

# Assessment Officer Report

PA2604472 – 409 Tooronga  
Road, Hawthorn.  
Bialik College



Officer Assessment Report  
Development Approvals & Design

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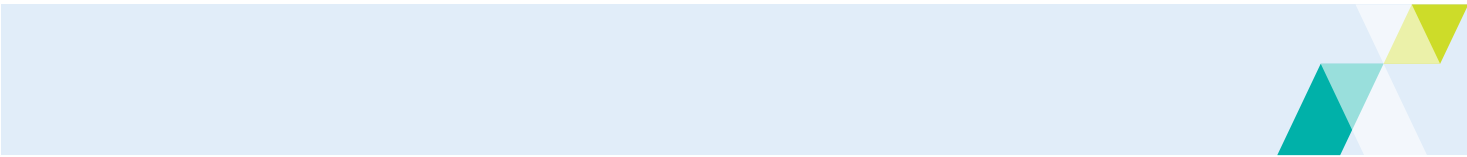
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Prepared by:	24
Approved by: Grant Logan	24

# Executive Summary



Key Information	Details		
<b>Application No:</b>	PA2604472		
<b>Received:</b>	15 June 2026		
<b>Statutory Days:</b>	11		
<b>Applicant:</b>	Bialik College c/- Upco		
<b>Planning Scheme:</b>	Boroondara		
<b>Land Address:</b>	409 Tooronga Road, Hawthorn		
<b>Proposal:</b>	Buildings and works for the replacement of the roof and construction of a toddler pool associated with the existing Bialik College Sports Centre.		
<b>Development Value:</b>	\$ 3.1 m		
<b>Why is the Minister responsible?</b>	In accordance with the schedule to Clause 72.01 of the Boroondara Planning Scheme, the Minister for Planning is the responsible Authority for this application because it is for the development of school building that is ancillary to, carried out in conjunction with and on the same land or contiguous land in the same ownership as a primary school or secondary school as the estimated cost is greater than \$3 million.		
<b>Why is a permit required?</b>	<b>Clause</b>	<b>Control</b>	<b>Trigger</b>
<b>Zone:</b>	Clause 32.09	Neighbourhood Residential Zone Schedule 3 (NRZ3)	<i>Construct a building or construct or carry out works</i>
	Clause 36.01	Public Use Zone	<i>N/A (no works within this area)</i>
	Clause 32.08	General Residential Zone	<i>N/A (no works within this area)</i>
<b>Overlays:</b>	Clause 43.04	Development Plan Overlay Schedule 2	<i>N/A – A development plan has been approved.</i>
<b>Particular Provisions:</b>	Clause 52.06	Car Parking	<i>N/A – no change to student or staff numbers</i>
<b>Cultural Heritage:</b>	A CHMP is not required.		
<b>Title:</b>	Lot S2 on Title Plan 603957U		
<b>Total Site Area:</b>	30,402	m <sup>2</sup> - (area for proposed works is 560 m <sup>2</sup> )	
<b>Referral Authorities:</b>	Boroondara City Council Head Transport for Victoria		
<b>Public Notice:</b>	Notice of the application was undertaken at the direction of the Minister for Planning in the following manner: Notice was given to the Boroondara City Council. <b>No objections have been received as of 26/06/2026</b>		



## Application Process

1. The school site has had an extensive planning permit history over many years with permits being issued by the City of Boroondara. The relevant planning approval was issued previously by the City of Boroondara is as follows:
  - DP21/001 – updated endorsed plans 17.06.2021
2. The key milestones in the application process were as follows:

Milestone	Date
Application lodgement	15 June 2026
Further information requested	N/A
Further information received	N/A
Decision Plans	Plans prepared by <b>Obsessive Architects</b> , titled ' <b>Bialik Toddler Pool</b> ' and dated <b>02/06/2026</b> .
Other Assessment Documents	<ul style="list-style-type: none"><li>• Endorsed Development Plan, prepared by Ron Ungar Architects, endorsed 17/06/21</li></ul>

3. The subject of this report is the decision plans (as described above).

## Proposal Summary

4. Planning permit application PA2604472 proposed to partially demolish the campus building (Sports Centre) on the site at 409 Tooronga Road, Hawthorn.
5. Specific details of the application include:
  - Partial replacement of roof of the existing sports centre (pool) on the site.
  - Internal refurbishment works to build a toddler pool within the existing building.
  - Roof replacement.
6. The applicant has provided the following concept images of the proposal:

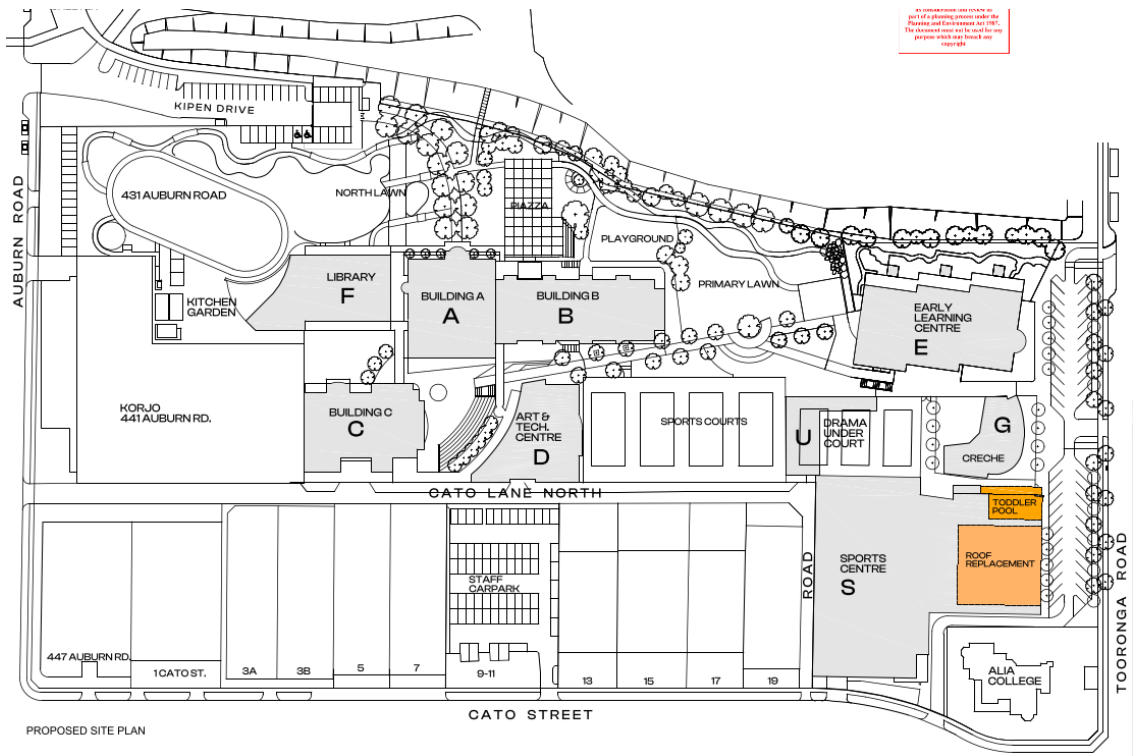
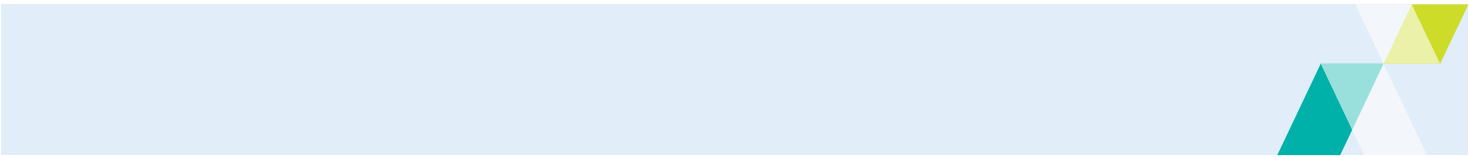


Figure 1: Existing site conditions

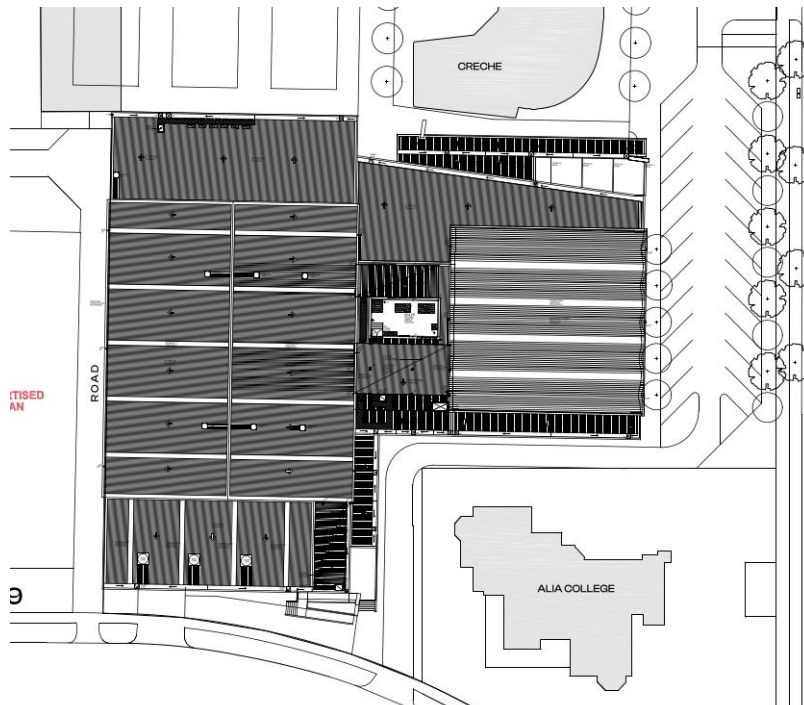


Figure 2: Existing roof plan

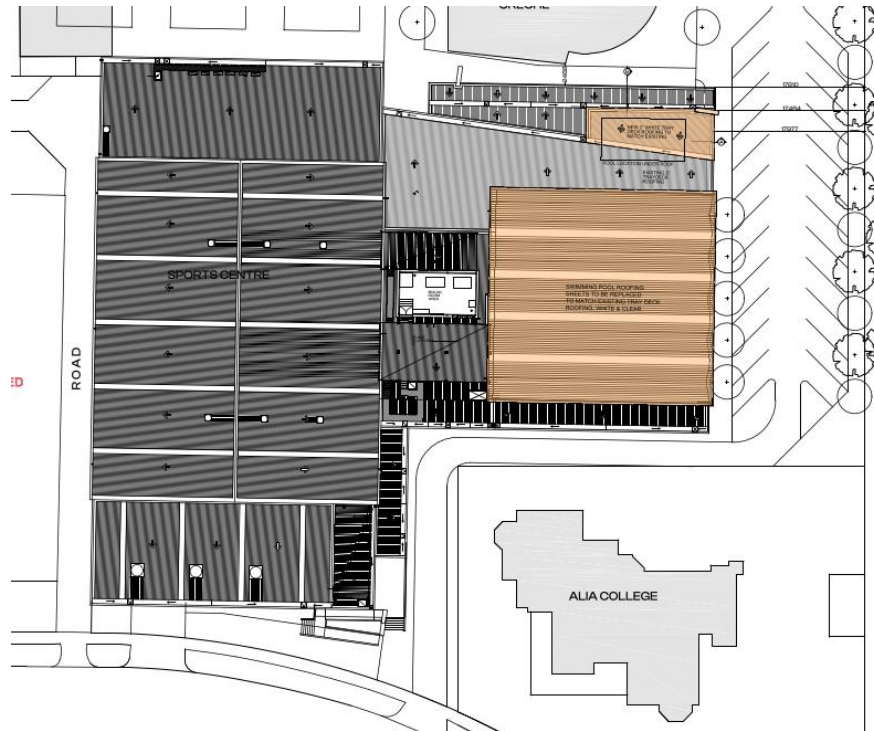


Figure 3: Proposed roof plan

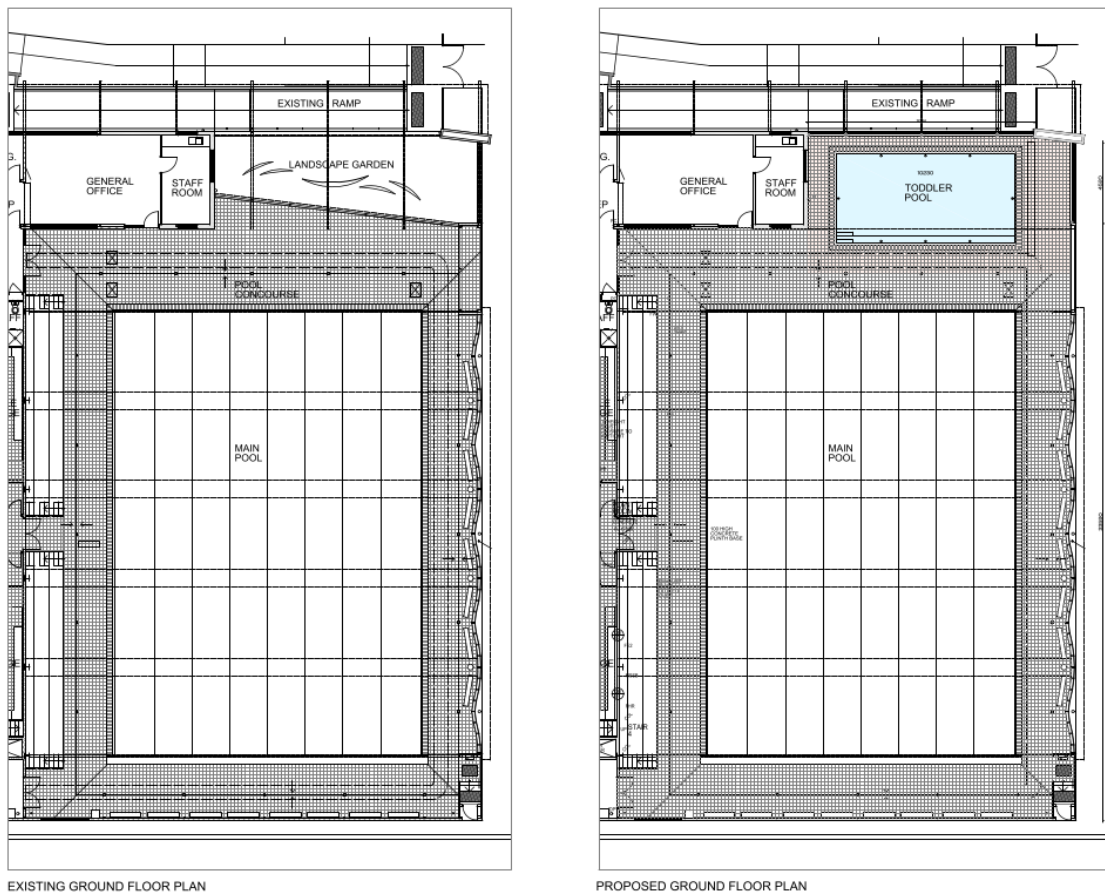


Figure 4: Existing and proposed floor plan





## Site Description

- The site is referred to as 409 Tooronga Road, Hawthorn. The overall site is irregular in shape and located on the western side of Tooronga Road. This application comprises of a small portion of the overall site, which contains a variety of school buildings including classrooms, sporting facilities, administration and onsite carparking to provide education facilities from Early learning to Year 12.

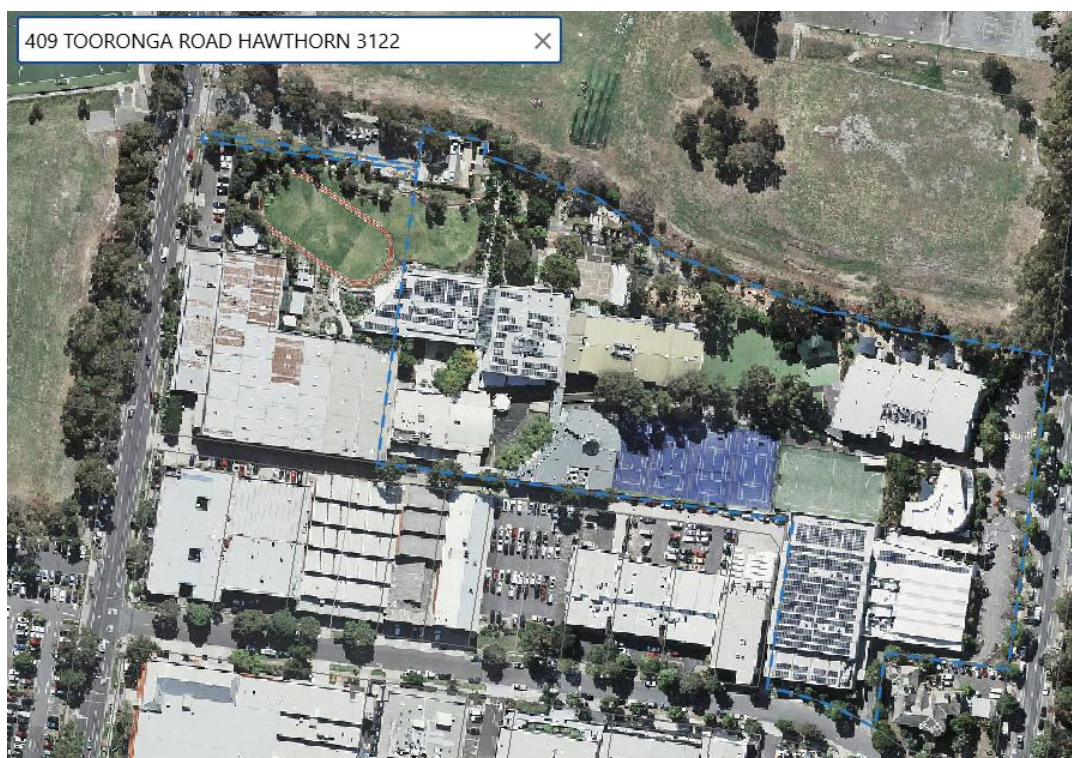


Figure 7: Subject site

- The area associated with the scope of works is located within the existing Sports Centre with no other school buildings to be affected.

## Site Surrounds

- The surrounding development consists mainly of the broader extent of the school and residential dwellings in the broader context.

- Development surrounding the site can be described as follows:

- To the **north** of the scope of works:

Directly to the north of the sports centre is building G (Creche) and the broader school.

Further north additional school buildings and facilities are located including the Early Learning Centre, north of the school grounds consists of John Gardiner Reserve.

- To the **south** of the scope of works:

To the south of the proposed development is Alia College which is a heritage building located on the corner of Cato Street and Tooronga Road.



*Figure 8: Alia College*

- To the **east** of the scope of works:

To the east of the site, including Tooronga Road comprises of bi-directional traffic and on-street parking. On the eastern side of Tooronga Road is Cato Park.



*Figure 9: Cato Park*

- To the **west** of the scope of works:

To the west of the site is commercial properties which face Cato Street.



*Figure 10: Commercial buildings to the west of the sports centre.*



## Municipal Planning Strategy

11. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
<b>02.01</b>	Context <i>Provides context of City of Boroondara including environmental landscapes, housing, built form, economic development and transport.</i>
<b>02.02</b>	Vision <i>Sets out the strategy for the community vision including strategic direction and objectives.</i>
<b>02.03-4</b>	Built Environment and heritage <i>Provides direction for built form and character within the municipality.</i>
<b>02.03-7</b>	Infrastructure <i>Ensure that health and education institutions are integrated with their surrounding area and are planned in a coordinated manner.</i>

## Planning Policy Framework

12. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

<b>Clause 11</b>	<b>Settlement</b>
<b>11.01-1S</b>	Settlement <i>To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.</i>
<b>Clause 15</b>	<b>Built Environment and Heritage</b>
<b>15.01-1S</b>	Urban Design <i>To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.</i>
<b>15.01-1L-01</b>	Urban design and built form outcomes <i>To achieve high quality urban design and built form outcomes which enhance streetscapes, maintain amenity and cater to a diversity of user needs.</i>
<b>15.01-2S</b>	Building Design <i>To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.</i>
<b>Clause 19</b>	<b>Infrastructure</b>
<b>19.02-2S</b>	Education facilities <i>Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities.</i> <i>Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).</i>

13. The assessment section of this report provides a detailed assessment of the relevant planning policies.



## Zoning and Overlays

### Applicable Zone/s

#### Neighbourhood Residential Zone – Schedule 3

14. A planning permit is required to construct a building or construct or carry out works in accordance with a Section 2 use of **Clause 32.09-1**. The site benefits from existing use rights and therefore no planning permit is required to use land for the school.
15. The purpose of the **Neighbourhood Residential Zone** is:
  - To implement the *Municipal Planning Strategy* and the *Planning Policy Framework*.
  - To recognise areas of predominantly single and double storey residential development.
  - To manage and ensure that development is responsive to the identified neighbourhood character, heritage, environmental or landscape characteristics.
  - To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.
16. The following sections include a discussion of how the proposal responds to these requirements.

### Applicable Overlay/s

#### Development Plan Overlay – Schedule 2 (DPO2) (Boroondara)

17. Pursuant to Clause 43.04-1, a permit must not be granted to use or subdivide land, construct a building or carry out works until a development plan has been prepared to the satisfaction of the responsible authority. A permit granted must be generally in accordance with the development and include any conditions or requirements specific in the schedule to this overlay.
18. A Development Plan has been approved by City of Boroondara Council in 2016, and it was amended in 2021.
19. The works are consistent with the approved Development Plan.

## Particular and General Provisions

### Provisions that Require, Enable or Exempt a Permit

#### **Clause 52.06 (Car Parking)**

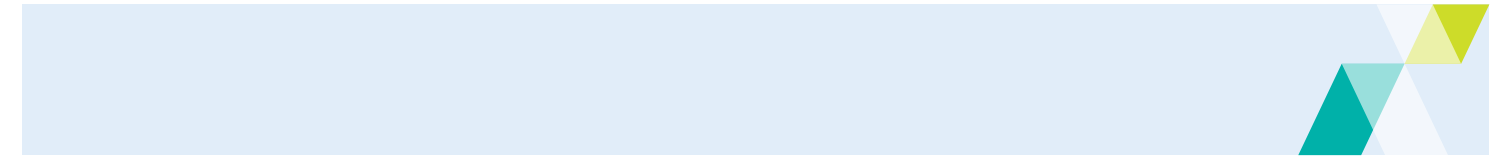
20. Clause 52.06 -1 is applied to an increase in floor area or site area of an existing use. The proposal is not a new use of land and the changes to the existing building results in a minimal increase to the floor area. The application documents have confirmed that there is no change to operation of the school and no increase to the number of staff or students at the school.

#### **Clause 52.34 (Bicycle Facilities)**

21. The application proposed no increase to student numbers or teaching staff. As there are no changes to the staff or student numbers, no additional bicycle parking is required.

#### **Clause 53.19 (non-government schools)**

22. Clause 53.19 applies to the use and development of land for a primary school, secondary school, or education centre that is ancillary to, carried out in conjunction with, and on the same land or contiguous land in the same ownership as, a primary school or secondary school.

- 
23. An application to which Clause 53.19 applies, exempts it from the decision requirements of section 64(1), (2), and (3), and the review rights of section 82(1) of the Act.

**Clause 53.18 Stormwater in Urban development**

24. Clause 53. 18 (Stormwater in urban developments) applies to this application for buildings and works. The clause includes standards and objectives relating to stormwater management and aim to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits. General Requirements and Performance Standards.



## Referrals

25. The application was referred to the following groups:

Provision / Clause	Organisation	Response and date received
Section 52 Notice	Boroondara Council	26/06/26 – no objection
Section 55 Determining	Head Transport for Victoria	24/06/26 – no objection

## Municipal Council Comments

26. The Boroondara City Council (the council) have considered the application and do not object to the proposed works.

27. The council has confirmed that the proposed works are in accordance with the Development Plan approved by the council.

## Head Transport for Victoria Comments

28. The Head Transport for Victoria have considered the application and do not object to the proposed works.

## Notice

29. The application was not advertised other than to the municipal authority under section 52(1)(b) as it was considered not to cause material detriment to any person because:

- The works are minor in nature, predominantly internal and cannot be seen from outside the school.

30. No objection has been received.



## Strategic Direction and Land Use

32. The *Planning Policy Framework* encourage appropriate land use and development which enhances the built environment, supports economic growth, meets the community expectations on retail and commercial provision, delivers diversity in housing supply to meet existing and future needs, and integrates transport and infrastructure planning.

33. The relevant MPS and PPF policies have been considered in assessing the application.

34. The proposed land use is consistent with the strategic direction of the following policies.

35. Clause 02.02-3 Environmental Risks and Amenity (institutional Uses) seeks to:

- *Manage the potential impacts of institutional uses on residential amenity in residential areas.*
- *Continues the effective management of the school within the broader area.*

36. Clause 13.07-1L-02 which has an objective to:

*To facilitate non-residential uses in residential zones that are compatible with the residential amenity of the area and serve the needs of the local community.*

37. Clause 13.07-1L-03 is a policy for institutional uses which applies to a variety of non-residential uses within the municipality including St Catherine's School. The clause provides guidance through the following strategy:

*Ensure institutional uses are developed in an orderly manner and are complementary to the context of their surroundings, especially any surrounding residential areas.*

38. Clauses 15, 15.01-1S, 15.01-2S, 15.01-5S and 15.01-2L-01 collectively have the following objectives relating to design:

*To create the urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.*

And the following strategies which provided the following guidance:

- *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*
- *Ensure the form, scale and appearance of development enhances the function and amenity of the public realm.*
- *Support development that respects the scale, form and setbacks of nearby heritage places.*
- *Discourage development that is significantly higher or lower in height than the surrounding buildings unless a different preferred height is specified for the particular area in another provision of the planning scheme or in a structure plan.*

Clause 19.02-2S provides the following guidance:

### *Education Facilities*

*To assist in the integration of education and early childhood facilities with local and regional communities.*

- *Consider the demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.*
- *Facilitate the establishment and expansion of primary and secondary education facilities to meet the existing and future education needs of communities.*
- *Recognise that primary and secondary education facilities are different to dwellings in their purpose and function and can have different built form (including height, scale and mass).*



39. The proposed upgrades to the existing building and the construction of the new toddler swimming pool have taken the local planning policies into account. The siting of the pool within the existing sports complex has ensured that the impact to adjoining properties is minimal.
40. The new pool will help to meet the educational needs of the school and the surrounding and broader community.

### **Neighbourhood Residential Zone**

41. The guidelines in the zone provide direction for non-residential uses which are allowable under Section 2 of Clause 32.09-1. For the consideration of non-residential uses, the decision guidelines direct decisions to consider the following relevant considerations:
  - Whether the development is compatible with residential use.
  - Whether the use generally serves local community needs.
  - The scale and intensity of the use and development.
  - The design, height, setback and appearance of the proposed buildings and works.
42. Accordance with the purpose of zone which recognises residential land for the use for community facilities, the proposed refurbishment of existing buildings provides an acceptable built form when assessed against the decision guidelines for non-residential use and development.
43. The use of the land as a school is ongoing and does not trigger a planning permit.

### **Buildings and Works**

44. Detailed plans have been submitted for the proposed renovation works to the existing sports complex.
45. The works include the following:

#### **Sports Centre**

- Construction of toddler pool.
- Replacement of roof.

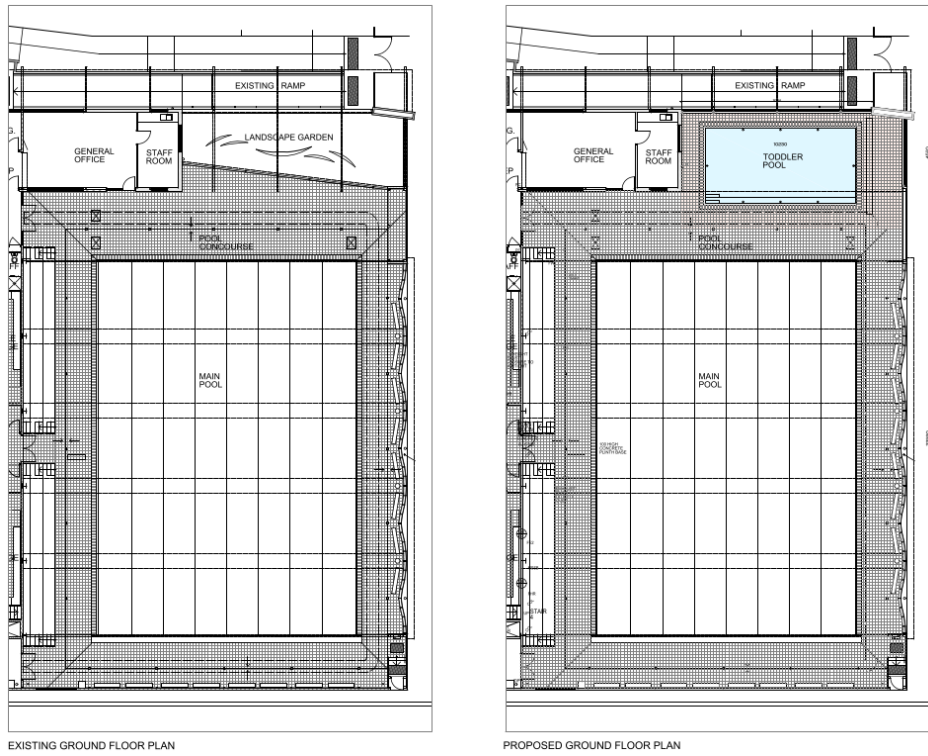


Figure 11: Existing floor plan (left) proposed floor plan (right)



Figure 12: Current roof plan

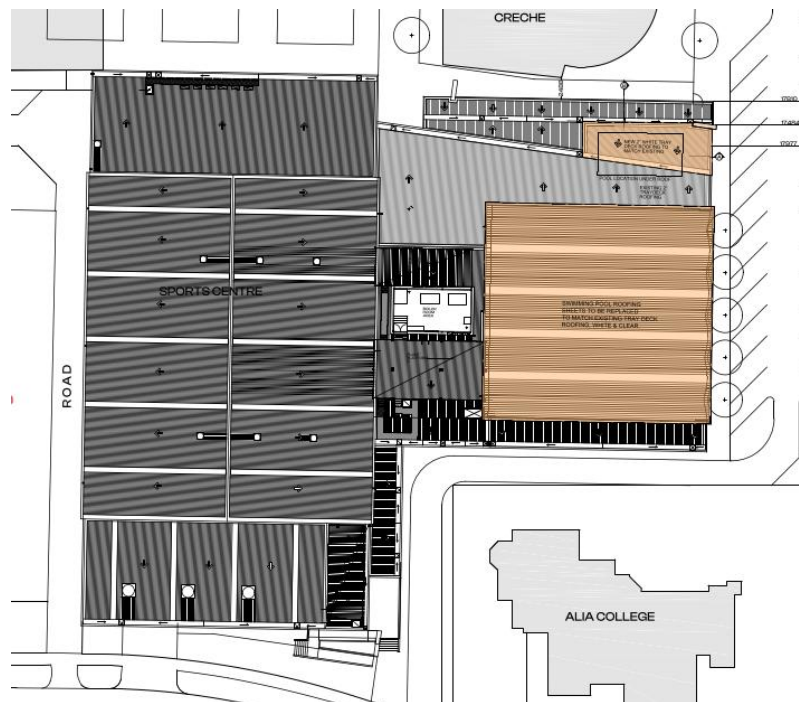


Figure 13: Proposed roof design

46. The plans show the new toddler pool is located within the existing sports centre. The building comprises of a main pool and other sporting areas. The toddler pool is to be located in an area which is currently a garden bed.
47. The buildings will be modified to create the toddler pool adjacent to the main pool through the removal of part of the northern external wall and constructing a new external glazed wall adjacent to the accessibility ramp and removing a garden bed.
48. The proposed works will remain under the existing roof line and the open pergola which was located above the garden bed will be removed and replaced with roofing.

### Height and Setbacks

49. The changes to the roof will not change the approved overall height of the building.

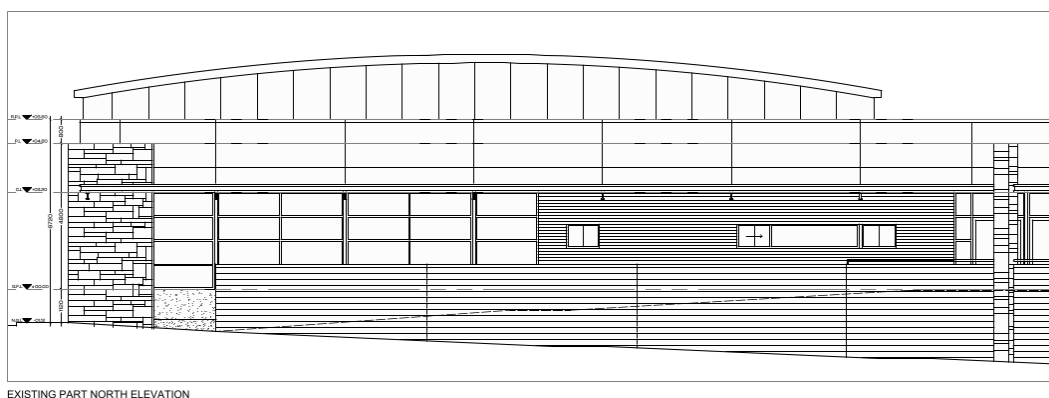


Figure 14: Existing north elevation

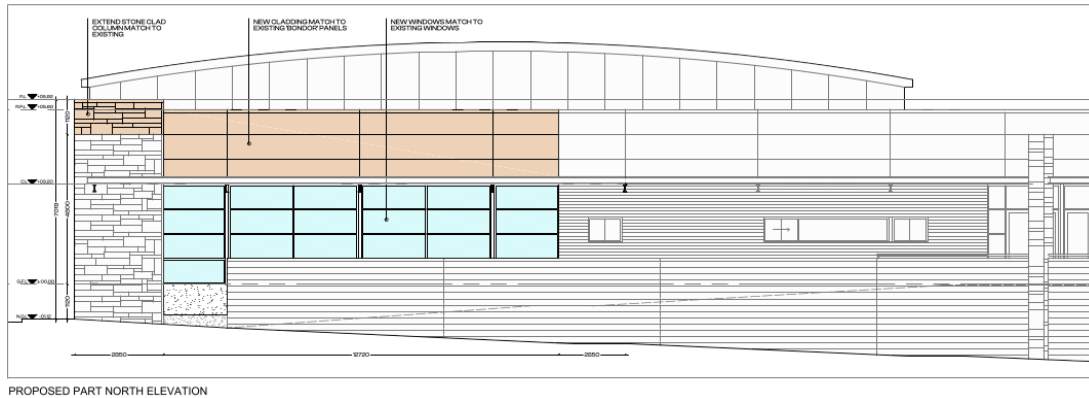


Figure 15: Proposed change to north elevation

50. The changes to the north elevation include a new section of glazed wall, an increase to the stone cladding on the corner of the building and new cladding to match the current conditions.
51. The zone recognises that non-residential uses are different from residential, however the proposed built form is considered to be consistent with the existing building height and is therefore acceptable. The proposed works sit within the existing building footprint.

### Design Detail

52. The applicant has submitted a comprehensive materials schedule as part of the application documents. This includes the design detail for the upgrades to the retained building.
53. The materials to be used on the extension to the sports centre are consistent with the current materials and finishes, this will ensure a consistent built form. The overall design detail of the building is retained, and the proposed works are not visible from the street.





<b>MATERIAL SCHEDULE:</b>	
ROOFING Stramit Speed Deck Ultra 700 Roofing. Match to Existing Roofing.	
ROOFING: 500 Decking profile Ampelite WonderglasGC, Opaque finish. Match to Existing Roofing.	
WINDOWS: Capral Aluminium Windows. Match to Existing Windows.	
CADDING: Stone wall panels on block wall. Match to Existing Stone Wall.	
CADDING: 9mm thick compressed cement sheet with recessed joints. Match to Existing External Walls.	

Figure 16: Materials and finishes



54. The amendment to the existing sports centre to include a new toddler pool is consistent with the existing use of the building and the changes to the built form are consistent with the current building.

## **Amenity**

### **Amenity Impacts (internal and offsite)**

55. There are limited amenity impacts to adjoining properties with the proposed works being internal and the remaining under the same roof line, the intended use of the existing building is consistent with the remainder of the building.

### **Overshadowing**

56. There are no overshadowing impacts to any other properties.

## **Public Realm**

### **Ground Level Activation / Public interfaces.**

57. The modifications to the building include new windows and sections of roof, additional cladding to match the existing. The changes are located on the northern elevation of the building and are not visible from the street.

## **Landscaping**

58. The application has not been submitted with a landscape plan as there is no landscaping works to be undertaken.

### **Car parking**

59. The proposal does not include any additional staff or students and does not trigger the requirement for additional onsite car parking. There are no changes to the existing onsite parking provided for staff.

### **Bicycle Facilities**

60. The proposal does not include any additional staff or students therefore no additional bicycle parking is required as a result of the amendment.

### **Waste**

61. A waste management plan has not been provided however the waste management on the site is not expected to vary significantly from the current conditions. Waste management will be managed in accordance with the existing operations of the school.

### **Stormwater Management**

62. The application has not been submitted with a stormwater management plan as the works to replace the roof will have limited impact on the current discharge of water from the building.

## Planning Permit

<b>Permit No.:</b>	PA2604472
<b>Planning scheme:</b>	Boroondara Planning Scheme
<b>Responsible authority:</b>	Minister for Planning
<b>ADDRESS OF THE LAND:</b>	409 Tooronga Road, Hawthorn

### THE PERMIT ALLOWS:

<b>Planning scheme clause No.</b>	<b>Description of what is allowed</b>
Clause 32.09-10	Construct a building or construct or carry out works associated with an existing Education Centre.

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

---

#### Compliance with documents approved under this permit.

1. At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.

#### Layout not altered.

2. The layout of the use and development must not be altered from the layout shown on the approved and endorsed plans without the written consent of the responsible authority.

#### Approved and endorsed plans – no changes required

3. Before the development starts, including demolition, bulk excavation and site preparation works, plans must be approved and endorsed by the responsible authority. The plans must be prepared to the satisfaction of the responsible authority, be drawn to scale with dimensions, be generally in accordance with the plans prepared by Obsessive Architecture, dated 02.06.2026.

#### General Amenity

4. The amenity of the area must not be detrimentally affected by the use(s), including through:
  - The transport of materials, goods or commodities to and from the land;
  - The unsightly appearance of any buildings, works or materials;
  - The emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil; or
  - The presence of vermin;



To the satisfaction of the Responsible Authority.

### **Commencement**

5. This permit will operate from the issued date of this permit.

### **Expiry**

6. This permit will expire if one of the following circumstances apply:

- a) The development is not started within 2 years of the issued date of this permit.
- b) The development is not completed within 4 years of the issued date of this permit.

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

- a) The commencement date referred to if a request is made in writing before the permit expires or within six months afterwards.
- b) The completion date referred to if a request is made in writing within six months after the permit expires and the development started lawfully before the permit expired.

### **Notes:**

(the following information does not form part of this permit)

The permitted use or development may need to comply with, or obtain the following further approvals:

- These notes are provided for information only and do not constitute part of the permit or conditions of this permit.
- This permit does not authorise the commencement of any demolition or construction on the land. Before any demolition or construction may commence, the applicant must apply for and obtain appropriate building approval from a Registered Building Surveyor.
- The applicant/owner will provide a copy of this planning permit and endorsed plans to any appointed Building Surveyor. It is the responsibility of the applicant/owner and the relevant Building Surveyor to ensure that all building (development) works approved by any building permit are consistent with this planning permit.
- A building permit under the *Building Act 1993*.
- Paths, access ramps and Tactile Ground Surface Indicators to be installed in accordance with DDA requirements and the relevant Australian Standards.

# Recommendation



63. The proposal is consistent with the relevant planning policies of the Boroondara Planning Scheme and will contribute to the provision of education facilities within the Hawthorn area.
64. The proposal is supported by the Boroondara City Council and Head Transport for Victoria.
65. It is recommended that Planning Permit No. PA2604472 for the renovation of existing sports complex at 409 Tooronga Road, Hawthorn be issued subject to conditions.
66. It is recommended that the applicant and the council be notified of the above in writing.

