – 10:30pm (Monday-Sunday, including public holidays)
- Proposed: 6:30am – 10:30pm (Monday-Sunday, including public holidays)
- Earlier time proposed to align with Greenstar requirements and access to end of trip facilities

### Site Access

- Vehicle access provided via the existing double crossover from Eastwood Street into a shared carpark along the eastern boundary of the subject site. The primary entrance to the leisure centre is on the northeastern elevation.

5. Existing use rights have been established for leisure and recreation and place of assembly, so no use trigger applies.
6. The applicant has provided the following concept image/s of the proposal (refer page 6).



*Figure 1: Concept images of proposal when viewed from Eastwood Street*



Figure 2: Concept image of eastern elevation (left)

Figure 3: Concept image of northeastern elevation (right)

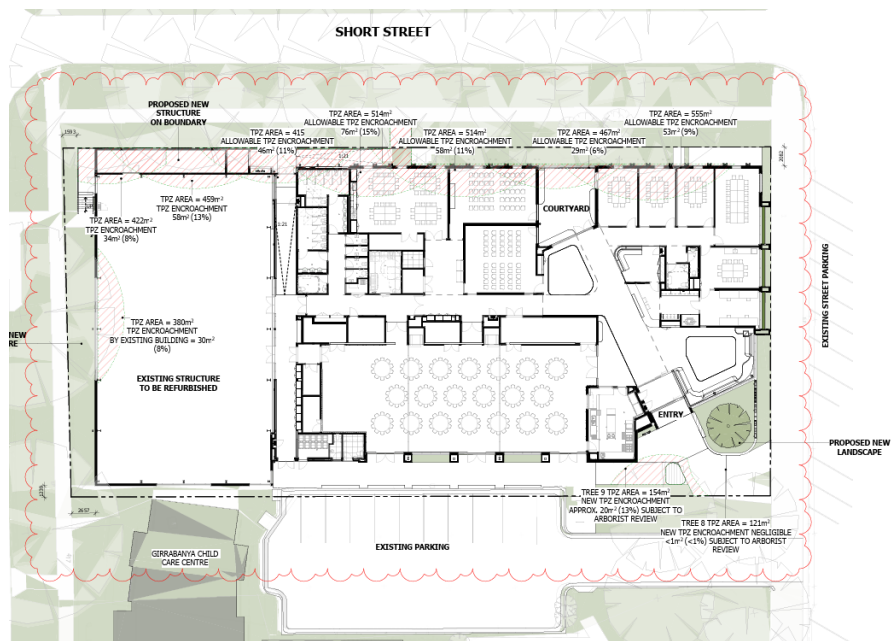


Figure 4: Proposed site plan



## Site Description

7. The site is located at 20 Eastwood Street, Ballarat Central, and is occupied by the existing Eastwood Leisure Centre complex. The complex is owned and operated by Ballarat City Council as a community leisure centre. The subject site measures 2,979sqm and has street frontages to Eastwood Street to the north, Steinfeld Street North to the south, and Short Street to the west. The site is located approximately 1.3km east of Ballarat Central.
8. The existing site comprises of multiple semi-detached buildings across the site. The built form on the site occupies a high coverage with small street setbacks to the sites three street frontages. The existing buildings on site can be characterised as five single storey buildings predominantly made of brick, steel sheeting and weatherboard.
9. The site is formally described as comprising the following land parcels:
  - Crown Allotment 1, Section 96A Township of Ballarat East, Parish of Ballarat
    - Ballarat City Council is listed as the Crown Land Administrator of the site.
    - The site is affected by Reservation MI246034B (6 August 2016) which reserves the use of the land for the purposes of recreation.
    - The site is not affected by any other easements, covenants or restrictions.

## Site Surrounds

10. The surrounding development consists mainly of single storey commercial tenancies except for single storey Edwardian style residential dwellings to the south.

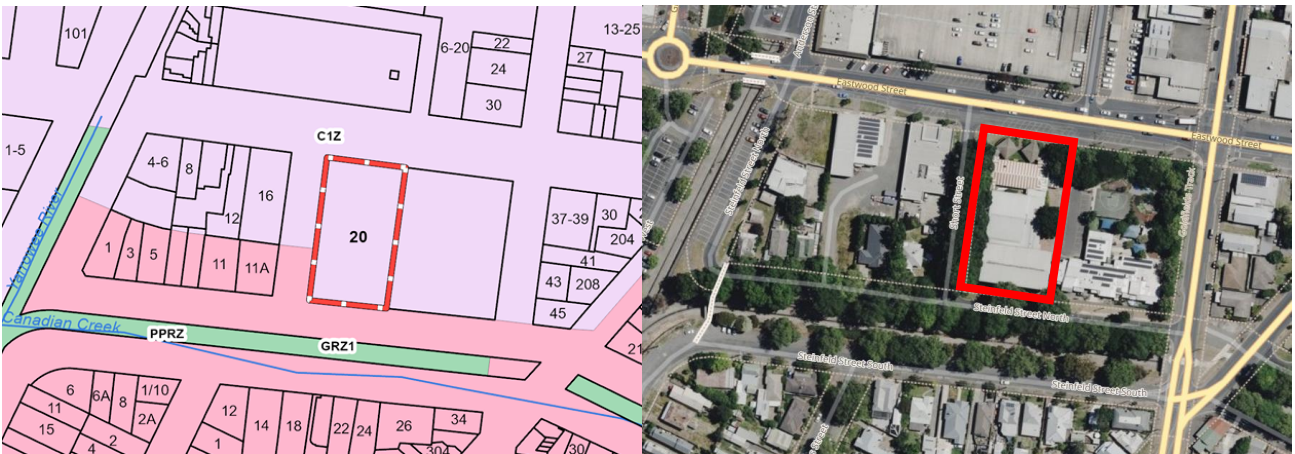


Figure 5: Subject site zoning context (left)

Figure 6: Aerial view of subject site and surrounds (right)

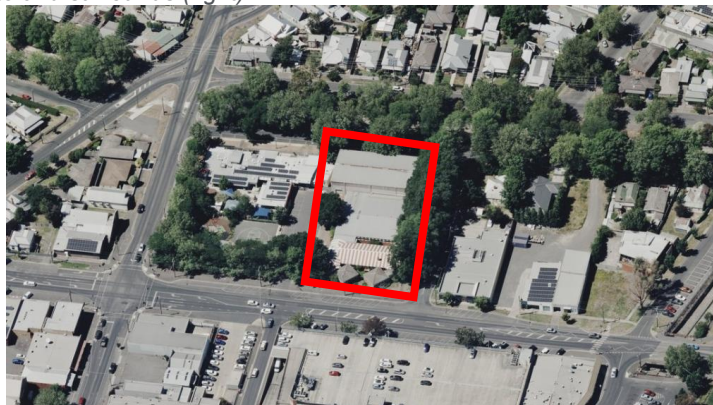


Figure 7: Aerial oblique view of subject site facing south from Eastwood Street



11. Development surrounding the site can be described as follows:

- To the **north** of the site: is Eastwood Street, a two-lane street with 60 degrees on street carparking on either side. Directly across from the subject site is the Woolworths Ballarat Central, a large single storey commercial building with rooftop parking and a large shared carpark to the north.



Figure 8: Northern interface (street front)

Figure 9: View looking north from subject site (rear of commercial complex)

- To the **south** of the site: is Steinfeld Street North, a one-way street which runs west to east, with parallel on street car parking on the northern side of the road. Directly opposite the subject site is a narrow parcel of Public Park and Recreation Zone occupied by Canadian Creek catchment drain.



Figure 10: View of southern interface (rear)

Figure 11: Northeastern interface (adjoining park and childcare centre)

- To the **east** of the site: is the Albert H Graham Reserve and the Girrabanya Childcare Centre. Each of these properties share a car park with the subject site and together occupy the entirety of the block.
- To the **west** of the site: is Short Street, a one-way street which runs north to south with parallel on street parking abutting the subject site. Directly opposite the subject site are 16 Eastwood Street and 11A Steinfeld Street North. 16 Eastwood Street is located within the Commercial 1 Zone and is characterised as a single storey, brick commercial building with minimal setbacks from Eastwood and Short Streets. 11A Steinfeld Street North



is located within the General Residential Zone – Schedule 1. The site is characterised as a single storey detached weatherboard dwelling with a pitched roof. The dwelling is located towards the west boundary of the site with generous setbacks from the Short Street and Steinfeld Street North Interfaces.



Figure 12: Western interface (Short Street)

Figure 13: View looking west from subject site



Figure 14: Indicative residential dwelling types along Steinfeld Street S (22 and 24 Steinfeld Street S)

Figure 15: View looking north toward subject site from 22 and 24 Steinfeld Street S



## Municipal Planning Strategy

12. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03-1	Settlement – Urban Growth

## Planning Policy Framework

13. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

<b>Clause 11</b>	<b>Settlement</b>
11.01-1S	Settlement – Regional Victoria
11.01-1R	Settlement – Central Highlands
11.02-1S	Development Capacity
11.03-1S	Activity Centres
11.03-1L-1	Ballarat CBD
<b>Clause 12</b>	<b>Environmental and Landscape Values</b>
12.01-2S	Native Vegetation Management
<b>Clause 13</b>	<b>Environmental Risks and Amenity</b>
13.05-1S	Noise Management
<b>Clause 15</b>	<b>Built Environment and Heritage</b>
15.01-1S	Urban Design
15.01-1L	Urban Design
15.01-2S	Building Design
15.01-4S	Healthy Neighbourhoods
15.01-5S	Neighbourhood Character
15.01-5L	Ballarat Neighbourhood Character
15.03-2S	Aboriginal Cultural Heritage
<b>Clause 19</b>	<b>Infrastructure</b>
19.02-3S	Cultural Facilities
19.02-4S	Social and Cultural Infrastructure

14. The assessment section of this report provides a detailed assessment of the relevant planning policies.



## Zoning and Overlays

### Applicable Zone

15. A planning permit is required to construct a building or construct or carry out works in accordance with Clause 34.01-4 (C1Z). The purpose of the C1Z is:
- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
  - *To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
  - *To provide for residential uses at densities complementary to the role and scale of the commercial centre.*
16. The C1Z does not set any built form requirements, including building height or site coverage requirements.
17. The subject site is not affected by any overlays.

## Particular and General Provisions

### Provisions that Require, Enable or Exempt a Permit

#### Clause 52.05 – Signs

18. Pursuant to Clause 52.05-10, a permit is not required to construct or put up for display any of the following signs:
- *A sign identifying the functions or property of a government department, public authority or municipal council, but not a promotion sign displayed at the direction of any of these bodies.*
19. A permit is therefore not required as the proposal only seeks to install identification signage relative to the local government owned building, no other signage is proposed.

#### Clause 52.06 – Car Parking

20. Pursuant to Table 1 of Clause 52.06-5, the subject site is identified within Category 2, which sets a minimum statutory car parking requirement for a place of assembly at a rate of 0.3 parking spaces per patron. Pursuant to Clause 52.06-6 the leisure and recreation centre use is not specified in Table 1 and must provide car parking to the satisfaction of the responsible authority.
21. As no additional car parking is proposed, a permit is required to reduce the number of car parking spaces required under Clause 52.05-5 based on the increase in floor area of the existing use.

#### Clause 52.34 – Bicycle Facilities

22. Pursuant to Clause 52.34-5, a permit is required to reduce the number of bicycle parking spaces required on site.

#### Clause 52.31 – Local Government Projects

23. Clause 52.31-1 (Permit Exemptions) does not apply to this application as the development has an estimated cost of more than \$10 million.

## General Requirements and Performance Standards

24. Clause 53.18 applies to the buildings and works of this application. The clause includes standards and objectives relating to stormwater.

#### Clause 53.22 – Significant Economic Development

25. Clause 53.22 applies to applications of significant economic development that *will make a significant contribution to Victoria's economy and provide substantial public benefit, including jobs for Victorians*. The proposed buildings and



works to refurbish the existing leisure and recreation centre have an estimated cost of at least \$5 million dollars and are to be carried out by a public authority, meeting the requirements of Category 2 of Clause 53.22. An eligibility letter was issued on 8 September 2025 confirming the proposal is eligible for consideration under Clause 53.22. Pursuant to Clause 53.22-2, the responsible authority may waive or vary any building height or setback requirements.

## **Other strategic considerations**

### **Aboriginal Cultural Heritage Sensitivity / Aboriginal Heritage Act 2016**

26. The proposed area of works is designated as an area of Aboriginal Cultural Heritage Sensitivity pursuant to the Aboriginal Heritage Act 2016. However, given that the proposal is for development associated with a purpose for which the land was being lawfully used prior to 28 May 2007 (i.e., existing leisure centre), the activity does not require a Cultural Heritage Management Plan.



## Referrals

27. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
<b>Section 52(1)(a)</b>	Ballarat City Council (the council)	Notice was provided to the council on 21 November 2025. On 5 December 2025, the council commended the applicant for adopting a number of issued raised by the council during the pre-application assessment and provided further advice for review and response. Refer below for further detail.

## Municipal Council Comments

28. As part of its RFI response letter dated 18 December 2025, the applicant responded to the council's comments dated 5 December 2025:

Category	Council comment	Applicant Response	DTP Response
<b>Planning</b>	The previously proposed windows along the southern elevation on Steinfeld Street North should be retained.	No windows to the gym have been removed in recent updates. Confirmation of window retention can be provided as a condition of permit.	DTP considers the extent of windows shown on southern elevation acceptable. No further action required.
	Reduce the remaining TPZ encroachment exceeding 10% or provide an arborist endorsed mitigation strategy.	Tree 10 is proposed for removal. The Tree Management Plan (TMP) prepared by the project arborist addresses all other trees that will be encroached upon by the proposal.	DTP considers the removal of Tree 10 acceptable, refer to assessment section below for further detail. No further action required.
	Nominate secure bicycle parking and end-of-trip facilities on the plans to support sustainable transport.	Bicycle parking is provided adjacent to the building entry, with external CCTV coverage. Specifics can be provided by condition. Secure lockable storage or bicycle parking is not proposed (they are to be open style).	The plans have been updated to reflect the retention of the bicycle parking spaces on the ground floor plans. However, the demolition plans still propose their removal. A condition will be placed on the permit to correct the discrepancy and retain the spaces, in addition to the additional 8 spaces proposed on the western elevation. End-of-trip facilities are provided via showers and change rooms on site for public use.
	Incorporate CPTED measures for external toilets to ensure child-safe access and passive surveillance near the carpark.	The design incorporates CPTED principles, including natural surveillance, access control, and territorial reinforcement. External lighting and CCTV coverage provided to external toilet access.	The CPTED measures adopted into the scheme are considered appropriate and no further action required.
	Provide a detailed landscape concept plan including species selection, screening treatments, and canopy targets.	Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required.
	Include an interior finishes schedule that introduces timber linings and durable surfaces to avoid a corporate appearance and support community identity.	Light timber finishes are incorporated into the design. Internal finishes detail is not required for the planning submission.	DTP agrees with the applicant's position to only include external material schedules into the development plans. No further action required.
	<b>Engineering</b>	Remove redundant vehicle crossings and laybacks along Short Street and reinstate with standard kerb, channel, and nature strip.	Refer to architectural Site Plan/Demo - AA1001. A notation is provided confirming the crossovers are to be demolished and kerb reinstated.



	Adjust Short Street parking line marking and signage - remove or relocate existing signage and remove existing line marking.	Refer to architectural Site Plan/Demo - AA1001. A notation is provided confirming the crossovers are to be demolished and kerb reinstated.	No further action required.
	Ensure surrounding footpaths and any ramps include DDA-compliant Tactile Ground Surface Indicators (TGSI) where required.	All works within the site boundary are DDA compliant. Works external to the site boundary are not proposed as part of this project	No further action required.
	Retrofit existing parking spaces adjacent to the eastern elevation with wheel stops to prevent vehicle encroachment into public seating areas.	Further investigations into this requirement will be made at the post-tender stage. Currently, it has not been deemed necessary to include the stops on the existing carparking spaces.	DTP considers the council's request reasonable considering the proximity of the proposed timber seating areas to the at-grade car parking spaces. As such, a condition will be placed onto the permit requesting that wheel stops be added to the eastern elevation parking spaces.
	Confirm whether a ramp is required from the adjacent eastern parking area to the building entrance and include if necessary.	This will be addressed post tender as deemed necessary.	DTP considers the applicants position reasonable, noting that the proposed building entry is at-grade with the existing ground floor.  No further action required.
	Remove redundant layback along Eastwood Street fronting the building entrance and replace with barrier kerb and channel.	This will be addressed post tender as deemed necessary.	No further action required.
	Provide stormwater detention to manage increased impervious area, especially given the site's flood sensitivity.	A 20kL rainwater detention tank is proposed to manage the slight increase in impervious area. The Hydraulic engineering documentation confirms compliance with all relevant standards. See Stormwater Management Plan prepared by Stantec for further detail.	DTP considers the stormwater treatment to be acceptable. However, it is noted that the 20kL rainwater detention tank is not shown on the development plans. As such, a condition will be placed on the permit requesting to show the relevant detail.
	Refer to the Catchment Management Authority (CMA) for minimum floor levels and flood related conditions, as the site is within a flood zone.	CMA flood mapping has been considered throughout the design development. Minimum floor levels have been incorporated into the design.	The subject site is not located within a flood zone as identified within the planning scheme. As such, no further action is required.
<b>ESD</b>	Clarify the extent of reclaimed materials being reused on site, such as bricks and timber.	The existing Eastwood metal signage maybe reused in the courtyard fencing. There is consideration of the reuse of the timber flooring as future artwork on site also. This will be determined during construction phase.	No further action required.
	Undertake daylight modelling to assess natural daylight access. Consider adding transparent roof sheeting or skylights over circulation corridors.	Daylight modelling has been undertaken as part of the Green Star process.  Refer to Sustainability Management Plan prepared by Stantec for details.	No further action required.
	Specify whether windows are openable and whether a mixed-mode ventilation strategy is proposed.	Openable awning windows are proposed to the west façade.	No further action required.
	Consider enhancing landscaping by incorporating vertical green walls or green façades.	Not proposed at this stage. Landscaping has been maximised where possible.	No further action required.
	Confirm that sufficient insulation and acoustic attenuation will be applied to the basketball stadium.	Insulation and acoustic treatment for the gym are detailed in the Acoustic Report prepared by Stantec.	The submitted acoustic report does not include the basketball stadium (gym) in its assessment scope. A condition will be placed



		on the permit requesting that the acoustic report be amended to include the basketball stadium (gym) in its assessment.	No further action required.
	Specify whether the two operable partitions in the multipurpose space have acoustic or thermal (Rvalue) properties.	Operable partitions will have acoustic insulation as detailed in the Acoustic Report prepared by Stantec. Refer to architectural schedules for specification details.	No further action required.
	Indicate whether bicycle parking spaces are proposed or if existing ones near the entrance will be retained.	New bicycle parking is proposed adjacent to the car park. Refer to architectural site plan and Landscape plans.	The plans have been updated to reflect the retention of the bicycle parking spaces on the ground floor plans. However, the demolition plans still propose their removal. A condition will be placed on the permit to correct the discrepancy and retain the spaces, in addition to the additional 8 spaces proposed on the western elevation.
	Confirm whether EV charging infrastructure (or readiness for future installation) has been considered.	EV charging has not been included in the project scope.	As there is no additional car parking to be provided as part of this application, the provision of EV charging is not an active consideration within the scope of the assessment. As such, no further action is required.
<b>Design</b>	If the use of 240L bins, four waste streams, and compound-based collection is deemed mandatory, private waste collection should be considered.	Waste Management Plan currently being reviewed to ensure sufficient bin compound area.	No further action required.
	...Alternative container materials (GRC etc) to reduce cross section of the planter structure and or more generous dimensions should be considered to maximise soil volumes.	Soil volumes increased. Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required.
	Soil widths / depths should be documented and displayed on plans to more clearly describe soil volume and further highlight areas of concern.	Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required.
	There is no Irrigation mentioned or proposed in the landscape drawings...	Irrigation included to all garden beds. Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required.
	Hedge planting is referenced but the species identified are not well suited to be used as hedges. Austral indigo is unlikely to thrive in the tight dimensions provided, and may suffer from the heavy frosts, and high levels of shade.	Not deemed a planning issue.	Pursuant to the planning condition, any future endorsement of the landscape plans will require consultation with the council. The council will have opportunity to provide recommendations for consideration during that stage.
	Tree T10 has a strip footing for planter wall running through its TPZ (tree protection zone) and SRZ (structural root zone) See 04/301. Please show TPZ extent and alternative construction methodology of walls / footings in TPZ to mitigate risk to tree.	Tree T10 is proposed for removal to improve the concourse layout and eliminate the risk of root damage from the planter wall footing.	DTP considers the removal of Tree 10 acceptable, refer to assessment section below for further detail.  No further action required.
	Detail 04/402 should have drainage	Refer to updated landscape plans	No further action required.



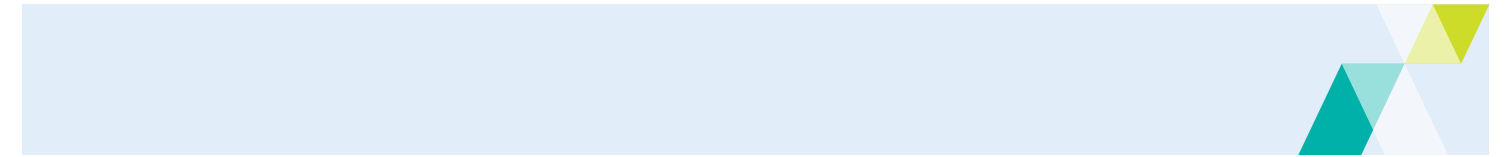
layer between planter base and drainage lines, not a layer of subsoil which may be impervious to water percolation. Alternative would be drainage cell to base of planter, connected to SW.	prepared by Site Image, dated 01 December 2025.	
Tree T09, T08. How is suspended paving being laid around the trees within TPZ, will there be impact on root zone? What gap between paving FSL and existing ground will be there. Will the identified mulch treatment mitigate the height difference?	Additional detail can be provided by condition in the TMP by condition.	A condition will be placed in the Tree Protection Management Plan condition requesting this detail.
No levels are shown on plans. Please include Finish surface levels and existing tie in levels / tree root base levels so we can accurately assess interfaces within all landscaped areas	Refer to latest Architectural GA, Civil and Landscape plans – levels have been demonstrated.	No further action required.
No detail for timber seat (TS). How is this installed within TPZ?	Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required.
All works within tree protection zones T08, T09, T10 will need to be described to a level that we are confident that the proposed construction methodology does not come at risk of damaging the existing tree/s.	As stated above, the new paving is proposed to align with existing paved areas to minimise TPZ interference. It is noted that Tree 10 is now sought to be removed. Further detail can be provided by condition in TMP.	No further action required.
Tree and other planting details should reference City of Ballarat standard details where appropriate.	A notation can be provided in accordance with these standards as deemed appropriate in the TMP.	No further action required.
Suspended paving 03/401 shows concrete pad footings. These should not occur in TPZ., Further detail is required. If the intention is a pod and paver system, how is this supported across the rootzones/TPZs?	Suspended paving is now deleted and replaced with concrete paving  Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	A condition will be placed in the Tree Protection Management Plan condition requesting this detail.
Please provide further detail regarding garden strips behind seat 'BS' on the internal carpark. Are these WSUD soaks or above kerb level? Will need a cross section through this condition.	Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required.
Tree planting on Eastwood Street is a good addition and is supported.	Tree planting external to the site is not currently within the project scope. Refer to updated landscape plans prepared by Site Image, dated 01 December 2025.	No further action required. Refer to assessment section for further detail.

## Notice

29. The application is not exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Planning and Environment Act 1987 pursuant to the following provisions:

- C1Z

The application is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the *Planning and Environment Act 1987* pursuant to the following provisions: Clause 52.06-4 (Car Parking)

- 
- Clause 52.34-3 (Bicycle Parking)
  - Clause 53.22-4 (Significant Economic Development)

30. The applicant was directed to give notice by way of erecting a sign/s on the site and notifying adjoining owners and occupiers as the application was considered to potentially cause material detriment. On 23 February 2026 the applicant notified DTP that notice had been carried out incorrectly, and the notice period was extended for another 14 days. Notice concluded on 9 March 2026, with no submissions received.

## Strategic Direction and Land Use

32. The *Planning Policy Framework* encourages appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.
33. The proposal reflects the strategic direction of Clause 11 providing community infrastructure which will respond to the needs of existing and future communities. This is achieved by providing an enhanced recreation centre within the Ballarat CBD that is highly accessible to the community (11.03-1S). The proposal will activate the activity centre precinct and enhance public realm and pedestrian amenity in conjunction with the existing Albert H Graham Reserve abutting the site (11.03-1L-1).
34. In accordance with Clause 12 the proposal retains a similar building footprint that maximises retention of the existing trees and vegetation on site (as well as off-site street trees), to ensure that there is no net loss to biodiversity (Clause 12.01-2S).
35. In accordance with Clause 15, the proposal is appropriate in scale to accommodate the needs of the local community and is designed to remain sympathetic to surrounding neighbourhood character (15.01-1S, 15.01-5S).
36. The relevant MPS and PPF policies have been considered in assessing the application.

## Buildings and Works

37. The proposal is not subject to any specific built form requirements under the C1Z and no overlays apply to the site. Notwithstanding, pursuant to Clause 53.22-2, the responsible authority may waive any height or setback requirements otherwise imposed within the scheme.
38. The subject site is located within a commercial precinct with predominantly commercial single storey interfaces and limited built form sensitivities and does not propose an increase to the existing maximum building height on site. The existing basketball stadium (gym) forms the highest point on site at 8.5m, noting that the structure is to be retained and re-clad. The new structure and remainder of the development is proposed to have a maximum building height of 6.75m. The height remains of a low scale and has a building footprint that reflects the existing structures on site, with setbacks largely maintained (Figure 16).

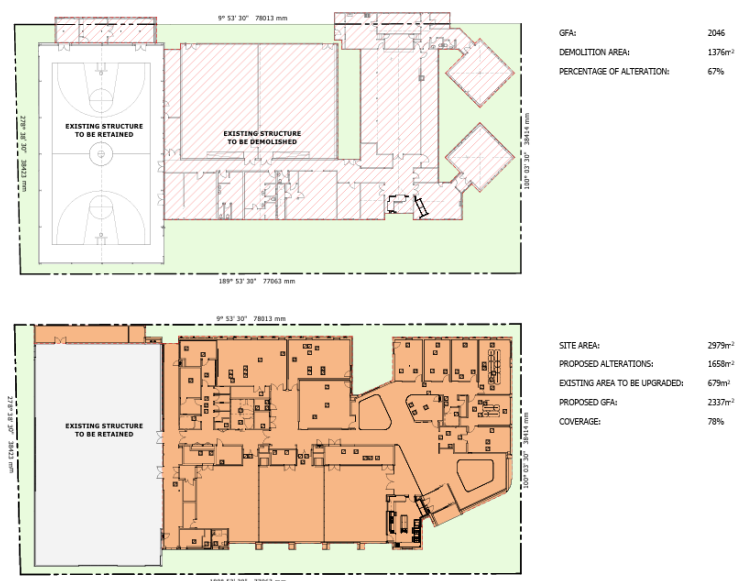


Figure 16: Proposed demolition and development summary

39. The single storey height and maintained setbacks along the eastern frontage is a positive outcome as the proposal will have negligible impact upon the neighbouring childcare centre and reserve. Overshadowing and visual bulk impacts will remain relatively unchanged.

### Design detail

40. The proposed design remains sympathetic to the surrounding built form context of commercial uses, as well as the heritage character of the surrounding heritage precinct. The proposed design features a combination of stack bond and recycled brick, and large double-glazed windows along the primary frontages to the north and east of the site. The glazing treatment to these frontages allows for a significantly improved street presence and passive surveillance outcome for a community asset (Figure 17). Landscaping proposed along the northern and western interfaces integrates with the existing setbacks and creates a visual break from the predominantly concrete/clad commercial environment to the north.
41. The main entrance is proposed to have significant identification signage when viewed from Eastwood Street, shortening Eastwood Leisure Centre to 'Eastwood'. The signage is to be made of metal lettering, referencing the previous metal lettering signage on site. The existing sign is to be installed back on site at a later date to honour the history of the community centre. Though exempt from requiring a planning permit, the proposed signage is considered appropriate in scale and design, with the simplified bronzed lettering anchoring the glazed frontage and creating a sense of arrival to a communal facility.
42. The existing basketball stadium (gym) refurbishment achieves a more subdued façade expression in keeping with its scale and role alongside the community centre (new building). The off-white roof sheeting provides a refreshed and modern façade treatment while still referencing the architectural language of the community centre. The use of two sheeting profiles provides a subtle rhythm aligned with the lower height and expression of the adjoining built form (Figure 18).

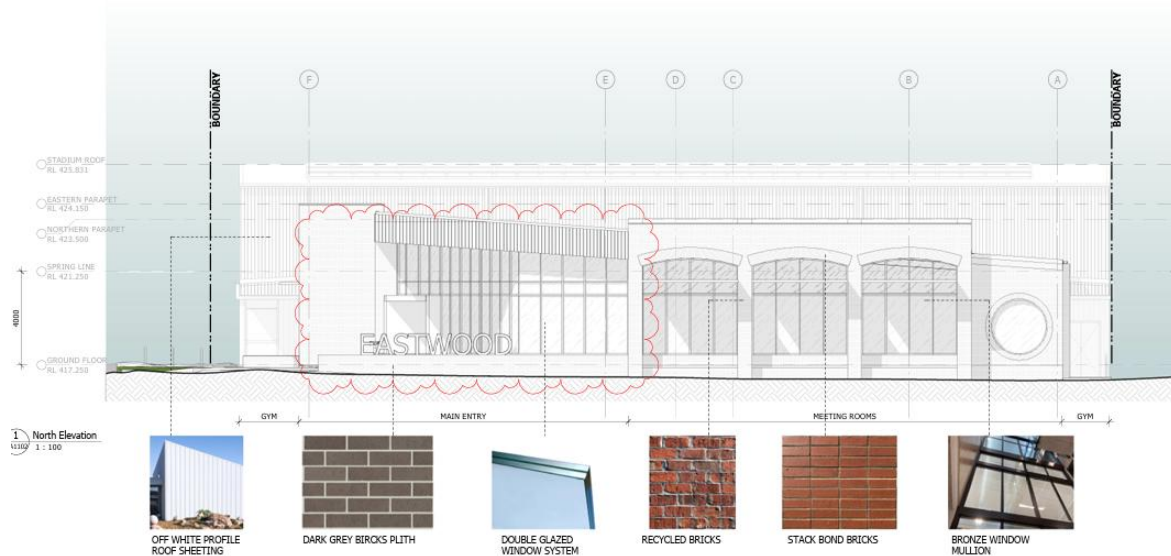


Figure 17: Proposed north elevation



Figure 18: Proposed east elevation

## Amenity

### Amenity Impacts (internal and offsite)

43. As the subject site is primarily bordered by the C1Z to the north, east and west, the direct interfaces for the development are not considered sensitive. To the south, the site abuts the General Residential Zone, however the Canadian Creek Public Park and Recreation Zone provide a buffer of approximately 50m between the site and the dwellings fronting Steinfeld Street South. The most sensitive interface is the southern portion of the western boundary of the subject site. Beyond Short Street lies 11A Steinfeld Street North, a single storey, detached weatherboard dwelling with a pitched corrugated iron roof located parallel to the basketball stadium (gym). As there are no substantial changes proposed to the direct interface, the proposal is not considered to result in material detriment to the residential property.
44. The single storey height and maintained setbacks along the eastern frontage are a positive outcome as the proposal will have negligible impact upon the neighbouring childcare centre and reserve.

### Hours of operation

45. DTP has been advised that once completed, the development will have hours of operation as follows:
- Existing hours of operation **8.30am** to 10.30pm – Monday to Sunday
  - Proposed hours of operation **6.30am** to 10.30pm – Monday to Sunday
46. The earlier opening hours are to allow greater opportunity for employees and patrons to commute via bicycle and utilise the onsite showers and change rooms and claim the relevant green star credits.
47. As this application only applies to buildings and works, hours of operation will not be enforced via the planning permit, and are not assessed through this report.

### Noise

48. The submitted acoustic report prepared by Stantec and dated 2 September 2025 provides a number of detailed design recommendations for the development including but not limited to:
- *That the vision façade achieves a minimum Rw 35 rating. This can be achieved with a 10.38mm laminate, or 6.38mm laminate/12mm air gap/6mm float DGU.*
  - *For non-vision facades, a minimum Rw 50 rating is recommended. This is to be further reviewed once further information on the proposed façade build-up is available.*
  - *The roof construction of the building is recommended to achieve a minimum Rw 35 rating. This can be achieved by providing a thermally insulated metal deck roof, and a standard suspended ceiling.*

- *Internal room acoustics design for this project is to be driven by the reverberation time (RT) as the basic design criterion for the development of room finishes.*

- *Areas requiring particular attention in relation to reverberation time include...Multi-purpose Room*

49. DTP notes that the acoustic report does not include the basketball stadium (gym) within its investigative scope. As such, a condition will be placed onto the permit requesting that the acoustic report be amended to include the basketball stadium works.
50. A permit condition will be placed onto the planning permit enforcing the implementation of the recommendations of the acoustic report.
51. Additionally, it is noted that no submissions were received during the notice period.

## Landscaping

52. The application is supported by a Preliminary Arborist Report prepared by Uber Arbor and dated 19 August 2025 and landscape plan prepared by Site Image and dated 1 December 2025.
53. The subject site is exempt from the requirements of Clause 52.37 (Canopy Trees) as it is located within the Commercial Zone.
54. As the proposal seeks to maintain a similar building footprint to the existing leisure centre, the proposal maximises the retention of trees on site. Notwithstanding, the proposal seeks to remove three non-native trees and three small non-native small trees/shrubs on site. The original proposal sought to retain and protect Tree #10, however after further investigation the applicant stated that Tree #10 was now proposed for removal to *'improve the concourse layout and eliminate risk of root damage from the planter wall footing'* as part of their RFI response.
55. The Arborist Report confirms that the proposal results in major encroachment (16.5%) into Tree #10's Tree Protection Zone (TPZ), and if major redesign is not possible, for the tree to be removed prior to works commencing as it would no longer be viable for retention. The report otherwise concludes that the proposal has an acceptable encroachment into the Tree Protection Zones of the remaining 11 trees to be retained on site and requests for the preparation of a Tree Protection Management Plan.
56. The proposed landscape plan demonstrates that the tree removal will be informally offset by planting two small-medium trees (Silver Banksia) at the rear of the site.
57. The plans currently show 'future works' to plant four canopy trees on Eastwood Street within existing on-street car parking bays to the north. The car parking bays would be removed to accommodate the canopy tree planting. As the works are located outside of the title boundary and within a council owned road, a condition will be placed onto the permit requesting that reference to the future works be removed from the plans or otherwise stated to be 'outside scope'.
58. As the council are the owner and operator of the subject site, the council can pursue canopy tree planting within their on-street car parking bays independent of the permissions granted under this planning permit.

## Car and Bicycle Parking, Loading, and Other Services

### Car Parking

59. Amendment VC277 was approved on 18 December 2025 and updated parking rates in Clause 52.06 (Car Parking) across all planning schemes in Victoria. VC277 implemented Action 5 of Plan for Victoria to match car parking rates with demand and reduce the number of car parking spaces required in locations well-served by public transport.

Car parking requirements were developed using the Public Transport Accessibility Level (PTAL) methodology which assigns categories to land determined by calculating walk times to public transport, type of public transport, public



transport routes and timetabling data. Category 1 areas have the lowest PTAL scores and Category 4 areas the highest PTAL scores.

60. Since gazettal of Amendment VC277, the subject site is located within Category 2 in Table 1 to Clause 52.06. The following car parking rates are relevant to the application:

61. The following car parking rates are relevant to the application:

Land Use	Measure	Category 2 (Minimum Requirement)	Total Required
<b>Place of Assembly</b>	To each patron	0.15	30 spaces
<b>Leisure and recreation</b>	To the satisfaction of the responsible authority	N/A	N/A
<b>Total provided</b>		<b>0 spaces</b>	
		(18 existing spaces shared with adjoining childcare centre and reserve/public park)	

62. Pursuant to Clause 52.06-6 the leisure and recreation centre use is not specified in Table 1 and must provide car parking to the satisfaction of the responsible authority.

63. As the uses on site are existing, the statutory considerations for car parking are limited to the increase in GFA as a result of the proposed works. The proposal seeks to increase the GFA from 2,000sqm to 2,337sqm, whereby an additional 337sqm of GFA is considered unlikely to result in a major increase in parking demand.

64. The Traffic Impact Assessment (TIA) prepared by Stantec concludes that the increase in parking demand can be adequately serviced by the existing provision of on-street car parking availability within the immediate surrounds of the subject site. The report states that there are 144 on-street parking spaces located within close walking distance to the subject site. Of the 144 on-street parking spaces, 10 spaces are short term (less than 1 hour), 32 spaces are medium term (1-3 hours) and 102 spaces are unrestricted.



Figure 19: Surrounding on-street car parking available relative to subject site

65. The TIA was submitted prior to the gazettal of Amendment VC277. As such, a condition will be placed onto the planning permit requiring the TIA to be amended to account for the revised Clause 52.06 requirements.



66. Based on the above, DTP consider the provision of car parking (reduce to zero) to be consistent with existing conditions and an acceptable outcome.

### Access, Traffic Movement and Circulation

67. Vehicle access to the site is proposed to be retained as the per the existing access arrangement without any modifications. The Eastwood Street crossover provides access to parking for the site and the adjacent childcare centre.

68. The TIA determines that the projected volume of traffic will remain inconsequential and will not disrupt the surrounding transport network. The majority of activity on site is expected to occur at night and outside of commuter peak hours. In addition, any overflow of car parking spaces utilising the surrounding on-street parking bays will disperse the saturation of movement in the area.

69. The council recommended that wheel stops be added to the existing car parking spaces adjacent to the main entrance (eastern elevation) to prevent vehicle encroachment into proposed public seating areas.

### Bicycle Facilities

70. The provisions of Clause 52.34 (Bicycle Facilities) apply to an application seeking to increase the floor area occupied by an existing use.

71. Given the size and intended use of the development, the proposal is best defined as a 'Minor Sports and Recreation Facility' pursuant to Table 1 of Clause 52.34-5. The statutory requirement for the use of land as a "Minor Sports and Recreation Facility" is detailed below:

Proposed Use	Bicycle Parking rate	No. of Spaces Required	No. of Spaces Provided
<b>Minor Sports and Recreation Facility</b>	1 per 4 (employee/resident)	2 spaces	8 spaces (14 required)
	1 to each 200 sqm of net floor area (Visitor/Shopper/Student)	12 spaces	

72. As the increase in GFA is limited to 337sqm, bicycle parking rates required under Table 1 of Clause 52.34-5 for a 'place of assembly' do not apply as the increase is less than 1500sqm.

73. The original proposal did not include any additional bicycle parking provision and sought to demolish the existing six bicycle parking spaces on the eastern frontage adjoining the car park. As part of the RFI response to DTP's and the council's recommendation to fulfil the provision, the applicant amended the plans to include 8 bicycle parking spaces on the western frontage along Short Street. As the submitted TIA recommends that all 14 bicycle parking spaces be provided, as well as nominating a suggested area to install them, a condition will be placed onto the permit requesting that a minimum of 14 bicycle parking spaces are to be provided on site.

74. Under Table 2 to Clause 52.34-5, there is no requirement to provide end-of-trip (EOT) facilities. However, while not formally designated as EOT, the change rooms and showers on site are public amenities available to staff to utilise for their commute.

### Waste

75. The application is supported by a Waste Management Plan (WMP) prepared by Impact and dated 3 September 2025. The report details the anticipated waste generation, waste storage area size, design and locations, bins and collection, and ongoing management of the development.

76. Waste collection will be conducted via private contractor via a mini rear loading waste vehicle approximately 6.4m long. Collection is to occur within the on-site car park and is supported by a swept path analysis.



77. As part of its RFI response to the council regarding kerbside pickup, the applicant stated that the that bins will be presented to Steinfeld Street for collection by the council and the WMP to be updated. This response conflicts with the WMP and Planning Report stating that waste collection services are to be solely via private contract. As such, a condition will be placed on the permit requesting that the WMP be amended to include clear delineation of waste collection services between the council and private contractor.

## Sustainability

### Environmentally Sustainable Design (ESD)

78. The application is supported by a Sustainability Management Plan (SMP) prepared by Stantec and dated 16 July 2025. The report outlines how the proposal appropriately responds to the requirements of Clause 15.01-2S (Building Design) and supports the City of Ballarat Carbon Neutrality and 100% Renewables Action Plan 2019-2025.

79. The proposal seeks to achieve the following key targets and initiatives:

#### Targets

- 5 Star Green Star Rating (formal certification) under the GBCA Green Star Buildings tool.
- Minimum 30% improvement on NCC 2022 energy efficiency standards to meet the Exceptional Performance level of the Energy Use credit within Green Star Buildings

#### Initiatives

- Commitment to reduced upfront carbon emissions by 20% via material emission reduction compared to a reference building case.
  - Efficient building form inclusive of dedicated design response to:
    - Passive thermal optimisation via air-tightness testing prior to practical completion.
    - Climate responsive & resilient design; and
    - High performance building fabric.
  - Fossil fuel free building, utilising no on-site combustion of fossil fuels and sourcing 100% of off-site energy from certified renewable sources.
  - Efficient electric building services including heat pumps for domestic hot water, use of variable refrigerant flow (VRF) air conditioning system, and LED lighting with integrated building automation for optimised energy performance.
  - On-site roof mounted solar PV provision (Current estimate of 40 kWdc PV system (30kW inverter) to be included.
  - Dedicated commitments to improve occupant health & well-being, including reduced exposure to toxins and harmful materials
  - Reduced waste to landfill via dedicated on-site waste management & separation provisions; and
  - Reduced overall demands for potable water by targeting a minimum 75% demand reduction compared to reference case building. Maximising rainwater capture and reuse is critical to achieving this target.
80. A condition will be placed on the permit to ensure that the SMP remains consistent with the architectural plans.

### Stormwater Management and Water Sensitive Urban Design (WSUD)

81. The application is supported by a Stormwater Management Plan (SWMP) prepared by Stantec and dated 4 July 2025. The report appropriately addresses the increased stormwater runoff as a result of the increase in GFA, and



potential water quality issues that could arise from the new impervious surfaces. The proposal seeks to exceed best practice water quality performance and WSUD principles by including the use of a rainwater tank and gross pollutant traps to treat stormwater run off on site.

82. The report states that a legal point of discharge application is to be lodged with the council for a new stormwater connection, nominating either of the existing outlets on Steinfeld Street N. A condition will be placed onto the permit ensuring that the applicant engage with the council to establish a legal point of discharge.
83. Subject to the above conditions, the proposal will result in appropriate stormwater outcomes.

# Recommendation



84. The proposal is generally consistent with the relevant planning policies of the **Ballarat** Planning Scheme and will contribute to the provision of community infrastructure within the central Ballarat area.
85. The proposal is generally supported by the municipal council.
86. It is **recommended** that Planning Permit No. PA2504008 for the development of a leisure and recreation centre at 20 Eastwood Street, Ballarat Central be issued subject to conditions.
87. It is **recommended** that the applicant and the council be notified of the above in writing.

**Prepared by:**

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

- No Conflict**
- Conflict and have therefore undertaken the following actions:
- Completed the **Statutory Planning Services declaration of Conflict/Interest form**.
- Attached the Statutory Planning Services declaration of Conflict/Interest form on to the hardcopy file.
- Attached the Statutory Planning Services declaration of Conflict/Interest form into the relevant electronic workspace.

Name:

Title:

Phone:

**Approved by:**

I have considered whether there is a conflict of interest in assessing this application and I have determined that I have:

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