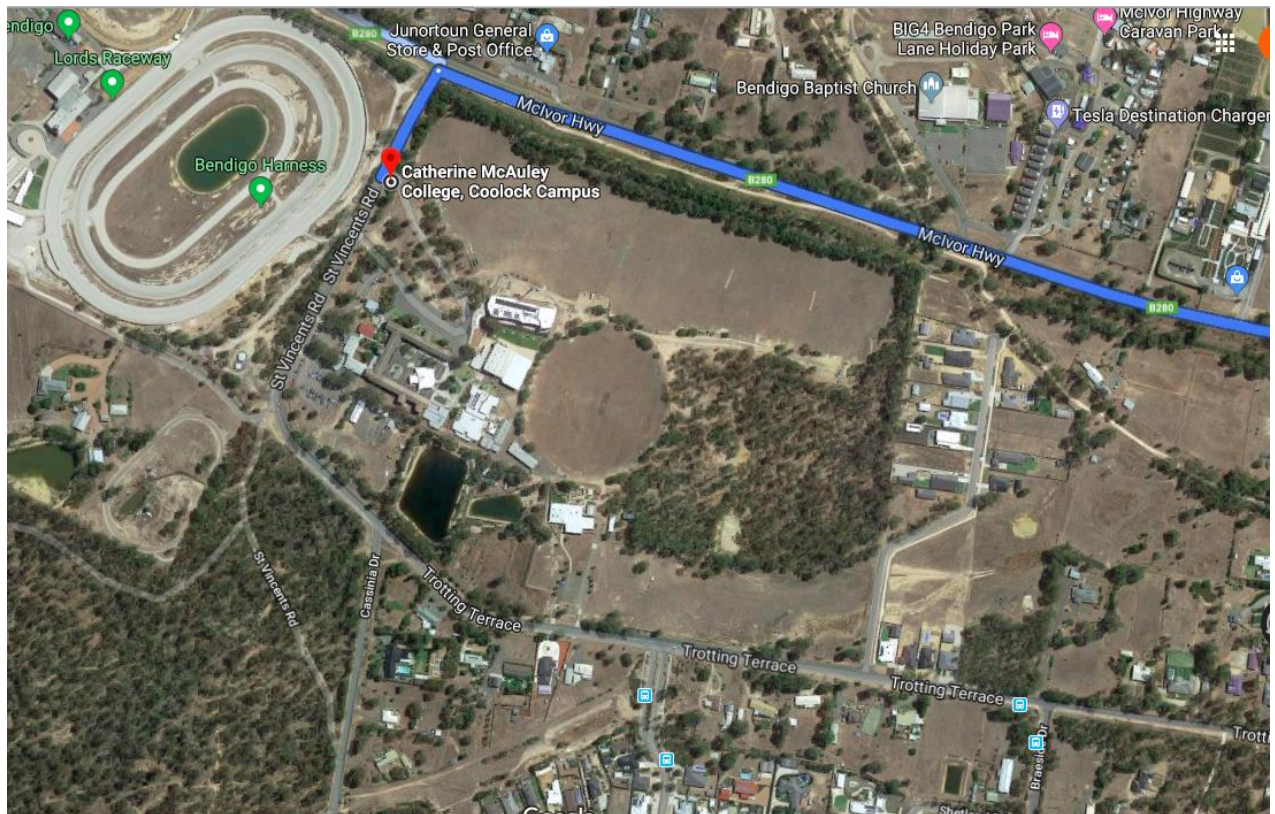


Maureen Jackson Planning



**Catherine McAuley College
Proposed development of sporting facilities and
associated infrastructure and removal of native
vegetation at 10 St Vincents Rd, Junortoun.**

Prepared for: McAuley Property Ltd
Prepared by: Maureen Jackson Planning Pty Ltd, January 2021



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APPENDICES - All appendices provided separately

- Plans prepared by RMG and Clarke Hopkins Clarke**
- Traffic Assessment prepared by RMG**
- Bushfire Development by Terramatrix**
- Sustainability Management Plan by Energy Water Environment**
- Stormwater Management Plan by RMG**
- Vegetation removal and offset report by Cumbre Consulting**
- Letter of advice from Coliban Catchment Authority**
- Landscape Plan by Spiire.**
- Letter of advice from Heritage Insight.**
- Masterplan by RMG.**

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1 BACKGROUND

Catherine McAuley College is a Catholic, co-educational Mercy Sisters School located within Bendigo, Central Victoria. The college has a proud tradition of Catholic education dating back to 1876 when Sister Aloysius Martyn and the Sisters of Mercy first arrived in Bendigo. For over 140 years, the Sisters of Mercy have given extraordinary service to the Bendigo community. Inspired by their foundress, Catherine McAuley, the Sisters have educated thousands of children and worked tirelessly wherever their help was needed.

Within Bendigo, the college is located over two campuses, Coolock Campus being located approximately 6km to the east of the CBD, and the St Marys Campus located approximately 800m to the north of CBD.

The college currently provides education between Year 7 to Year 12.

The current application relates to the Coolock Campus. Advice from the school is as follows-

.....We have approximately 1500 students at the commencement of 2021. Our growth is in the middle school. We move from 275 to 320 plus at Year 7. We expect to maintain these 320+ figures into the future. Many of the enrolments have been confirmed on the basis that we have a sporting precinct that has been proposed.

The forecast for 2025 is that the secondary school will hold 1800+ students with 1300 secondary students at Coolock. The other development will be the introduction of the proposed primary school that has been approved by the Diocese. It is planned that the primary setting will commence in 2023 with an Early Learning Centre attached. The ELC will be a long day facility for a 100 students and the primary school is projected to run four lines at each year level.

The total by 2028 would be 580 PS and ELC students at Coolock added to the 1300 from Year 7 – 10.

The Year 10's are moving to Coolock to access the sporting precinct and to complete the various Applied Learning Certificates that are now mandated for VCE students. The Hub will be heavily used throughout the reGEN Curriculum with the integration of PE, Outdoor Ed, Veritas, and VET subjects such as Sport Rec, Administration, Community Service, Hospitality, Venue Management, Food Technology and countless partnership arrangements with the COGB, Cricket Australia and the AFL.

The College will also be establishing sporting teams that will compete in the Melbourne Catholic Schools Competition in 2022 and will have a number of teams in various local and regional competitions. The Hub will be the critical resource for School, City, AFL and CA events at a range of levels around the clock.



In essence the growth of the College has been and is dependent on the completion of the concept and the evidence generated by the City on projected demographic growth and in specific sports highlights the validity and merit of the partnership.....

A copy of the Masterplan is included in the appendices.

Previous planning approval.

- Relocation of Care Takers Residence and Construct New Science Wing 22/08/2000 720/2000
- Erect 1 Sign (School) at Mclvor Highway Junortoun,11/12/2000 1076/2000
- Construction of a Single Level School Technology Building and Link Gallery to Existing Building and Associated Landscape Works 3/03/2006 218/2006
- Construct Bus Interchange Area and Remove 8 Native Trees 13/10/2006 902/2006
- Construction of a Covered Area attached to Existing School,23/10/2009 651/2009
- Construction of a Single Storey Building for Educational Purposes and Removal of Native Vegetation 10/03/2010 110/2010
- Construction of a Shed 21/07/2011 528/2011
- Construction of shed,29/06/2012 462/2012
- Construction of shed (Amended plans for changes to ramp and door),25/03/2015 462/2012
- Construction of chapel (associated with existing school), reduction in car parking, and removal of native vegetation. 16/04/2014 976/2013
- Construction of chapel (associated with existing school), reduction in car parking, and removal of native vegetation 9/12/2013 976/2013
- Construction of workshop building and extension to existing workshop building 8/04/2015 225/2015
- Construction of workshop building and extension to existing workshop building (Amended plans to allow for revised siting of workshop building) 5/02/2016 225/2015
- Construction of workshop building and extension to existing workshop building (Amended plans to allow for removal of 1 window) 18/06/2015 225/2015
- Building and works (shade structure and stage) 2/07/2015 463/2015
- Building and works to establish new educational hub building; and parking dispensation 22/12/2016 957/2016

2 THIS REPORT

This report has been prepared in support of obtaining planning approval for the development of sporting facilities and associated infrastructure and removal of native vegetation at 10 St Vincents Rd, Junortoun.

The following sections of this report provide:

- An overview of the site and surrounds;
- A description of the proposal; and,



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- An assessment of the proposal against the planning controls impacting the site.



3 SITE DESCRIPTION

The subject site, being the Coolock Campus of Catherine McAuley College, is a roughly rectangular parcel of land of approximately 31.5 hectares in area. The site is bounded by two road frontages, being St Vincents Road along the west and Trotting Terrace along the south; vehicular access is primarily from St Vincents Rd, with a secondary crossover from Trotting Terrace. The eastern boundary abuts residential properties and the northern boundary abuts the buffer to the major arterial road, the Mclvor Highway, a Category 1 Road zone, running east-west. To the west, across St Vincents Road, is the Lords Raceway and Bendigo Harness racing tracks.

The site is located 6 km to the east of the CBD of Bendigo. To the west and south of the site lie the outer residential suburbs of Junortoun and Strathfieldsaye. To the west and south-west is the Greater Bendigo National Park, separating the site from suburban and central Bendigo. Open space and low density development is found in the neighbouring north and north-western areas, with a large area of State forest and the Air Cadet Barracks to the north.

Topography

The Coolock site topography is characterised by a highpoint at the intersection of St Vincents Road and Trotting Terrace, falling gradually to the north-east to the drainage line running parallel to the Mclvor Highway.

Access and Egress

Access to the Coolock Campus is primarily by bus and private motor vehicle, via one-way entry and exit driveways onto St Vincents Road.

Students predominantly arrive either by bus through a dedicated entrance off St Vincents Road to a bus interchange directly in front of the exiting building or by parent drop-off through a separate entrance off St Vincents Road. Vehicular circulation is predominantly on the east side of the school providing access to the main building precinct. Further access/egress is provided off Trotting Terrace to the Trade Training Centre

Vegetation

Vegetation on site comprises predominantly native species and the vegetation required for removal to facilitate the development of the sporting facilities has been carefully assessed as this vegetation presents a unique opportunity for students to connect with the natural environment.

A significant row of trees is located along the Mclvor Road boundary that forms a clearly identifiable edge to the school and a key principle has been to retain as many of these trees to visually separate the campus from the road.



4 OVERVIEW OF THE PROPOSAL

This project relates to the Lower Sports Oval Precinct at the Coolock Campus, and will see the development of sporting ovals and adjacent building infrastructure. There will be four sporting ovals - one senior large size, one senior minimum size and two junior size, two outdoor netball courts, carparking and landscaping, and adjacent changerooms and amenities. The building, the outdoor courts and carparking will be located centrally in the oval precinct. The changerooms and amenities will be co-located with the Northern Rivers Regional Cricket Hub building, which will feature an elite indoor cricket training facility with six cricket pitches, two internal basketball courts, changerooms and amenities and office administration area. The current application relates to Stage 1 only as detailed below.

JOINT USE OF THE SPORTING FACILITIES

The proposed development will deliver a shared use space to be used by Catherine McAuley College, Cricket Victoria and the Bendigo community. It will house the Northern Rivers Regional Cricket Hub, with an elite indoor cricket training facility supported by administration offices staffed by Cricket Victoria full time. Two indoor courts deliver spaces for basketball, netball, volleyball and badminton, with supporting infrastructure for delivering physical education to school classes. Eight change rooms with adjoining toilet and shower amenities will support the use of two ovals and two outdoor netball courts. The building will also house a social space, first aid room, kitchen/kiosk, staff offices for Catherine McAuley College and dedicated umpire changerooms for sporting events.

A Joint Use Agreement is finalised between the City of Greater Bendigo and McAuley Property as owners of the site. This Joint Use Agreement will facilitate a wider community use of the facility outside of school hours, and outline in detail the shared management, potential hours of useage and ongoing maintenance of the site.

The project will likely be delivered in two stages and planning approval is required for the overall development.

In essence the overall project scope is as follows:

- One junior size oval (Stage 1);
- One senior size oval, minimum size 135m x 110m (Stage 1);
- One junior size oval (Stage 2);
- One senior full-size oval - full size 165m x 135m (Stage 2);
- Grading of land (Stage 1 and 2);
- Irrigation (Stage 1 and 2);
- Subsoil drainage (Stage 1 and 2);
- Cricket pitches (Stage 1 and 2);
- Goal posts (Stage 1 and 2);
- Training lights to all four ovals divided into the 2 stages, with Stage 2 senior oval to also have match lighting (Stage 1 and 2);
- Coaches' boxes (Stage 1 and 2);
- Electronic scoreboards, to senior ovals (Stage 1 and 2);
- Night lighting to carpark and entry road (Stage 1);
- Central carparking and access road (Stage 1);
- Pedestrian access ways and pathways (Stage 1 and 2);
- Landscaping (Stage 1 and 2);



-
- Services (Stage 1 and 2);
 - Detention area for drainage purposes (Stage 1); and
 - Outdoor netball courts x 2 (Stage 1).

Internal works include the following:

- Unisex changerooms servicing ovals (4 in Stage 1, 2 in Stage 2);
- Dedicated unisex umpires' changerooms (1 in Stage 1, 1 in Stage 2);
- Dedicated unisex netball changerooms (Stage 1);
- First aid (Stage 1);
- Two indoor basketball courts (Stage 1);
- Dedicated storage areas for football, netball, cricket and school use (Stage 1);
- Kiosk/servery (Stage 1);
- School staff offices (Stage 1);
- Elite cricket indoor training facility (Stage 1);
- Cricket administration offices (Stage 1);
- Kitchen/kiosk (Stage 2); and
- Social space (Stage 2).



5 GENERAL PLANNING POLICY AND PLANNING SCHEME PROVISIONS

The Greater Bendigo Planning Scheme requires consideration of the following key planning provisions:

Planning Scheme	Greater Bendigo
SPPF	<p>Clause 10 – Operation</p> <p>Clause 11 – Settlement</p> <p>Clause 11.01-1R Settlement - Loddon Mallee South</p> <p>Clause 11.02-1S Supply of urban land</p> <p>Clause 11.02-2S Structure planning</p> <p>Clause 12 Environmental and Landscape Values</p> <p>Clause 12.01-2S Native vegetation management</p> <p>Clause 12.03-1S River corridors, waterways, lakes and wetlands</p> <p>Clause 12.05-1S Environmentally sensitive areas</p> <p>Clause 13 Environmental Risks and Amenity</p> <p>Clause 13.02-1S Bushfire Planning Policy application</p> <p>Clause 13.03-1S Floodplain management</p> <p>Clause 14.02-1S Catchment planning and management</p> <p>Clause 15.01-2S Building design</p> <p>Clause 15.01-4S Healthy neighbourhoods</p> <p>Clause 15.02-1S Energy and resource efficiency</p> <p>Clause 17.01-1R Diversified economy - Loddon Mallee South</p> <p>Clause 17.02-2S Out-of-centre development</p> <p>Clause 18.02-4S Car parking</p> <p>Clause 19.02-6S Open space</p> <p>Clause 19.03-3S Integrated water management</p>
LPPF and MSS	<p>Clause 21.01 MUNICIPAL PROFILE</p> <p>Clause 21.02 KEY ISSUES AND INFLUENCES</p> <p>Clause 21.02-1 Compact Greater Bendigo</p> <p>Clause 21.02-2 Environment</p> <p>Clause 21.02-3 Economic development</p> <p>Clause 21.08-3 Public land and open space</p> <p>Clause 21.08-5 Flooding</p> <p>Clause 22.04 Salinity and Erosion Risk Policy</p> <p>Clause 22.08 Highway Entrances and Boulevards Policy</p> <p>Clause 22.10 Environmentally Sustainable Development</p>
Zoning	<p>Clause 37.01 SPECIAL USE ZONE</p> <p>SCHEDULE 1 PRIVATE EDUCATIONAL OR RELIGIOUS INSTITUTIONS</p>
Overlays	<p>Clause 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY</p> <p>SCHEDULE 1 WATERCOURSE PROTECTION</p> <p>Clause 42.02 VEGETATION PROTECTION OVERLAY</p> <p>SCHEDULE 2 SIGNIFICANT VEGETATION</p> <p>Clause 44.04 LAND SUBJECT TO INUNDATION OVERLAY</p> <p>SCHEDULE 1 FLOODING FROM WATERWAYS (DEPTHS UP TO AND INCLUDING 350 MILLIMETRES)</p> <p>SCHEDULE 2 FLOODING FROM WATERWAYS (DEPTHS GREATER THAN 350</p>



	MILLIMETRES) Clause 44.06 BUSHFIRE MANAGEMENT OVERLAY
Particular Provisions	Clause 52.06 CAR PARKING Clause 52.17 NATIVE VEGETATION Clause 52.34 BICYCLE FACILITIES Clause 52.29 LAND ADJACENT TO A ROAD ZONE, CATEGORY 1, OR A PUBLIC ACQUISITION OVERLAY FOR A CATEGORY 1 ROAD Clause 53.02 BUSHFIRE PLANNING ABORIGINAL CULTURAL HERITAGE
General Provisions	Clause 65 Decision Guidelines
Planning permit triggers	Clause 37.01 SPECIAL USE ZONE, Buildings and Works Clause 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY Clause 42.02 VEGETATION PROTECTION OVERLAY SCHEDULE 2 SIGNIFICANT VEGETATION Clause 44.04 LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE 1 FLOODING FROM WATERWAYS (DEPTHS UP TO AND INCLUDING 350 MILLIMETRES) SCHEDULE 2 FLOODING FROM WATERWAYS (DEPTHS GREATER THAN 350 MILLIMETRES) Clause 44.06 BUSHFIRE MANAGEMENT OVERLAY Clause 52.06 CAR PARKING Clause 52.17 NATIVE VEGETATION Clause 52.34 BICYCLE FACILITIES Clause 52.29 LAND ADJACENT TO A ROAD ZONE, CATEGORY 1, OR A PUBLIC ACQUISITION OVERLAY FOR A CATEGORY 1 ROAD

State Planning Policy Framework

The following State Planning Policies (SPPF) were reviewed and considered to be of particular relevance to the proposal:

Clause 11 Settlement

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Planning is to recognise the need for, and as far as practicable contribute towards:

Health, wellbeing and safety.

Diversity of choice.

Adaptation in response to changing technology.

Economic viability.

A high standard of urban design and amenity.

Energy efficiency.

Prevention of pollution to land, water and air.

Protection of environmentally sensitive areas and natural resources.

Accessibility.

Land use and transport integration.

Planning is to prevent environmental and amenity problems created by siting incompatible land uses close together.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.



Clause 11.01-1R Settlement - Loddon Mallee South

Strategies

Support Bendigo as the regional city and the major population and economic growth hub for the region, offering a range of employment and services.

Manage and support growth in Castlemaine, Gisborne, Kyneton and Maryborough as employment and service hubs that reinforce the network of communities in the region.

Support sustainable growth and expansion in Inglewood, Bridgewater, Marong and Harcourt to capitalise on their proximity to Bendigo.

Facilitate increased commercial and residential densities, mixed use development and revitalisation projects for underutilised sites and land in Bendigo.

Maintain non-urban breaks between settlements.

Clause 11.02-1S Supply of urban land

Objective

To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

Strategies

Planning for urban growth should consider:

Opportunities for the consolidation, redevelopment and intensification of existing urban areas.

Neighbourhood character and landscape considerations.

The limits of land capability and natural hazards and environmental quality.

Service limitations and the costs of providing infrastructure.

Clause 11.02-2S Structure planning

Objective

To facilitate the orderly development of urban areas.

Strategies

Ensure effective planning and management of the land use and development of an area through the preparation of relevant plans.

Undertake comprehensive planning for new areas as sustainable communities that offer high-quality, frequent and safe local and regional public transport and a range of local activities for living, working and recreation.

Response

The proposal appropriately balances competing land use, development and built form objectives in the Greater Bendigo Planning Scheme. The proposal expands the availability and access to recreation as well as assisting in fostering a sense of community for those who participate in active recreational pursuits. The expansion supports both community and regional sporting activities and in a strategic sense, the growth of Bendigo as a regional centre for population growth with facilities and services to support this growth.

Clause 12 Environmental and Landscape Values

Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Clause 12.01-2S Native vegetation management

Objective

To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.

Strategies



Ensure decisions that involve, or will lead to, the removal, destruction or lopping of native vegetation, apply the three-step approach in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation* (Department of Environment, Land, Water and Planning, 2017):

Avoid the removal, destruction or lopping of native vegetation.

Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.

Provide an offset to compensate for the biodiversity impact from the removal, destruction or lopping of native vegetation.

Clause 12.03-1S River corridors, waterways, lakes and wetlands

Objective

To protect and enhance river corridors, waterways, lakes and wetlands.

Strategies

Protect the environmental, cultural and landscape values of all water bodies and wetlands.

Ensure development responds to and respects the significant environmental, conservation, cultural, aesthetic, open space, recreation and tourism assets of water bodies and wetlands.

Ensure development is sensitively designed and sited to maintain and enhance environmental assets, significant views and landscapes along river corridors and waterways and adjacent to lakes and wetlands.

Ensure development does not compromise bank stability, increase erosion or impact on a water body or wetland's natural capacity to manage flood flow.

Clause 12.05-1S Environmentally sensitive areas

Objective

To protect and conserve environmentally sensitive areas.

Strategies

Protect environmentally sensitive areas with significant recreational value from development that would diminish their environmental conservation or recreational values.

Response

The proposal has considered environmental and sustainability sensitivities and has employed measures from the design stage onwards to minimise any detrimental impact and enhance sustainability. The proposal has also assessed the loss of native vegetation and advice provided in the application shows that only a small amount of vegetation is to be removed with no large trees impacted by the proposed new developments. A vegetation offset is proposed based on the removal of native vegetation and additional landscaping on site.

Clause 13 ENVIRONMENTAL RISKS AND AMENITY

Planning should strengthen the resilience and safety of communities by adopting a best practice environmental management and risk management approach.

Clause 13.02-1S

Bushfire planning Policy application

This policy must be applied to all planning and decision making under the *Planning and Environment Act 1987* relating to land that is:

- Within a designated bushfire prone area;
- Subject to a Bushfire Management Overlay; or
- Proposed to be used or developed in a way that may create a bushfire hazard.

Objective

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Strategies

Protection of human life



Bushfire hazard identification and assessment

Settlement planning

Areas of biodiversity conservation value

Use and development control in a Bushfire Prone Area

In a bushfire prone area designated in accordance with regulations made under the *Building Act 1993*, bushfire risk should be considered when assessing planning applications for the following uses and development:

- Subdivisions of more than 10 lots. Accommodation.
Child care centre.
Education centre.
- Emergency services facility.
- Hospital.
Indoor recreation facility.
Major sports and recreation facility.
- Place of assembly.
- Any application for development that will result in people congregating in large numbers.

When assessing a planning permit application for the above uses and development:

- Consider the risk of bushfire to people, property and community infrastructure.
- Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.
- Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.

Policy guidelines

Consider as relevant:

Any applicable approved state, regional and municipal fire prevention plan.

Policy documents

Consider as relevant:

AS 3959-2009 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009) *Building in bushfire-prone areas - CSIRO & Standards Australia* (SAA HB36-1993, 1993)

Any bushfire prone area map prepared under the *Building Act 1993* or regulations made under that Act

Response

A detailed response to these objectives is provided in the appendices to this report. The study assesses the potential fire hazard and identifies the bushfire protection measures that will be required for future development. It concludes that development can appropriately prioritise the protection of human life and meet the objectives of Clause 13.02, and ensure that the siting of the facilities will result in an exposure to RHF not exceeding 12.5kW/m², which is commensurate with a BAL-12.5 construction standard.

Clause 13.03-1S Floodplain management

Objective

To assist the protection of:

- Life, property and community infrastructure from flood hazard.
- The natural flood carrying capacity of rivers, streams and floodways.
- The flood storage function of floodplains and waterways.
- Floodplain areas of environmental significance or of importance to river health.

Strategies

- Identify land affected by flooding, including land inundated by the 1 in 100 year flood event or as determined by the floodplain management authority in planning schemes.
- Avoid intensifying the impact of flooding through inappropriately located use and development.



- Locate emergency and community facilities (including hospitals, ambulance stations, police stations, fire stations, residential aged care facilities, communication facilities, transport facilities, community shelters and schools) outside the 1 in 100 year floodplain and, where possible, at levels above the height of the probable maximum flood.

Policy guidelines

Consider as relevant:

- Regional catchment strategies and special area plans approved by the Minister for Energy, Environment and Climate Change or Minister for Water.
- Any floodplain management manual of policy and practice, or catchment management, river health, wetland or floodplain management strategy adopted by the relevant responsible floodplain management authority.
- Any best practice environmental management guidelines for stormwater adopted by the Environment Protection Authority.

Clause 14.02-1S Catchment planning and management

Objective

To assist the protection and restoration of catchments, water bodies, groundwater, and the marine environment.

Strategies

Ensure the continued availability of clean, high-quality drinking water by protecting water catchments and water supply facilities.

Consider the impacts of catchment management on downstream water quality and freshwater, coastal and marine environments.

Retain natural drainage corridors with vegetated buffer zones at least 30 metres wide along each side of a waterway to:

- Maintain the natural drainage function, stream habitat and wildlife corridors and landscape values,
- Minimise erosion of stream banks and verges, and
- Reduce polluted surface runoff from adjacent land uses.

Undertake measures to minimise the quantity and retard the flow of stormwater from developed areas.

Require appropriate measures to filter sediment and wastes from stormwater prior to its discharge into waterways, including the preservation of floodplain or other land for wetlands and retention basins.

Ensure that development at or near waterways provide for the protection and enhancement of the environmental qualities of waterways and their instream uses.

Ensure land use and development minimises nutrient contributions to water bodies and the potential for the development of algal blooms.

Require appropriate measures to restrict sediment discharges from construction sites. Ensure planning is coordinated with the activities of catchment management authorities.

Response

A detailed stormwater management plan has been undertaken as has discussion with the Coliban Catchment Authority. Advice is provided in relation to this in the attachments. It is considered that stormwater generated by development of the proposed ovals and building at the Catherine McAuley College's Coolock Campus will be suitably detained, treated and stored for reuse by the proposed 10ML basin to be constructed in Stage 1.

Clause 15.01-2S Building design

Objective

To achieve building design outcomes that contribute positively to the local context and enhance the public realm.

Strategies

Require a comprehensive site analysis as the starting point of the design process.



Ensure the site analysis provides the basis for the consideration of height, scale and massing of new development.

Ensure development responds and contributes to the strategic and cultural context of its location.

Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.

Ensure development is designed to protect and enhance valued landmarks, views and vistas. Ensure development provides safe access and egress for pedestrians, cyclists and vehicles.

Ensure development provides landscaping that responds to its site context, enhances the built form and creates safe and attractive spaces.

Encourage development to retain existing vegetation.

Response

As shown in the attached plans the building has been designed to integrate with the landscape and respond to its context within a school precinct. The buildings have been designed to ensure they complement the existing school on site and provide ease of access to and from the site. The form, scale and building materials have been carefully considered in terms of the public realm and existing landscape and will provide a facility of high standard in terms of sustainability and urban design.

Clause 15.01-4S Healthy neighbourhoods

Objective

To achieve neighbourhoods that foster healthy and active living and community wellbeing.

Strategies

- Design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity by providing:
- Conveniently located public spaces for active recreation and leisure.
- Amenities and protection to support physical activity in all weather conditions.

Clause 15.02-1S Energy and resource efficiency

Objective

To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions.

Response

The development has prioritised the importance of energy and resource efficiency. In terms of sustainability, the buildings have been assessed using the Built Environment Sustainability Scorecard, STORM assessment and Green Travel Plan. The proposal is considered to meet best practice as indicated in the accompanying report.

In addition, co-locating the facilities with the school and ensuring they are shared with the wider community are also key energy efficiency principles that have been adopted.

Clause 17.01-1R Diversified economy - Loddon Mallee South

Strategies

Support the ongoing role and contribution of the region's small towns, settlements and non-urban areas through investment and diversification of their economies.

Support and develop emerging and potential growth sectors such as tourism, renewable energy, resource recovery and other green industries.



Response

The development of the shared sporting facilities shows an investment in sport as part of a diversification of Bendigo's economy and provision of facilities needed for a growing population in this regional centre.

Clause 17.02-2S Out-of-centre development

Objective

To manage out-of-centre development.

Strategies

Discourage proposals for expansion of single use retail, commercial and recreational facilities outside activity centres.

Give preference to locations in or on the border of an activity centre for expansion of single use retail, commercial and recreational facilities.

Discourage large sports and entertainment facilities of metropolitan, state or national significance in out-of-centre locations unless they are on the Principal Public Transport Network and in locations that are highly accessible to their catchment of users.

Ensure that out-of-centre proposals are only considered where the proposed use or development is of net benefit to the community in the region served by the proposal or provides small scale shopping opportunities that meet the needs of local residents and workers in convenient locations.

Response

The sporting facilities are considered to build on the existing infrastructure on site and takes into consideration the growing population in the area. It will be of net benefit to the wider community.

Clause 18.02-4S Car parking

Objective

To ensure an adequate supply of car parking that is appropriately designed and located.

Strategies

Allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking.

Encourage the efficient provision of car parking by consolidating car parking facilities. Design and locate local car parking to:

Protect the role and function of nearby roads.

Enable easy and efficient use.

Enable the movement and delivery of goods.

Achieve a high standard of urban design and protect the amenity of the locality, including the amenity of pedestrians and other road users.

Create a safe environment, particularly at night.

Facilitate the use of public transport.

Protect the amenity of residential precincts from the effects of road congestion created by on-street parking.

Make adequate provision for taxi ranks as part of activity centres, transport interchanges and major commercial, retail and community facilities.

Response

Car parking has been carefully considered as well as access to and from the site as detailed in the traffic engineering report. An additional car parking area is proposed as part of the development of 151 spaces. Following construction of the proposed car park the available parking will exceed the estimated maximum



demand of 135 spaces by approximately 29 spaces. 3 of the spaces are DDA compliant. A detailed assessment is provided in the Traffic Engineering report attached.

Clause 19.02-6S Open space

Objective

To establish, manage and improve a diverse and integrated network of public open space that meets the needs of the community.

Strategies

Plan for regional and local open space networks for both recreation and conservation of natural and cultural environments.

Ensure that open space networks:

Are linked, including through the provision of walking and cycling trails.

Are integrated with open space from abutting subdivisions.

Incorporate, where possible, links between major parks and activity areas, along waterways and natural drainage corridors, connecting places of natural and cultural interest.

Ensure that where there is a reduction of open space due to a change in land use or occupation, additional or replacement parkland of equal or greater size and quality is provided.

Ensure that urban open space provides for nature conservation, recreation and play, formal and informal sport, social interaction, opportunities to connect with nature and peace and solitude.

Accommodate community sports facilities in a way that is not detrimental to other park activities.

Ensure open space provision is fair and equitable with the aim of providing access that meets the needs of all members of the community, regardless of age, gender, ability or a person's location.

Develop open space to maintain wildlife corridors and greenhouse sinks.

Supporting Clause 19.02-6S:

Greater Bendigo Public Space Plan

This strategy considers the opportunity to partner with Catherine McAuley College for a joint use of the open space in lieu of the regional sporting complex nominated for Mannes Lane, Axe Creek/Strathfieldsaye.

Further it identifies a secondary public space corridor on the network along the north-east side of the campus utilising Barkly Terrace West to connect Hustler Reef Reserve with Rosalind Parks.

Figure 9.1-7 – COGB Potential Walking/Cycling Link with O'Keefe Rail Trail





Response

The proposed sporting facilities are located within an existing open space area as part of the Catherine McCauley school site. The use of the land for formal sporting activities for the Bendigo community as a joint shared facility is an efficient and effective way of using the land for recreation purposes. Potentially it will also improve the connectivity of the school through a walking/cycling link.

Clause 19.03-3S Integrated water management

Objective

To sustainably manage water supply, water resources, wastewater, drainage and stormwater through an integrated water management approach.

Strategies

Plan and coordinate integrated water management, bringing together stormwater, wastewater, drainage, water supply, water treatment and re-use, to:

- Take into account the catchment context.
- Protect downstream environments, waterways and bays.
- Manage and use potable water efficiently.
- Reduce pressure on Victoria's drinking water supplies.
- Minimise drainage, water or wastewater infrastructure and operational costs.
- Minimise flood risks.
- Provide urban environments that are more resilient to the effects of climate change.

Integrate water into the landscape to facilitate cooling, local habitat improvements and provision of attractive and enjoyable spaces for community use.

Facilitate use of alternative water sources such as rainwater, stormwater, recycled water and run-off from irrigated farmland.

Ensure that development protects and improves the health of water bodies including creeks, rivers, wetlands, estuaries and bays by:

- Minimising stormwater quality and quantity related impacts.
- Filtering sediment and waste from stormwater prior to discharge from a site.
- Managing industrial and commercial toxicants in an appropriate way.
- Requiring appropriate measures to mitigate litter, sediment and other discharges from construction sites.

Manage stormwater quality and quantity through a mix of on-site measures and developer contributions at a scale that will provide greatest net community benefit.

Minimise the potential impacts of water, sewerage and drainage assets on the environment.

Protect significant water, sewerage and drainage assets from encroaching sensitive and incompatible uses.

Response

A Stormwater Management Plan is provided which shows that the stormwater generated by the development of the proposed ovals and building in Catherine McAuley College's Coolock Campus will be suitably detained, treated and stored for reuse by the proposed 10ML basin to be constructed in Stage 1.

Local Planning Policy Framework

Clause 21.01 MUNICIPAL PROFILE

Bendigo is one of Victoria's leading regional cities. It is Victoria's third largest urban centre outside metropolitan Melbourne and the major centre for north central Victoria. Projected population growth on current rates is for the city to reach 144,800 people by 2031 (Victoria in Future, 2015). The Loddon Mallee South Regional Growth Plan (2014) has an aspirational population target for Greater Bendigo of 200,000 persons by 2041.

Greater Bendigo performs a regional service role with construction, manufacturing, health care, education and financial services being the major contributors to economic output.



The municipality is located strategically in the centre of the State and with a well-connected network of highways and railways that provide important social and economic links to other parts of Victoria and interstate. Improvements to the transport infrastructure with the duplication of the Calder Highway and the Regional Rail project have improved the competitive strengths of Bendigo and the region.

Greater Bendigo presents a complex land use planning environment that is underpinned by its increasing desirability as a place to live, greater accessibility to the Melbourne employment market, a significant heritage stock of buildings and places, a unique landscape setting, and the ongoing need to provide employment opportunities.

Clause 21.02 KEY ISSUES AND INFLUENCES

Clause 21.02-1 Compact Greater Bendigo

Liveability

The council vision is for Greater Bendigo to be Australia's most liveable regional city. The McCaughey Centre at Melbourne University defines liveability as reflecting "the wellbeing of a community and comprises many characteristics that make a location a place where people want to live now and in the future."

The Greater Bendigo Residential Strategy (2014) has a key role to play in improving the liveability of the municipality in terms of where and how people live and work and how they access services and move around.

Planning for health

The built environment impacts on people's health and wellbeing and often in Greater Bendigo the built environment does not encourage active lifestyles. This inactivity is causing a rise in the incidence of diabetes, obesity and cardio-vascular disease and costs the national economy millions of dollars each year. Greater Bendigo has one of Australia's highest obesity rates and lowest levels of regular participation in active recreation.

Native vegetation management

Native vegetation in and around Bendigo and across the municipality is a key contributor to the character of the city. The management of this vegetation, particularly at the interface with residential development is a key challenge.

From a strategic perspective, it is important that significant vegetation not be included in a zone that would place the vegetation under threat. At a statutory level, the Development at the Urban Forest Interface Policy and Design and Development Overlay, Schedule 6 address the issue of managing the interface and by default are used to manage fire risk in these locations.

The Greater Bendigo Residential Strategy (2014) identifies the need to investigate tools that could be used within the urban growth boundary to protect biolinks and connect areas of environmental significance.

Open space

Greater Bendigo contains numerous areas and corridors of open space, which is managed by various land managers. Council is developing a comprehensive open space strategy to provide a network of open space for a variety of recreational uses across the municipality.

Clause 21.02-2 Environment

Natural resource management

Bendigo is very different from most other Australian centres in that it wasn't located next to a major water source. Instead of being deliberately sited along major rivers to provide ample water for residents, Bendigo grew up around the 1850's goldrushes. Management of the quality and quantity of source water, which is a limited resource, is a critical issue. In particular, the catchment areas, such as the Lake Eppalock Declared Water Supply Catchment within Greater Bendigo, that supply domestic water need to be protected from inappropriate development. The challenge of supplying quality water and wastewater services highlights the need for land use and development planning to address the regional issues of maintenance and improvement of water security and supply.

Dryland salinity is an increasingly important issue to agricultural productivity, urban and recreational areas and aquatic ecosystems. Council is committed to addressing processes that contribute to increased salinity.



Clause 21.02-3 Economic development

Tourism

Bendigo is an important visitor destination in the heart of Victoria's Goldfields region. The City of Greater Bendigo is one of Victoria's largest and most progressive regional centres. Bendigo has a mild climate, heritage buildings, parks and gardens, impressive streetscapes and National, State and Regional Parks. Bendigo forms part of the Goldfields campaign region as defined by the Victorian State Government. This region is recognised for its significant heritage value and as Victoria's regional events capital.

Clause 21.08-3 Public land and open space

The municipality is very well catered with facilities for active recreation. Recreation and sporting facilities and activities are pursued at a wide range of venues in the region including the Queen Elizabeth Oval, Bendigo Racecourse, Aquatic Centre, Lake Eppalock, Lake Weeroona, and various tennis courts, swimming pools and golf courses. It is important that this reputation be protected in order to continue to serve residents well and to attract major regional and state events.

Clause 21.08-5 Flooding

Overview

Bendigo Creek and its tributaries have a long history of flooding that has historically caused damage to infrastructure and buildings throughout the Bendigo urban area. The new development areas of Maiden Gully, Strathfieldsaye and Huntly are also affected by flooding from waterways. Some of the Bendigo urban area is also subject to flooding from old drainage systems that do not have sufficient provision for overland flows.

Objectives

- 1.1 To minimise the risk to life, health and safety from the effects of flood waters.
- 1.2 To minimise the potential damage to new buildings and works from flood waters.
- 1.3 To preserve the natural function of floodplains, including their inherent wetland values

Strategies

- 1.1 Manage urban development in areas of lower hazard flooding risk and discourage development in these areas unless the likely effects of flooding can be minimised to acceptable levels.

Response

The proposed development positively responds to the vision for Greater Bendigo in the following manner:

- increases the attractiveness of living in Bendigo through the provision of sporting fixtures linked with open space and recreation.
- provides opportunities for exercise by participating in sport and increasing the potential health of residents.
- provides an efficient co-location of facilities for the benefit of the school and other residents in the community, and
- has been designed with a strong focus on sustainability principles in order to minimise the loss of native vegetation, ensure water retention and appropriate stormwater management.

Clause 22.04 Salinity and Erosion Risk Policy

This policy applies to all land and water within the municipality. The responsible authority will consider this policy when making decisions on land use and development.

Policy basis

Greater Bendigo is committed to achieving healthy catchments which protect and enhance the environment whilst supporting sustainable natural resource management. Sustainable resource management is recognised as being important to the economy and community of the municipality and region.

The natural environment of Greater Bendigo is worthy of protection and supports large areas of remnant and regrowth box ironbark forests of local, State and International significance. Lake Eppalock is also valuable as both



a water supply and for recreation opportunities. These assets need to be protected and managed and the integrity of the water supply from the Lake Eppalock Catchment needs to be maintained.

Environmental hazards such as the removal of native vegetation, salinity, erosion and the proliferation of pest plants and animals also need to be managed and minimised.

Objectives

Salinity

To identify groundwater discharge areas and high groundwater recharge areas with the assistance of Departments of Sustainability and Environment and Primary Industry.

To minimise risk of salinity and of rising and high watertables.

To facilitate stabilisation of areas affected by salinity.

To encourage revegetation of areas which contribute to salinity.

To ensure development is compatible with site capability and the retention of native vegetation.

Erosion risk

To ensure that the use and development of land does not cause significant land disturbance. To protect areas prone to soil erosion by minimising soil erosion and vegetation loss.

Policy

It is policy that: -

Salinity

A proposal and the assessment of a proposal to use or develop land which may contribute to salinity, or is at risk of salinisation, should consider the following:

- The appropriateness or otherwise of irrigated land uses, water storage construction, and the need to demonstrate that any proposal does not increase recharge to groundwater systems, or lead to rising water tables;
- The potential for groundwater pollution resulting from land uses requiring on-site waste disposal, and the need to consider appropriate waste disposal systems;
- The need to retain or establish vegetation to reduce groundwater recharge, and to lower water table levels in discharge areas;
- proposal the capability of the land to accommodate the use or development.

Erosion risk

Where the responsible authority considers that erosion risk may exist, the following information may be required: -

- A land capability assessment of the site, prepared by an appropriately experienced or qualified land management specialist, identifying those areas which may be subject to erosion and how development of the site, including access and servicing, will be located and managed to prevent erosion or landslip; and
- A detailed environmental management plan, which outlines the ongoing maintenance for soil stability.

Before deciding on an application to use, subdivide or develop land or carry out works the responsible authority may consider: -

- Land capability studies; and
- The advice of any relevant land management agency.

The responsible authority may impose conditions on a permit for land which may be at risk from erosion requiring works to be undertaken to minimise erosion risk such as revegetation of gullies and steep slopes.

The removal of native vegetation and earthworks be minimised.

Response

The proposed development minimises the need for the removal of native vegetation and earthworks and should not cause significant land disturbance.



Clause 22.08 Highway Entrances and Boulevards Policy

This policy applies to the use and development of land abutting and adjoining the “Highway Entrances and Boulevards Policy Area” as shown on the attached map.

Policy basis

The highways and other main roads located in Greater Bendigo are a significant asset used by residents and visitors. These traffic routes provide important transport opportunities and create an impression of the municipality. This policy implements coordinated urban design projects for the main traffic routes through Bendigo.

Objectives

To ensure that the use and development of land does not lessen the service, safety, role and amenity of main roads.

To encourage an appropriate scale, intensity, design, appearance and presentation of land uses and developments along highways and main roads.

To limit the number of access points to highways and main roads and to ensure that new access points do not interfere with the safety of such roads.

To avoid further linear or ribbon development along highways and main roads.

To protect existing areas of vegetation along and adjacent to highways and main roads.

To ensure that new uses and developments do not detract from the value of existing landscapes. To provide for value adding and related commercial development within existing nodes.

Policy

It is policy that:

Applications for new uses and developments which:

- lessen the level of service, safety and function of the road
- detract from the appearance and amenity of the area
- result in the unnecessary loss of vegetation
- extend linear or ribbon forms of development

will not be supported.

Non-residential uses

Non-residential use or development should be provided in business or industrial zones or on sites with non-conforming uses in accordance with the provisions of the planning scheme.

Response

A photomontage of the view from the Mclvor Highway is provided that shows the majority of works relate to the use of the land for recreation without a significant mass of buildings. Further to this, the existing trees along Mclvor Highway continue to provide a buffer to the site and should not lessen the level of service, safety and function of the highway.

Clause 22.10 Environmentally Sustainable Development

This policy applies throughout the City of Greater Bendigo to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy.

Clause 22.10-1 Policy basis

Greater Bendigo City Council is committed to creating an environmentally sustainable city. Critical to achieving this commitment is for development to incorporate appropriate environmentally sustainable design standards. This policy aims to integrate environmental sustainability principles into land-use planning, new developments and redevelopment of existing infrastructure.

This policy provides a framework for early consideration of environmental sustainability at the building design stage in order to achieve the following efficiencies and benefits:

- Easier compliance with building requirements through passive design;



- Reduction of costs over the life of the building;
- Improved affordability over the longer term through reduced running costs;
- Improved amenity and liveability;
- More environmentally sustainable urban form; and
- Integrated water management.

Clause 22.10-2 Objectives

The overarching objective is that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

The following objectives should be satisfied where applicable:

Energy performance

To improve the efficient use of energy, by ensuring development demonstrates design potential for ESD initiatives at the planning stage.

To reduce total operating greenhouse gas emissions.

To reduce energy peak demand through particular design measures (e.g., appropriate building orientation, shading to glazed surfaces, optimise glazing to exposed surfaces, space allocation for solar panels and external heating and cooling systems).

Water resources

To improve water efficiency.

To reduce total operating potable water use.

To encourage the collection and reuse of stormwater.

To encourage the appropriate use of alternative water sources (e.g. greywater).

Indoor environment quality

Stormwater management

To reduce the impact of stormwater run-off.

To improve the water quality of stormwater run-off.

To achieve best practice stormwater quality outcomes.

To incorporate the use of water sensitive urban design, including stormwater re-use.

Transport

Waste management

Urban ecology

Clause 22.10-4 Application requirements

An application must be accompanied by either a Sustainable Design Assessment or a Sustainability Management Plan as specified in Table 1, as appropriate.



Table 1 – ESD Application Requirements

Type of development	Application requirements	Example tools
Non-residential		
<ul style="list-style-type: none"> Development of a non-residential building with a gross floor area of 500m² to 1000m². 	Sustainable Design Assessment (SDA)	BESS MUSIC STORM
<ul style="list-style-type: none"> Development of a non-residential building with a gross floor area more than 1000m². 	Sustainability Management Plan (SMP) Green Travel Plan (GTP)	Green Star BESS MUSIC STORM

Note 1: Development (in Table 1) has the same meaning as in Section 3 of the Planning and Environment Act 1987, but does not include subdivision. To remove any doubt, development also includes alteration and additions. In the case of alterations and additions, the requirements of the Policy apply only to the alterations and additions.

Note 2: Mixed Use developments are required to provide the information applicable to each use component of the development.

Response

The proposal responds positively to the objectives for environmentally sustainable design. The building has been assessed using the Built Environment Sustainability Scorecard, STORM assessment and Green Travel Plan and is considered to meet best practice as indicated in the accompanying report.

A stormwater management plan is also provided that details the proposed reduction of the impact of stormwater through capture in a retention basin on site.

In addition, co-locating the facilities with the school and ensuring they are shared with the wider community are also key energy efficiency principles that have been adopted.



Zoning

Clause 37.01 SPECIAL USE ZONE

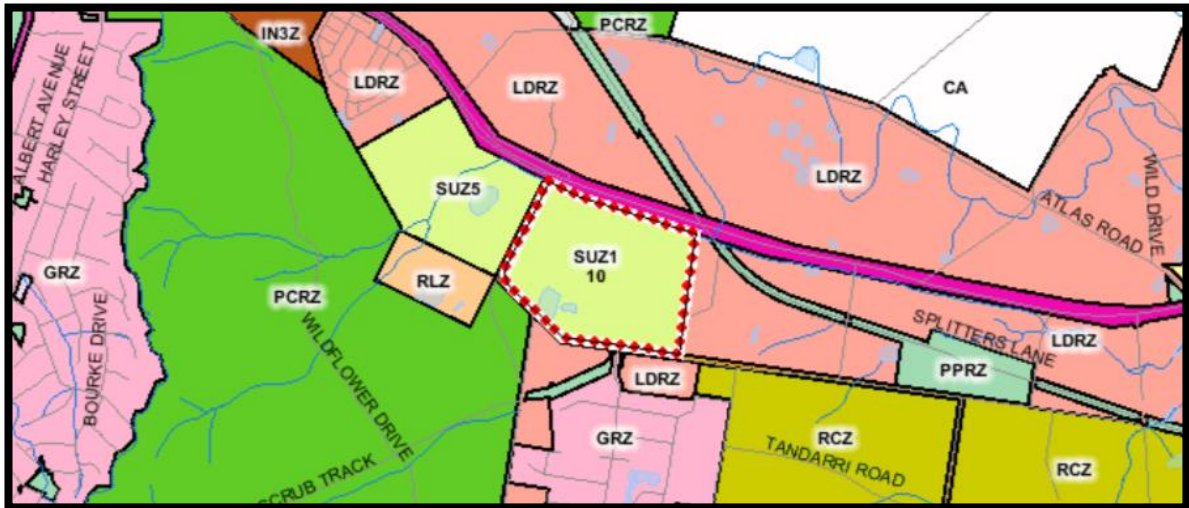


Fig 1 Zoning Map showing subject site, DELWP, July 2019

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To recognise or provide for the use and development of land for specific purposes as identified in a schedule to this zone.

Clause 37.01-1 Table of uses

Section 1 - Permit not required

Any use in Section 1 of the schedule to this zone

Section 2 - Permit required

Any use in Section 2 of the schedule to this zone

Any other use not in Section 1 or 3 of the schedule to this zone

Clause 37.01-2 Use of land

Any requirement in the schedule to this zone must be met.

Clause 37.01-4 Buildings and works

Permit requirement

A permit is required to construct a building or construct or carry out works unless the schedule to this zone specifies otherwise.

Any requirement in the schedule to this zone must be met.

An apartment development must meet the requirements of Clause 58.

Application requirements

An application to construct a building or construct or carry out works must be accompanied by any information specified in the schedule to this zone.

Clause 37.01-5 Signs

Sign requirements are at Clause 52.05. This zone is in Category 3 unless a schedule to this zone specifies a different category.

SCHEDULE 1 TO CLAUSE 37.01 SPECIAL USE ZONE

PRIVATE EDUCATIONAL OR RELIGIOUS INSTITUTIONS

Purpose

To provide for areas to be used by private educational and religious institutions.



To ensure that development of these facilities takes place in an orderly and proper manner and does not cause loss of amenity to the surrounding area or neighbourhood.

2.0 Buildings and works

Application requirements

An application to construct a building or carry out works must be accompanied by the following information:
Elevation drawings to scale showing the colour and materials of all buildings and works. Construction details of all drainage, driveways, vehicle parking and loading areas.

Response

The proposal is considered to be ancillary to the zoning objective of use as an education facility and planning approval is therefore triggered for buildings and works only.



Overlays

Clause 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

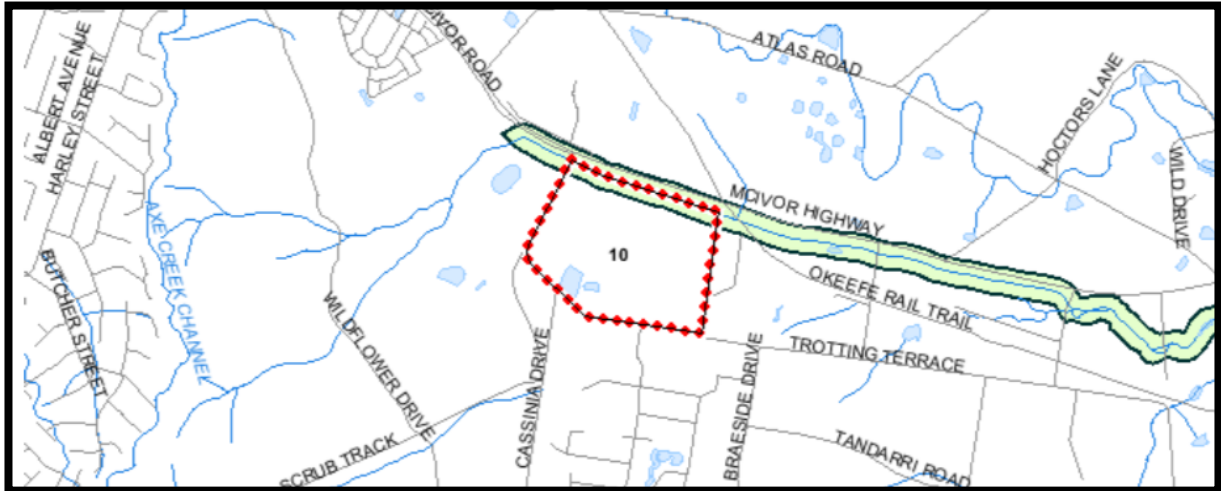


Fig 2 ESO Map showing subject site, DELWP, July 2019

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas where the development of land may be affected by environmental constraints. To ensure that development is compatible with identified environmental values.

Clause 42.01-1 Environmental significance and objectives

A schedule to this overlay must contain:

A statement of environmental significance.

The environmental objectives to be achieved.

Clause 42.01-2 Permit requirement

A permit is required to:

Construct a building or construct or carry out works. This does not apply if a schedule to this overlay specifically states that a permit is not required.

Construct a fence if specified in a schedule to this overlay.

Construct bicycle pathways and trails.

Subdivide land. This does not apply if a schedule to this overlay specifically states that a permit is not required.

Remove, destroy or lop any vegetation, including dead vegetation. This does not apply:

- If a schedule to this overlay specifically states that a permit is not required.
- If the table to Clause 42.01-3 specifically states that a permit is not required.
- To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

SCHEDULE 1 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY WATERCOURSE PROTECTION

1.0 Statement of environmental significance

The municipality contains a number of important streams and watercourses which maintain clean water, soil stability and habitat for flora and fauna. Bendigo's potable and agricultural water supply is dependent on these streams and watercourses. The management of land adjacent to streams and watercourses is necessary to reduce erosion, maintain vegetation and habitat and improve water quality.

2.0 Environmental objective to be achieved

To maintain the water quality.



To contribute to the enhancement of water quality throughout the Murray -Darling Basin.

To maintain the ability of streams and watercourses to carry natural flows.

To prevent erosion of banks, streambeds and adjoining land and the siltation of watercourses, drains and other features.

To protect and encourage the long term future of flora and fauna habitat in and along watercourses.

To ensure development does not occur on land liable to flooding and minimise the potential for damage to human life, buildings and property caused by flood events.

To prevent pollution, elevated nutrients and increased turbidity in natural watercourses.

To prevent increased surface run-off or concentration of surface water run-off leading to erosion or siltation of watercourses.

To conserve existing wildlife habitats close to natural watercourses and, where appropriate, to allow for generation and regeneration of habitats.

To restrict the intensity of use and development of land and water to activities which are sensitive to environmental values and which are compatible with potential drainage or flooding hazards.

4.0 Referral requirement

Any application to use and develop land must be referred in accordance with Section 55 of the Act to the referral authority specified in Clause 66.04 or a schedule to that clause.

A referral agreement between the responsible authority and the referral authority may be in place that may affect the above requirement.

Response

A planning permit is required in accordance with this control. A detailed stormwater management plan has been undertaken as has discussion with the Coliban Catchment Authority. Advice is provided in relation to this in the attachments. It is considered that stormwater generated by development of the proposed ovals and building in Catherine McAuley College's Coolock Campus will be suitably detained, treated and stored for reuse by the proposed 10ML basin to be constructed in Stage 1.



Clause 42.02 VEGETATION PROTECTION OVERLAY

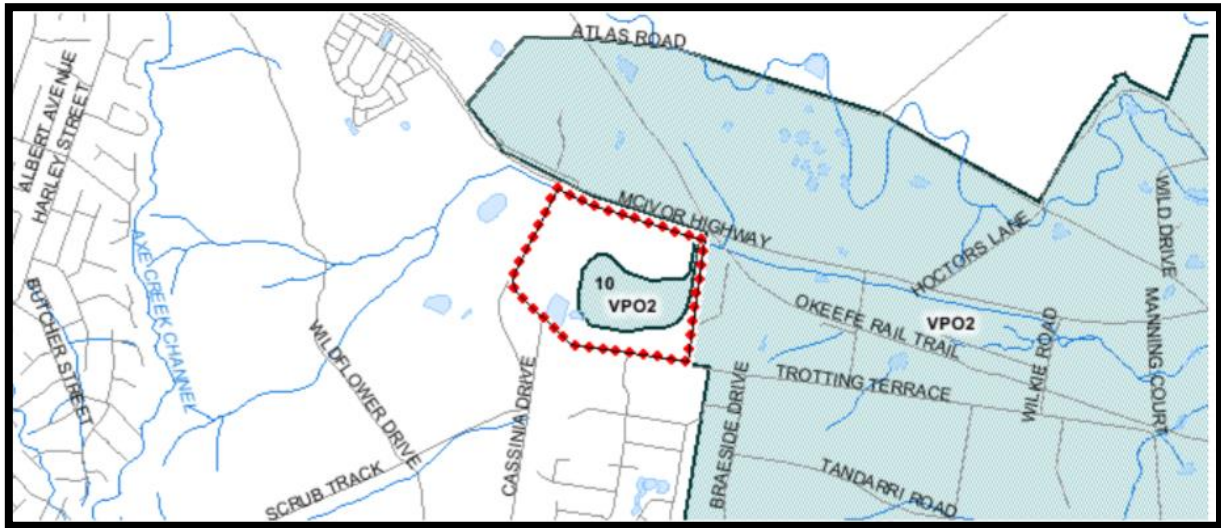


Fig 3 VPO Map showing subject site, DELWP, July 2019

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework. To protect areas of significant vegetation.

To ensure that development minimises loss of vegetation.

To preserve existing trees and other vegetation.

To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.

To maintain and enhance habitat and habitat corridors for indigenous fauna. To encourage the regeneration of native vegetation.

Clause 42.02-1 Vegetation significance and objectives

A schedule to this overlay must contain:

A statement of the nature and significance of the vegetation to be protected. The vegetation protection objectives to be achieved.

Clause 42.02-2 Permit requirement

A permit is required to remove, destroy or lop any vegetation specified in a schedule to this overlay. This does not apply:

If the table to Clause 42.02-3 specifically states that a permit is not required.

To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

SCHEDULE 2 TO CLAUSE 42.02 VEGETATION PROTECTION OVERLAY

SIGNIFICANT VEGETATION

1.0 Statement of nature and significance of vegetation to be protected

The vegetation of the City of Greater Bendigo has been extensively cleared due to European settlement, agricultural land uses and exploitation of forests during the gold-rush era. ...Remnant vegetation is a key feature of Bendigo's landscapes and the scenic recreational value for local and regional communities.

Retaining vegetation is also critical to catchment management in terms of both surface and ground water quality, the control of salinisation, acidity and waterlogging and prevention of erosion.

2.0 Vegetation protection objective to be achieved

To protect remnant native vegetation and habitat, including understorey, and facilitate natural revegetation.



To promote the maintenance of ecological processes and genetic diversity.
To encourage maintenance and development of linkages between existing remnant vegetation.
To recognise the catchment-wide land and water management benefits resulting from vegetation retention.
To maintain and enhance Bendigo's scenic and recreational landscape assets.

3.0 Permit requirements

A permit is required to remove, destroy or lop any vegetation.

This does not apply to:

Vegetation which is not native vegetation.

The removal, destruction or lopping of vegetation in accordance with the *Native Vegetation Precinct Plan for land at 244 Edwards Road, Maiden Gully*, June 2014.

4.0 Application requirements

An application to remove native vegetation must:

- Indicate the total extent of native vegetation on the site and adjacent to the site, the extent of proposed clearing on the site, the location of any river, stream, watercourse, wetland or channel on the site, and if relevant, the location of areas with a slope exceeding 25%.
- Explain the purpose of the proposed clearing.
- Demonstrate that the need for removal, destruction or lopping of remnant native vegetation has been reduced to the maximum extent that is reasonable and practicable.
- Specify proposals for revegetation following disturbance or restoration of an alternate site, including proposed species and ground stabilisation.
- If the area of proposed clearing exceeds 0.4 ha. A report on the vegetation and habitat significance of the area to be cleared, to the satisfaction of the responsible authority and the Department of Environment and Primary Industries.

Response

The proposed development will result in the loss of native vegetation but only of a small amount and does not include an endangered Ecological Vegetation Class. There are no large trees impacted by the proposed development. An offset is proposed which is detailed in the attachments to this report and additional landscaping is also to be provided on site.



Clause 44.04 LAND SUBJECT TO INUNDATION OVERLAY

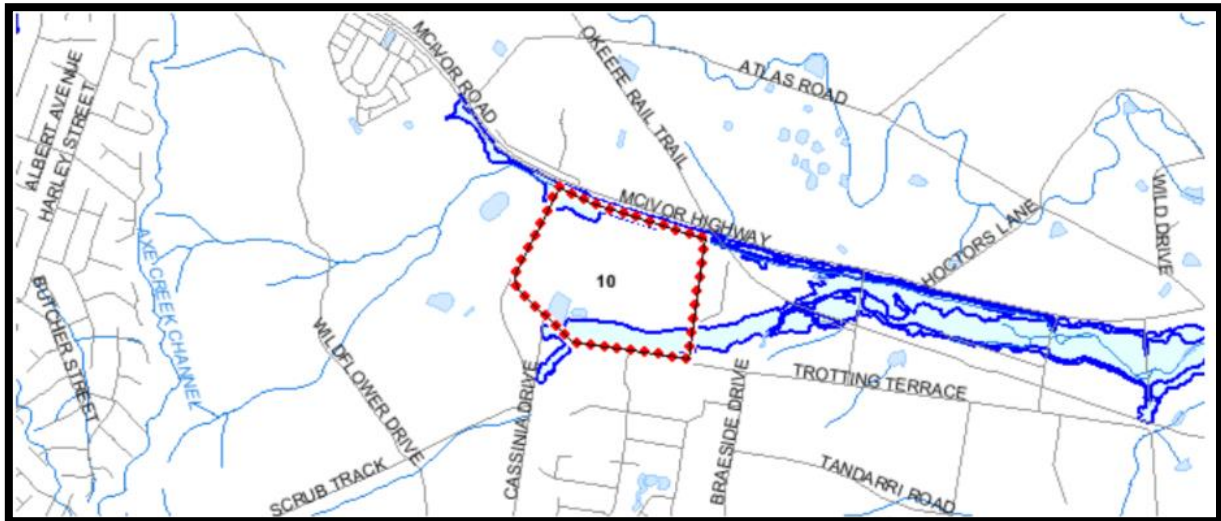


Fig 4 LSIO Map showing subject site, DELWP, July 2019

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify land in a flood storage or flood fringe area affected by the 1 in 100 year flood or any other area determined by the floodplain management authority.

To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.

To reflect any declaration under Division 4 of Part 10 of the Water Act, 1989 where a declaration has been made.

To protect water quality in accordance with the provisions of relevant State Environment Protection Policies, particularly in accordance with Clauses 33 and 35 of the State Environment Protection Policy (Waters of Victoria).

To ensure that development maintains or improves river and wetland health, waterway protection and flood plain health.

Clause 44.04-1 Land subject to inundation objectives and statement of risk

A schedule to this overlay may contain:

Land subject to inundation management objectives to be achieved.

A statement of risk.

Clause 44.04-2 Buildings and works

A permit is required to construct a building or to construct or carry out works, including:

A fence.

Roadworks, if the water flow path is redirected or obstructed.

Bicycle pathways and trails.

Public toilets.

Rainwater tank with a capacity of not more than 10,000 litres.

A pergola or verandah, including an open-sided pergola or verandah to a dwelling with a finished floor level not more than 800mm above ground level and a maximum building height of 3 metres above ground level.

A deck, including a deck to a dwelling with a finished floor level not more than 800mm above ground level.

A non-domestic disabled access ramp.

This does not apply:



If a schedule to this overlay specifically states that a permit is not required.

To flood mitigation works carried out by the responsible authority or floodplain management authority.

To the following works in accordance with plans prepared to the satisfaction of the responsible authority:

To post and wire and post and rail fencing.

**SCHEDULE 1 TO CLAUSE 44.04 LAND SUBJECT TO INUNDATION OVERLAY
FLOODING FROM WATERWAYS (DEPTHS UP TO AND INCLUDING 350 MILLIMETRES)**

1.0 Land subject to inundation objectives to be achieved

None specified

2.0 Statement of risk

None specified

3.0 Permit requirement

A permit is not required to construct a building or construct or carry out works as follows:

On land subject to an existing planning permit, restriction or agreement:

if land has been developed in accordance with a planning permit, restriction or section 173 agreement requiring its ground level to be finished at least 300 millimetres above the 100-year ARI (average recurrence interval) flood level; and

survey plans confirm that the ground level has been constructed in accordance with the requirements of a planning permit, restriction or subdivision; and

any buildings and works do not lower the ground level or result in a finished floor level for a dwelling that is below 300 millimetres above the 100-year ARI flood level.

New and replacement buildings

A non-habitable building (including an outbuilding associated with a dwelling) with a floor area of less than 10 square metres.

Other buildings and works

An open style fence if constructed in accordance with the definition of open style fence in the *Bendigo Local Floodplain Development Plan*, February 2018.

A replacement fence in the same location and of the same type and materials as the existing fence.

A rainwater tank with a capacity of not more than 10,000 litres.

A curtain style fence for a tennis court if constructed in accordance with the requirements of the *Bendigo Local Floodplain Development Plan*, February 2018.

A sportsground, racecourse or recreation area (with no permanent grandstand or raised viewing area).

A mast, antenna, or light poles.

Works

Landscaping, driveways, and vehicle cross overs associated with a dwelling, if there is less than a 50 millimetre change to existing ground levels, or if the relevant floodplain management authority has agreed in writing that the flow path is not obstructed.

Roadworks, footpaths or bicycle paths carried out by a public authority if there is less than a 50 millimetre change to existing ground levels, or if the relevant floodplain management authority has agreed in writing that the flow path is not obstructed.

**SCHEDULE 2 TO CLAUSE 44.04 LAND SUBJECT TO INUNDATION OVERLAY
FLOODING FROM WATERWAYS (DEPTHS GREATER THAN 350 MILLIMETRES)**

1.0 Permit requirement

A permit is not required to construct a building or construct or carry out works as follows:

On land subject to an existing planning permit, restriction or agreement:

if land has been developed in accordance with a planning permit, restriction or section 173 agreement requiring its ground level to be finished at least 300 millimetres above the 100-year ARI (average recurrence interval) flood level; and



survey plans confirm that the ground level has been constructed in accordance with the requirements of a planning permit, restriction or subdivision; and any buildings and works do not lower the ground surface level or result in a finished floor level for a dwelling that is below 300 millimetres above the 100-year ARI flood level.

New and replacement buildings

A replacement single dwelling if it constructed to at least 300 millimetres above the 1 per cent AEP (Annual Exceedance Probability) flood level and the original building footprint is not increased by 20 square metres in area. The responsible authority may require evidence of the existing building envelope.

A non-habitable building (including an outbuilding associated with a dwelling) with a floor area of less than 10 square metres.

An agricultural or farm building with permanent openings, such as a hay shed, cattleyard, covered horse stable or other yards.

Works

Landscaping, driveways, and vehicle crossovers associated with a dwelling, if there is no change to existing ground levels, or if the relevant floodplain management authority has agreed in writing that the flow path is not obstructed.

Roadworks, footpaths or bicycle paths carried out by a public authority if there is less than 50 millimetres change to existing ground levels, or if the relevant floodplain management authority has agreed in writing that the flow path is not obstructed.

Response

Only a small portion of the land is impacted by this overlay however a detailed stormwater management plan has been undertaken as has discussion with the Coliban Catchment Authority. Advice is provided in relation to this in the attachments. It is considered that stormwater generated by development of the proposed ovals and building in Catherine McAuley College's Coolock Campus will be suitably detained, treated and stored for reuse by the proposed 10ML basin to be constructed in Stage 1.



Clause 44.06 BUSHFIRE MANAGEMENT OVERLAY

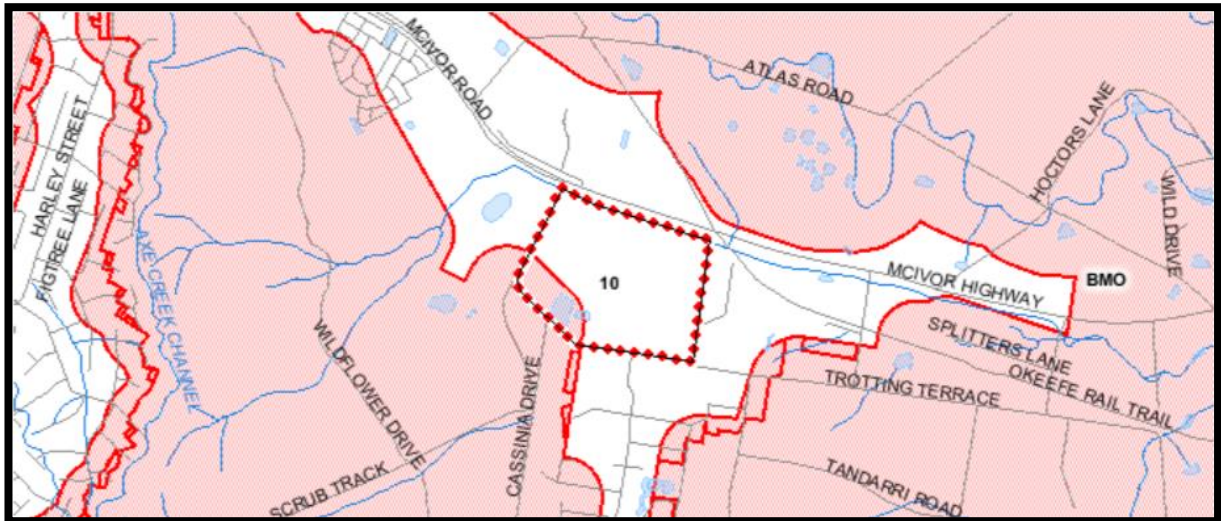


Fig 5 BMO Map showing subject site, DELWP, July 2019

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.

To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.

To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

Clause 44.06-1 Bushfire management objectives and application of schedules

A schedule to this overlay must contain a statement of the bushfire management objectives to be achieved for the area affected by the schedule and when the requirements within it apply.

Clause 44.06-2 Permit requirement

Buildings and works

A permit is required to construct a building or construct or carry out works associated with the following uses:

Accommodation (including a Dependent person's unit)

Education centre

Hospital

Industry

Leisure and recreation

Office

Place of assembly

Retail premises

Service station

Timber production

Warehouse

This does not apply to any of the following:

If a schedule to this overlay specifically states that a permit is not required.

A building or works consistent with an agreement under Section 173 of the Act prepared in accordance with a condition of permit issued under the requirements of Clause 44.06-5.



An alteration or extension to an existing building used for a dwelling or a dependent person's unit that is less than 50 percent of the gross floor area of the existing building.

An alteration or extension to an existing building (excluding a dwelling and a dependent person's unit) that is less than 10 percent of the gross floor area of the existing building.

Clause 44.06-3 Application requirements

Unless a schedule to this overlay specifies different requirements, an application must be accompanied by:

A bushfire hazard site assessment including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard must be prepared in accordance with Sections 2.2.3 to 2.2.5 of AS3959:2009 Construction of buildings in bushfire prone areas (Standards Australia) excluding paragraph (a) of section 2.2.3.2. Photographs or other techniques may be used to assist in describing the bushfire hazard.

A bushfire hazard landscape assessment including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site. Photographs or other techniques may be used to assist in describing the bushfire hazard. This requirement does not apply to a dwelling that includes all of the approved measures specified in Clause 53.02-3.

A bushfire management statement describing how the proposed development responds to the requirements in this clause and Clause 53.02. If the application proposes an alternative measure, the bushfire management statement must explain how the alternative measure meets the relevant objective.

If in the opinion of the responsible authority any part of these requirements is not relevant to the assessment of an application, the responsible authority may waive, vary or reduce the requirement.

Clause 44.06-4 Requirements of Clause 53.02

An application must meet the requirements of Clause 53.02 unless the application meets all of the requirements specified in a schedule to this overlay.

A schedule to this overlay may specify substitute approved measures, additional alternative measures and additional or substitute decision guidelines for the purposes of Clause 53.02.

Clause 44.06-5 Mandatory condition

Buildings and works

A permit to construct a building or construct or carry out works must include the following condition:

"The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed."

A permit allowing a dwelling to be constructed to the next lower bushfire attack level in accordance with AM1.2 in Clause 53.02-3 must include the following condition:

"Before the development starts, the owner must enter into an agreement with the responsible authority under section 173 of the Planning and Environment Act 1987 to provide for the following:

*A dwelling constructed in accordance with planning permit [*insert planning permit reference] must not be occupied until a private bushfire shelter (a Class10c building within the meaning of the Building Regulations 2006) is:*

- *- Constructed on the same land as the dwelling.*
- *- Available for use by the occupants of the dwelling at all times.*
- *- Maintained in accordance with the requirements of the building permit issued for that private bushfire shelter.*

The land owner must pay the reasonable costs of the preparation, execution and registration of the Section 173 Agreement."

A permit to construct a building or construct or carry out works must include any condition specified in a schedule to this overlay.



Response

A detailed response to these objectives is provided in the appendices to this report. The attached study assesses the hazard and identifies the bushfire protection measures that will be required for future development of the facilities and concludes that development can appropriately prioritise the protection of human life and meet the objectives of Clause 13.02, including ensuring that the siting of the facilities will result in an exposure to RHF not exceeding 12.5kW/m², which is commensurate with a BAL-12.5 construction standard.

Clause 52.06 CAR PARKING

Purpose

To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.

To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.

To support sustainable transport alternatives to the motor car.

To promote the efficient use of car parking spaces through the consolidation of car parking facilities.

To ensure that car parking does not adversely affect the amenity of the locality.

To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

52.06-1 Scope

Clause 52.06 applies to:

a new use; or

an increase in the floor area or site area of an existing use; or

an increase to an existing use by the measure specified in Column C of Table 1 in Clause 52.06-5 for that use.

Clause 52.06 does not apply to:

the extension of one dwelling on a lot in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone; or

the construction and use of one dwelling on a lot in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone or Township Zone unless the zone or a schedule to the zone specifies that a permit is required to construct or extend one dwelling on a lot.

52.06-2 Provision of car parking spaces

Before:

a new use commences; or

the floor area or site area of an existing use is increased; or

an existing use is increased by the measure specified in Column C of Table 1 in Clause 52.06-5 for that use,

the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay must be provided to the satisfaction of the responsible authority in one or more of the following ways:

on the land; or

in accordance with a permit issued under Clause 52.06-3; or

in accordance with a financial contribution requirement specified in a schedule to the Parking Overlay.

If a schedule to the Parking Overlay specifies a maximum parking provision, the maximum provision must not be exceeded except in accordance with a permit issued under Clause 52.06-3.

52.06-3 Permit requirement

A permit is required to:

Reduce (including reduce to zero) the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay.



Provide some or all of the car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay on another site.

Provide more than the maximum parking provision specified in a schedule to the Parking Overlay.

A permit is not required if a schedule to the Parking Overlay specifies that a permit is not required under this clause.

A permit is not required to reduce the number of car parking spaces required for a new use of land if the following requirements are met:

The number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay for the new use is less than or equal to the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay for the existing use of the land.

The number of car parking spaces currently provided in connection with the existing use is not reduced after the new use commences.

A permit is not required to reduce the required number of car parking spaces for a new use of an existing building if the following requirements are met:

The building is in the Commercial 1 Zone, Commercial 2 Zone, Commercial 3 Zone or Activity Centre Zone.

The gross floor area of the building is not increased. The reduction does not exceed 10 car parking spaces.

The building is not in a Parking Overlay with a schedule that allows a financial contribution to be paid in lieu of the provision of the required car parking spaces for the use.

Response

An additional car parking area of 151 spaces is proposed as part of the development. Following construction of the proposed car park the available parking will exceed the estimated maximum demand of 135 spaces by approximately 29 spaces. 3 of the carspaces are DDA compliant. A detailed assessment is provided in the Traffic Engineering report attached.

Clause 52.17 NATIVE VEGETATION

Purpose

To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation* (Department of Environment, Land, Water and Planning, 2017) (the *Guidelines*):

1. Avoid the removal, destruction or lopping of native vegetation.
2. Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.
3. Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

52.17-1 Permit requirement

A permit is required to remove, destroy or lop native vegetation, including dead native vegetation. This does not apply:

If the table to Clause 52.17-7 specifically states that a permit is not required.

If a native vegetation precinct plan corresponding to the land is incorporated into this scheme and listed in the schedule to Clause 52.16.

To the removal, destruction or lopping of native vegetation specified in the schedule to this clause.

Response

The vegetation on site comprises predominantly native species. This vegetation presents a unique opportunity for students to connect with the natural environment.



There is also a significant row of trees along the Mclvor Road boundary that forms a clearly identifiable edge to the school and as many of these trees will be retained to visually separate the campus from the road.

A review has been undertaken on the potential removal of native vegetation and offset as shown in the accompanying report.

The remainder of the site has individual trees of varying size, species and quality and landscaping is proposed to further increase the amenity of the site and play areas.

Clause 52.34 BICYCLE FACILITIES

Purpose

To encourage cycling as a mode of transport.

To provide secure, accessible and convenient bicycle parking spaces and associated shower and change facilities.

52.34-1 Provision of bicycle facilities

A new use must not commence or the floor area of an existing use must not be increased until the required bicycle facilities and associated signage has been provided on the land.

Where the floor area occupied by an existing use is increased, the requirement for bicycle facilities only applies to the increased floor area of the use.

52.34-2 Permit requirement

A permit may be granted to vary, reduce or waive any requirement of Clause 52.34-5 and Clause 52.34-6.

Response

The attached traffic engineering report shows that only 2 bicycle parking spaces would be required and these will be provided on site.

Clause 52.29 LAND ADJACENT TO A ROAD ZONE, CATEGORY 1, OR A PUBLIC ACQUISITION OVERLAY FOR A CATEGORY 1 ROAD

Purpose

To ensure appropriate access to identified roads.

To ensure appropriate subdivision of land adjacent to identified roads.

52.29-1 Application

This clause applies to land adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay if the purpose of acquisition is for a Category 1 road.

52.29-2 Permit requirement

A permit is required to:

Create or alter access to:

- A road in a Road Zone, Category 1.
- Land in a Public Acquisition Overlay if the purpose of acquisition is for a Category 1 road.

Response

We understand the application will be referred to VicRoads for comment and it is noted that the school has had discussions with VicRoads though no formal advice is available.

Clause 53.02 BUSHFIRE PLANNING

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.



To ensure that the location, design and construction of development appropriately responds to the bushfire hazard.

To ensure development is only permitted where the risk to life, property and community infrastructure from bushfire can be reduced to an acceptable level.

To specify location, design and construction measures for a single dwelling that reduces the bushfire risk to life and property to an acceptable level.

53.02-1 Application

This clause applies to an application under Clause 44.06 - Bushfire Management Overlay, unless the application meets all of the requirements specified in a schedule to Clause 44.06.

Clause 53.02-3 applies to an application to construct a single dwelling or construct or carry out works associated with a single dwelling if all of the following requirements are met:

The land is zoned Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Urban Growth Zone, Low Density Residential Zone, Township Zone or Rural Living Zone.

There is only one dwelling on the lot.

The application meets all of the approved measures contained in Clause 53.02-3. Clause 53.02-4 applies to all other applications.

Response

A detailed response to these objectives is provided in the appendices to this report. The attached study assesses the hazard and identifies the bushfire protection measures that will be required for future development of the facilities and concludes that development can appropriately prioritise the protection of human life and meet the objectives of Clause 13.02, including ensuring that the siting of the facilities will result in an exposure to RHF not exceeding 12.5kW/m², which is commensurate with a BAL-12.5 construction standard.

ABORIGINAL CULTURAL HERITAGE

We have advice stating that a Cultural Heritage Management Plan is not required in accordance with the Aboriginal Heritage Regulations 2018. This is because the property is not within an area of cultural heritage sensitivity and because the works would be exempt from being a high impact activity by Regulation 46(3) if the land was being used as a college site prior to 2007. Even if this was not the case, the property would still be exempt from the need to prepare a CHMP because it is not within an area of cultural heritage sensitivity.



6 CONCLUSION

The proposed development responds to the relevant State and Local Planning Policies and is supported by the zoning of the land. It is therefore submitted that the application should be supported and approval be granted in light of the above assessment, and given the following points:

- The proposed co-location and joint usage of the sporting facilities on site is in keeping with the objectives of the Greater Bendigo Planning Scheme and will not have an adverse effect on neighbouring properties.
- An appropriate level of carparking and bicycle spaces will be provided on site.
- The proposal will not cause any significant or detrimental impact on the amenity of the local area and will provide a shared community opportunity for recreation.
- Environmentally sustainable design techniques have been adopted throughout the design and development of this building and will ensure the building is sustainable into the future.
- The removal of vegetation is reasonable and offsets are proposed in addition to further landscaping on site.



APPENDICES