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TOWN PLANNING: SECTION 72 AMENDMENT APPLICATION

ADDRESS: 11 THE AVENUE, MOUNT BULLER
PREPARED FOR: THE TRUSTEE FOR THE MRAAMP TRUST
DATE: 15 JANUARY 2026

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Document Information

Issue Date	15 January 2026	Prepared for	The Trustee for the MRAAMP Trust
Prepared by	GC	Reviewed by	JG
Project No.	15478MP	Project Name.	11 The Avenue, Mount Buller

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1 Introduction

This planning report has been prepared by Mountain Planning (A Human Habitats company) on behalf of *The Trustee for the MRAAMP Trust* (the permit applicant) in support of the Section 72 amendment to Permit PA1900648 for the land at 11 The Avenue, Mount Buller.

The proposed amendments seek to alter the approved layout and built form to revise the development to include five (5) dwellings (apartments) in replacement of the previously approved two (2) dwellings. The proposal largely maintains the previously endorsed built form envelope and materiality to ensure the presentation of built form is consistent with that endorsed. Amendments to the development have resulted from the detailed design process, where the development is no longer commercially or functionally feasible. To address feasibility of the development, the previously endorsed car stacker has been removed, in addition to dwelling yield being increased. Given built form remains consistent, the proposal continues to represent a high-quality residential project, where amendments enable more efficient use of the site to provide increased residential yield. This is well aligned with Local and State policy seeking to consolidate and facilitate residential growth within existing village boundaries; optimising the development of under-utilised sites.

1.1 Report Summary

This planning report assesses the proposed development against the relevant provisions of the Alpine Resorts Planning Scheme and the existing permit. It is our assessment that the proposal demonstrates an appropriate outcome in this case. In coming to this conclusion we have considered the following key questions:

- Does the proposal appropriately address the **strategic planning drivers** of Mount Buller?
- Does the amended proposal continue to respond to the **objectives and built form guidelines** of the Design and Development Overlay (DDO-A1)?
- Does the amended proposal provide high levels of **public and private amenity**?
- Are the **traffic and transport** arrangements appropriate?
- Is **vegetation** removal and management appropriate?

These matters are addressed to demonstrate that the proposed amendments do not result in unacceptable planning outcomes and remain consistent with the intent of the original permit.

1.2 Supporting Documents

This application is supported by the following documents:

- Architectural Plans prepared by Interlandi Mantesso dated October 2025;
- Certificate of Title Documents;
- Bushfire Management Plan prepared by Mountain Planning dated December 2025;
- Geotechnical Review Memorandum prepared by Taylor Engineering and Design dated December 2025; and
- Arborist Report prepared by Oldmeadow Arboriculture dated November 2025.

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2 Subject Site and Surrounding Context

2.1 The Site

The subject site is located at 11 The Avenue, Mount Buller within the Mount Buller Village. The Site is approximately 813m², with a maximum depth of 42.8 metres and frontage to The Avenue of 22.37 metres. The Site is presently improved by a double storey dwelling and native vegetation (although the subject permit allows for the construction of two dwellings and removal of native vegetation).



Figure 1 - Subject Site Aerial (site highlighted in red)



Figure 2 - 11 the Avenue (viewed from street). Source: Interlandi Mantesso Architects

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2.2 Site Context

2.2.1 Surrounding Context

The subject site sits just south west of the village centre (155 metres northwest); here land use consists of accommodation, retail, restaurant and other mixed uses associated with the operation of Mount Buller Skifields. .



2.2.2 North

The Site interfaces The Avenue to the north, a local access road providing access to the dwellings and accommodation located along The Avenue. Further North, similar residential/accommodation land uses are present. Notably, the Bourke Street Express Charlift is also located to the north (1.3km).

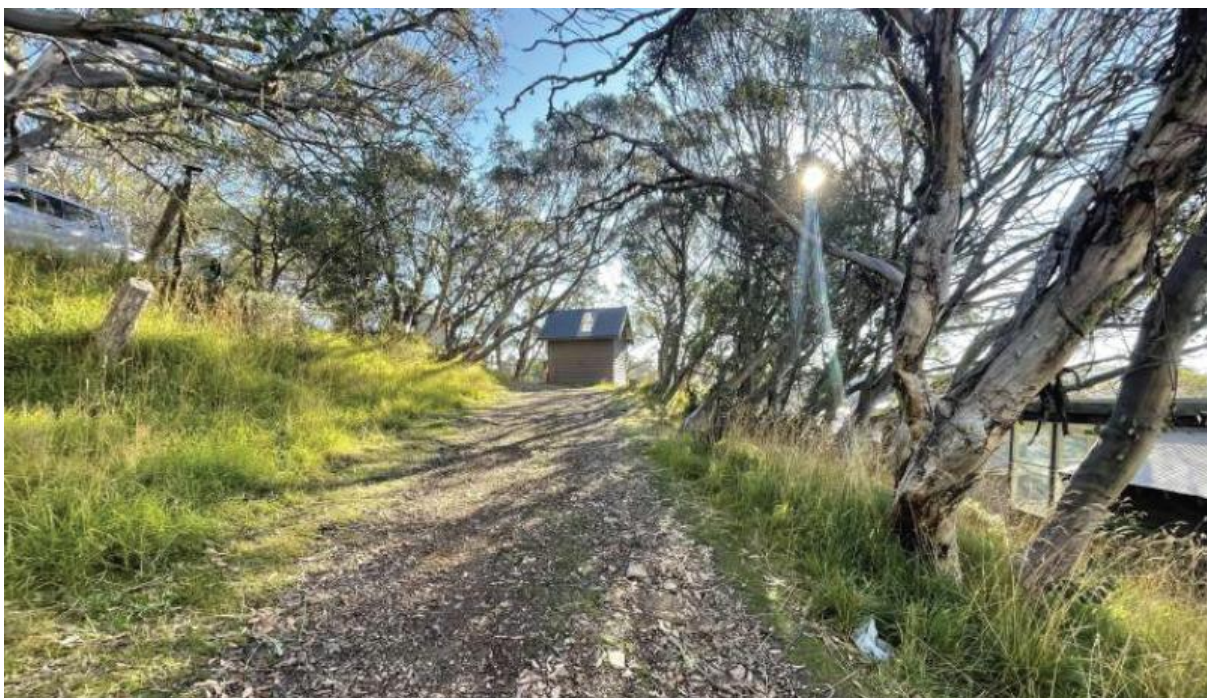


Figure 3 – Looking North from the subject site. Source: Interlandi Mantesso Architects

2.2.3 East

The subject site abuts 9 The Avenue to the east, presently improved by the University Ski Club lodge. Likewise, further east, residential and accommodation land use continues for approximately 620 metres where settlement then ends and dense bush reserve begins. Notably, Mt Buller Village (130m), CFA (230m) and the Police Station (280m) are located to the east.



Figure 4 - University Ski Club lodge to the east of the site. Source: Interlandi Mantesso Architects

2.2.4 South

The site interfaces Village Circuit Track to the south (rear boundary). This track marks the southern Mt Buller settlement boundary, with dense bush reserve located beyond this.

2.2.5 West

To the west, 13 The Avenue is located; occupied by a five-storey lodge, known as 'Mawson'. Similar to the northern and eastern interfaces, residential and accommodation land use is observed. Residential use continues for 400 metres, beyond this is the Mt Buller Skifields and numerous hiking trails are located.



Figure 5 - Mawson Lodge to the west of the site. Source: Interlandi Mantesso Architects

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3 Permit History

The Current Permit (PA1900648) was approved on 28 July 2021. The permit allows:

In accordance with the endorsed plans:

- Buildings and works for the development of two dwellings and removal of native vegetation

The permit remains live and benefits from endorsed Architectural Plans, Arborist Report, Bushfire Management Statement, Geotechnical Report, and SEMP.

The existing endorsed development is briefly summarised as follows:

- Demolition of the existing double storey dwelling on Site;
- Construction of two (2) dwellings (presenting to the street as a single dwelling);
- Four storey built-form; with presentation to the street as double storey, and presentation to the rear as triple storey;
- X2 Car Lifts, to facilitate X4 car parking spaces; and
- Removal of native vegetation.

Pursuant to Condition 48:

This permit will expire if:

- the development is not started within two (2) years of the date of this permit; or
- the development is not completed within four (4) years of the date of this permit.

As such, the permit would have expired on 28 July 2023, however, the permit has since been extended twice; the first extension approved 11 May 2023 and the second extension approved 5 August 2025. Therefore, the permit now expires: *if the development has not commenced by 28 July 2027 and is not completed by 28 July 2029.*

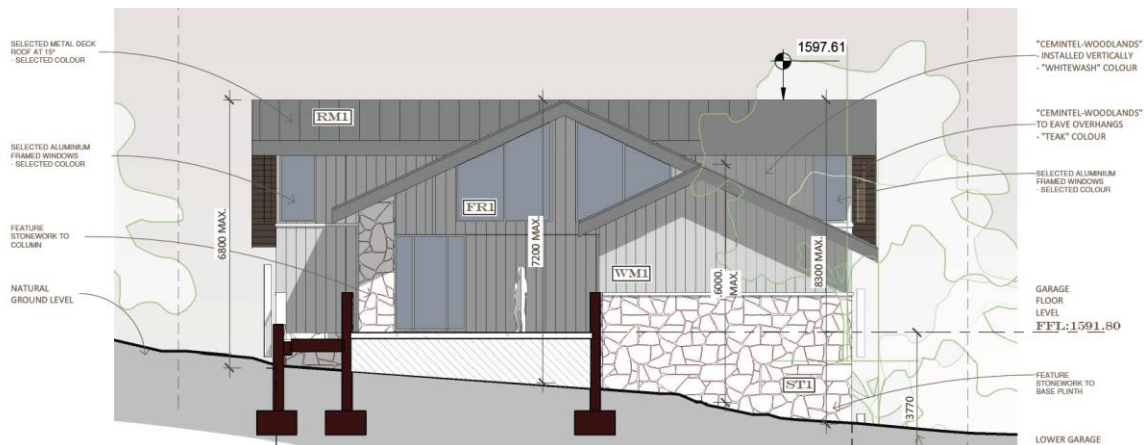


Figure 6 - Endorsed Eastern Elevation (to The Avenue)

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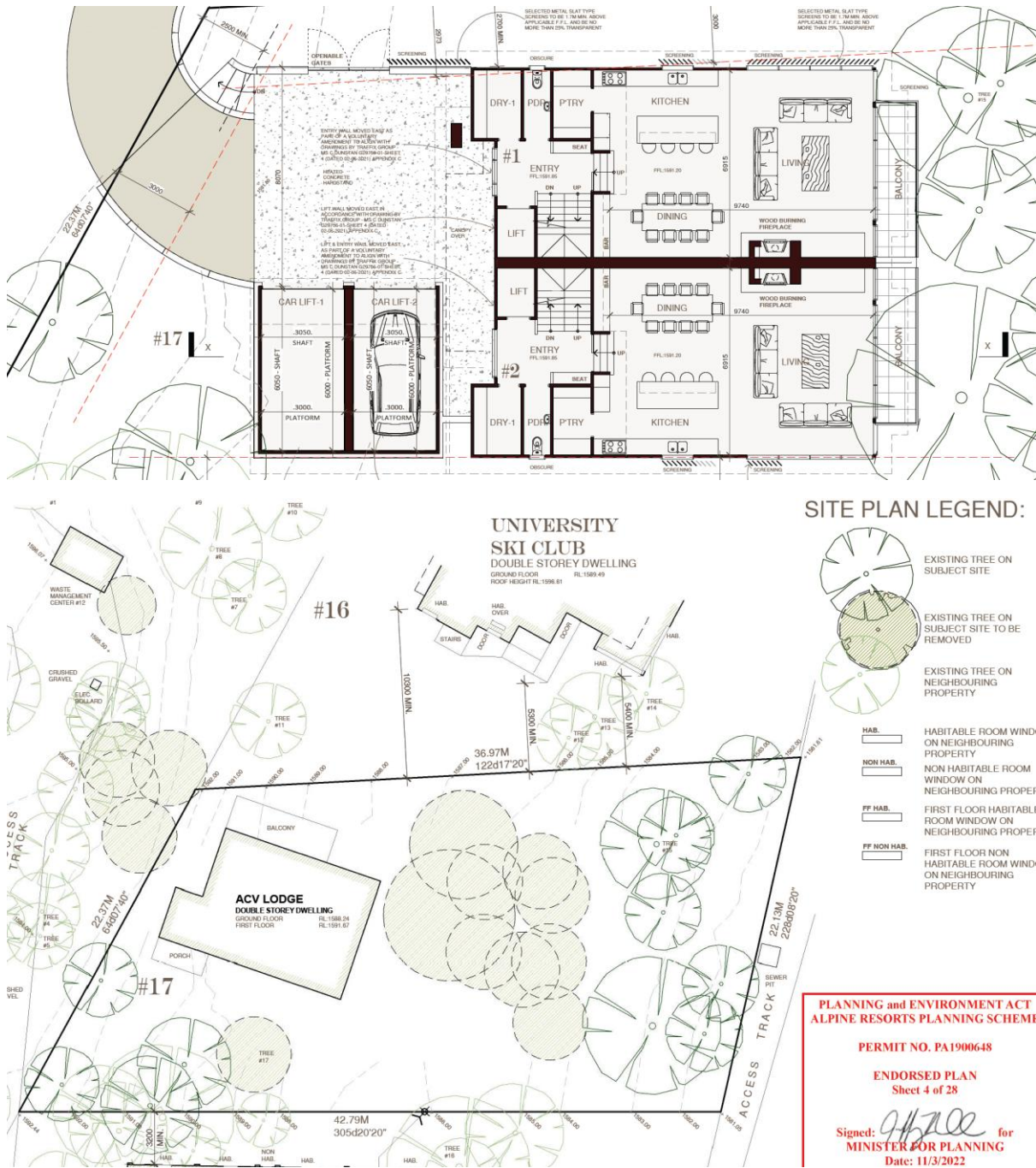


Figure 7 - Endorsed Native Vegetation Removal

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4 Proposed Amendments

4.1 Proposed Development

The proposed amendments seek to alter the approved layout and built form to revise the development to include five apartments in replacement of the previously approved two dwellings. The proposal largely maintains the previously endorsed built form envelope and materiality to ensure the presentation of built form is consistent with that endorsed. Of note, the proposal also seeks to amend car parking arrangement to replace car stackers with at grade car parking. The proposal also seeks to remove one additional tree (Tree 24), although the arborist report notes this tree as dead.

Item	Endorsed	Proposed
Dwellings	2 dwellings (attached)	5 apartments
Building Area	297m ²	~341m ²
Site Coverage	37%	41.94%
Maximum Building Height	12.5m	12.5m
% of roof above 11m height limit	<16%	16%
Height Presentation (North)	4 Storeys	4 Storeys
Height Presentation (East - Rear)	3 Storeys	3 Storeys
Height Presentation (South)	4 Storeys	4 Storeys
Height Presentation (West - to The Avenue)	2 Storeys	2 Storeys
Tree Removal	2, 9, 10, 11, 13, 25, 27	2, 9, 10, 11, 13, 24 , 25, 27
Car Parking	X2 Car Stackers (4 car parking spaces)	X6 at grade car parking spaces

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Figure 8 - Proposed Built Form Render (viewed from The Avenue)

Height – The amended proposal maintains a similar building height and design. The built form presenting to The Avenue is maintained as two storeys, with the rear built form presenting as 3 storeys (plus an additional storey appearing as roof – as endorsed). To the side boundaries, the proposal maintains 4 storeys, as originally endorsed. Of note, we acknowledge that the proposed amendments encroach further above the 11-metre height limit than that endorsed. However, this is considered appropriate and in line with the DDO considering encroaching height is less than 12.5 metres and does not encroach more than 20% (16%).

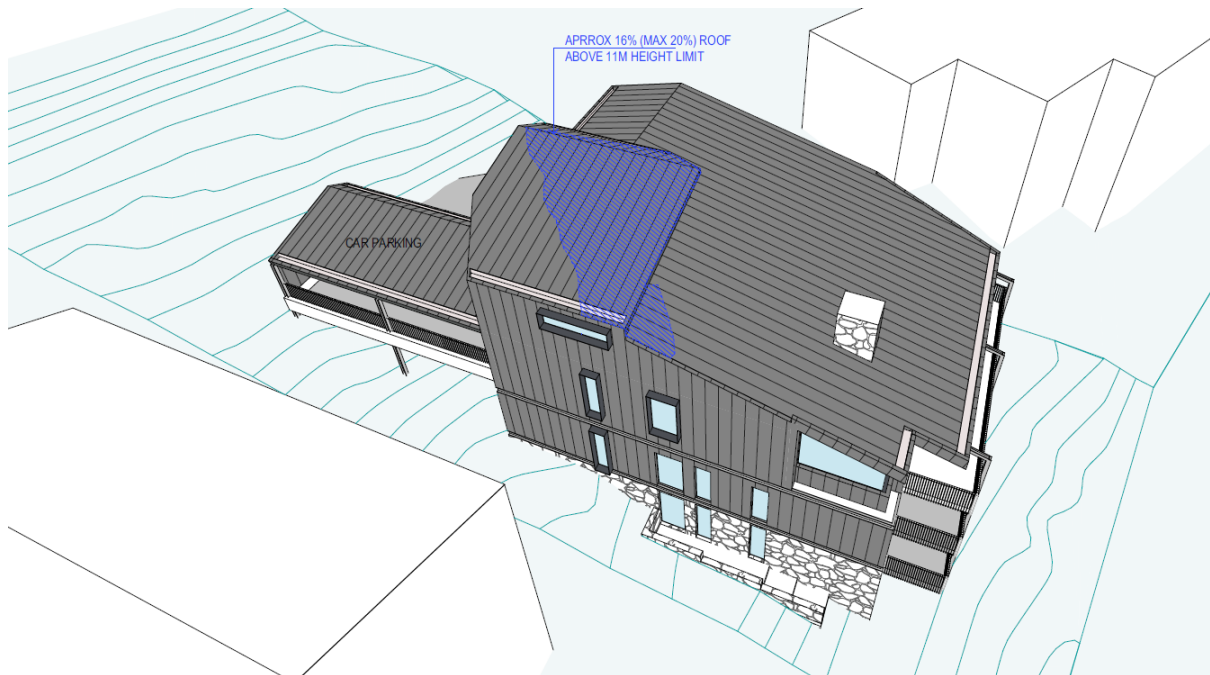


Figure 11 - Height encroachment diagram

Dwelling Arrangement – The amendment seeks to rearrange the internal layout of the endorsed two dwellings, to facilitate five apartments. Whilst the amendment represents an increase in yield, this is largely facilitated within the confines of the approved built form; therefore, resulting in the most significant changes to be internal.

Amenity – The amended proposal creates high quality internal environments that ensure that the proposal will not compromise internal amenity, or the amenity of adjoining properties or their future development potential.

Car Parking – The design provides for amendments to the car parking arrangement; namely the replacement of x2 car stackers (x4 car parking spaces) with x6 at grade car parking spaces located in garages. It is noted that the access arrangements are consistent with the approved development.

Vegetation – The proposal continues to seek the removal of native vegetation endorsed for removal. However, the amendment also proposes the removal of one additional tree (tree 24). Tree 24 is proposed to be removed to facilitate the additional footprint required to facilitate proposed garages. However, the impact is considered negligible given the arborist report prepared by Oldmeadow Arboriculture deems the tree to be dead.

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4.2.1 Endorsed & Proposed Comparison

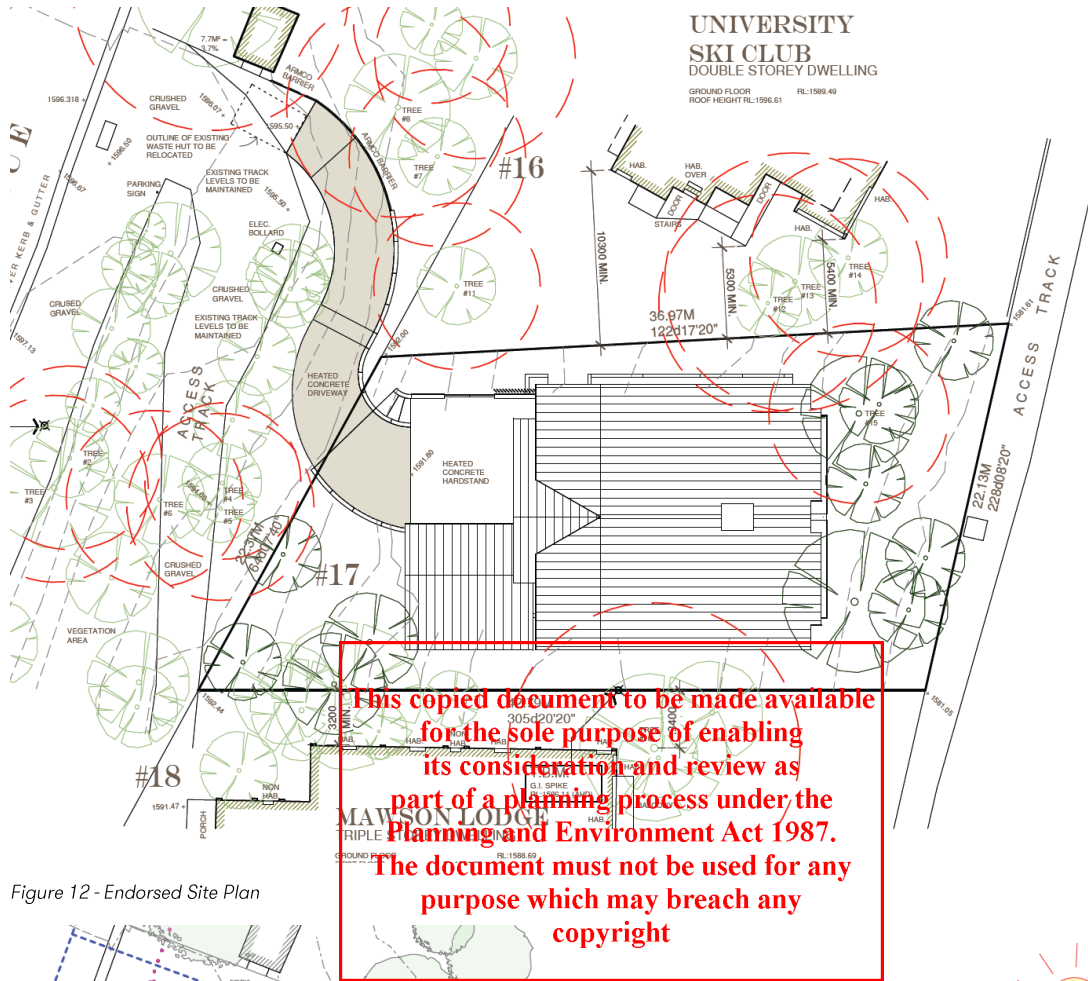


Figure 12 - Endorsed Site Plan

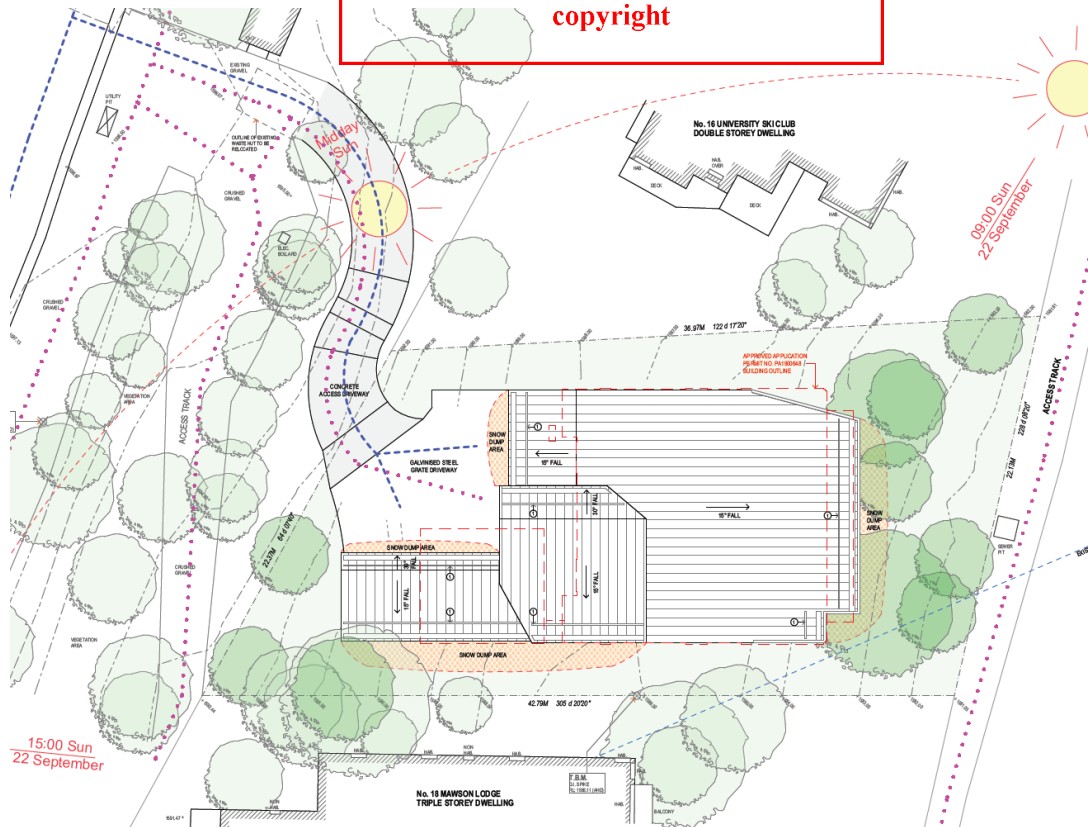


Figure 13 - Proposed Site Plan

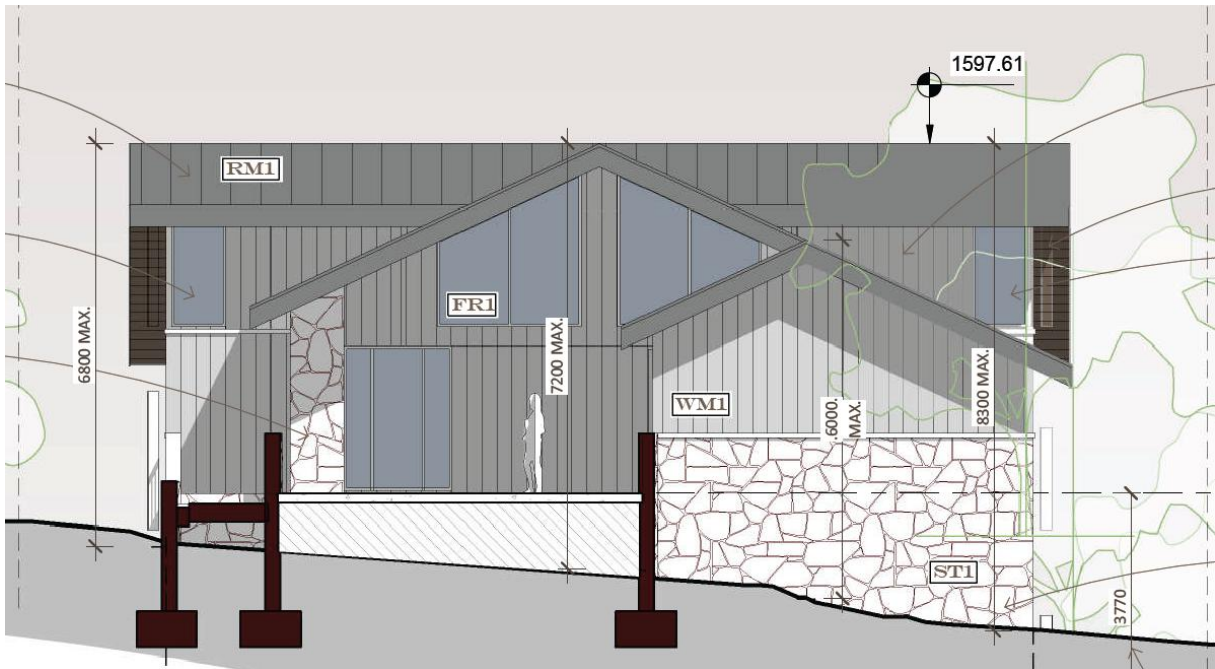


Figure 14 - Endorsed Eastern Elevation (to The Avenue)

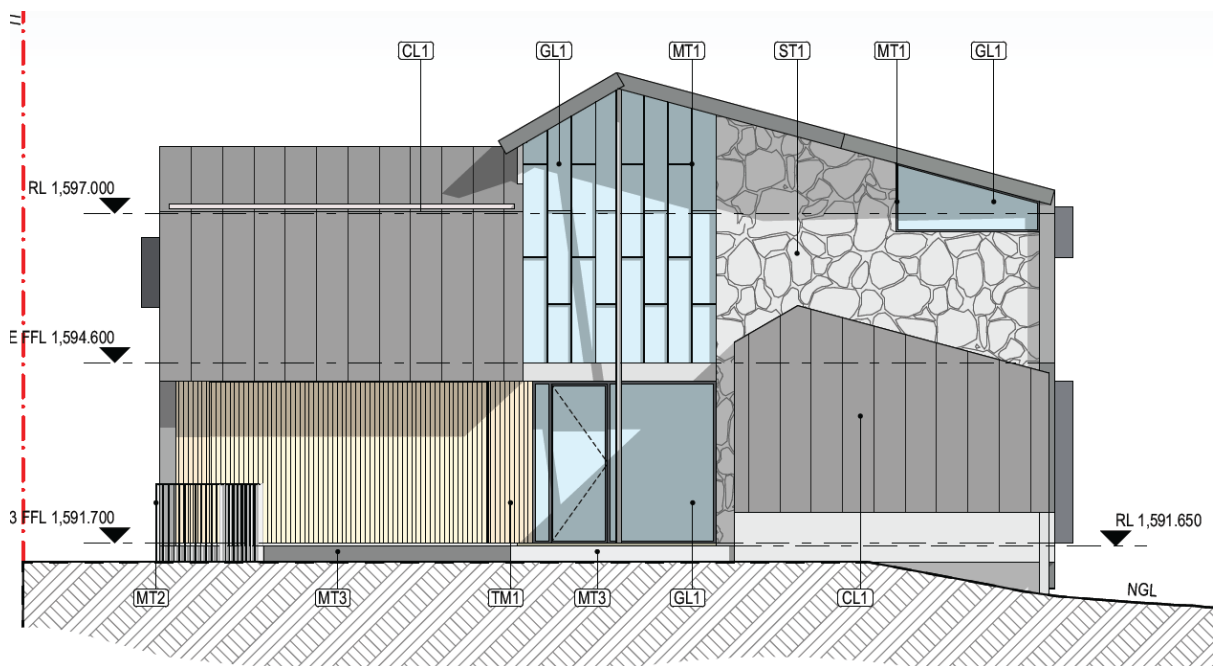


Figure 15 - Proposed Eastern Elevation (to The Avenue)

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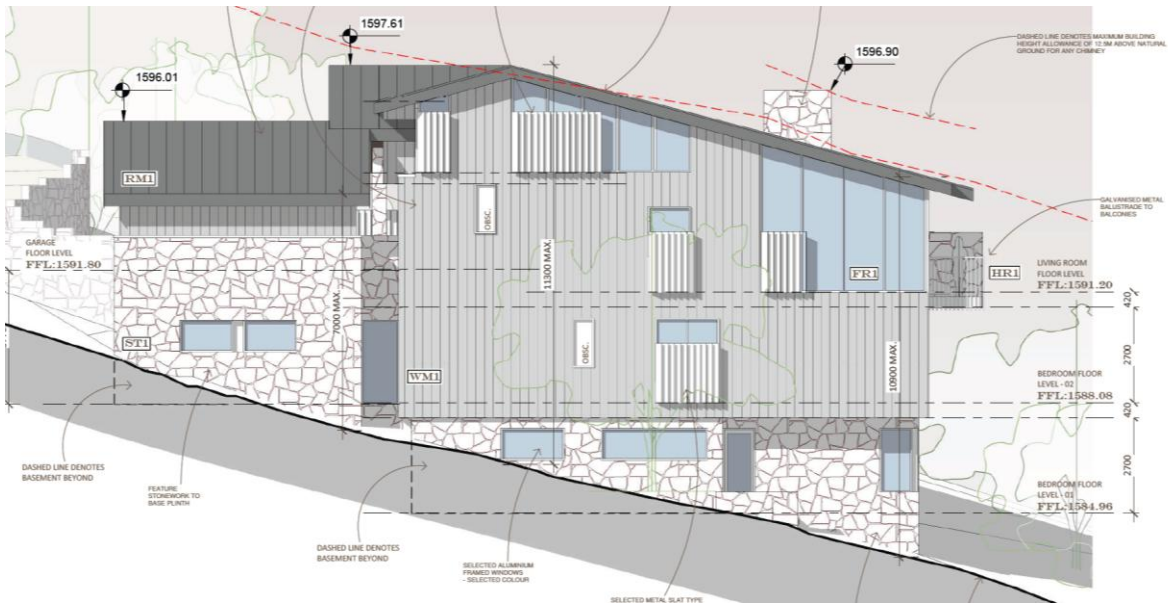


Figure 16 - Endorsed Southern Elevation

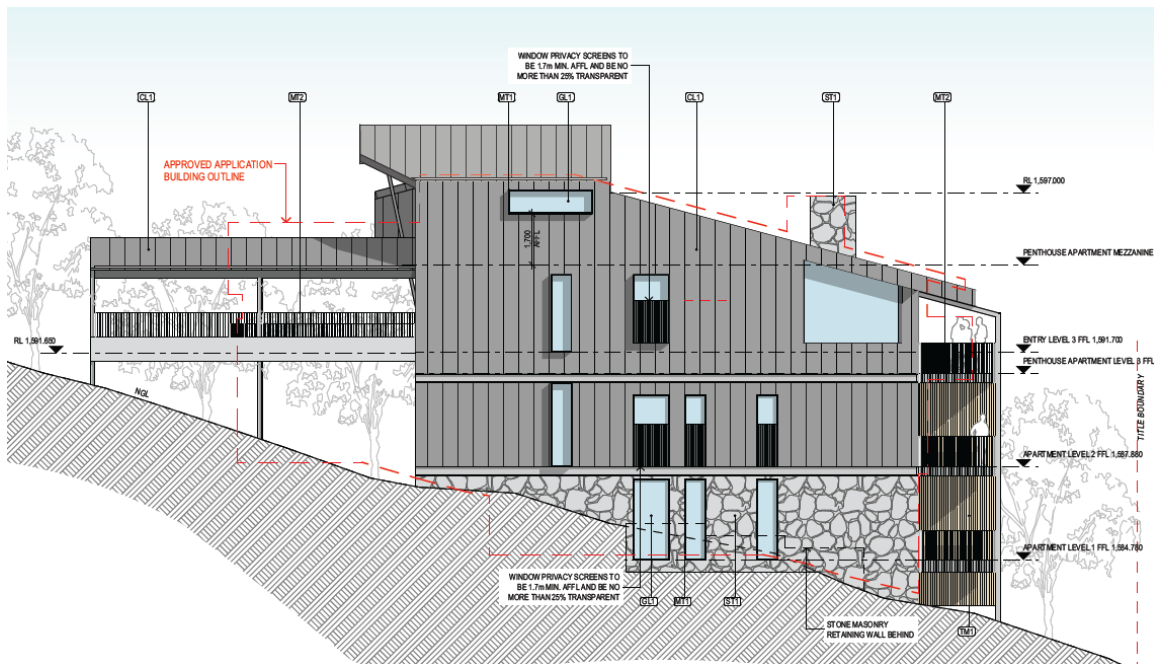


Figure 17 - Proposed Southern Elevation

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Figure 18 - Endorsed Eastern Elevation

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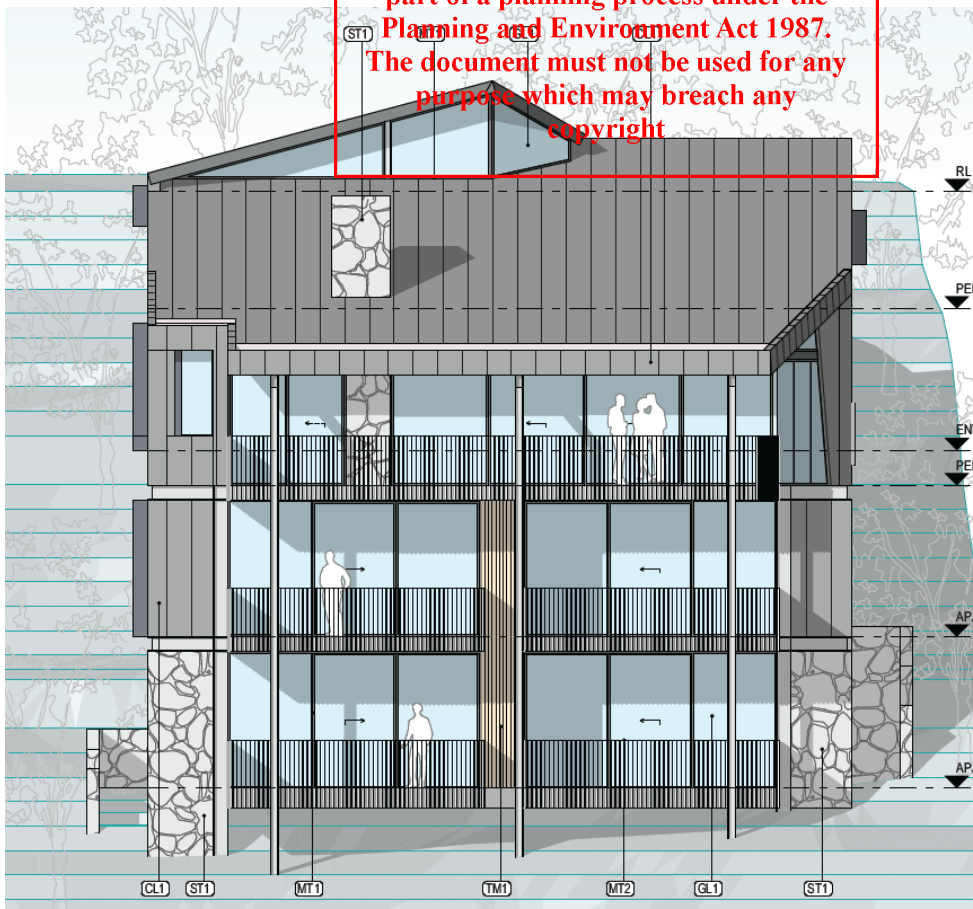


Figure 19 - Proposed Eastern Elevation

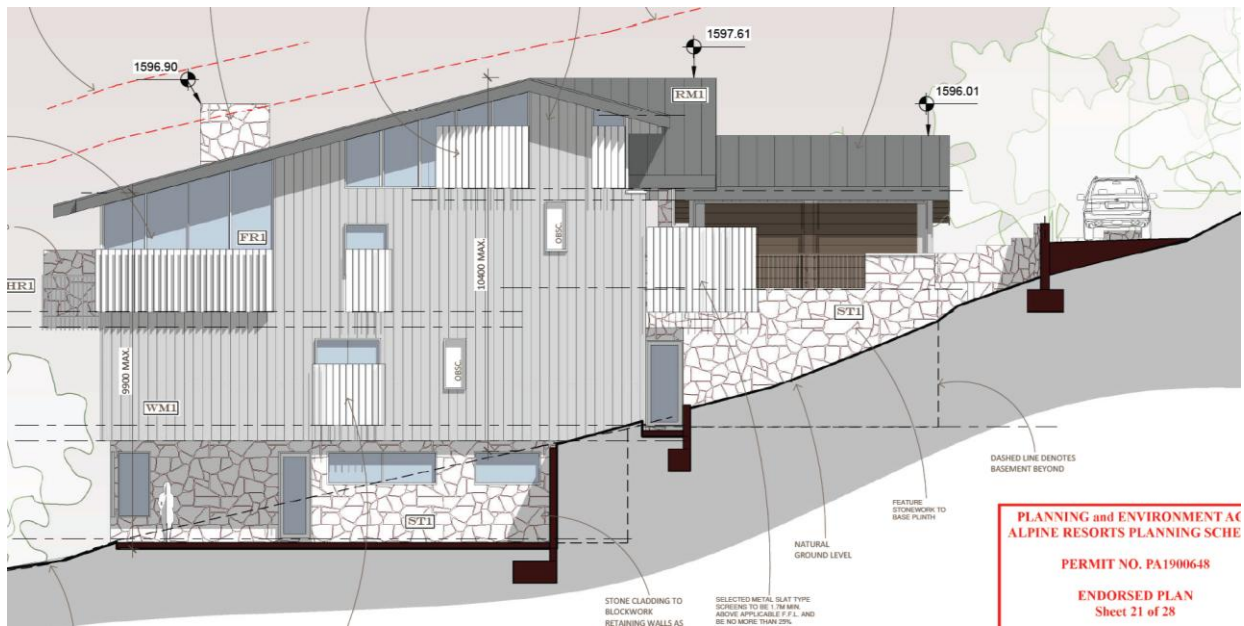


Figure 20 - Endorsed Northern Elevation

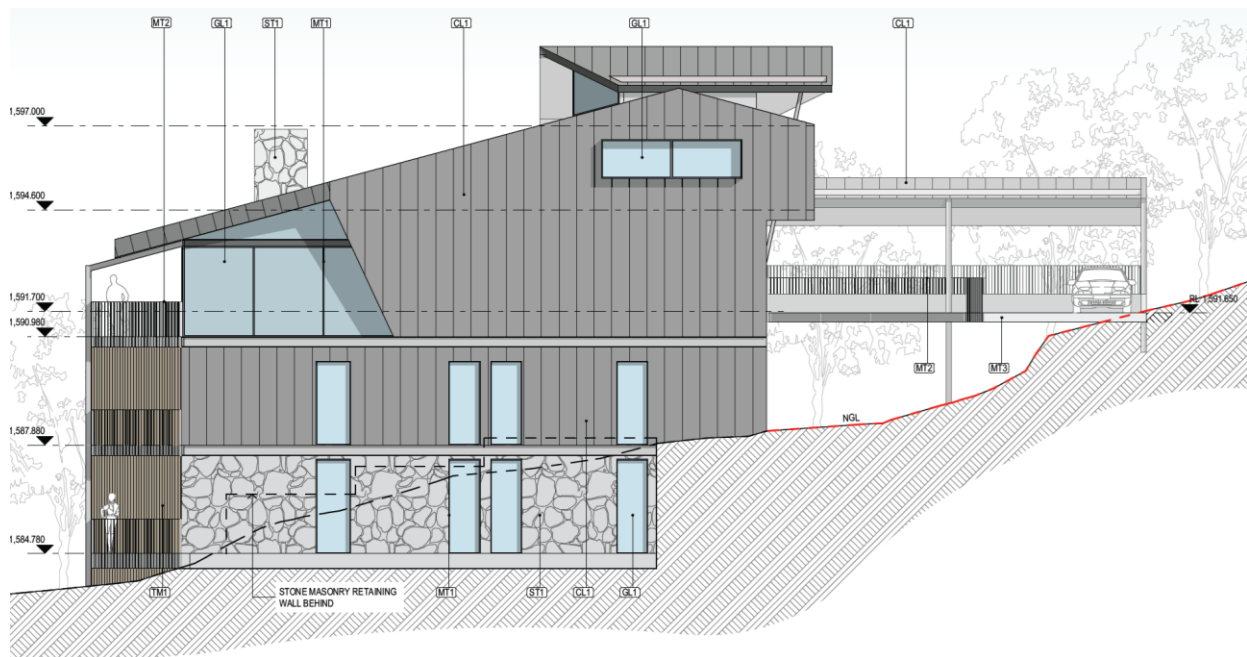


Figure 21 - Proposed Northern Elevation

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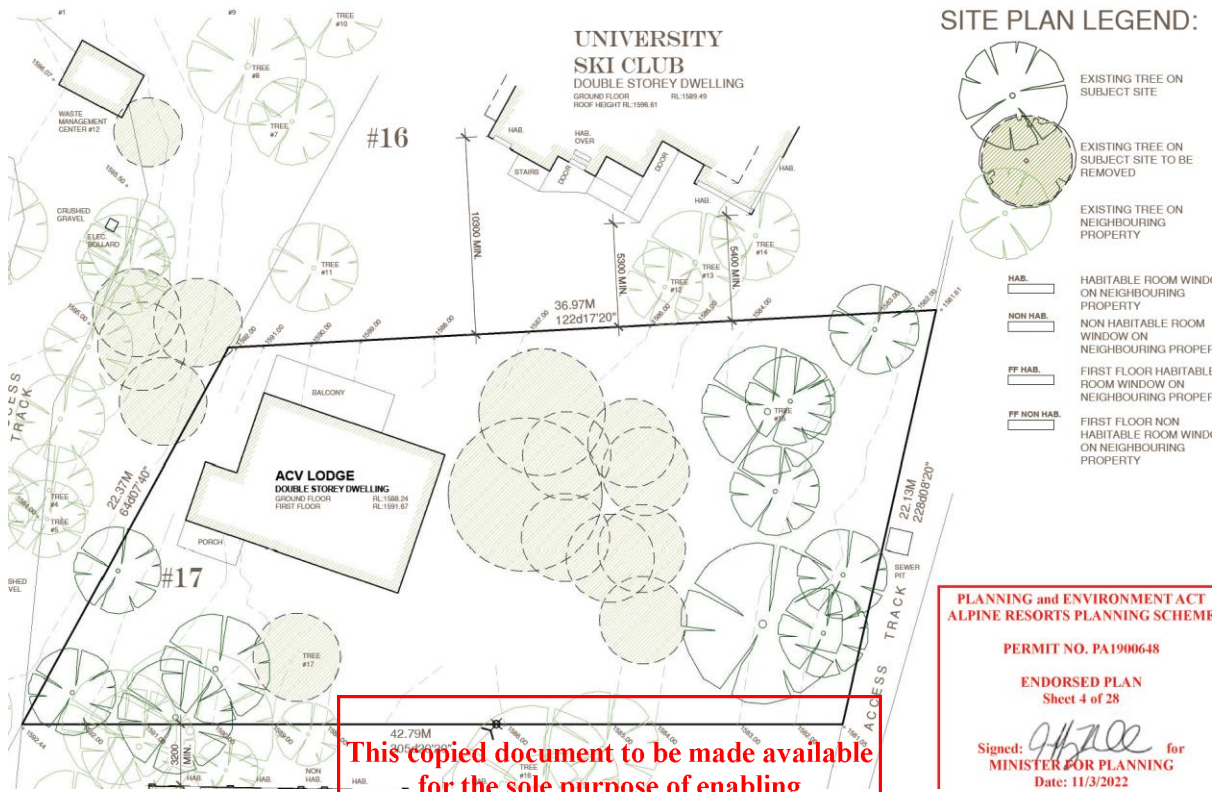


Figure 22 - Endorsed Native Vegetation Removal

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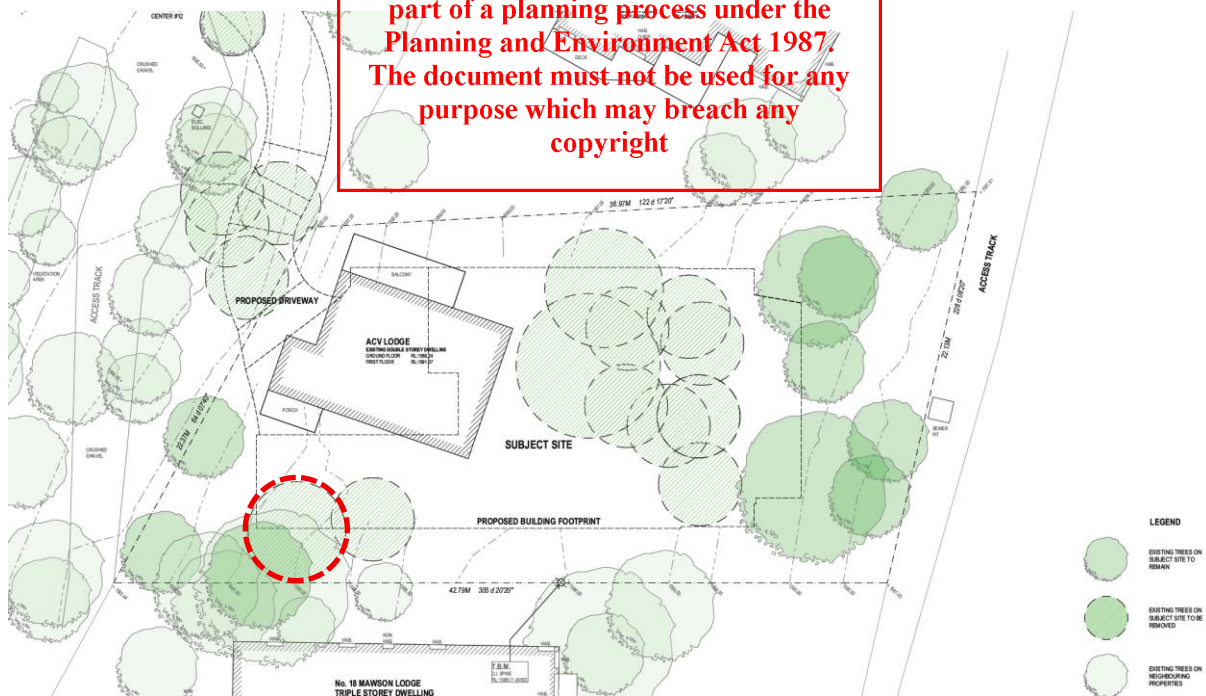


Figure 23 - Proposed Native Vegetation Removal

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4.3 Proposed Amended Conditions

In line with the proposed substitution of the endorsed plans and amendments to the proposal we subsequently request the following amendments to conditions of the permit.

4.3.1 Preamble

The proposal seeks the pre-amble to be amended to read;

“Buildings and works for the development of ~~two dwellings~~ an apartment building and removal of native vegetation”

4.3.2 Condition 1

The condition reads:

Before the development starts, including demolition, bulk excavation and site preparation works, amended plans must be submitted to and be approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and must generally be in accordance with the plans prepared by:

- *David Liddiard & Associates, dated 29 March 2020, and*
- *Bayside Civil, dated 1 March 2020 and 8 March 2020;*

but modified to show the following:

- a. *A note confirming that the dwellings will be constructed to a standard of BAL-40.*
- b. *The use of ‘Glenrowan-Grey Granite Stone Veneer Walls or Similar Natural Stone’ in place of ‘Glenrowan-Grey Granite Stone Veneer Walls or Similar’.*
- c. *A section and elevation of the proposed screening to windows at a scale of 1:20.*
- d. *A note confirming that the proposed screening to windows will be more than 25% permeable.*
- e. *A note on the plans confirming that at least 25% of the mechanical car parking spaces can accommodate a vehicle height of at least 1.8m.*
- f. *A note confirming a matte non-reflective finish to the roof.*
- g. *The proposed car parking layout and vehicle access arrangements modified as follows:*
 - i. *ramp grades along the shared driveway modified to accord with Drawing G29756-01- Sheet 3 (dated 02-06 2021) attached at Appendix C of the statement of evidence of Ms C Dunstan in Application for Review P1531/2020, dated 14th June 2021.*
 - ii. *car lifts and car parking layout, modified to generally accord with recommendations within Drawing G29756-01-Sheet 4 (dated 02-06-2021) attached at Appendix C of the statement of evidence of Ms C Dunstan in Application for Review P1531/2020, dated 14th June 2021.*

We request that this condition is amended to reference the proposed architectural plans prepared by Interlandi Mantesso to supersede those previously endorsed. In addition, Condition 1e and 1g should be deleted as no car lifts are no longer proposed.

4.3.3 Condition 5

The condition reads:

Concurrent with the endorsement of amended plans required under condition 1 of this permit, a revised arboricultural assessment must be submitted to and be approved by the Responsible Authority. When approved, the arboricultural assessment will be endorsed and will then form part of the permit. The arboricultural assessment must be generally in accordance with the arboricultural assessment prepared by Oldmeadow Arboriculture, dated 3 July 2019 and must include the following:

- a. *Assessment of any large tree on or near the site including the approved accessway.*

- b. Determination of which trees on or near the site may be impacted by the approved works.*
- c. Assessment of the impact the approved works are likely to have on trees to be retained.*
- d. Measures to enable the protection of trees to be retained.*

We request that the condition is amended to refer to the arborist report prepared by Oldmeadow Arboriculture dated 23 November 2025 to supersede that previously endorsed.

4.3.4 Condition 43

The condition reads:

The Bushfire Management Plan prepared by Terramatrix, dated 25 May 2020 must be endorsed to form part of the permit and must not be altered unless otherwise agreed in writing by the CFA and the Responsible Authority.

We request that it is amended to refer to the Bushfire Management Plan prepared by Mountain Planning dated December 2025 to supersede that previously endorsed.

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5 Planning Policy Framework & Controls

The following planning policy is considered relevant to the assessment of the proposed development.

5.1 State Planning Policy Framework

- **Clause 11.01-1S – Settlement:** Policy seeks to facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.
- **Clause 11.01-1L – Alpine Villages:** Policy seeks to consolidate future growth within existing village boundaries to optimise accessibility, infrastructure use, and environmental protection, while encouraging redevelopment of under-utilised sites and a diverse range of residential accommodation. It also promotes village commercial nodes as the primary hubs for tourism and community activity, supported by adequate infrastructure, compatible non-residential uses in residential areas, and maintained ski trail connections to the skifields.
- **Clause 11.01-1L – Mt Buller Village:** Policy seeks to consolidate development within the Village by enhancing connections, facilitating higher density and mixed-use development, and providing a vibrant Village Centre with commercial, community, recreational, and visitor accommodation facilities. It also promotes improved service infrastructure at key nodes, maintains staff housing, and discourages outward expansion beyond identified Comprehensive Development Plan areas.
- **Clause 12.04-1L – Sustainable development in alpine areas:** Policy seeks to facilitate sustainable use and development of Alpine areas for year-round use and activity.
- **Clause 12.04-1L – Sustainable development – Alpine Resorts:** Policy seeks to manage development within alpine resorts by limiting skifield facilities to designated areas, ensuring design complements natural features, and minimising visual and environmental impacts through sensitive siting and integration with the landscape. It also promotes skier-focused commercial facilities, strong links between villages and skifields, and a balanced approach to recreational use that protects the alpine environment.
- **Clause 12.04-1L – Sustainable development – Mt Buller Alpine Resort:** Policy seeks to maintain and enhance Mt Buller’s environmental and landscape values while preserving its natural and cultural character.
- **Clause 13.02-1S – Bushfire planning:** Policy seeks to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.
- **Clause 13.02-1L – Bushfire planning – alpine resorts:** Policy seeks to facilitate the provision of sufficient quantities of water for landowners, leaseholders and emergency services to enable them to suppress a fire and defend property.
- **Clause 13.04-2L – Erosion and landslip in alpine resorts:** Policy seeks to ensure that landslide hazards are managed throughout the alpine resorts so as to minimise risk to property and persons.
- **Clause 13.04-2S – Erosion and landslip:** Policy seeks to protect areas prone to erosion, landslip or other land degradation processes.
- **Clause 15.01-2L – Built form in alpine resorts:** Policy seeks to guide development across all alpine resorts to protect skifield vistas, minimise environmental impacts, and ensure village character is preserved through appropriate scale, siting, setbacks, and design. It promotes sensitive building heights, materials and finishes that blend with the alpine landscape, while facilitating safe pedestrian and skier movement, functional public spaces, and compatible infrastructure capacity.
- **Clause 15.01-2L – Building design in Mt Buller:** Policy seeks to guide development within DDO1 and DDO3 by strengthening linkages between the Village Square, surrounding commercial areas, and skifields, while creating a cohesive design language through the use of natural materials and distinct civic treatments. It promotes a protected and visually connected Village Square as the primary visitor hub, ensures appropriate built form scale and solar access, facilitates new pedestrian links, and safeguards key views to the Village.
- **Clause 16.01-1S – Housing supply:** Policy seeks to facilitate well-located, integrated and diverse housing that meets community needs.

5.2 Particular Provisions

The following particular provisions are relevant to the proposal:

5.2.1 Clause 52.06 (Car Parking)

The purpose of Clause 52.06 is *to ensure the provision of an appropriate number of car parking spaces on site and to promote the efficient use of car parking spaces through the consolidation of car parking facilities and to ensure that car parking does not adversely affect the amenity of the locality.*

Please refer to Section 6.4 of this Planning Report for a detailed assessment of the proposed car parking against the requirements of Clause 52.06, including the number of spaces provided and the access and egress to the basement car park.

5.2.2 Clause 58 (Apartment Developments)

The purpose of Clause 58 is *to implement the Municipal Planning Strategy and the Planning Policy Framework, to encourage apartment development that provides reasonable standards of amenity for existing and new residents, and to encourage apartment development that is responsive to the site and the surrounding area.*

Please refer to Appendix A of this report, which provides an assessment against the objectives and standards of Clause 58.

5.2.3 Clause 65 (Decision Guidelines)

The following general Decision Guidelines for all developments within Alpine Resorts are considered to be particularly relevant to the proposed development. The proposal is considered to accord with the purposes and objectives of the Planning Policy Framework, and the Zoning and Overlays.

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- *The matters set out in section 60 of the Act;*
- *The Municipal Planning Strategy and the Planning Policy Framework;*
- *The purpose of the zone, overlay or other provision;*
- *Any matter required to be considered in the zone, overlay or other provision;*
- *The orderly planning of the area;*
- *The effect on the amenity of the area;*
- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*

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5.3 Zoning

5.3.1 Comprehensive Development Zone – Schedule 1 (CDZ1)

The site is located within the Comprehensive Development Zone – Schedule 1. The relevant purposes of the CDZ1 are:

- To encourage development and the year-round use of land for a commercially orientated, alpine resort.
- To provide for residential development in a variety of forms in an alpine environment.
- To encourage development and the use of the land which is in accordance with sound environmental management and land capability practices, and which takes into account the significance of the environmental resources.
- To provide for the integrated development of land in accordance with a comprehensive development plan incorporated in this scheme.

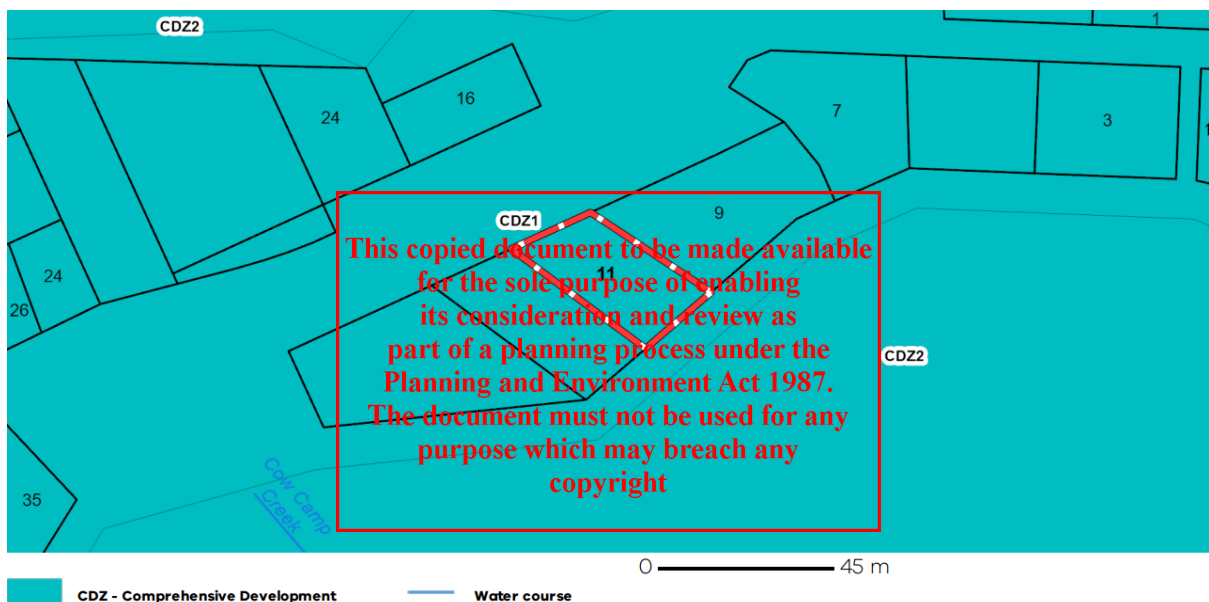


Figure 24 - Comprehensive Development Zone (site highlighted in red)

Pursuant to Section 1.0 of Schedule 1 to Clause 32.02-1, **no permit is required to use the Site as a dwelling** given it meets the following criteria

- Each accommodation unit must be connected to reticulated sewerage.
- Each accommodation unit must be connected to a reticulated potable water supply or have an alternative potable water supply, with appropriate storage capacity, to the satisfaction of the responsible authority.
- Each accommodation unit must be connected to a reticulated electricity supply or an alternative energy supply to the satisfaction of the responsible authority.
- All services must be underground.

Pursuant to Section 4.1 of Schedule 1 to Clause 37.02-4, **a permit is required to construct a building or construct or carry out works**. There are several exemptions provided; however none apply in the circumstances of this proposed development.

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5.4 Overlays

The site is affected by the Bushfire Management Overlay, Design and Development Overlay and an Erosion Management Overlay. The subject site is also with an area of aboriginal cultural heritage sensitivity.

5.4.1 Bushfire Management Overlay

The subject land is covered by Schedule 1 to the Bushfire Management Overlay (BMO). The purpose of the BMO is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

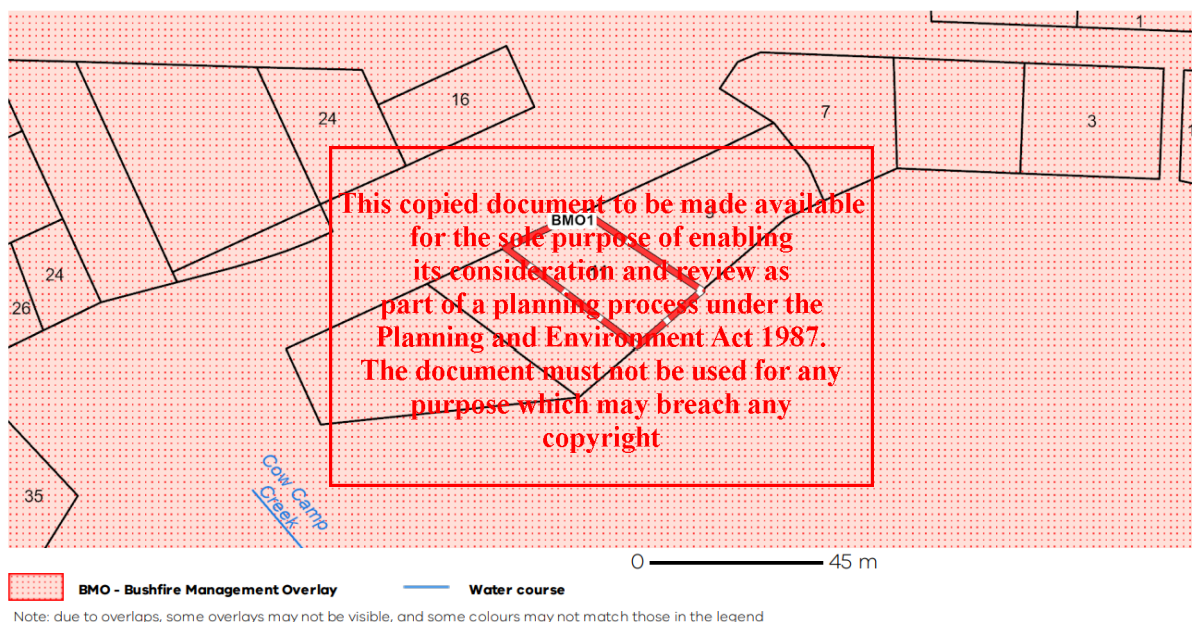


Figure 25 - Bushfire Management Overlay (site highlighted in red)

Pursuant to Clause 44.06-2, **a permit is required to construct a building or construct or carry out works associated with accommodation** in the BMO. Additionally, The BMO states the application requirements at Clause 44.06-03. The bushfire application requirements are provided as a part of this application.

We also note that Schedule 1 to the BMO specifies alternative measures to Clause 53.02 to be applied in developments within Mount Buller. These requirements are reflected in the attached Bushfire Management Plan.

Overall, it is submitted that the proposed development is appropriate under the BMO as the dwellings will be constructed to BAL-40 and vegetation will be managed to the lot boundary to minimise the risk of bushfire to the property and occupants of the dwelling. We note that the existing dwelling will be demolished and replaced with buildings to a much higher BAL level.

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5.4.2 Design and Development Overlay – Schedule 1 (Area 1) [DDO-A1]

The subject land is covered by Schedule 1 to the Design and Development Overlay (DDO-A1) and is located within Area 1. The purpose of the DDO-A1 is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.
- To ensure that development within the Mt Buller Village creates and enhances an identifiable individual resort character.
- To ensure building design provides a visually attractive and functionally effective interface with the public domain, particularly within the Village Square and adjacent to the Bourke Street ski run.
- To ensure view corridors are protected between buildings and provide opportunities for view sharing.
- To provide safe pedestrian and skier access and linkages within the Village and to the ski fields.

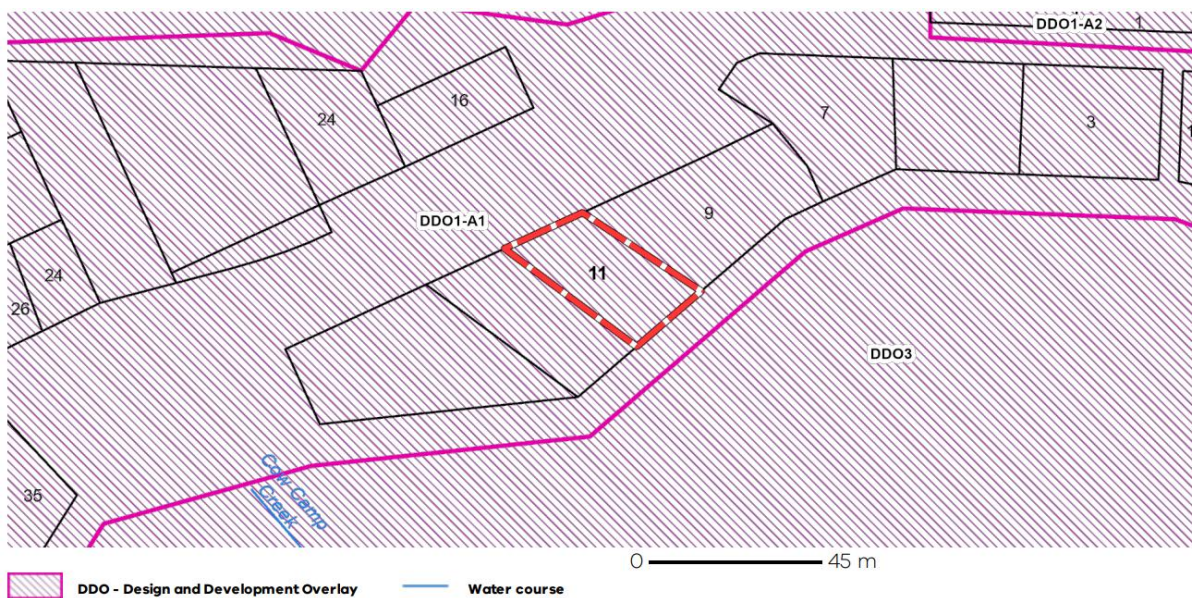


Figure 26 - Design and Development Overlay (site highlighted in red)

A planning permit is required to construct a building and carry out works. Section 2.0 of the DDO1-A1 states the development should meet criteria, this is assessed at Section 6.2.1 of this report. Section 6.0 outlines the relevant decision guidelines which are addressed in Section 6.2.1 of this report.

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5.4.3 Erosion Management Overlay – Schedule 1 (EMO1)

The subject land is covered by Schedule 1 to the Erosion Management Overlay (EMO). The propose of the EMO is to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

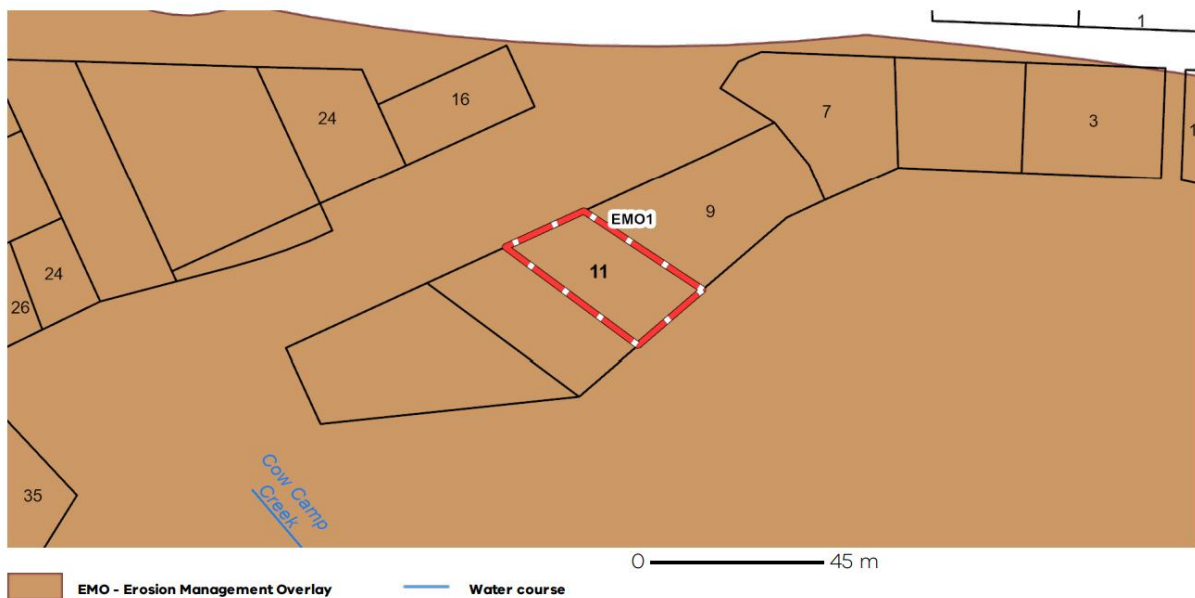


Figure 27 - Erosion Management Overlay [site highlighted in red]

Pursuant to Clause 44.01-1, **a permit is required to construct a building or construct or carry out works** in the EMO.

Clause 44.01-5 states that an application must be accompanied by information that details the existing conditions of the site, the extent of the proposed earthworks and the means to stabilise the disturbed areas. These application requirements are addressed in the attached Geotechnical Review prepared by Taylor Engineering and Design.

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5.4.4 Area of Aboriginal Cultural Heritage Sensitivity

The site is within an area of Aboriginal Cultural Heritage Sensitivity. The purpose of the Aboriginal Cultural Heritage sensitivity is to *manage activities/development that may impact Aboriginal cultural heritage*. As per the *Aboriginal Heritage Regulations 2018, Regulation 7 states a cultural heritage management plan is required when 'all or part of the activity area for the activity is an area of cultural heritage sensitivity' and 'all or part of the activity is a high impact activity'*.

As per the Biosis letter dated 13 June 2019 and confined by the approval of the existing planning permit, a mandatory CHMP is not required.

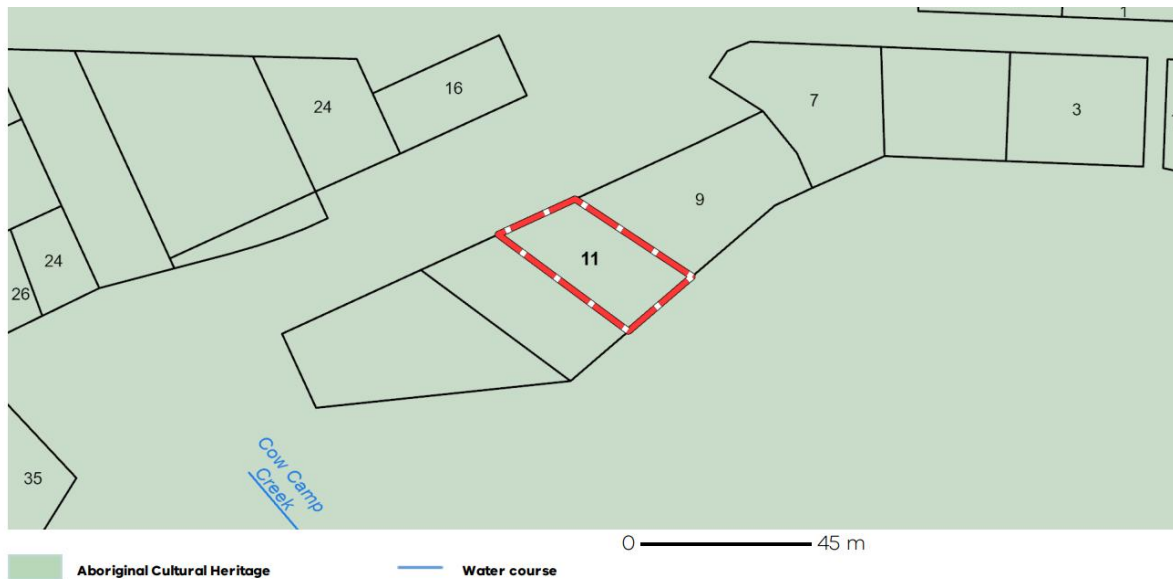


Figure 28 - Area of Aboriginal Cultural Heritage Sensitivity (site highlighted in red)

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6 Planning Considerations

The proposal constitutes an application to amend existing planning permit (PA1900648) to include an additional four dwellings, largely accommodated within the existing built-form envelope. This planning report assesses the proposed development against the relevant provisions of the Alpine Resorts Planning Scheme and the existing permit. It is our assessment that the proposal demonstrates an appropriate outcome in this case. In coming to this conclusion we have considered the following key questions:

- Does the proposal appropriately address the **strategic planning drivers** of Mount Buller?
- Does the amended proposal continue to respond to the **objectives and built form guidelines** of the Design and Development Overlay (DDO-A1)
- Does the amended proposal provide high levels of **public and private amenity**?
- Are the **traffic and transport** arrangements appropriate?
- Is **vegetation** removal and management appropriate?

6.1 Strategic Planning Drivers

State and Local planning policy seek to direct residential development to *consolidated alpine villages*, promoting *intensive residential development to Mount Buller*. The proposal provides an improved outcome (to that endorsed) through increasing dwelling yield to enable more efficient use of the built form envelope. This aligns well with State intent to facilitate residential growth within existing village boundaries; optimising a currently under-utilised site.

Further, the applicable planning policy, zone and overlays that affect the site remain consistent with those that were in place in July 2021 when Planning Permit PA1900648 was granted, and it is therefore submitted that the proposal continues to acceptably address the policy and the broader strategic objectives for the locality.

6.1.1 Site and Context

The subject site and surrounds are within an area recognised by Alpine Resorts planning scheme as within *Alpine Village*. The Scheme seeks to facilitate residential development, whilst ensuring the use of the land which is in accordance with sound environmental management and land capability practices, and which takes into account the significance of the environmental resources.

Considering the above, we note the following matters with respect to the subject proposal:

- **Location** – The subject site is located within Village with direct access to the ski fields, and the broader Mt Buller services and facilities.
- **Need** – The subject site is well located, with close proximity to an array of ski fields, services and facilities, which is indicative the subject site’s capacity to support a moderate increase in population density and accommodation needs.
- **Quality Architecture** – The design response provides a contemporary built form outcome to the street frontage, contributing to the character of the area and incorporating existing features of surrounding development while largely maintaining consistency with the approved built form outcome.

In addition, we note that the amended proposal achieves a similar built form outcome to that which has previously been approved for the site. It is submitted that the amended proposal remains appropriate, balancing cues from the natural surroundings, alpine architecture and the future sought built form outcomes outlined by the Scheme. It is therefore considered that the amended proposal continues to respond appropriately to the site and context of the surrounds.

6.1.2 Policy Support

A number of policies within the Planning Policy Framework are relevant to the consideration of this application, namely Alpine Villages (Clause 11.01-1L) and Housing (Clause 16).

At a local policy level the above-mentioned policies seek to “Encourage the redevelopment of under-utilised sites to optimise development potential within the village” and to “Encourage a range of residential accommodation

types and densities to cater for the needs of the permanent and visitor population” the residential intensification of sites within the existing development precinct of Mt Buller is being clearly highlighted within Clause 11.01-1L (Alpine Villages).

At a state policy level, policy seeks to “Identify opportunities for increased residential densities to help consolidate urban areas”, to “Encourage the development of well-designed housing that: Provides a high level of internal and external amenity”, (Clause 16.01-1S – Housing Supply) and to “Encourage the consolidation of new housing in existing settlements where investment in physical and community infrastructure and services has already been made.” (Clause 16.01-3S – Rural Residential Development). These policies collectively seek to encourage appropriately designed intensification in sites such as the subject site to cater for a diverse range of user needs.

Policy encourages built form outcomes that achieve a high quality of urban design and enhance the streetscape while maintaining local amenity and encourages a diversity of housing stock suitable to accommodating differing housing needs.

Considering the above, it is submitted that there is a high level of strategic planning support for the revised apartment scheme at the subject site, noting the proposal:

- Seeks to realise the intensification and increase the supply of diverse accommodation types within an established and appropriately located area.
- Is located in an area that actively encourages for a development of this nature given its proximity to existing services and facilities.
- Provides an architectural quality development on an underutilised site with existing infrastructure available to service each of the proposed dwellings.

We note that these planning policies are consistent with those in place at the time of the approval of the permit for the site and consider that the amended proposal continues to provide an appropriate response to the relevant strategic drivers of the site.

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6.2 Built Form

The amended proposal is generally in accordance with the approved external built form outcome for the site in terms of dimensions, layout, materiality and design. Notwithstanding, changes are proposed to allow appropriate internal amenity outcomes, and to optimise the proposed land use on site.

The following section of this report provides a summary of and response to the built form objectives Design and Development Overlay – Schedule 1 (Area 1) (DDO-A1) in addition to the preferred built form guidelines provided at Clause 15.01-2L (Built Form in Alpine Resorts, specifically the “Building design in Mt Buller” subsection).

6.2.1 Design and Development Overlay – Schedule 1 Area 1 (DDO-A1)

The subject site is located within the Design and Development Overlay. Section 2.0 sets out the following requirements:

Item	Endorsed	Proposed
<p>Maximum height</p> <p>The maximum height of any part of a building is 3 storeys or 11 m above natural ground level, whichever is the lesser height.</p> <p>A permit may be granted to increase the height of any rooftop structure or chimney by 1.5m, provided no more than 20 per cent of the roof area exceeds 11 m in height.</p> <p>A permit may be granted to vary maximum heights.</p>	<p>Complies</p> <p>Maximum height of building is 11 metres + chimney and roof detail encroachment by no more than 1.5 metres.</p>	<p>Complies</p> <p>Maximum height of building is 11 metres + roof detail encroachment by no more than 1.5 metres (16% total encroachment).</p> <p>The encroachment occurs within roof articulation and does not result in additional perceived bulk when viewed from the public realm.</p>

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Item	Endorsed	Proposed
<p>Minimum setbacks</p> <p>A building must be setback:</p> <ul style="list-style-type: none"> 6m from the closest kerbside or constructed edge of a road abutting the frontage of the site and 3m from the frontage of the site. 3m from any other site boundary. An average of 4m from any other building on the same site. 6m from any building on an adjoining site. <p>Where any part of an external wall measured above natural ground level exceeds 3.6m in height, the minimum prescribed distance of the wall from a boundary shall be increased in the proportion of 100mm for every 300mm or part thereof by which that height of that part of the wall exceeds 3.6m.</p> <p>A permit may be granted to vary setbacks.</p>	<p>Variation Endorsed</p> <ul style="list-style-type: none"> Driveway area is setback 3 metres from frontage Minimum side setback of 2.7 metres Average setback from other buildings well in excess of 4 metres Setback from buildings on adjoining sites minimum of 6.2 metres 	<p>Variation (generally in accordance with endorsed)</p> <ul style="list-style-type: none"> Driveway area is setback 3 metres from frontage Minimum side setback of 2.618 metres Average setback from other buildings well in excess of 4 metres Setback from buildings on adjoining sites minimum of 6.2 metres
<p>Maximum site coverage</p> <p>60 per cent of the total site area.</p>	<p>Complies</p> <p>Site coverage is 297m² - 37%</p>	<p>Complies</p> <p>Site coverage is 340.9m² - 41.94%</p>
<p>Car parking</p> <p>1 spaces per 140 sq m gross floor area.</p> <p>Setback a minimum of 3m from all site boundaries.</p> <p>Access ways a minimum width of 3m.</p>	<p>Complies</p> <ul style="list-style-type: none"> 4.8 car parking spaces required (for 673m² floor area) - 4 spaces provided Driveway area is setback 3 metres from frontage Accessway is 3.5 metres wide 	<p>Complies</p> <ul style="list-style-type: none"> 4.5 car parking spaces required (for 636m² floor area) - 6 spaces provided Driveway area is setback 3 metres from frontage Accessway is 3.5 metres wide

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Section 6.0 sets out the following decision guidelines

Item	Proposal Response
<p>The extent to which the development meets the objectives of the overlay and the Mt Buller Alpine Resort Village Design Guidelines, 2014 and the Mt Buller Master Plan 2010 (revised 2014).</p>	<p><i>Mt Buller Alpine Resort Village Design Guidelines, 2014</i> and the <i>Mt Buller Master Plan 2010 (revised 2014)</i> seek to guide the development of Mt Buller. Relevant to the proposal, policy seeks to</p> <ul style="list-style-type: none"> Preserve and enhance the character and identity of the Village Consolidate redevelopment sites

Item	Proposal Response
	<ul style="list-style-type: none"> Facilitate infill opportunities through the Village Encourage materials of alpine colour tones, local stone, timber and render Limit development to the bounds of development zones. <p>The proposal responds well to the above given the amendment seeks to increase yield on a prime infill site – located 130 metres south of the Village centre. Consistent with the existing approval, the amendment continues to utilise appropriate alpine materiality.</p>
Whether the proposed development adversely impacts on the amenity of the adjacent buildings and public areas.	Proposed amendments are consistent with that endorsed – providing negligible adverse amenity impacts to adjacent buildings. Refer to the Clause 58 assessment at Appendix A which assesses amenity impacts further.
<p>Whether the proposed development is designed and sited:</p> <ul style="list-style-type: none"> to ensure that snow shed from the development will be retained within the site boundaries. to ensure the maximum retention of significant vegetation on the site, especially stands of snow gums. to be compatible with the scale and nature of surrounding development. to sit well within the alpine landscape, by stepping with natural grades and harmonising with the character of the surrounding landscape. <p>to respond to year-round climatic conditions and the range of visitor needs and interests.</p>	<p>Refer to the architectural plans prepared by Interland Mantesso which outline ‘snow dump’ areas on Site.</p> <p>Proposed amendments require the removal of one additional tree on Site – this tree is acknowledged as dead in the arborist report prepared by Oldmeadow Arboriculture. As such, the amendment aligns with the intent of policy given only one dead tree is proposed to be removed as a part of this application.</p> <p>The proposal is considered to be of appropriate scale given it largely sits within the endorsed built form envelope – with minor encroachments to facilitate the increased yield on site.</p> <p>In line with the existing endorsement, the proposal continues to sit well within the alpine landscape, by stepping with natural grades and harmonising with the character of the surrounding landscape.</p>
The topography and slope of the site.	As above, the proposal steps down with the slope of the site.
Provides for free movement of skiers and pedestrians into and around the site and enhances connections to the Village public spaces and ski fields	The proposal provides consistent setbacks to that endorsed to ensure the development continues to provide for free movement of pedestrians.

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For the reasons outlined above, it is considered that the proposed amendment is reasonable and appropriate.

6.2.2 Clause 15.01-2L: Built Form in Alpine Resorts

In addition to the above, Clause 15.01-2L also sets out the following built form preferences for development in Mount Buller.

Item	Proposal Response
Strategies - General	

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Item	Proposal Response
Protect vistas to the ski fields by the location, design and siting of developments.	The proposed amendments largely sit within the existing approved built form envelope, ensuring the protection of vistas. Of note, the endorsed development protects vistas from Mawson Lodge to Chamois Race Hut. As such, the proposed amendment continues to protect this view.
Limit the impact of development on the environment and adjacent development through the use of design and construction management techniques.	The same or equivalent design and construction techniques will be used in the amended proposal to ensure equivalent impact of development on the environment to that previously endorsed.
Ensure that the scale, intensity, bulk and appearance of any development enhances the character of the villages and is compatible with surrounding development.	The scale, intensity, bulk and appearance of built form is equivalent to that endorsed given the proposal largely sits within the endorsed built form envelope.
Preserve the scale, materials and character and sense of place in the villages.	The proposal utilises largely the same material palette to that endorsed. The only amendment to materials is a minor change in the palette of proposed timber to walnut. As such, it is considered that the proposed design continues to preserve the scale, materials and character and sense of place in the villages.
Design lift and ski areas and use materials that are complementary to existing facilities but have their own character and definition.	The proposal is not located within the lift/ski area. Regardless, materiality is consistent with that endorsed and continues to be complementary.
Ensure the intensity of development responds to the capacity of the resort's reticulated services, traffic and car parking.	Whilst yield is increased (5 apartments, as opposed to 2 large dwellings), it is considered that given the State's aspiration for increased density within the vicinity of the Village, that existing reticulated services and roads have sufficient capacity to accommodate this.
Facilitate the development of hard-paved spaces and seating opening out onto the snow play areas with a consistent design and material selection.	The proposal is not located within, or nearby to, a snow play area.
Combine vehicle and pedestrian access points to minimise: <ul style="list-style-type: none"> ▪ Vegetation removal within front setbacks. ▪ Visual impacts on public spaces, pathways and street frontages. 	Access points are consistent with that endorsed.
Strategies - Building siting	
Site buildings to sit comfortably within the alpine landscape by stepping with the natural grades and minimising earthworks.	Proposed amendments to the built form largely sit within the endorsed built form envelope – including earthworks and building heights. As such, it is considered that the proposal continues to be appropriately sited.

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Item	Proposal Response
Incorporate existing natural features within a site including native vegetation, rock outcrops and topographical features.	Consistent with that endorsed, the proposal takes cues from the surrounding natural features in its design through the natural, alpine material palette.
Site development to provide view corridors to ski slopes and mountain terrain from publicly accessible areas.	The proposed amendments maintain largely the same views as endorsed.
Site development to accommodate pedestrian and skier movements within the site to avoid conflicts with vehicles.	The proposed amendments generally sit within the endorsed built form envelope, proving negligible difference to pedestrian/skier movements.
Encourage buildings to provide a sense of address and identity to streets, pathways and public spaces.	The proposed architectural style is consistent with that endorsed utilising articulated built form design, roof features, glazing and a natural material palette to address the street.
Design public spaces to have a northerly aspect if possible.	Not applicable.
Avoid the unreasonable loss of solar access to public spaces.	Given the proposed amendments largely sit within the endorsed built form envelope, it is considered that solar access outcomes are consistent. Irrespective, built form is located setback from any public spaces.
Strategies - Building height	
Encourage the scale and height of development to be consistent with the predominant low built form height.	Built form height proposed is consistent with that endorsed, and consistent with the requirements of the Design and Development Overlay – Schedule 1 Area 1. As such, it is considered that the proposed built form height is appropriate and consistent with preferred height.
Encourage the height of buildings to be generally consistent with the built form character of the village.	Built form height proposed is consistent with that endorsed, and consistent with the requirements of the Design and Development Overlay – Schedule 1 Area 1. As such, it is considered that the proposed built form height is appropriate and consistent with preferred height.
Avoid building height that unreasonably overshadows key public places and private open space areas.	Built form height proposed is consistent with that endorsed, and consistent with the requirements of the Design and Development Overlay – Schedule 1 Area 1. As such, it is considered that the proposed built form height is appropriate and consistent with preferred height.
Strategies - Building setbacks	
Provide street setbacks that retain alpine vegetation and allow additional tree planting.	Proposed setbacks are largely consistent with that endorsed, and consistent with the requirements of the Design and Development Overlay – Schedule 1 Area 1. Minor encroachments into the endorsed built form envelope are proposed to accommodate the amended car parking arrangements – enabling a more feasible development.
Avoid setbacks that are dominated by vehicle accessways, car parking or structures.	Whilst parking structures are located to the street, built form has been designed so that parking structures blend with the house – with no open structures facing the Avenue.
Set development back from site boundaries to avoid snow shedding beyond the site.	Proposed setbacks are largely consistent with that endorsed, and consistent with the requirements of the Design and Development Overlay – Schedule 1 Area 1. Minor encroachments into the endorsed built form envelope are proposed to accommodate the amended car parking arrangements – enabling a more feasible development.

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Item	Proposal Response
Manage snow shed within the site so that it does not fall on pathways or block building entries.	Refer to the architectural plans prepared by Interlandi Mantesso which nominate 'snow shed' areas on site.
Provide building setbacks that retain view corridors between buildings and provide opportunities for view sharing.	The endorsed development protects vistas from Mawson Lodge to Chamois Race Hut. As such, the proposed amendment continues to protect this view.
Strategies - Building design	
Provide building entries that are clearly visible from the street, easily identifiable in difficult weather conditions and provide a sense of personal address, practical shelter and a transition space through to the interior.	The proposed amendment locates the building entrance to the street and is easily identifiable – utilising contrasting materiality to the façade. This is consistent with the treatment endorsed.
Design service areas as an integral part of the overall design and screen them from public areas.	service areas are designed as an integral part of the overall design, screened form the public.
Discourage hidden spaces and corners to improve personal safety.	No hidden spaces are proposed.
Provide façades that respect the built form envelope through rhythm, scale, architectural features, fenestration and materials, as viewed from all sides of the building.	Built form scale and design is consistent with that endorsed – utilising the same endorsed material palette and siting (largely) within the endorsed built form envelope. As such, the proposed built form response is considered appropriate.
Avoid long and monolithic built form by breaking buildings into smaller elements.	All façades are well articulated, avoiding monolithic design.
Design roofs to contain snow or to shed it onto safe areas within the site.	The proposed roof is designed to provide for safe snow shed, as is outlined on the architectural plans prepared by Interlandi Mantesso.
Confine roof top access, stairways, elevator shafts and mechanical equipment that do not protrude from the roof.	No stairways, roof access, elevator shafts or mechanical equipment protrude the roof.
Strategies - Materials and finishes	
Use building materials, finishes and colours that blend in with the natural alpine environment.	
Design natural cleft or rock face stone on walls to have a structural appearance rather than a veneer look.	The proposal utilises largely the same material palette to that endorsed.
Support the following materials and finishes: <ul style="list-style-type: none"> ▪ Wall materials: corrugated iron, profiled metal, timber, natural stone (preferably granite) and plastered masonry. ▪ Roof materials: profiled metal and corrugated iron (non-reflective and muted tones that blend the building into the landscape). ▪ Colours: minimise colour in the form of paintwork, using it only as a feature or element of contrast. 	The only amendment to materials is a minor change in the colour of proposed timber to walnut. As such, it is considered that the proposed design continues to preserve the scale, materials and character and sense of place in the villages.

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For the reasons outlined above, it is considered that the proposed amendment is reasonable and appropriate.

6.2.3 Erosion Management

The amendment application is supported by a Geotechnical Memo prepared by Taylor Engineering & Design which confirms that the “findings and recommendation of the original report remain valid and applicable to the updated design ... the report remains appropriate for use in support of the amended planning permit application”. As such, we continue to rely upon the endorsed “Preliminary Geotechnical Assessment for Site 17-11 The Avenue, Mt Buller” prepared by Phil Styules & Associates and believe that the considerations of the EMO are appropriately addressed.

6.2.4 Bushfire Management

The amendment application is supported by a revised Bushfire Management Planning prepared by Mountain Planning. This BMP replaces the BMP within the endorsed Bushfire Management Statement prepared by Terramatrix as part of the original application. It is noted that the BMS appears to have been incorrectly endorsed under the permit noting that Condition 43 only requires that the BMP is endorsed, not the entire BMS.

Given the site context has not substantially changed since the Terramatrix report, we rely upon the assessment within the original BMS and have provided the updated BMP to reflect the revised proposal only.

The revised BMP confirms the appropriate bushfire construction requirements and mitigations will be implemented into the development.

6.3 Amenity

The amended proposal largely involves the internal reconfiguration of the approved built form on site. The amendments have been introduced to address a change in demand of land use that is appropriate in terms of the site context and surrounds.

The amended development is considered to provide a positive contribution to both The Avenue, and Mount Buller more broadly. The amended design largely sits within the approved building envelope for the development, and it is submitted that the proposed development provides a positive amenity outcome both internally and externally. This is expected to be in compliance with the clause 58 requirements, as detailed within Appendix A.

5.5.1 Internal design details:

Each apartment is provided with excellent internal amenity and design details that will provide future occupiers with the excellent living environments. The proposal will also improve diversity of accommodation and choice within on Mount Buller. Each of the apartment has an open plan design, allowing for strong natural light illumination throughout.

The proposed apartments have excellent outlook and solar access due to large windows and balconies to capture the expansive outlook. This ensures that each unit is provided with a high level of internal amenity, and an energy efficient design outcome.

5.5.2 Protection of offsite amenity:

The proposal falls largely within the existing approved building envelope. The revised scheme has sought to ensure that outlook from habitable rooms and private open spaces achieves the overlooking standards to ensure that there is no unreasonable amenity impacts from the proposal.

As discussed above, the circumstances of the site and surrounds have not altered since the approval of permit PA1900648 on 28 July 2021. We note that the amendment proposes a similar building footprint, setbacks and height to the approved development, and therefore consider that the amended proposal continues to achieve an appropriate outcome with regard to built form and any impacts on the immediately surrounding properties.

6.4 Traffic & Transport

It is noted that in addition to the parking rates under Clause 52.06, DDO-A1 also specifies the parking rates. However, the Planning Scheme is somewhat ambiguous about whether this supersedes the Clause 52.06 requirements noting that the Clause 52.06 exemption (extracted below) states that the exemption applies if the “use is specified” under another provision. The DDO1 rates do not specify any particular use and are applied more broadly using a gross floor area rate. For this reason, we have assessed against both parking rates.

The car parking requirement specified for a use listed in Table 1 does not apply if:

- a car parking requirement for the use is specified under another provision of the planning scheme...

Clause 52.06 specifies car parking rates and provides parking and access standards. The following car parking rates apply to the proposed uses:

Land Use	Dwellings	Clause 52.06	Required	Provided
Dwelling	X2 two bedroom	1 to each one or two bedroom dwelling, plus	2	1 to each 2 bedroom 1 to each 3 bedroom 2 to the 4 bedroom
	X2 three bedroom X1 four bedroom	2 to each three or more bedroom dwelling (with studies or studios that are separate rooms counted as a bedrooms) plus	6	
		1 for visitors to every 5 dwellings for developments of 5 or more dwellings	1	
Total:			9	6

The DDO-A1 parking rates are as per below:

Car parking	Complies	Complies
1 spaces per 140 sq m gross floor area. Setback a minimum of 3m from all site boundaries. Access ways a minimum width of 3m.	4.8 car parking spaces required (for 673m ² floor area) – 4 spaces provided	4.5 car parking spaces required (for 636m ² floor area) – 6 spaces provided

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As demonstrated above, the proposal complies with the DDO-A1 parking rates but seeks a parking reduction under clause 52.06. It is considered that the proposed parking provision is reasonable and appropriate, particularly noting that the parking rates comply local parking requirements under DDO-A1.

6.5 Vegetation

The proposed vegetation removal is generally as per the existing approved vegetation removal under PA1900648, the proposal seeks the removal of one (1) additional tree, Tree 24. As described in the Tree 24 is a low value (dead) tree. It is considered that the removal of one (1) additional dead tree is considered reasonable and appropriate. For further details refer to the Arboricultural Assessment prepared by Oldmeadow Arboriculture.

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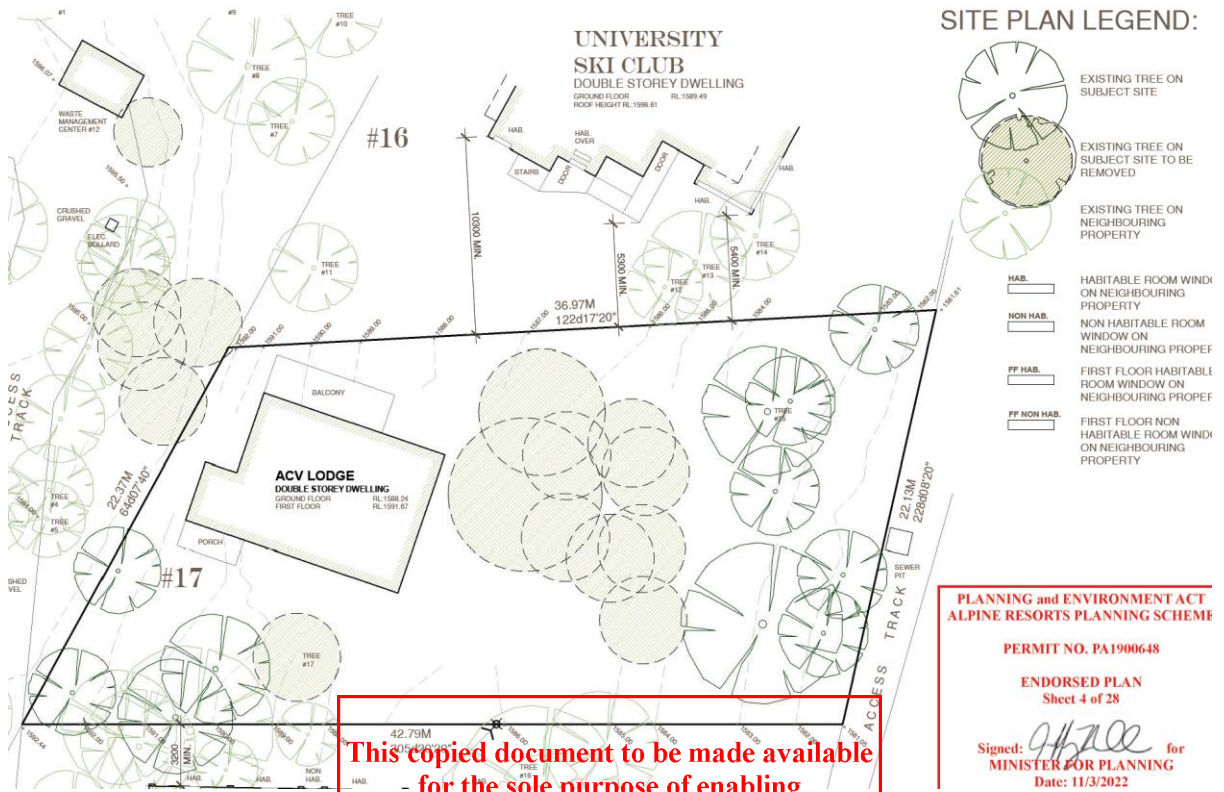


Figure 29 – Endorsed Native Vegetation Removal

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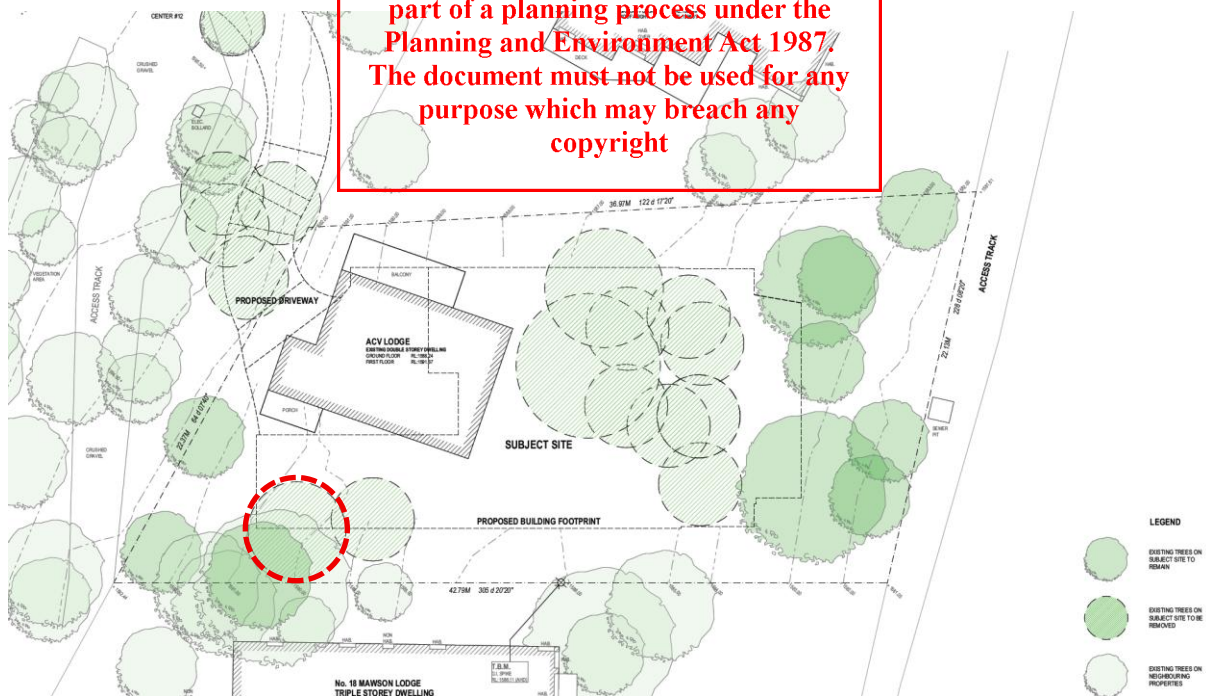


Figure 30 - Proposed Native Vegetation Removal

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7 Conclusion

It is considered that the amended proposal has a high level of compliance with the relevant Planning Policy Framework, is consistent with the existing permit and improves upon the endorsed plans for the site. The amendment is considered to improve upon the approved unit layout and design, while still generally retaining the approved built form outline. In summary, the amended proposal is considered appropriate as it:

- Is consistent with the ambitions and key objectives of the Alpine Resorts Planning Scheme, including policies relating to housing provision in appropriate locations.
- Provides an appropriate response to the Design and Development Overlay.
- Provides for a quality architecturally designed development in an appropriate location.
- Provides for a positive design outcome that is consistent with the character of the surrounding area.
- Is largely contained within the approved building footprint for the development in accordance with the existing permit and endorsed plans.
- Does not unreasonably affect surrounding amenity.
- Achieves a functional and attractive design response that provides a high-quality environment for local and future occupants.

For the reasons outlined in this report it is considered that the proposal is worthy of Council support.

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APPENDIX A – Clause 58 (BADS) Assessment

Clause 58.02 – Urban Context

Objective	Standard	Response
<p>Standard D1 – Urban Context Objectives</p> <p>To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	<p>The design response must be appropriate to the urban context and the site.</p> <p>The proposed design must respect the existing or preferred urban context and respond to the features of the site.</p>	<p>✓ Complies</p> <p>Please refer to the Architectural Planning Pack containing an Urban Context Report detailing how the proposal responds and contributes to the future development of the area.</p>
<p>Standard D2 – Residential Policy Objectives</p> <p>To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p> <p>To support higher density residential development where development can take advantage of public and community infrastructure and services.</p>	<p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p>	<p>✓ Complies</p> <p>The proposal is consistent with the applicable planning policy for this area. Please refer to section 5 of this report for an assessment of how the proposed development is in accordance with all applicable policy for housing in the Municipal Planning Strategy and Planning Policy Framework.</p>
<p>Standard D3 – Dwelling diversity Objective</p> <p>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms.</p>	<p>✓ Complies</p> <p>A variety of dwelling size and layouts are proposed within the development. The proposal consists of:</p> <ul style="list-style-type: none"> ▪ 2 x 2 bed apartments ▪ 2 x 3 bed apartments ▪ 1 x 4 bed apartments
<p>Standard D4 – Infrastructure Objective</p> <p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p>Development should be connected to reticulated services, including reticulated sewerage, drainage and electricity, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the</p>	<p>✓ Complies</p> <p>The proposed development benefits from access to utility services and infrastructure and will not unreasonably overload the capacity of utility services and infrastructures.</p>

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Objective	Standard	Response
	<p><i>upgrading of or mitigation of the impact on services or infrastructure.</i></p>	
<p>Standard D5 – Integration with the street Objective</p> <p><i>To integrate the layout of development with the street.</i></p> <p><i>To support development that activates street frontage.</i></p>	<p><i>Development should be oriented to front existing and proposed streets.</i></p> <p><i>Along street frontage, development should:</i></p> <ul style="list-style-type: none"> ▪ <i>Incorporate pedestrian entries, windows, balconies or other active spaces.</i> ▪ <i>Limit blank walls.</i> ▪ <i>Limit high front fencing, unless consistent with the existing urban context.</i> ▪ <i>Provide low and visually permeable front fences, where proposed.</i> ▪ <i>Conceal car parking and internal waste collection areas from the street.</i> <p><i>Development next to existing public open space should be designed to complement the open space and facilitate passive surveillance.</i></p>	<p>✓ Complies</p> <p>The proposal is designed to integrate with the road frontages, providing a common foyer with access to the street (via the driveway).</p> <p>Due to the slope of the land much of apartment building is below the entry level. However the Penthouse includes clear glazing from the sitting room that overlooks and interfaces with the street.</p>

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Clause 58.03 – Site Layout

Objective	Standard	Response
<p>Standard D6 – Energy efficiency Objectives</p> <p><i>To achieve and protect energy efficient dwellings and buildings.</i></p> <p><i>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</i></p> <p><i>To ensure dwellings achieve adequate thermal efficiency.</i></p>	<p><i>Buildings should be:</i></p> <ul style="list-style-type: none"> ▪ <i>Oriented to make appropriate use of solar energy.</i> ▪ <i>Sited and designed to ensure that the energy efficiency of existing dwellings or small second dwellings on adjoining lots is not unreasonably reduced.</i> 	<p>✓ Complies</p> <p>Due to the lot orientation, optimising north facing windows is challenging. However, the proposal has sought to optimise the design to maximise energy efficiency, which is achieved in part through reducing the overall extent of glazing which otherwise may result in significant heat loss due to the climatic conditions.</p>

Objective	Standard	Response
	<p><i>Living areas and private open space should be located on the north side of the development, if practicable.</i></p> <p><i>Developments should be designed so that solar access to north-facing windows is optimised.</i></p> <p><i>Dwellings located in a climate zone identified in Table D1 should not exceed the maximum NatHERS annual cooling load specified in the following table.</i></p>	
<p>Standard D7 – Communal open space Objective</p> <p><i>To provide communal open space that meets the recreation and amenity needs of residents.</i></p> <p><i>To ensure that communal open space is accessible, practical, attractive, easily maintained.</i></p> <p><i>To ensure that communal open space is integrated with the layout of the development and enhances resident amenity.</i></p>	<p><i>A development of 10 or more dwellings should provide a minimum area of communal outdoor open space of 30 square metres.</i></p> <p><i>If a development contains 13 or more dwellings, the development should also provide an additional minimum area of communal open space of 2.5 square metres per dwelling or 220 square metres, whichever is the lesser. This additional area may be indoors or outdoors and may consist of multiple separate areas of communal open space.</i></p> <p><i>Each area of communal open space should be:</i></p> <ul style="list-style-type: none"> ▪ <i>Accessible to all residents.</i> ▪ <i>A useable size, shape and dimension.</i> ▪ <i>Capable of efficient management.</i> ▪ <i>Located to:</i> <ul style="list-style-type: none"> - <i>Provide passive surveillance opportunities, where appropriate.</i> 	<div data-bbox="1010 687 1557 1025" style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div> <p>Not Applicable</p> <p>The proposed development only provides 5 apartments, therefore Standard D7 does not apply.</p>

Objective	Standard	Response
	<ul style="list-style-type: none"> - Provide outlook for as many dwellings as practicable. - Avoid overlooking into habitable rooms and private open space of new dwellings. - Minimise noise impacts to new and existing dwellings and existing small second dwellings. <p>Any area of communal outdoor open space should be landscaped and include canopy cover and trees.</p>	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div>
<p>Standard D8 – Solar access to communal outdoor open space Objective</p> <p>To allow solar access into communal outdoor open space.</p>	<p>The communal outdoor open space should be located on the north side of a building, if appropriate.</p> <p>At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June.</p>	<p>Not Applicable</p> <p>The proposed development only provides 5 apartments, therefore Standard D8 does not apply.</p>
<p>Standard D9 – Safety Objective</p> <p>To ensure the layout of development provides for the safety and security of residents and property.</p>	<p>Entrances to dwellings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p>✓ Complies</p> <p>The proposed entrance to the apartment building is not obscured or isolated from the street. Pedestrian access can be obtained from The Avenue, via the foyer.</p>

Objective	Standard	Response
<p>Standard D10 – Landscaping Objectives</p> <p><i>To provide landscaping that supports the existing or preferred urban context of the area and reduces the visual impact of buildings on the streetscape.</i></p> <p><i>To preserve existing canopy cover and support the provision of new canopy cover.</i></p> <p><i>To ensure landscaping is climate responsive, supports biodiversity, wellbeing and amenity and reduces urban heat.</i></p>	<p><i>Development should retain existing trees and canopy cover.</i></p> <p><i>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</i></p> <p><i>Development should:</i></p> <ul style="list-style-type: none"> ▪ <i>Provide the canopy cover and deep soil areas specified in Table D2. Existing trees can be used to meet the canopy cover requirements of Table D2.</i> ▪ <i>Provide canopy cover through canopy trees that are:</i> <ul style="list-style-type: none"> - <i>Located in an area of deep soil specified in Table D3. Where deep soil cannot be provided trees should be provided in planters specified in Table D3.</i> - <i>Consistent with the canopy diameter and height at maturity specified in Table D4.</i> - <i>Located in communal outdoor open space or common areas or street frontages.</i> ▪ <i>Comprise smaller trees, shrubs and ground cover, including flowering native species.</i> 	<p>✓ Complies</p> <p>The proposal provides an ample level of tree and vegetation planting as demonstrated on TP3.02.</p> <p>As the proposal is within the category of 1,000 or less square metres or more, the proposal requires:</p> <p><u>Canopy Cover</u> 5% site area (40.65sqm), including at least 1 type A tree.</p> <p><u>Deep soil</u> 5% of site area (40.65sqm), or 12 square metres whichever is the greater.</p> <p>As evident on TP3.02, the retained trees comfortably satisfy the Canopy Cover and Deep Soil requirements. The arboricultural report confirms that retained trees include trees with a minimum canopy diameter of 4m and minimum height of 6m (i.e. Trees 19, 20, 30-32).</p> <p>As such, the proposal is in accordance with the requirements and objectives of Standard D10.</p>

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Objective	Standard	Response
	<ul style="list-style-type: none"> ▪ <i>Include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.</i> ▪ <i>Shade outdoor areas exposed to summer sun through landscaping or shade structures and use paving and surface materials that lower surface temperatures and reduce heat absorption.</i> ▪ <i>Be supported by irrigation systems which utilise alternative water sources such as rainwater, stormwater and recycled water.</i> ▪ <i>Protect any predominant landscape features of the area.</i> ▪ <i>Take into account the soil type and drainage patterns of the site.</i> ▪ <i>Provide a safe, attractive and functional environment for residents.</i> ▪ <i>Specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.</i> 	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div>
<p>Standard D11 – Access Objective</p> <p><i>To ensure that vehicle crossovers are designed and located to provide safe access for pedestrians, cyclists and other vehicles.</i></p> <p><i>To ensure ethe vehicle crossovers are designed and located to minimise visual impact.</i></p>	<p><i>Vehicle crossovers should be minimised.</i></p> <p><i>Car parking entries should be consolidated, minimised in size, integrated with the façade and where practicable located at the side or rear of the building.</i></p>	<p>✓ Complies</p> <p>The proposed development limits vehicular entry points from the main road frontages to 1 access point with that connects with an existing access track, this is as per the approved scheme.</p>

Objective	Standard	Response
	<p><i>Pedestrian and cyclist access should be clearly delineated from vehicle access.</i></p> <p><i>The location of crossovers should maximise pedestrian safety and the retention of on-street car parking spaces and street trees.</i></p> <p><i>Developments must provide for access for service, emergency and delivery vehicles.</i></p>	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div>
<p>Standard D12 – Parking location Objectives</p> <p><i>To provide convenient parking for resident and visitor vehicles.</i></p> <p><i>To protect residents from vehicular noise within developments.</i></p>	<p>Car parking facilities should:</p> <ul style="list-style-type: none"> ▪ <i>Be reasonably close and convenient to dwellings.</i> ▪ <i>Be secure.</i> ▪ <i>Be well ventilated if enclosed.</i> <p>Shared accessways or car parks of other dwellings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>✓ Complies</p> <p>All parking is provided at the entry level (Level 3). The penthouse is provided with a double garage, while the other apartments are provided within a single car space in a carport.</p>
<p>Standard D13 – Integrated water and stormwater management Objectives</p> <p><i>To encourage the use of alternative water sources such as rainwater, stormwater and recycled water.</i></p> <p><i>To facilitate stormwater collection, utilisation and infiltration within the development.</i></p> <p><i>To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.</i></p>	<p><i>Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.</i></p> <p><i>Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.</i></p> <p><i>The stormwater management system should be:</i></p> <ul style="list-style-type: none"> ▪ <i>Designed to meet the current best practice performance</i> 	<p>Varied</p> <p>The proposal does not include rainwater tanks, this is consistent with the current approval.</p>

Objective	Standard	Response
	<p>objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</p> <ul style="list-style-type: none"> Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas. 	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div>

Clause 58.04 – Amenity Impacts

Objective	Standard	Response
<p>Standard D14 – Building setback Objectives</p> <p>To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area.</p> <p>To allow adequate daylight into new dwellings.</p> <p>To limit views into habitable room windows and private open space of new and existing dwellings.</p> <p>To provide a reasonable outlook from new dwellings and existing small second dwellings.</p> <p>To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents</p>	<p>The built form of the development must respect the existing or preferred urban context and respond to the features of the site.</p> <p>Buildings should be set back from side and rear boundaries, and other buildings within the site to:</p> <ul style="list-style-type: none"> Ensure adequate daylight into new habitable room windows. Avoid direct views into habitable room windows and private open space of new and existing dwellings and existing small second dwellings. Developments should avoid relying on screening to reduce views. Provide an outlook from dwellings that creates a reasonable visual connection to the external environment. 	<p>✓ Complies</p> <p>The proposal incorporates appropriate building setbacks and achieves high levels of daylight into new habitable rooms within the proposal. Direct views have also been avoided to ensure there are no unreasonable internal or external amenity impacts as a result of the proposal.</p> <p>As such, the proposed development has been designed to meet the objectives of Clause 58.</p>

Objective	Standard	Response
	<ul style="list-style-type: none"> Ensure the dwellings are designed to meet the objectives of Clause 58. 	
<p>Standard D15 – Internal views Objective</p> <p>To limit views into the private open space and habitable room windows of dwellings within a development.</p>	<p>Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the private open space of a lower-level dwelling directly below and within the same development.</p>	<p>✓ Complies</p> <p>Windows and balconies have been located and orientated to prevent any potential overlooking. The proposal satisfies the standards and objectives of Clause 58.</p>
<p>Standard D16 – Noise impact Objectives</p> <p>To contain noise sources in developments that may affect, existing dwellings or small second dwellings.</p> <p>To protect residents from external and internal noise sources.</p>	<p>Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings or small second dwellings.</p> <p>The layout of new dwellings and buildings should minimise noise transmission within the site.</p> <p>Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.</p> <p>New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.</p> <p>Buildings within a noise influence area specified in Table D5 should be designed and constructed to achieve the following noise levels:</p> <ul style="list-style-type: none"> Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am. Not greater than 40dB(A) for living areas, assessed 	<div style="border: 2px solid red; padding: 10px; text-align: center; margin-bottom: 20px;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div> <p>✓ Complies</p> <p>All mechanical plant will be located and where appropriate, screened, to minimise noise impacts.</p>

Objective	Standard	Response
	<p><i>L_{Aeq}, 16h from 6am to 10pm.</i></p> <p><i>Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.</i></p> <p><i>Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.</i></p>	
<p>Standard D17 – Wind impacts Objective</p> <p><i>To ensure the built form, design and layout of development does not generate unacceptable wind impact within the site or on surrounding land.</i></p>	<p><i>Development of five or more storeys, excluding a basement should:</i></p> <ul style="list-style-type: none"> ▪ <i>not cause unsafe wind conditions specified in Table D6 in public land, publicly accessible areas on private land, private open space and communal open space; and</i> ▪ <i>achieve comfortable wind conditions specified in Table D6 in public land and publicly accessible areas on private land</i> ▪ <i>within a distance of half the greatest length of the building, or half the total height of the building measured outwards on the horizontal plane from the ground floor building façade, whichever is greater.</i> ▪ <i>Trees and landscaping should not be used to mitigate wind impacts. This does not apply to sitting areas, where trees and landscaping may be used to supplement fixed wind mitigation elements.</i> 	<div style="border: 2px solid red; padding: 10px; text-align: center; color: red; font-weight: bold;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div> <p>Not Applicable</p> <p>The proposal is 3 storeys in height.</p>

Objective	Standard	Response
	<ul style="list-style-type: none"> Wind mitigation elements, such as awnings and screens should be located within the site boundary, unless consistent with the existing urban context or preferred future development of the area. 	<p style="text-align: center;">This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p>

Clause 58.5 – On-Site Amenity and Facilities

Objective	Standard	Response
<p>Standard D18 – Accessibility Objective</p> <p>To ensure the design of dwellings meets the needs of people with limited mobility.</p>	<p>At least 50 per cent of dwellings should have:</p> <ul style="list-style-type: none"> A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom. A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area. A main bedroom with access to an adaptable bathroom. At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table D7. 	<p>✓ Complies</p> <p>As per TP3.08 (Clause 58 Design Response),</p> <p>The penthouse and apartments 101 and 201 comply with Standard D18.</p>
<p>Standard D19 – Building entry and circulation Objectives</p> <p>To provide each dwelling and building with its own sense of identity.</p> <p>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</p> <p>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</p>	<p>Entries to dwellings and buildings should:</p> <ul style="list-style-type: none"> Be visible and easily identifiable. Provide shelter, a sense of personal address and a transitional space around the entry. 	<p>✓ Complies</p> <p>The proposal provides a visible and easily identifiable entry.</p> <p>The layout and design of the proposal clearly distinguishes the proposed lobby entry.</p> <p>Common areas (the foyer) benefit from natural light in accordance with the requirements of Clause 58.</p>

Objective	Standard	Response
	<p><i>The layout and design of buildings should:</i></p> <ul style="list-style-type: none"> ▪ <i>Clearly distinguish entrances to residential and non-residential areas.</i> ▪ <i>Provide windows to building entrances and lift areas.</i> ▪ <i>Provide visible, safe and attractive stairs from the entry level to encourage use by residents.</i> ▪ <i>Provide common areas and corridors that:</i> <ul style="list-style-type: none"> - <i>Include at least one source of natural light and natural ventilation.</i> - <i>Avoid obstruction from building services.</i> - <i>Maintain clear sight lines.</i> 	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div>
<p>Standard D20 – Private open space Objective</p> <p><i>To provide adequate private open space for the reasonable recreation and service needs of residents.</i></p>	<p><i>A dwelling should have private open space consisting of at least one of the following:</i></p> <ul style="list-style-type: none"> ▪ <i>An area at ground level of at least 25 square metres, with a minimum dimension of 3 metres and convenient access from a living room.</i> ▪ <i>A balcony with at least the area and dimensions specified in Table D8 and convenient access from a living room.</i> ▪ <i>An area on a podium or other similar base of at least 15 square metres, with a minimum dimension of 3 metres and</i> 	<p>✓ Complies</p> <p>Apartments 101 and 201 are 3-bedroom apartments and provide a 13sqm balcony with a minimum 2.5m dimension and therefore complies.</p> <p>Apartments 102 and 202 are 2-bedroom apartments and provide a 13sqm balcony with a minimum 2.5m dimension and therefore complies.</p> <p>The penthouse apartment is a 4-bedroom apartment and provide a 25sqm balcony with a minimum 2.5m dimension and therefore complies.</p>

Objective	Standard	Response
	<p>convenient access from a living room.</p> <ul style="list-style-type: none"> An area on a roof of 10 square metres, with a minimum dimension of 2 metres and convenient access from a living room. <p>If a cooling or heating unit is located on a balcony, the minimum balcony area specified in Table D8 should be increased by at least 1.5 square metres.</p> <p>If the finished floor level of a dwelling is 40 metres or more above ground level, the requirements of Table D8 do not apply if at least the area specified in Table D9 is provided as living area or bedroom area in addition to the minimum area specified in Table D11 or Table D12 in Standard D25.</p>	<p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p>
<p>Standard D21 – Storage Objective</p> <p>To provide adequate storage facilities for each dwelling.</p>	<p>Each dwelling should have convenient access to usable and secure storage space.</p> <p>The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table D10.</p>	<p>✓ Complies</p> <p>All of the proposed apartments benefit from appropriate levels of Storage within the proposed development, see table on TP4.01 of the architectural package.</p>

Clause 58.05 – Detailed Design

Objective	Standard	Response
<p>Standard D22 – Common property Objectives</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive, and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p>	<p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>✓ Complies</p> <p>All of the proposed common property areas are easily managed and functional in shape and layout.</p>

Objective	Standard	Response
<p>Standard D23 – Site services Objective</p> <p><i>To ensure that site services are accessible and can be installed and maintained.</i></p> <p><i>To ensure that site services and facilities are visually integrated into the building design or landscape.</i></p>	<p><i>Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.</i></p> <p><i>Metres and utility services should be designed as an integrated component of the building or landscape.</i></p> <p><i>Mailboxes and other site facilities should be adequate in size, durable, water-protected, located for convenient access and integrated into the overall design of the development.</i></p>	<p>✓ Complies</p> <p>Site services can be comfortably accommodated within the development and will be securely located at appropriate and accessible locations.</p>
<p>Standard D24 – Waste and recycling Objectives</p> <p><i>To ensure dwellings are designed to encourage waste recycling.</i></p> <p><i>To ensure that waste and recycling facilities are accessible, adequate and attractive.</i></p> <p><i>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.</i></p>	<p><i>Development should include dedicated areas for:</i></p> <ul style="list-style-type: none"> ▪ <i>Waste and recycling enclosures which are:</i> <ul style="list-style-type: none"> - <i>Adequate in size, durable, waterproof and blend in with the development.</i> - <i>Adequately ventilated.</i> - <i>Located and designed for convenient access by residents and made easily accessible to people with limited mobility.</i> ▪ <i>Adequate facilities for bin washing. These areas should be adequately ventilated.</i> ▪ <i>Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through</i> 	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div> <p>✓ Complies</p> <p>The waste hutch is closely located and is conveniently accessible.</p>

Objective	Standard	Response
	<p><i>composting or other waste recovery as appropriate.</i></p> <ul style="list-style-type: none"> ▪ <i>Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.</i> ▪ <i>Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing.</i> ▪ <i>Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.</i> <p><i>Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and:</i></p> <ul style="list-style-type: none"> ▪ <i>Be designed to meet the better practice design options specified in Waste Management and Recycling in Multi-unit Developments (Sustainability Victoria, 2019).</i> ▪ <i>Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements.</i> 	<div data-bbox="1007 1043 1554 1384" style="border: 2px solid red; padding: 10px; text-align: center;"> <p>This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p> </div>

Objective	Standard	Response
<p>Standard D25 – External walls and materials Objective</p> <p>To ensure external walls use materials appropriate to the existing urban context or preferred future development of the area.</p> <p>To ensure external walls endure and retain their attractiveness.</p>	<p>External walls should be finished with materials that:</p> <ul style="list-style-type: none"> Do not easily deteriorate or stain. Weather well over time. Are resilient to the wear and tear from their intended use. <p>External wall design should facilitate safe and convenient access for maintenance.</p>	<p>✓ Complies</p> <p>Materials such as metal standing seam, natural stone, composite timber cladding, galvanised steel and glazing are proposed throughout the development. Please refer to the schedule of materials contained within the architectural plan set (TP3.04- TP3.06, & TP5.01).</p>

Clause 58.07 – Internal Amenity

Objective	Standard	Response
<p>Standard D26 – Functional layout Objective</p> <p>To ensure dwellings provide functional areas that meet the needs of residents.</p>	<p>Bedrooms should:</p> <ul style="list-style-type: none"> meet the minimum internal room dimensions specified in Table D11. Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe. 	<p>✓ Complies</p> <p>100% of the proposed development achieves the standards of this objective. Please refer to sheet TP3.08 of the architectural plan set which demonstrates how the proposed apartments are compliant.</p>
<p>Standard D27 – Room depth Objective</p> <p>To allow adequate daylight into single aspect habitable rooms.</p>	<p>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> The room combines the living area, dining area and kitchen. The kitchen is located furthest from the window. 	<p>✓ Complies</p> <p>All of the proposed apartments are compliant with the standard of this objective. Please refer to sheet TP3.08 of the architectural plan set which demonstrates how the proposal meets this objective.</p>

Objective	Standard	Response
	<ul style="list-style-type: none"> The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen. <p>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</p>	<p style="text-align: center; border: 2px solid red; padding: 10px;">This copied document to be made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright</p>
<p>Standard D28 – Windows Objective</p> <p>To allow adequate daylight into new habitable room windows.</p>	<p>Habitable rooms should have a window in an external wall of the building.</p> <p>A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky.</p> <p>The secondary area should be:</p> <ul style="list-style-type: none"> A minimum width of 1.2 metres. A maximum depth of 1.5 times the width, measured from the external surface of the window. 	<p>✓ Complies</p> <p>The proposal is 100% compliant with this objective. Please refer to sheet TP3.08 of the architectural plan set which demonstrates how the proposal meets this objective.</p>
<p>Standard D29 – Natural ventilation Objectives</p> <p>To encourage natural ventilation of dwellings.</p> <p>To allow occupants to effectively manage natural ventilation of dwellings.</p>	<p>The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate.</p> <p>At least 40 per cent of dwellings should provide effective cross ventilation that has:</p> <ul style="list-style-type: none"> A maximum breeze path through the dwelling of 18 metres. A minimum breeze path through the dwelling of 5 metres. 	<p>✓ Complies</p> <p>100% of the proposed apartments are naturally cross ventilated, exceeding the 40% Standard objective. Please refer to sheet TP3.08 of the architectural plan set which demonstrates how the proposal meets this objective.</p>

Objective	Standard	Response
	<ul style="list-style-type: none"> ▪ <i>Ventilation openings with approximately the same area.</i> <p><i>The breeze path is measured between the ventilation openings on different orientations of the dwelling.</i></p>	

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