

ADVERTISED
PLAN

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SITE LOCATION
SCALE : 1:2000



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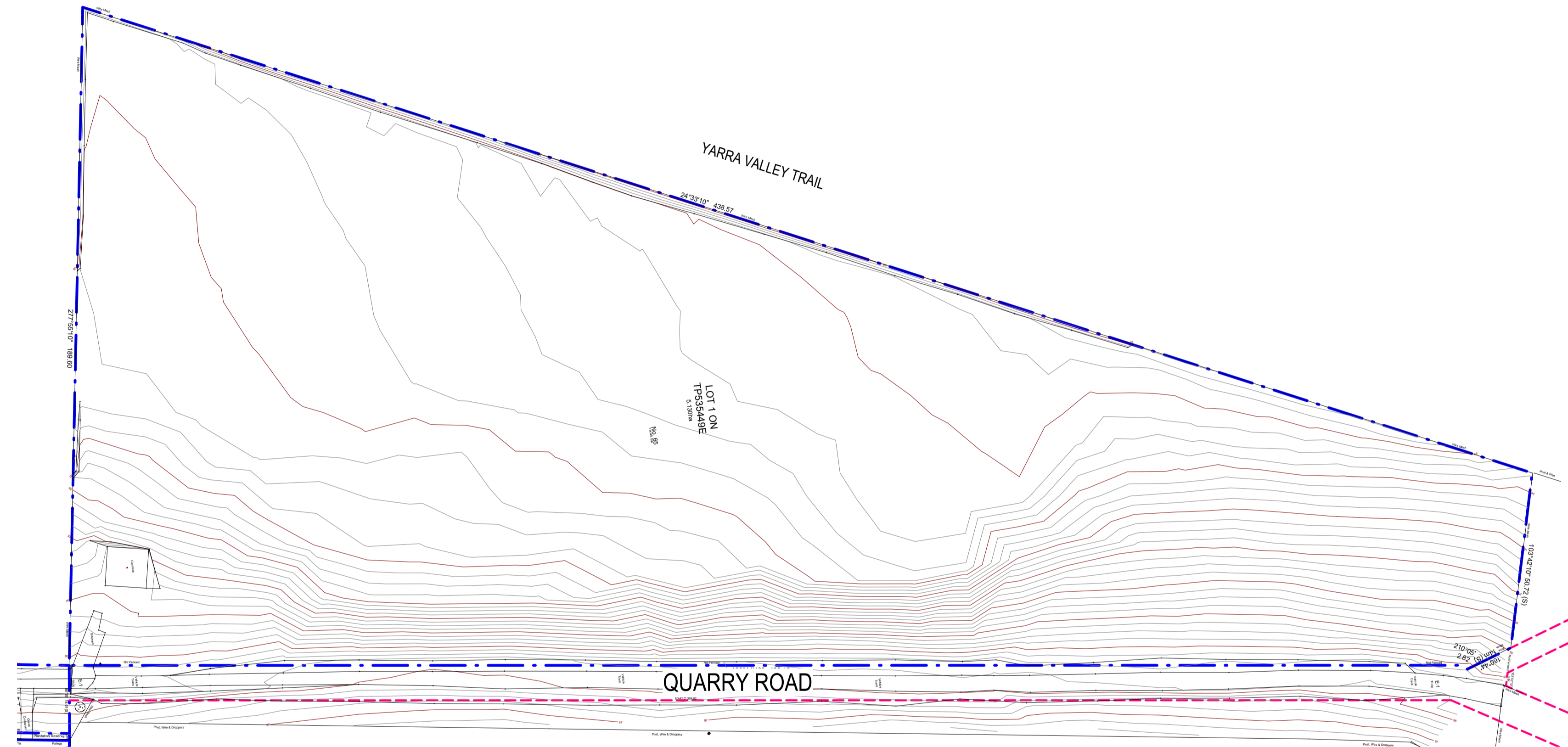
ARTISTS IMPRESSION ONLY

Gestalt

PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

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**ADVERTISED
PLAN**



EXISTING SITE SURVEY PLAN
SCALE: 1 : 1000

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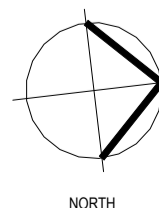
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A	18.07.2025	ISSUED FOR APPROVAL	DK	TT

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
SITE SURVEY PLAN



CLIENT:
Gestalt

DATE: MAY, 2025
DRAWN BY: DK
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:
24294
DRAWING NO:
TP01
REVISION:
A



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NOTES

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- ALL PARKING SPACES IN ACCORDANCE WITH VICTORIAN PLANNING SCHEME
- ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
- SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS
- ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (Australian Height Datum)
- PROPOSED FINISHED FLOOR LEVELS (FFL) ARE NOMINAL ONLY & ARE TO BE COORDINATED WITH CIVIL ENGINEER'S DWGS
- ALL AREAS NOTED ARE INDICATIVE ONLY AND SHOULD NOT BE USED FOR ANY CONTRACTUAL REASONS WITHOUT VERIFICATION BY LICENSED SURVEYOR OR FURTHER DESIGN DEVELOPMENT.
- GROSS FLOOR AREA AS DEFINED BY YARRA RANGES COUNCIL IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS.

LEGEND

- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF NEW ASPHALT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
- AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- BLOCK A STAGE 1
- BLOCK B STAGE 2
- BLOCK C STAGE 3
- BLOCK D STAGE 4
- BLOCK E STAGE 5
- BLOCK F
- MEZZANINE
- FN1 1800mm HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- B&C BOLLARDS & CHAINS TO BOUNDARY
- EASEMENT LINE
- LSIO - LAND SUBJECT TO INUNDATION OVERLAY OUTLINE

DEVELOPMENT ANALYSIS

BUILDING - GF	NLA	GFA	NFA
BLOCK A	4,590 m ²	5,414 m ²	4,492 m ²
BLOCK B	4,407 m ²	5,227 m ²	4,299 m ²
BLOCK C	3,292 m ²	3,865 m ²	3,231 m ²
BLOCK D	3,092 m ²	3,601 m ²	3,050 m ²
BLOCK E	1,871 m ²	2,243 m ²	1,890 m ²
BLOCK F	2,889 m ²	3,070 m ²	2,913 m ²
TOTAL GF AREA	20,141 m²	23,420 m²	19,875 m²
BUILDING - MEZZANINE			
MEZZ - BLOCK A	1,243 m ²	1,309 m ²	1,278 m ²
MEZZ - BLOCK B	1,070 m ²	1,131 m ²	1,114 m ²
MEZZ - BLOCK C	647 m ²	685 m ²	663 m ²
MEZZ - BLOCK D	518 m ²	551 m ²	544 m ²
MEZZ - BLOCK E	665 m ²	686 m ²	681 m ²
MEZZ - BLOCK F	272 m ²	290 m ²	290 m ²
TOTAL MEZZ. AREA	4,415 m²	4,652 m²	4,570 m²
TOTAL OVERALL AREA	24,556 m²	28,072 m²	24,445 m²

PARKING	
BAYS REQUIRED (2 BAYS PER NFA 100m ²)	487
BAYS PROVIDED	481
RATE PROVIDED (PER 100m ² NFA)	1.97
SITE COVERAGE	
TOTAL SITE AREA	51,296 m ²
TOTAL BUILDING FOOTPRINT	23,420 m ²
SITE COVERAGE	45.65 %
EFFICIENCY (% OF OVERALL GFA AREA / SITE AREA)	54.72 %

NOTE:

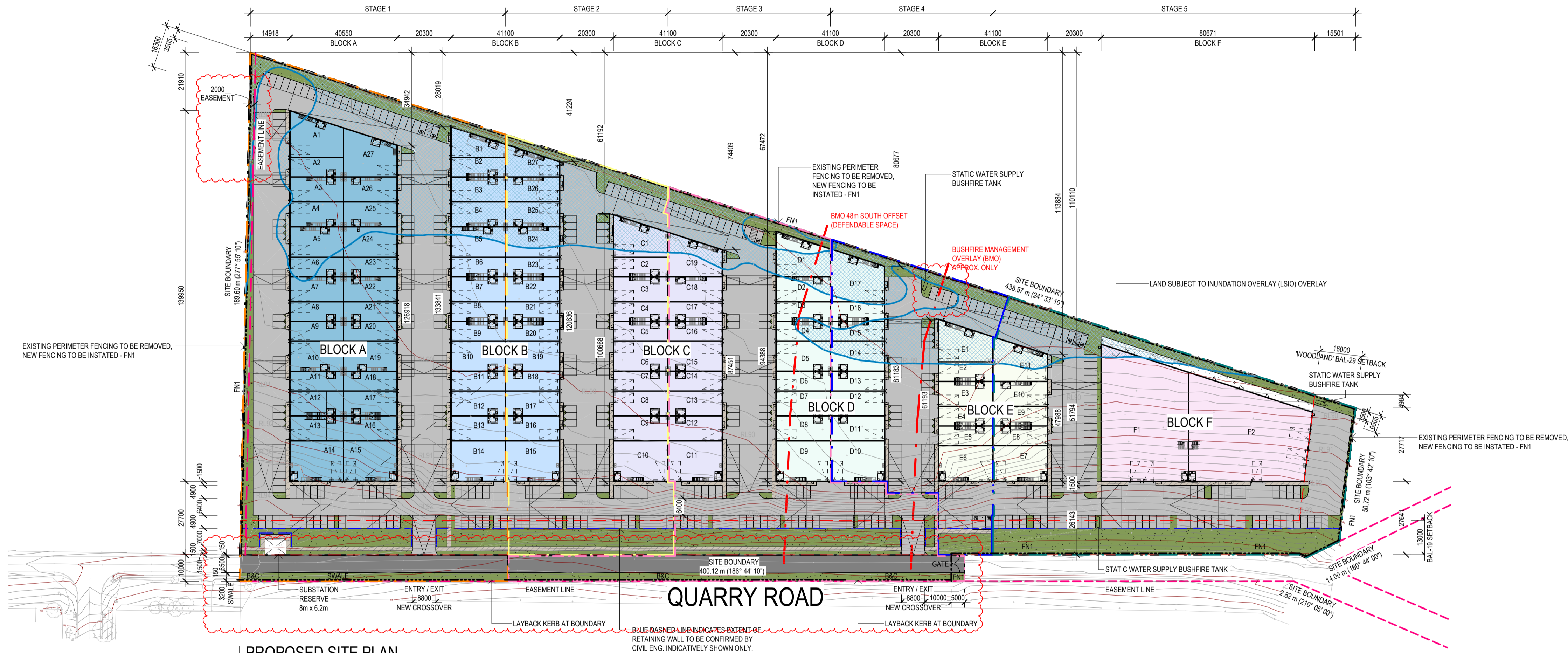
- GFA** MEASURED TO OUTSIDE FACE OF BUILDING
- NLA** MEASURED TO INSIDE FACE OF WALL AND DOES NOT INCLUDE LOADING AREAS, & STAIR VOIDS BELOW 1.5m IN HEIGHT.
- NFA** THE TOTAL FLOOR AREA OF ALL FLOORS OF ALL BUILDINGS ON A SITE. IT INCLUDES HALF THE WIDTH OF ANY PARTY WALL AND THE FULL WIDTH OF ALL OTHER WALLS. IT DOES NOT INCLUDE THE AREA OF STAIRS, LOADING BAYS, ACCESSWAYS, OR CAR PARKING AREAS, OR ANY AREA OCCUPIED BY MACHINERY REQUIRED FOR AIR CONDITIONING, HEATING, POWER SUPPLY, OR LIFTS.

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No.	DATE	REVISION:	BY:	CHK:
P8	05.03.2026	PRELIMINARY ISSUE	IO	TT
P9	08.04.2026	PRELIMINARY ISSUE	IO	IO
P10	29.04.2026	PRELIMINARY ISSUE	IO	IO
E	04.05.2026	ISSUED FOR APPROVAL	YMP	IO
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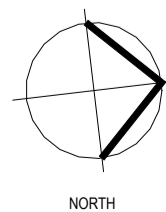


PROPOSED SITE PLAN
SCALE: 1:1000

ADVERTISED PLAN

PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
PROPOSED SITE PLAN



CLIENT:
Gestalt

DATE: MAY, 2025
DRAWN BY: DK
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:	24294
DRAWING NO:	TP02
REVISION:	F



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MEZZANINE FLOOR PLAN
SCALE: 1 : 1000

ADVERTISED PLAN

DEVELOPMENT ANALYSIS

BUILDING - GF	NLA	GFA	NFA
BLOCK A	4,590 m ²	5,414 m ²	4,492 m ²
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TOTAL MEZZ. AREA	4,415 m²	4,652 m²	4,570 m²
TOTAL OVERALL AREA	24,556 m²	28,072 m²	24,445 m²

PARKING	
BAYS REQUIRED (2 BAYS PER NFA 100m ²)	487
BAYS PROVIDED	481
RATE PROVIDED (PER 100m ² NFA)	1.97

SITE COVERAGE	
TOTAL SITE AREA	51,296 m ²
TOTAL BUILDING FOOTPRINT	23,420 m ²
SITE COVERAGE	45.65 %
EFFICIENCY (% OF OVERALL GFA AREA / SITE AREA)	54.72 %

NOTE:

GFA MEASURED TO OUTSIDE FACE OF BUILDING

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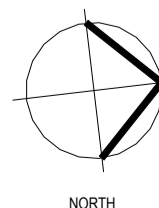
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C	28.01.2026	DTP COMMENTS UPDATES	YMP/IO	TT
P3	05.03.2026	PRELIMINARY ISSUE	IO	TT
P4	29.04.2026	PRELIMINARY ISSUE	IO	IO
D	04.05.2026	ISSUED FOR APPROVAL	YMP	IO
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
MEZZANINE FLOOR PLAN



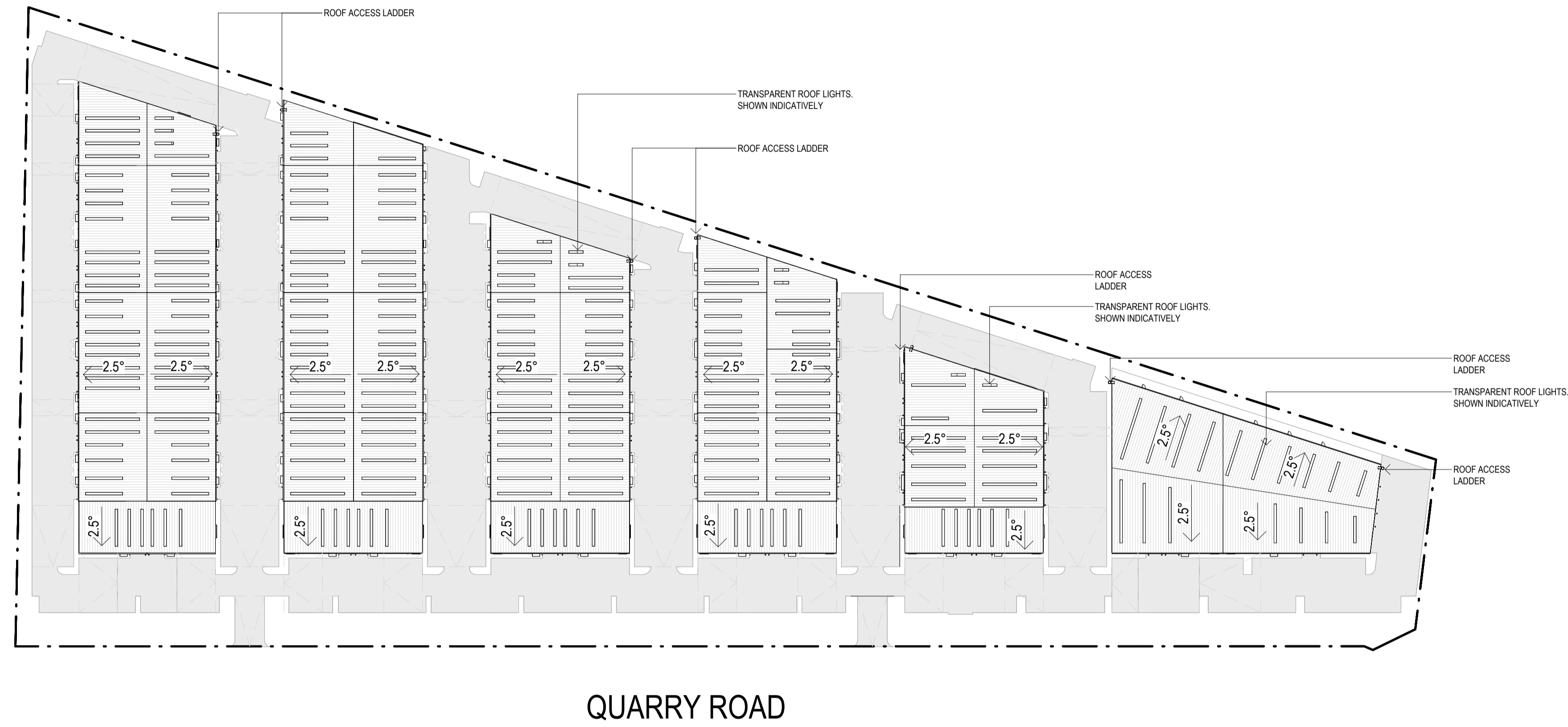
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SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:	24294
DRAWING NO:	TP03
REVISION:	E



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SITE ROOF PLAN
SCALE: 1 : 1000

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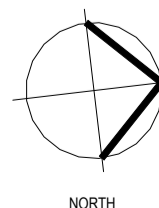
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P1	30.05.2025	PRELIMINARY TP ISSUE FOR REVIEW	DK	TT
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PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
ROOF PLAN



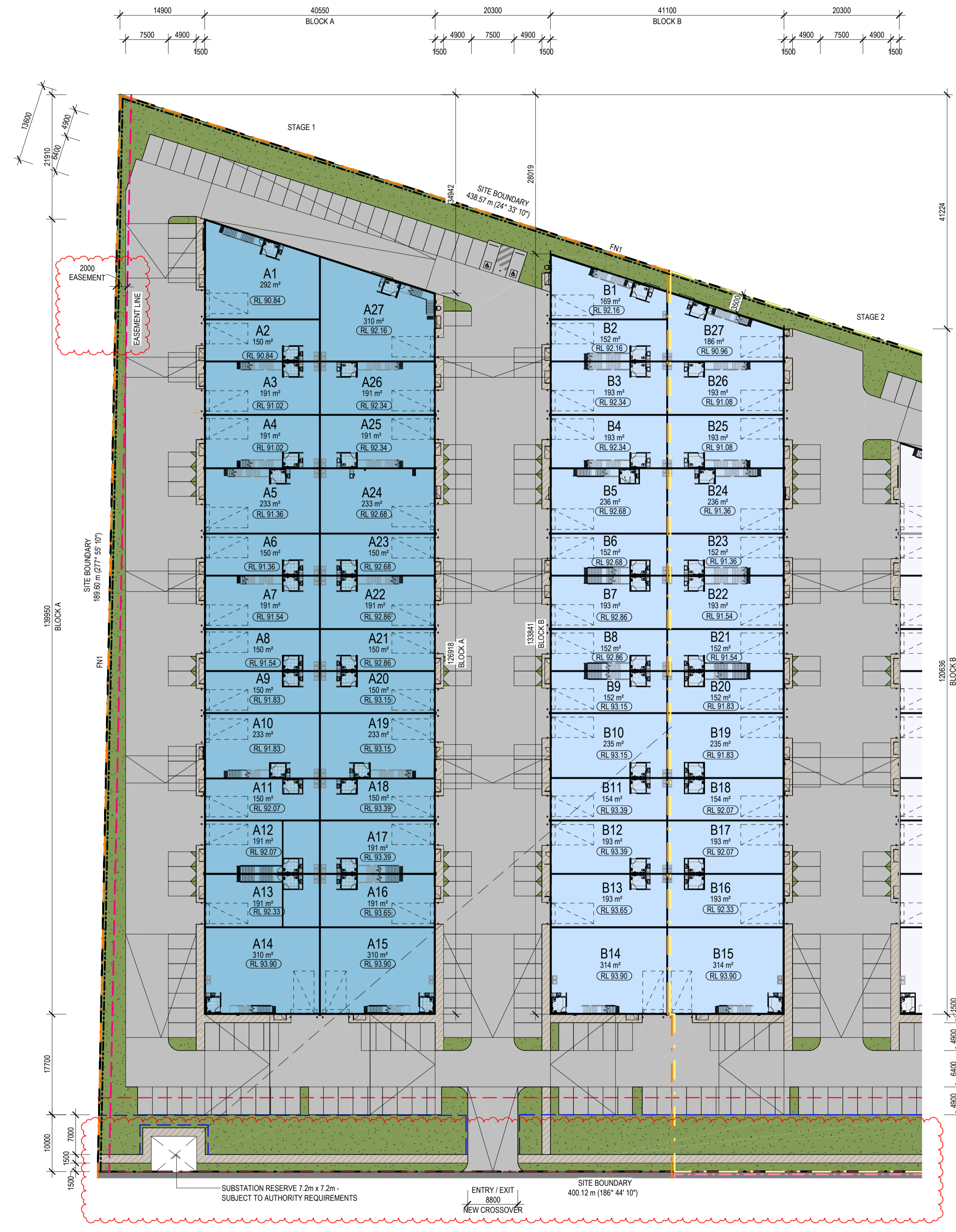
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SCALE: 1:2000 @ A3

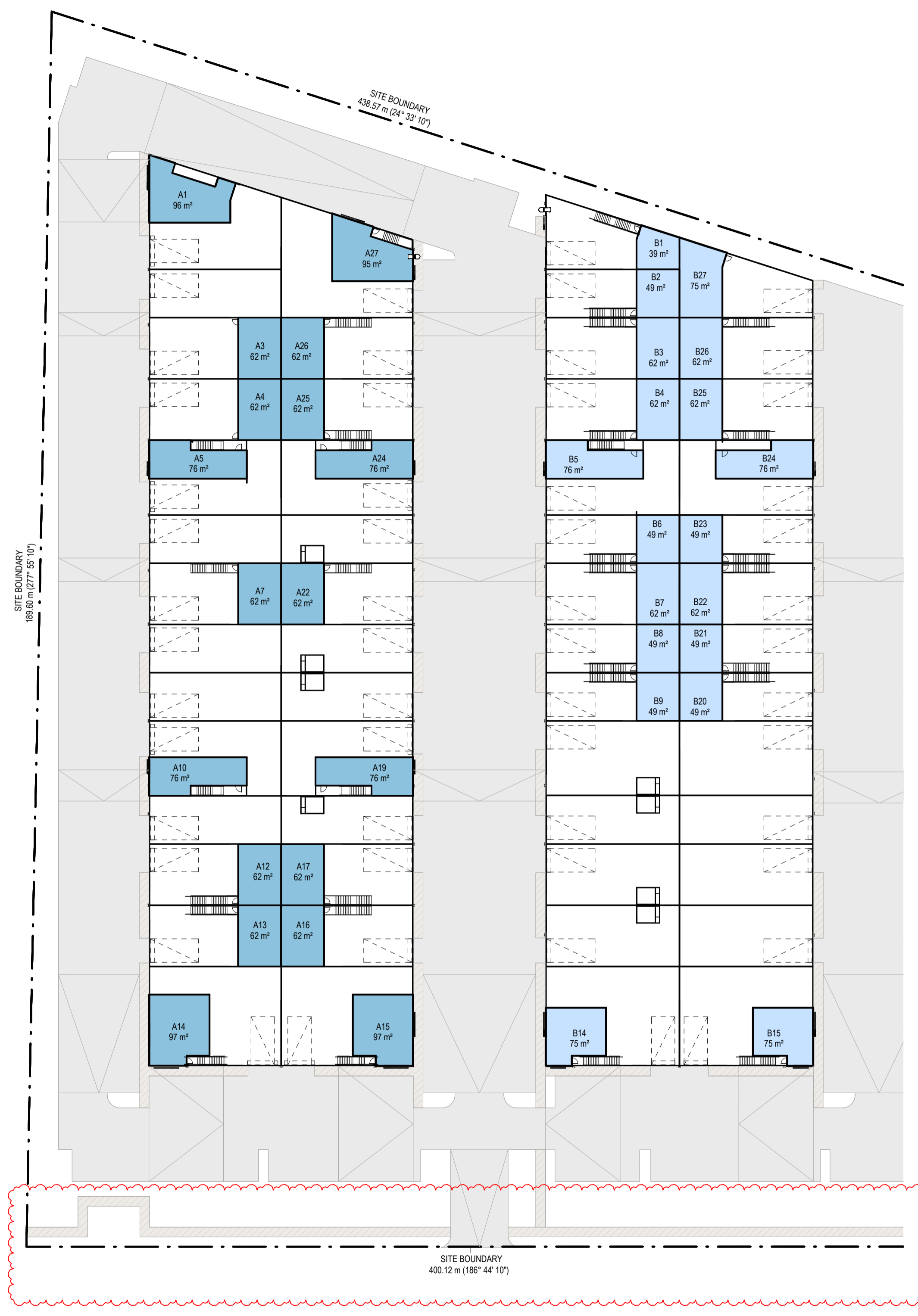
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DRAWING NO:
TP04
REVISION:
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**watson
young**

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PROPOSED SITE PLAN - BLOCK A & B
SCALE: 1 : 500



MEZZANINE FLOOR PLAN - BLOCK A & B
SCALE: 1 : 500

ADVERTISED PLAN

- NOTES**
- ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
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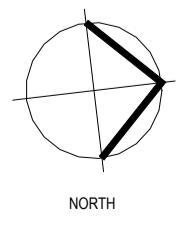
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A	18.07.2025	ISSUED FOR APPROVAL	DK	TT
P2	04.12.2025	PRELIMINARY ISSUE	YMP	TT
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C	28.01.2026	DTP COMMENTS UPDATES	YMP/IO	TT
D	18.05.2026	ISSUED FOR APPROVAL	IO	IO

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
FLOOR PLANS - BLOCK A & B



CLIENT:
Gestalt

DATE: MAY, 2025
DRAWN BY: TC
SCALE: 1:500 @ A1
SCALE: 1:1000 @ A3

JOB NO:	24294
DRAWING NO:	TP05
REVISION:	D



ADVERTISED PLAN



PROPOSED SITE PLAN - BLOCK C & D
SCALE: 1 : 500



MEZZANINE FLOOR PLAN - BLOCK C & D
SCALE: 1 : 500

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P2	04.12.2025	PRELIMINARY ISSUE	YMP	TT
B	18.12.2025	DTP COMMENTS UPDATES	YMP	TT
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PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
FLOOR PLANS - BLOCK C & D

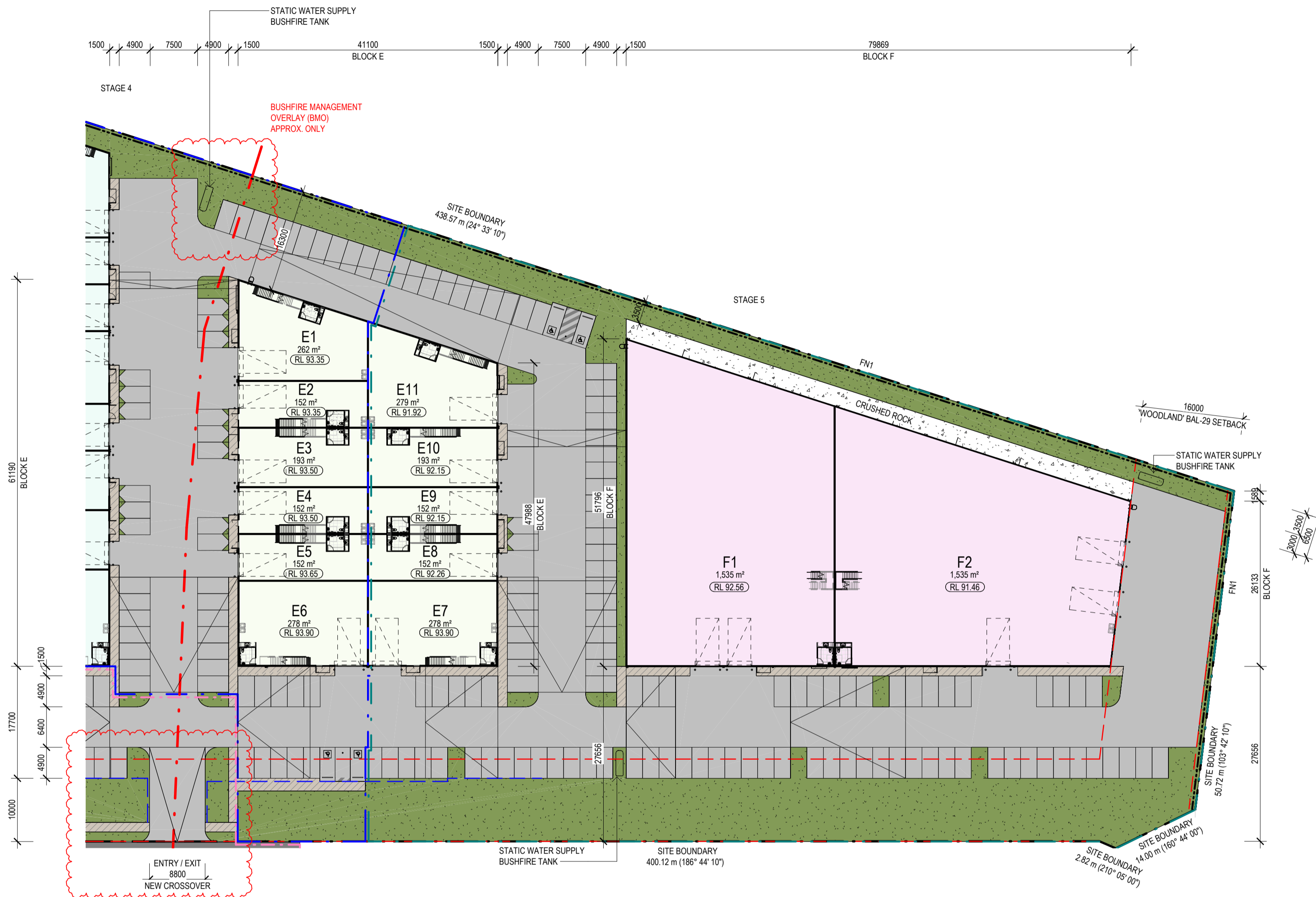


DATE: MAY, 2025
DRAWN BY: DK
SCALE: 1:500 @ A1
SCALE: 1:1000 @ A3

JOB NO:
24294
DRAWING NO:
TP06
REVISION:
E

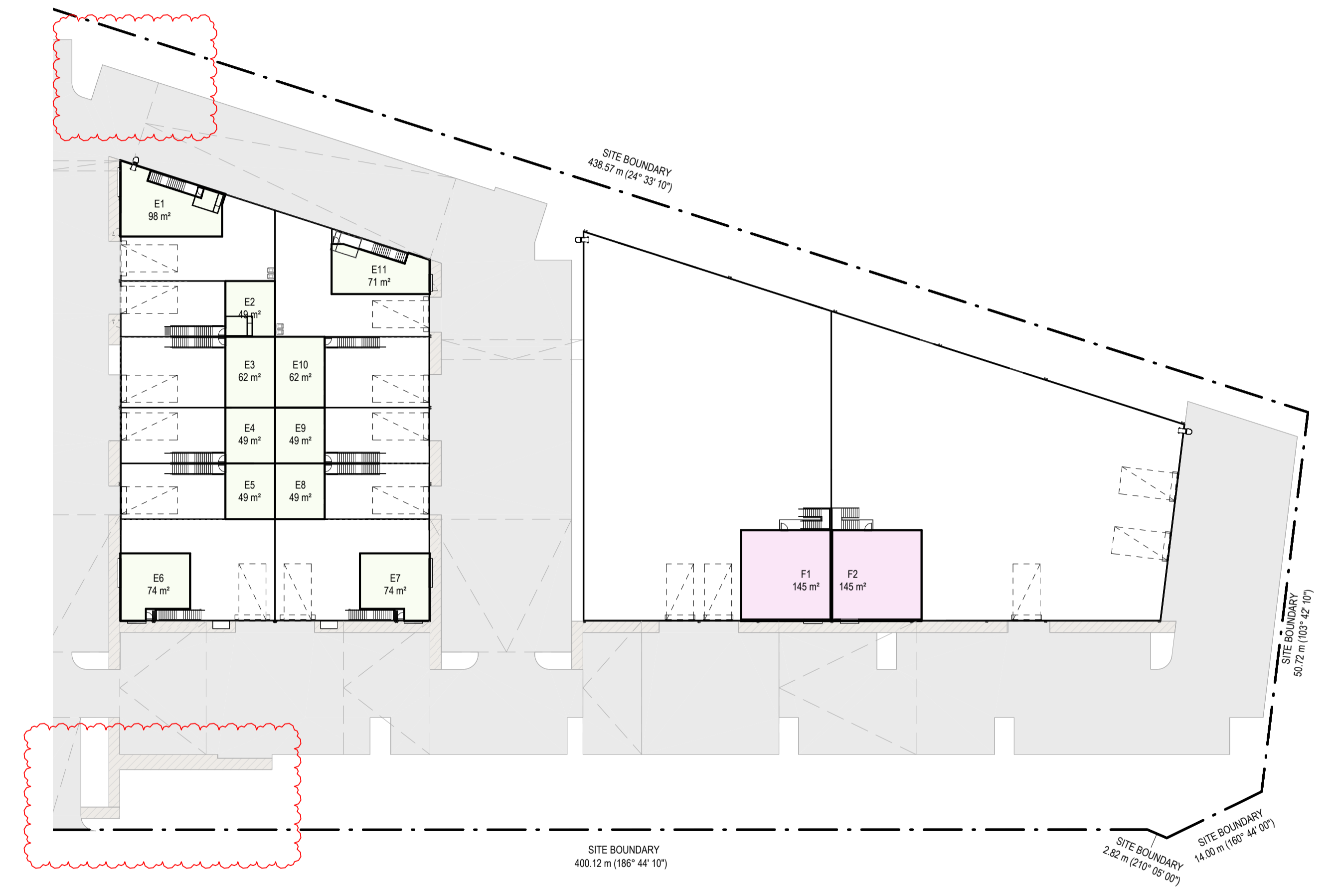


ADVERTISED
PLAN



QUARRY ROAD

PROPOSED SITE PLAN - BLOCK E & F
SCALE: 1 : 500



MEZZANINE FLOOR PLAN - BLOCK E & F
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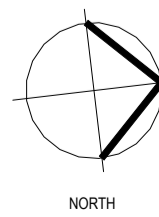
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P3	16.12.2025	PRELIMINARY ISSUE	IO	TT
B	17.12.2025	DTP COMMENTS UPDATES	IO	TT
C	28.01.2026	DTP COMMENTS UPDATES	YMP/IO	TT
D	04.05.2026	ISSUED FOR APPROVAL	YMP	IO
E	18.05.2026	ISSUED FOR APPROVAL	IO	IO

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
FLOOR PLANS - BLOCK E & F

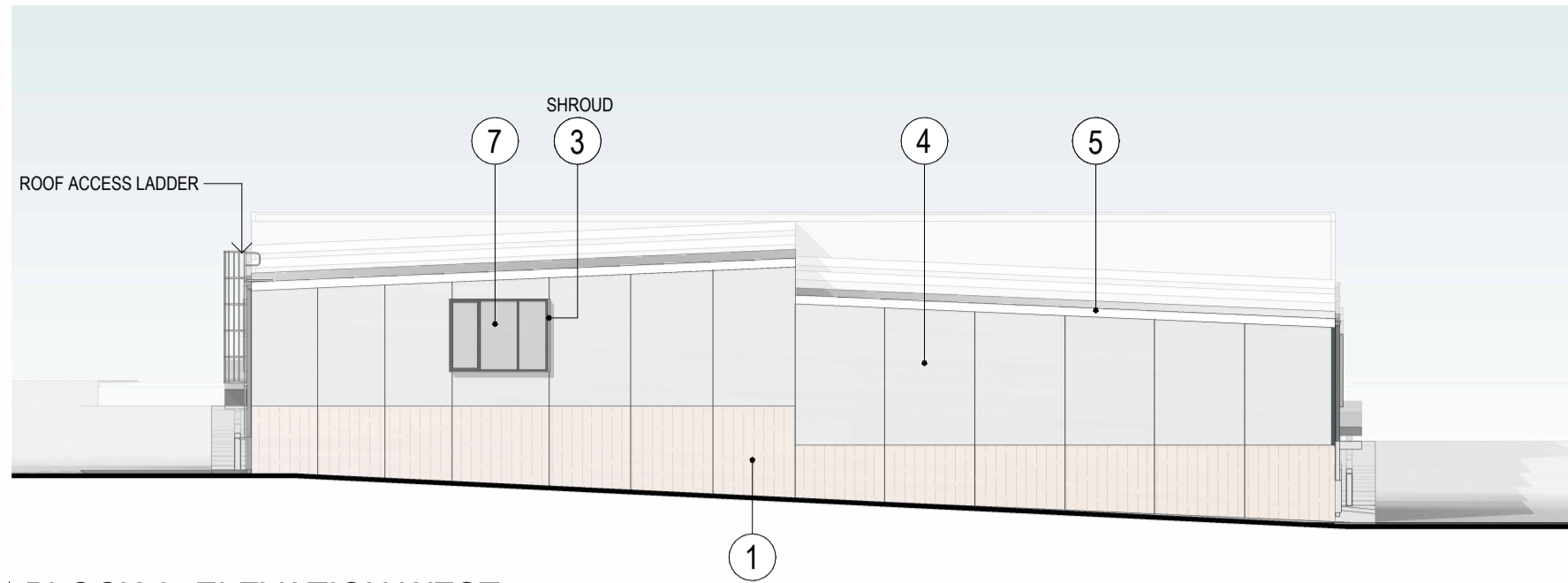


CLIENT:
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DATE: MAY, 2025
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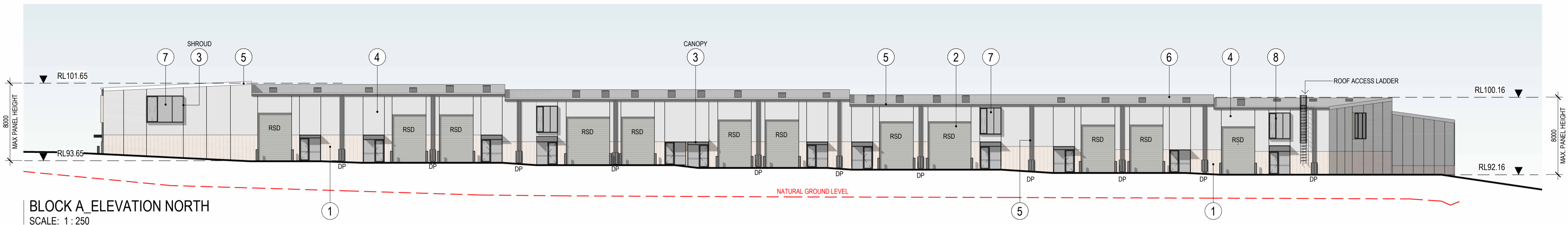
JOB NO:
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DRAWING NO:
TP07
REVISION:
E



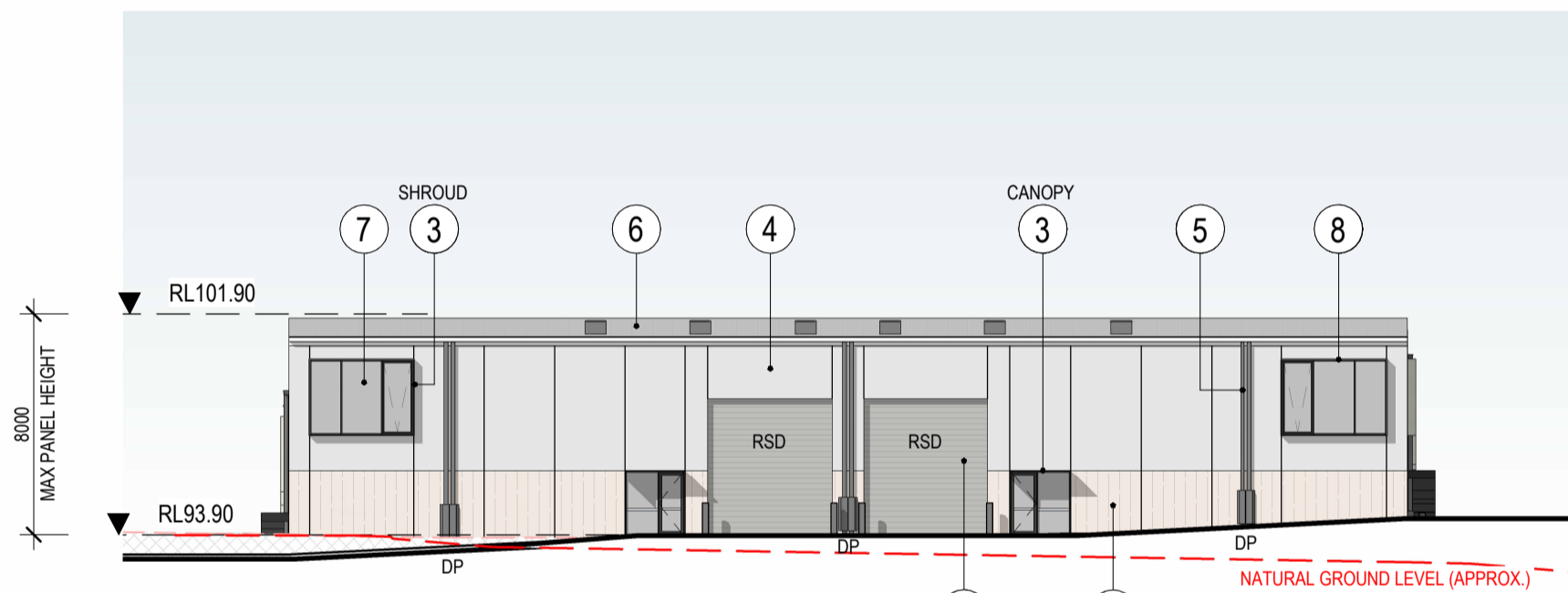


BLOCK A_ELEVATION WEST
SCALE: 1 : 250

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BLOCK A_ELEVATION NORTH
SCALE: 1 : 250



BLOCK A_ELEVATION EAST
SCALE: 1 : 250

ADVERTISED PLAN



BLOCK A_ELEVATION SOUTH
SCALE: 1 : 250

EXTERNAL FINISHES

- ① PRECAST CONCRETE PANEL ACID WASHED CONCRETE
- ② ROLLER SHUTTER DOOR CLADDING ZINCALUME/ SILVER FINISH
- ③ SHROUDS/CANOPY GALVANISED STEEL
- ④ PRECAST CONCRETE PANEL NATURAL FINISH
- ⑤ FLASHING / GUTTERS & DOWNPIPE/CAPPING POWDERCOATED SILVER
- ⑥ ROOF CLADDING ZINCALUME
- ⑦ WINDOW & DOOR GLAZING NEUTRAL / CLEAR
- ⑧ ALUMINUM FRAMED GLAZING NATURAL ANODISED / POWDERCOATED SILVER
- ⑨ FENCE LIGHT GREY
- ⑩ PRECAST CONCRETE FORM LINED - VERTICAL COARSE PATTERN

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
BLOCK A ELEVATIONS

CLIENT:
Gestalt

DATE: MAY, 2025
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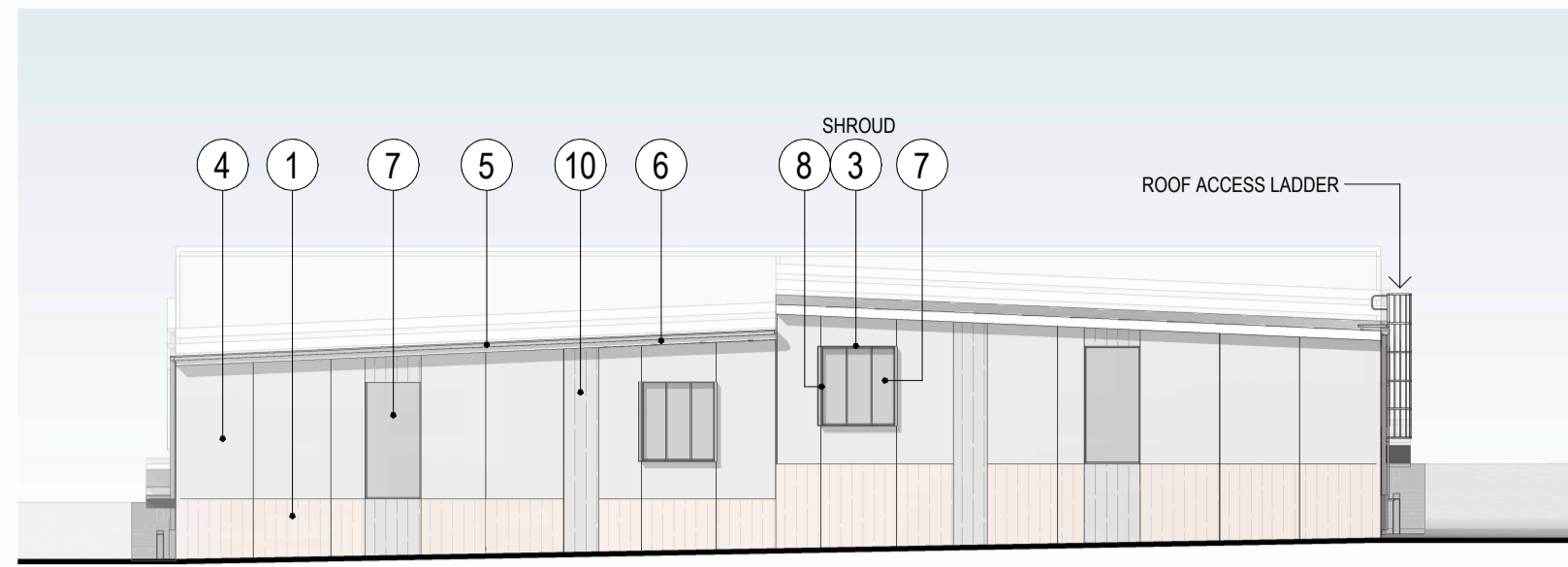
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B

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P2	16.07.2025	PRELIMINARY ISSUE	DK	TT
A	18.07.2025	ISSUED FOR APPROVAL	DK	TT
P3	11.12.2025	PRELIMINARY ISSUE	YMP	TT
B	16.12.2025	DTP COMMENTS UPDATES	YMP	TT

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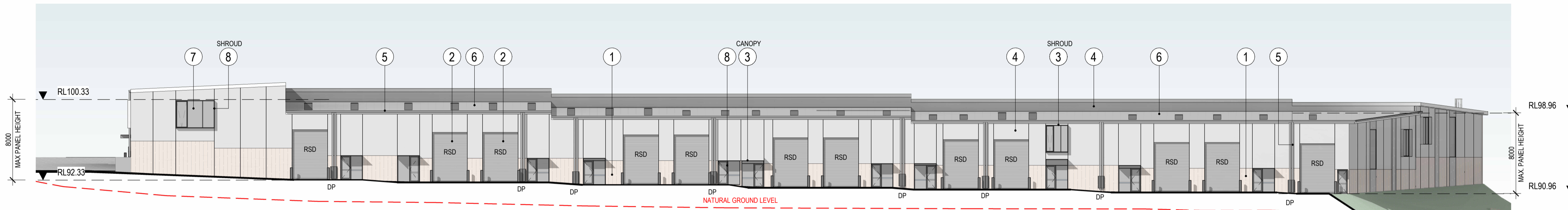
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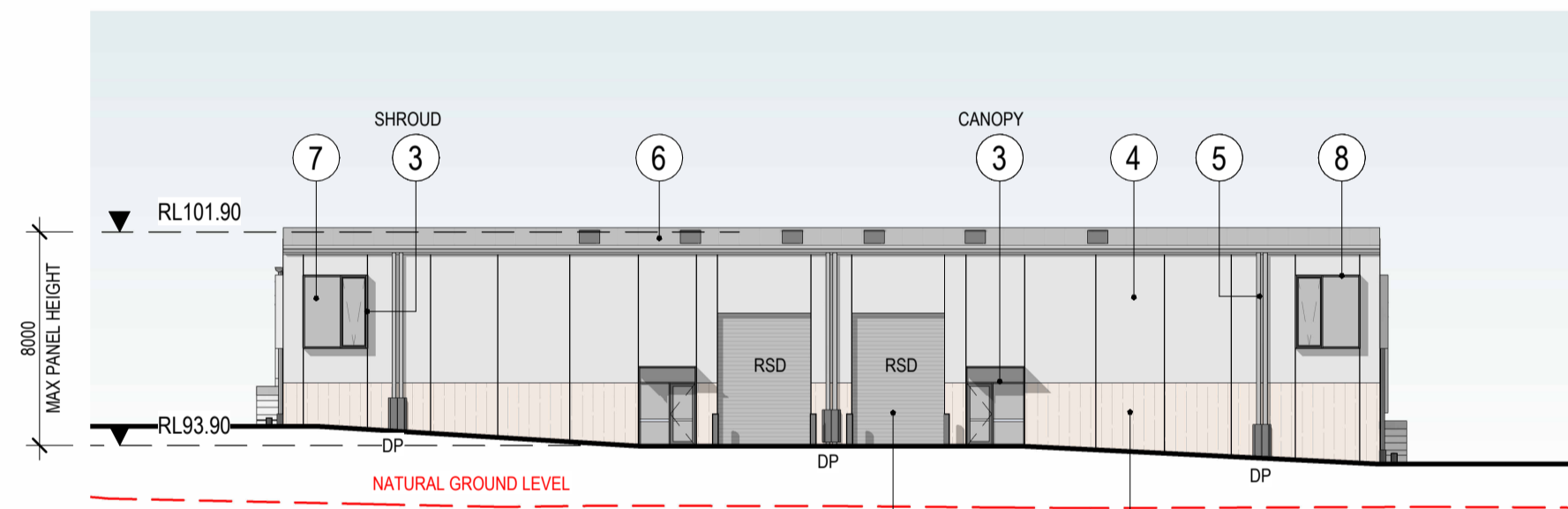
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- ③ SHROUDS/CANOPY GALVANISED STEEL
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- ⑦ WINDOW & DOOR GLAZING NEUTRAL / CLEAR
- ⑧ ALUMINUM FRAMED GLAZING NATURAL ANODISED / POWDERCOATED SILVER
- ⑨ FENCE LIGHT GREY
- ⑩ PRECAST CONCRETE FORM LINED - VERTICAL COARSE PATTERN

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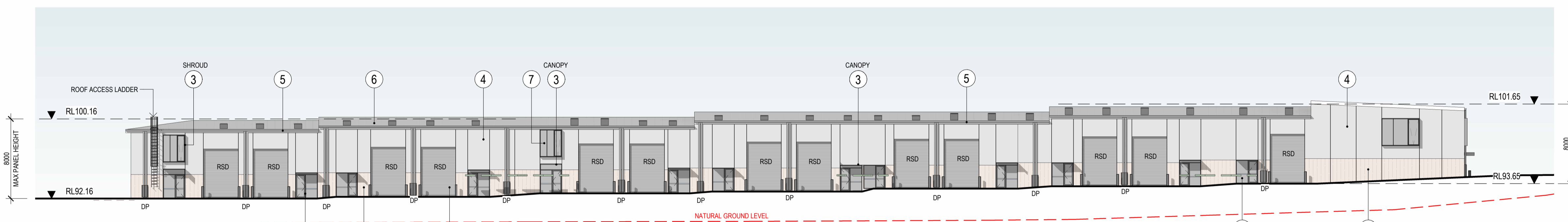


BLOCK B_ELEVATION NORTH
SCALE: 1 : 250



BLOCK B_ELEVATION EAST
SCALE: 1 : 250

ADVERTISED PLAN



BLOCK B_ELEVATION SOUTH
SCALE: 1 : 250

No.	DATE	REVISION	BY:	CHK:
P1	30.05.2025	PRELIMINARY TP ISSUE FOR REVIEW	DK	TT
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

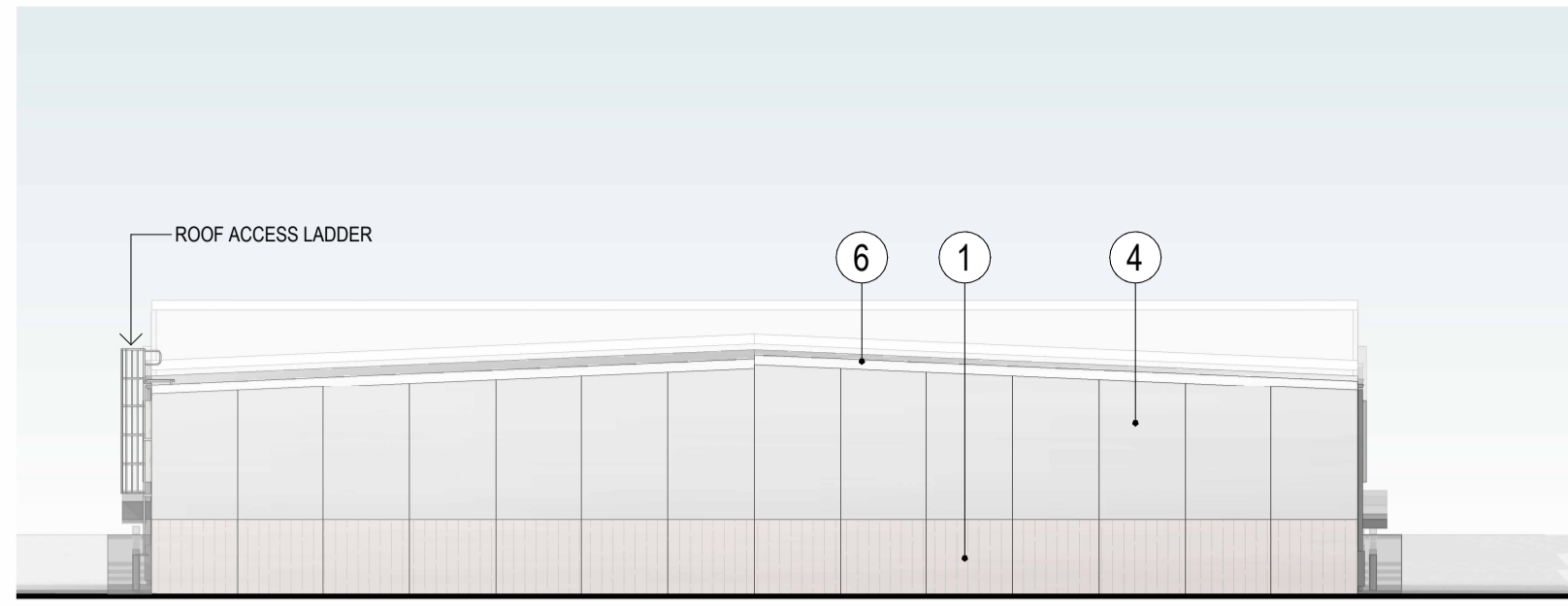
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CLIENT:
Gestalt

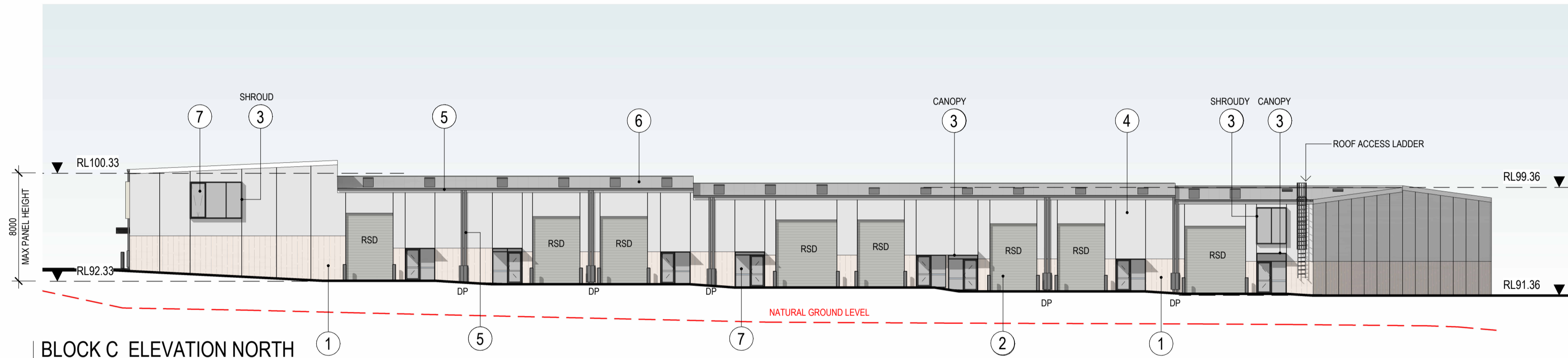
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JOB NO:
24294
DRAWING NO:
TP09
REVISION:
B

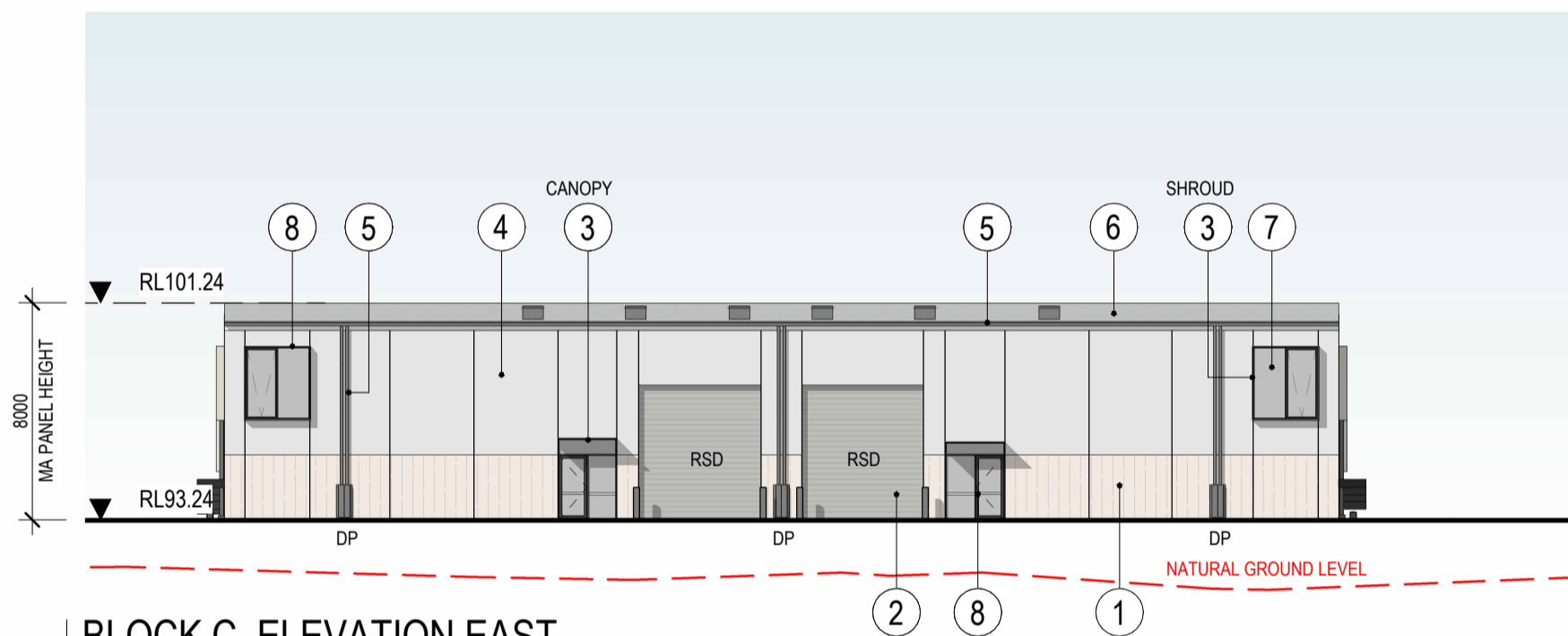




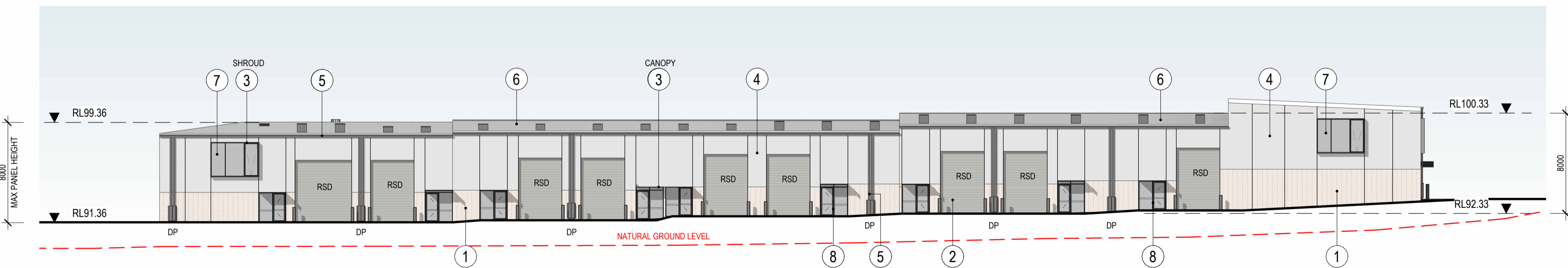
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BLOCK C_ELEVATION EAST
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BLOCK C_ELEVATION SOUTH
SCALE: 1 : 250

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EXTERNAL FINISHES

- ① PRECAST CONCRETE PANEL ACID WASHED CONCRETE
- ② ROLLER SHUTTER DOOR CLADDING ZINCALUME/ SILVER FINISH
- ③ SHROUDS/CANOPY GALVANISED STEEL
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- ⑧ ALUMINUM FRAMED GLAZING NATURAL ANODISED / POWDERCOATED SILVER
- ⑨ FENCE LIGHT GREY
- ⑩ PRECAST CONCRETE FORM LINED - VERTICAL COARSE PATTERN

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P2	11.12.2025	PRELIMINARY ISSUE	YMP	TT
B	16.12.2025	DTP COMMENTS UPDATES	YMP	TT

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

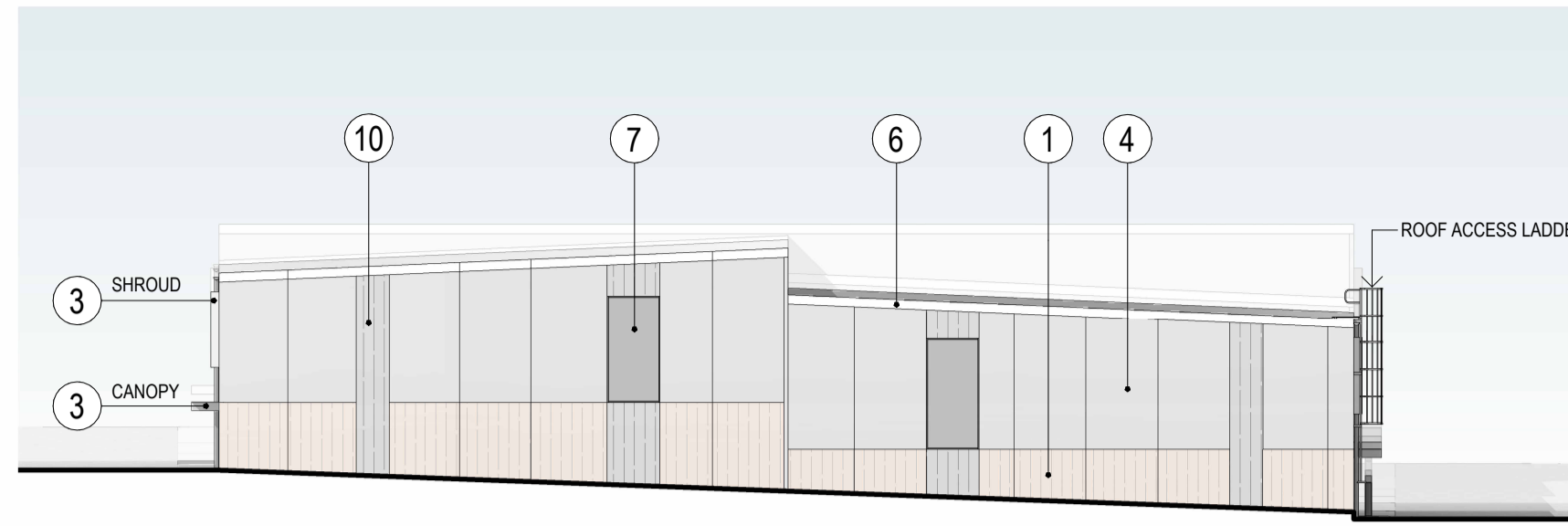
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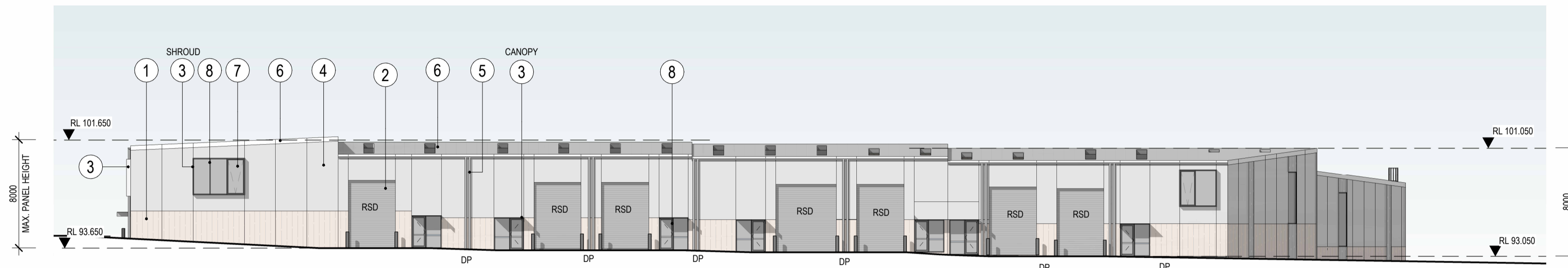
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JOB NO:	24294
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REVISION:	B

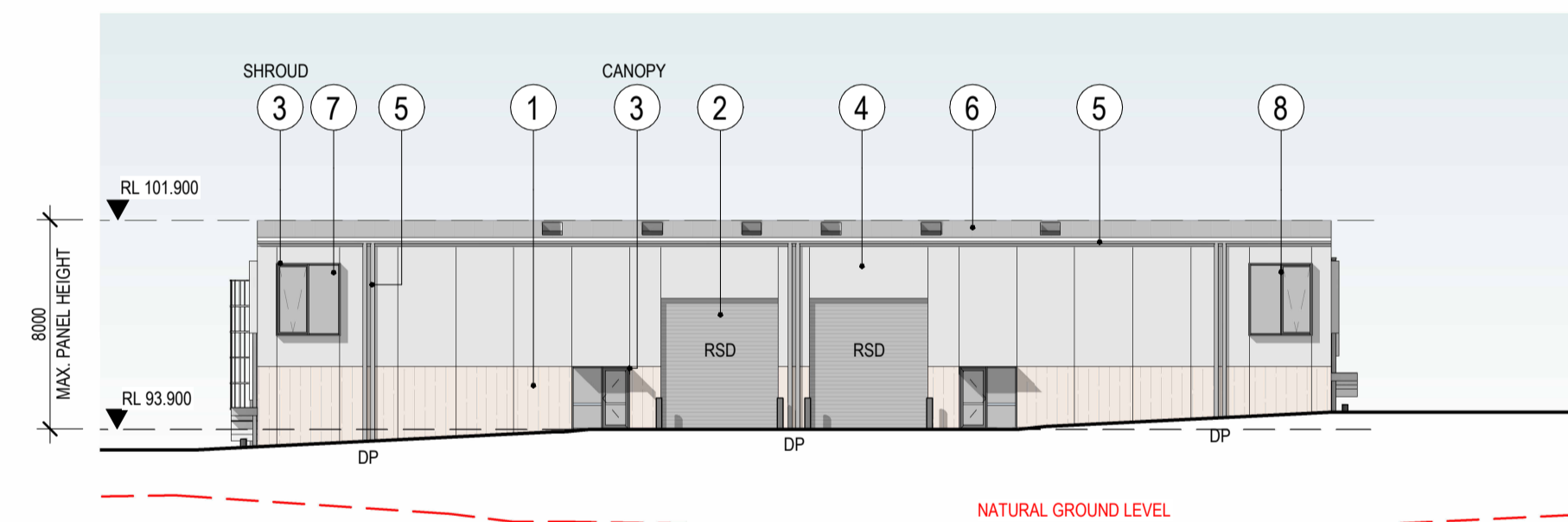
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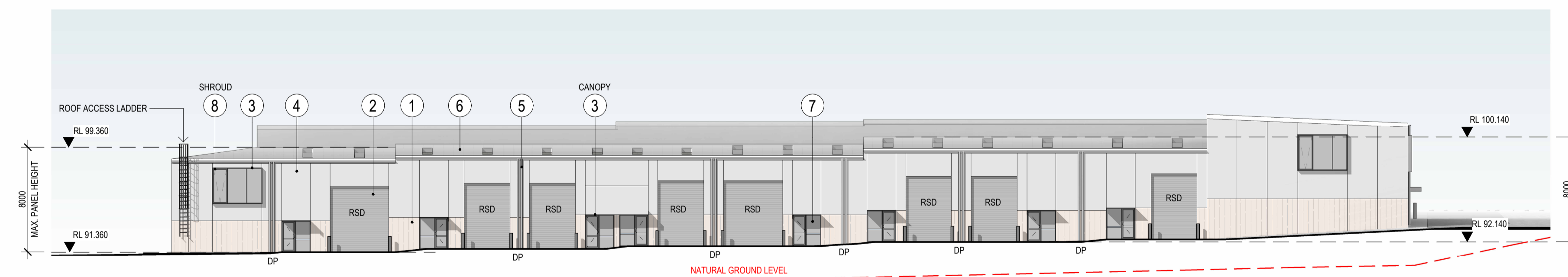
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BLOCK D_ELEVATION NORTH
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BLOCK D_ELEVATION SOUTH
SCALE: 1 : 250

EXTERNAL FINISHES

- 1 PRECAST CONCRETE PANEL ACID WASHED CONCRETE
- 2 ROLLER SHUTTER DOOR CLADDING ZINCALUME/ SILVER FINISH
- 3 SHROUDS/CANOPY GALVANISED STEEL
- 4 PRECAST CONCRETE PANEL NATURAL FINISH
- 5 FLASHING / GUTTERS & DOWNPIPE/CAPPING ZINCALUME/ POWDERCOATED SILVER
- 6 ROOF CLADDING ZINCALUME
- 7 WINDOW & DOOR GLAZING NEUTRAL / CLEAR
- 8 ALUMINUM FRAMED GLAZING NATURAL ANODISED / POWDERCOATED SILVER
- 9 FENCE LIGHT GREY
- 10 PRECAST CONCRETE FORM LINED - VERTICAL COARSE PATTERN

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A	18.07.2025	ISSUED FOR APPROVAL	DK	TT
P2	11.12.2025	PRELIMINARY ISSUE	YMP	TT
B	16.12.2025	DTP COMMENTS UPDATES	YMP	TT
C	04.05.2026	ISSUED FOR APPROVAL	YMP	JO

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

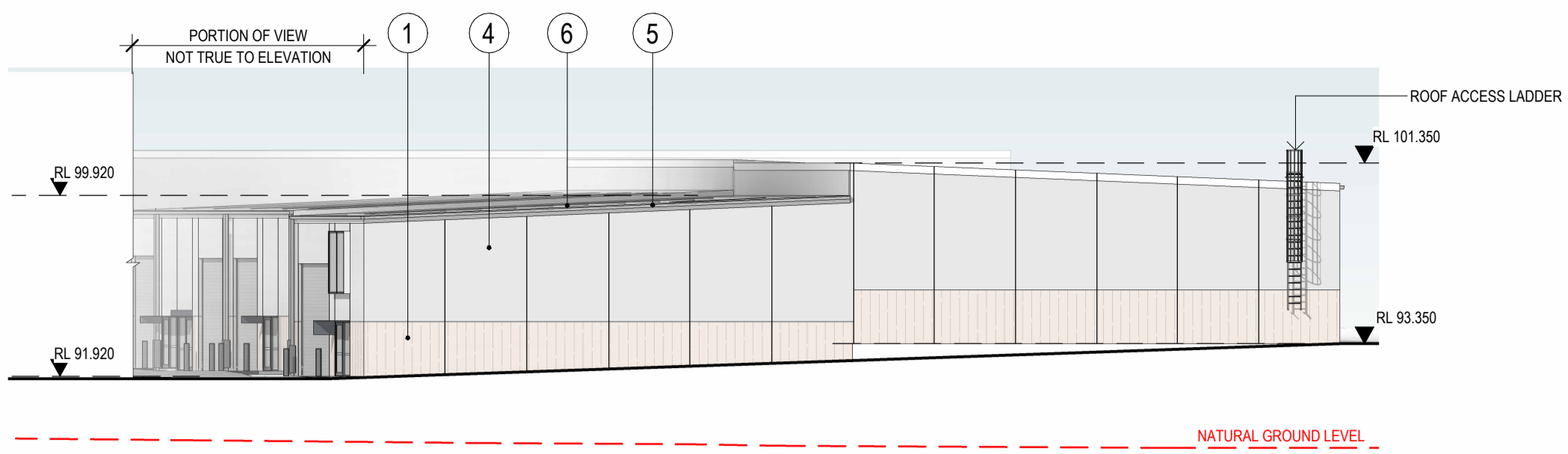
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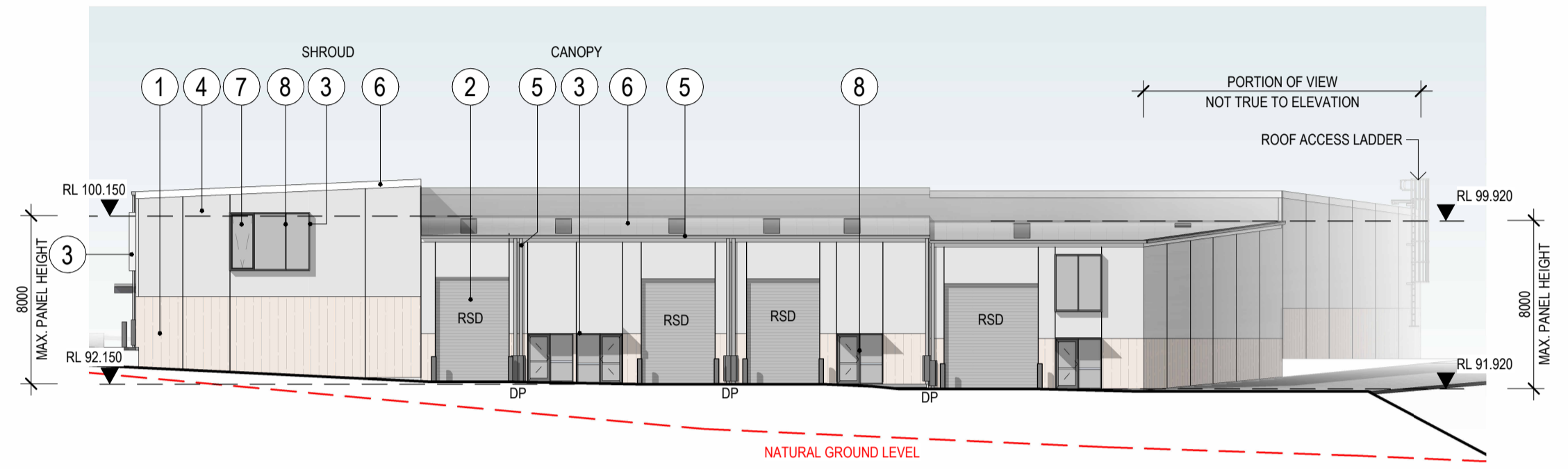
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JOB NO:	24294
DRAWING NO:	TP11
REVISION:	C

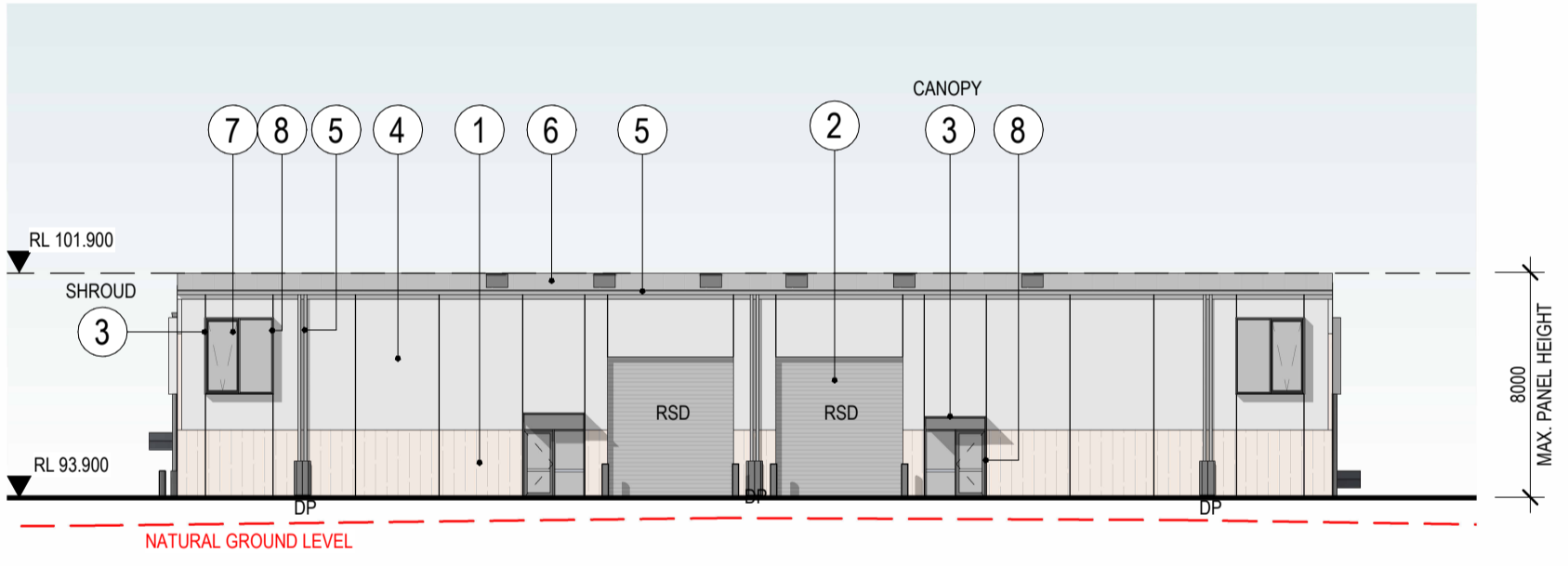
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BLOCK E_ELEVATION WEST
SCALE: 1 : 250



BLOCK E_ELEVATION NORTH
SCALE: 1 : 250



BLOCK E_ELEVATION EAST
SCALE: 1 : 250



BLOCK E_ELEVATION SOUTH
SCALE: 1 : 250

EXTERNAL FINISHES

- ① PRECAST CONCRETE PANEL ACID WASHED CONCRETE
- ② ROLLER SHUTTER DOOR CLADDING ZINCALUME/ SILVER FINISH
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- ④ PRECAST CONCRETE PANEL NATURAL FINISH
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- ⑨ FENCE LIGHT GREY
- ⑩ PRECAST CONCRETE FORM LINED - VERTICAL COARSE PATTERN

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P2	11.12.2025	PRELIMINARY ISSUE	YMP	TT
B	16.12.2025	DTP COMMENTS UPDATES	YMP	TT
C	04.05.2026	ISSUED FOR APPROVAL	YMP	JO

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
 65 QUARRY ROAD
 LILYDALE 3140, VIC

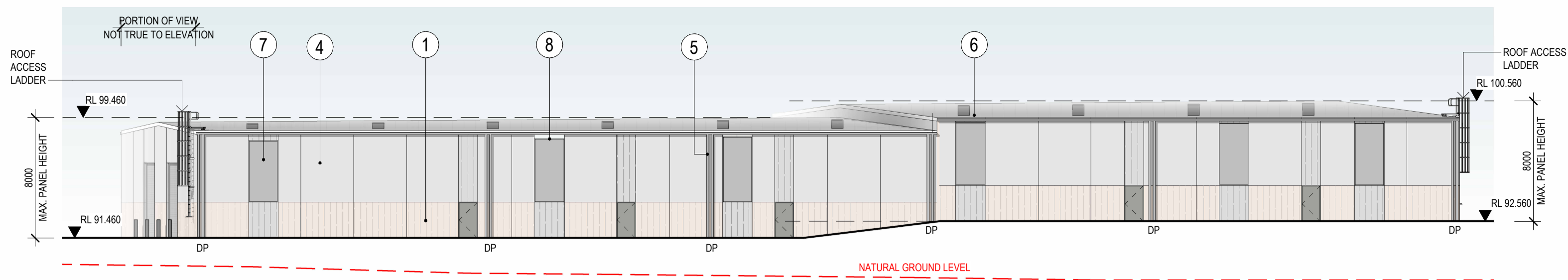
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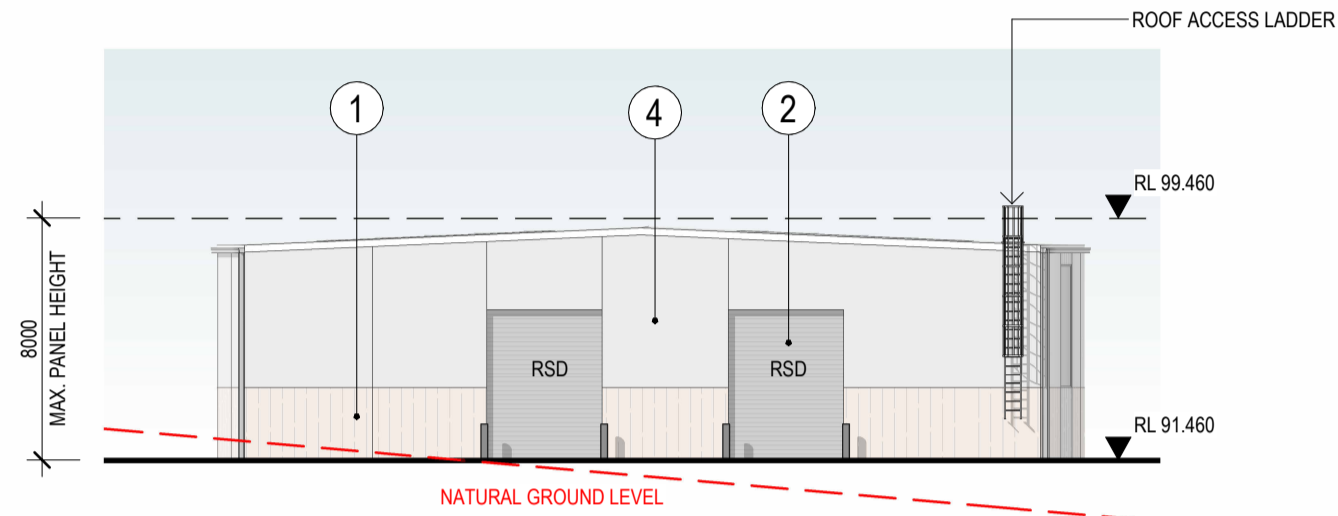
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JOB NO:
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TP12
 REVISION:
C

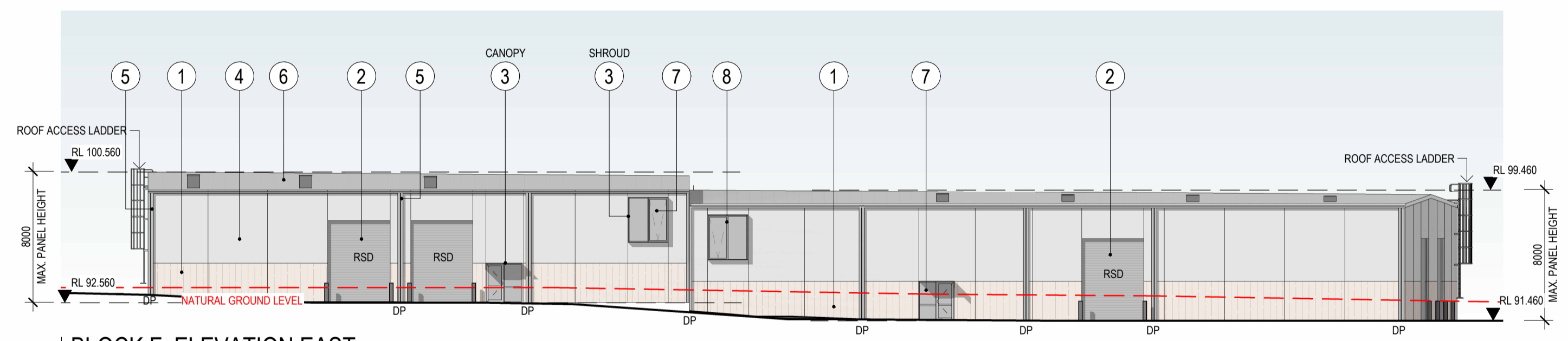




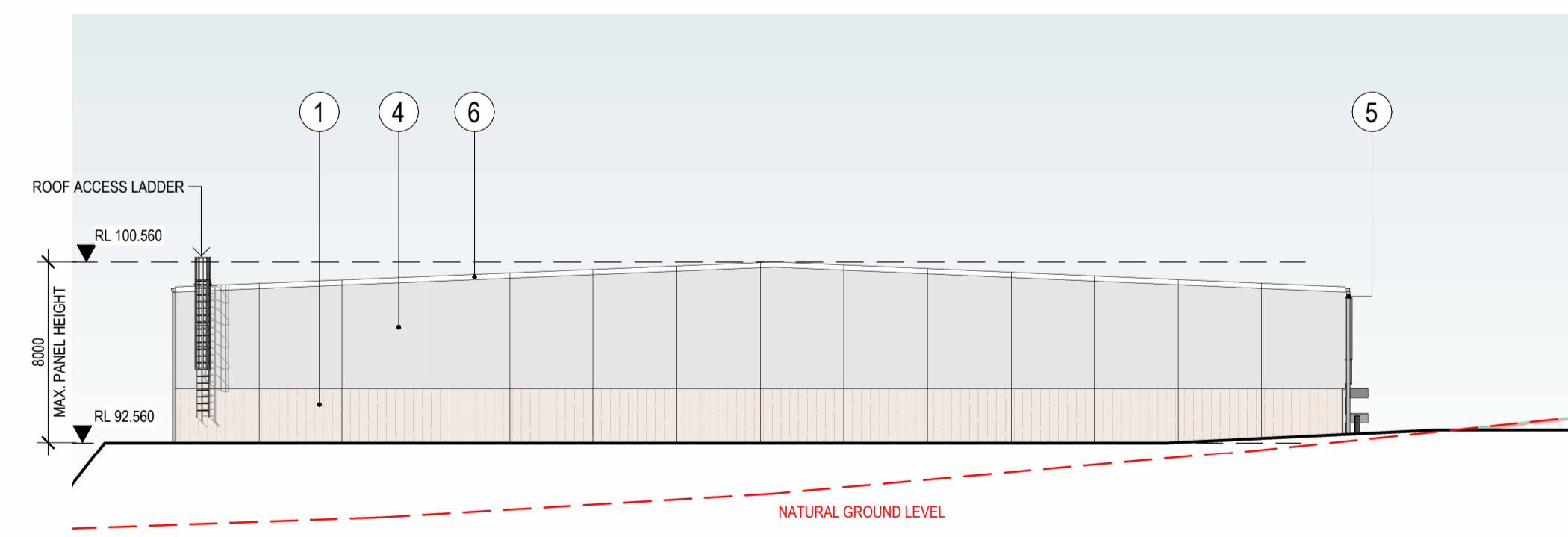
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BLOCK F_ELEVATION NORTH
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BLOCK F_ELEVATION EAST
SCALE: 1 : 250



BLOCK F_ELEVATION SOUTH
SCALE: 1 : 250

EXTERNAL FINISHES

- ① PRECAST CONCRETE PANEL ACID WASHED CONCRETE
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

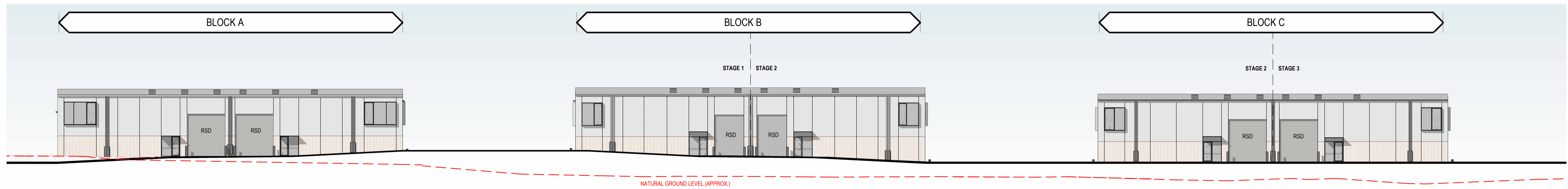
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CLIENT:
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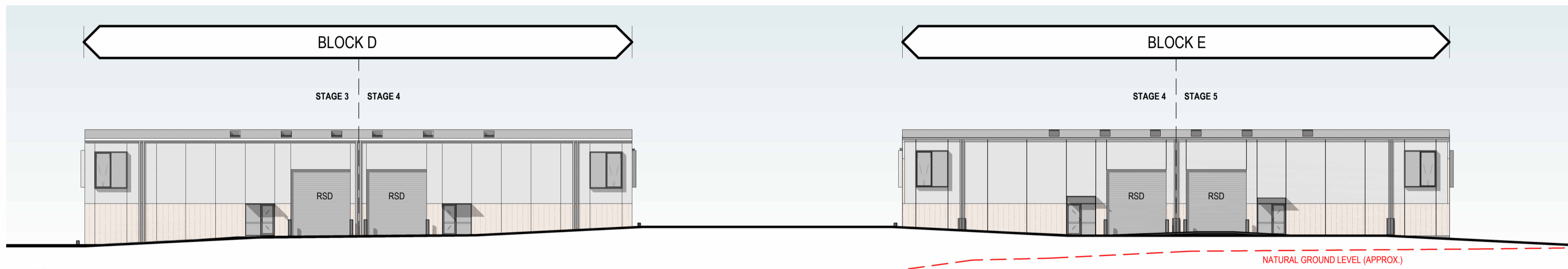
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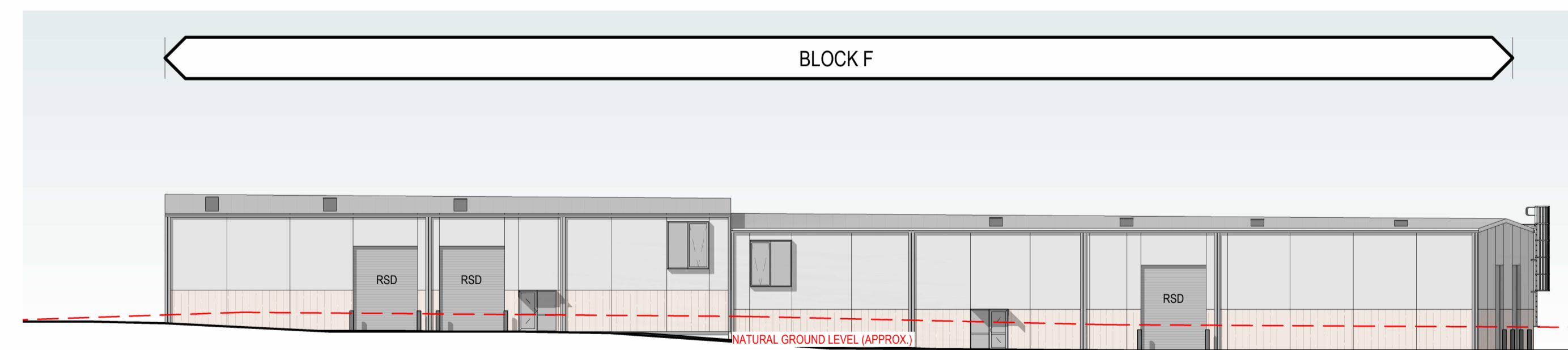
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STREETSCAPE ELEVATION STAGES 1 -3 (QUARRY ROAD)
SCALE: 1 : 250



STREETSCAPE ELEVATION STAGES 4 - 5 (QUARRY ROAD)
SCALE: 1 : 250



STREETSCAPE ELEVATION STAGES 5 (QUARRY ROAD)
SCALE: 1 : 250

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
STREETSCAPE ELEVATIONS

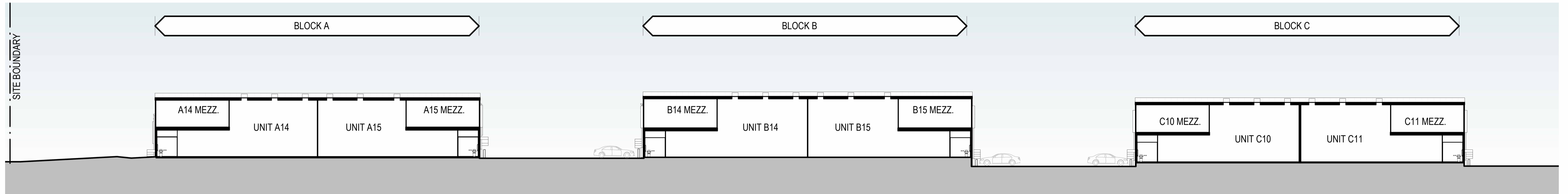
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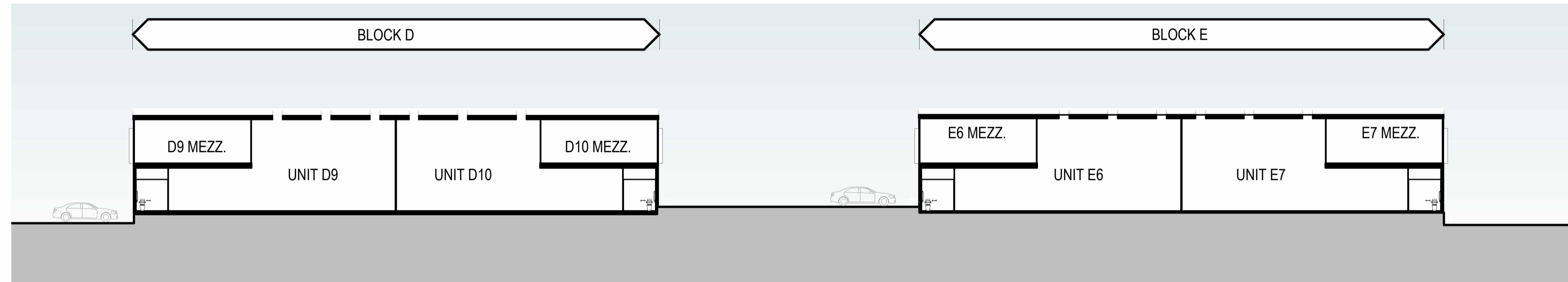
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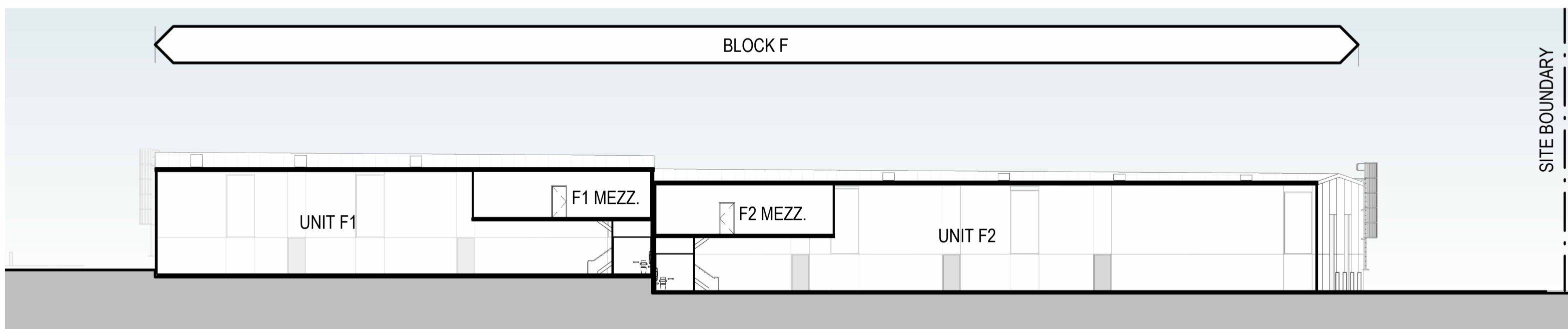
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SITE SECTION 1 - BLOCK A, B & C
SCALE: 1 : 250



SITE SECTION 1 - BLOCK D & E
SCALE: 1 : 250



SITE SECTION 1 - BLOCK F
SCALE: 1 : 250

**ADVERTISED
PLAN**

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C	04.05.2026	ISSUED FOR APPROVAL	YMP	IO

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
65 QUARRY ROAD
LILYDALE 3140, VIC

TITLE:
SITE SECTIONS

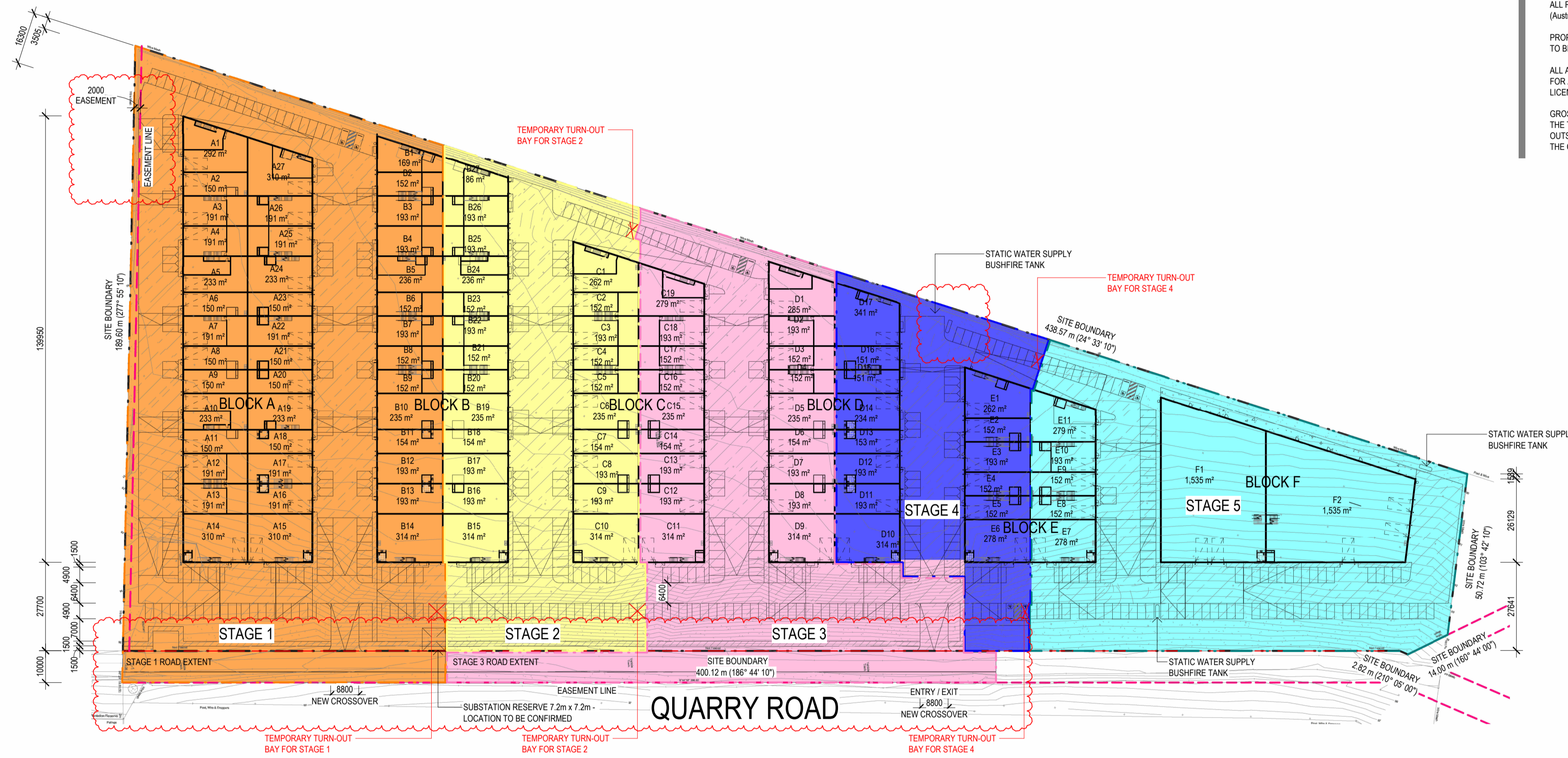
CLIENT:
Gestalt

DATE: MAY, 2025
DRAWN BY: TC
SCALE: 1 : 250 @ A1
SCALE: 1:500 @ A3

JOB NO:
24294
DRAWING NO:
TP15
REVISION:
C

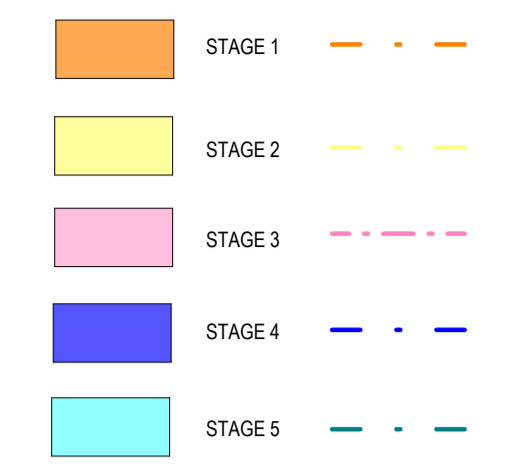
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ADVERTISED PLAN

LEGEND



NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
 ALL PARKING SPACES IN ACCORDANCE WITH VICTORIAN PLANNING SCHEME
 ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
 SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS
 ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (Australian Height Datum)
 PROPOSED FINISHED FLOOR LEVELS (FFL) ARE NOMINAL ONLY & ARE TO BE COORDINATED WITH CIVIL ENGINEER'S DWGS
 ALL AREAS NOTED ARE INDICATIVE ONLY AND SHOULD NOT BE USED FOR ANY CONTRACTUAL REASONS WITHOUT VERIFICATION BY LICENSED SURVEYOR OR FURTHER DESIGN DEVELOPMENT.
 GROSS FLOOR AREA AS DEFINED BY YARRA RANGES COUNCIL IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS.

DEVELOPMENT ANALYSIS

STAGES	NLA	GFA	NFA
STAGE 1			
BLOCK A	4,590 m ²	5,414 m ²	4,492 m ²
BLOCK B	2,256 m ²	2,681 m ²	2,198 m ²
MEZZ- BLOCK A	1,243 m ²	1,309 m ²	1,278 m ²
MEZZ- BLOCK B	540 m ²	572 m ²	563 m ²
TOTAL STAGE 1 AREA:	8,629 m²	9,976 m²	8,531 m²
STAGE 2			
BLOCK B	2,151 m ²	2,546 m ²	2,101 m ²
BLOCK C	1,697 m ²	2,000 m ²	1,664 m ²
MEZZ- BLOCK B	530 m ²	559 m ²	551 m ²
MEZZ- BLOCK C	359 m ²	454 m ²	388 m ²
TOTAL STAGE 2 AREA:	4,737 m²	5,559 m²	4,684 m²
STAGE 3			
BLOCK C	1,595 m ²	1,865 m ²	1,567 m ²
BLOCK D	1,598 m ²	1,871 m ²	1,574 m ²
MEZZ- BLOCK C	288 m ²	231 m ²	295 m ²
MEZZ- BLOCK D	294 m ²	312 m ²	310 m ²
TOTAL STAGE 3 AREA:	3,775 m²	4,279 m²	3,746 m²
STAGE 4			
BLOCK D	1,494 m ²	1,730 m ²	1,476 m ²
BLOCK E	982 m ²	759 m ²	993 m ²
MEZZ- BLOCK D	224 m ²	239 m ²	234 m ²
MEZZ- BLOCK E	369 m ²	381 m ²	378 m ²
TOTAL STAGE 4 AREA:	3,069 m²	3,109 m²	3,081 m²
STAGE 5			
BLOCK E	889 m ²	1,484 m ²	897 m ²
BLOCK F	2,889 m ²	3,070 m ²	2,913 m ²
MEZZ- BLOCK E	296 m ²	305 m ²	303 m ²
MEZZ- BLOCK F	272 m ²	290 m ²	290 m ²
TOTAL STAGE 5 AREA:	4,346 m²	5,149 m²	4,403 m²
TOTAL OVERALL AREA	24,556 m²	28,072 m²	24,445 m²

PARKING

DDA CAR BAYS	2
CAR BAYS	141
STAGE 1 CAR PARKING TOTAL:	143
RATE PROVIDED (PER 100m ² NFA)	1.68
CAR BAYS	85
STAGE 2 CAR PARKING TOTAL:	85
RATE PROVIDED (PER 100m ² NFA)	1.81
DDA CAR BAYS	2
CAR BAYS	89
STAGE 3 CAR PARKING TOTAL:	91
RATE PROVIDED (PER 100m ² NFA)	2.43
DDA CAR BAYS	2
CAR BAYS	55
STAGE 4 CAR PARKING TOTAL:	57
RATE PROVIDED (PER 100m ² NFA)	1.75
DDA CAR BAYS	2
CAR BAYS	103
STAGE 5 CAR PARKING TOTAL:	105
RATE PROVIDED (PER 100m ² NFA)	2.38
TOTAL BAYS PROVIDED	481
TOTAL RATE PROVIDED (PER 100m² NFA)	1.97
BAYS REQUIRED	487
(2 BAYS PER NFA 100m ²)	

SITE COVERAGE

TOTAL SITE AREA	51,296 m ²
TOTAL BUILDING FOOTPRINT	23,420 m ²
SITE COVERAGE	45.65 %
EFFICIENCY	54.72 %
(% OF OVERALL GFA AREA / SITE AREA)	

NOTE:

GFA MEASURED TO OUTSIDE FACE OF BUILDING
NLA MEASURED TO INSIDE FACE OF WALL AND DOES NOT INCLUDE LOADING AREAS, & STAIR VOIDS BELOW 1.5m IN HEIGHT.
NFA THE TOTAL FLOOR AREA OF ALL FLOORS OF ALL BUILDINGS ON A SITE. IT INCLUDES HALF THE WIDTH OF ANY PARTY WALL AND THE FULL WIDTH OF ALL OTHER WALLS. IT DOES NOT INCLUDE THE AREA OF STAIRS, LOADING BAYS, ACCESSWAYS, OR CAR PARKING AREAS, OR ANY AREA OCCUPIED BY MACHINERY REQUIRED FOR AIR CONDITIONING, HEATING, POWER SUPPLY, OR LIFTS.

ALL AREAS NOTED ARE INDICATIVE ONLY (GFA / NLA / NFA) AND SHOULD NOT BE USED FOR ANY CONTRACTUAL REASONS WITHOUT VERIFICATION BY A LICENSED SURVEYOR OR FURTHER DESIGN DEVELOPMENT BEING COMPLETED.

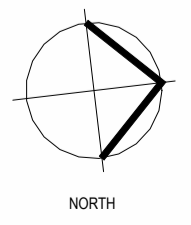
No.	DATE	REVISION	BY:	CHK:
P4	11.12.2025	PRELIMINARY ISSUE	YMP	TT
B	17.12.2025	DTP COMMENTS UPDATES	IO	TT
C	28.01.2026	DTP COMMENTS UPDATES	YMP/IO	TT
D	04.05.2026	ISSUED FOR APPROVAL	YMP	IO
E	18.05.2026	ISSUED FOR APPROVAL	IO	IO

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 LILYDALE 3140, VIC

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STAGING PLAN



CLIENT:
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