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Our Reference 307533
Your Reference PLN20/0213

ADVERTISED
PLAN

spiire

6 August 2020

Rhiannon Biezen
Development Approvals and Design, Renewables
Department of Environment, Land, Water and Planning
Level 8, 8 Nicholson Street
EAST MELBOURNE VIC 3002

Via Email: rhiannon.biezen@delwp.vic.gov.au (original not to follow)

Dear Rhiannon,

**Planning Permit Application PA2000901 – 95 Middle Road, Stanhope
Response to Request for Further Information**

Spiire Australia Pty Ltd continue to act on behalf of Powercor Australia Ltd in relation to the current planning permit application to use and develop that land at 95 Middle Road, Stanhope for the purpose of a 'Utility Installation' (Application Reference: PA2000901).

As part of this response please find enclosed the following:

- ▶ Revised Development Plan prepared by Spiire, dated 5 August 2020 and attached at Appendix A;
- ▶ Revised Town Planning Report prepared by Spiire, dated 5 August 2020 and attached at Appendix B;
- ▶ Ecology Advice prepared by EcoAerial, dated 6 August 2020 and attached at Appendix C; and
- ▶ A copy of Title Plan TP271189X at Appendix D.

1. RESPONSE TO REQUEST FOR FURTHER INFORMATION

A response to the issues raised in the Request for Further Information (RFI) is provided below. For ease of comprehension, each item raised by DELWP has been reproduced in bold, followed by our associated response.

Request for Further Information

1. **An updated site plan to detail the following:**
 - i. **Site access and internal driveway;**
 - ii. **The setbacks of the proposed transmission lines from any existing vegetation and/or structures; and**
 - iii. **The correct location of existing vegetation within the road reserve of Middle Road.**

Response:

Reference is made to the revised Development Plan (Site Plan) attached at Appendix A. The revised plan shows the existing site access and the location of the solar farm access approved under Planning Permit PLN050/2019. In addition, the plan includes setbacks between the proposed power line and nearby vegetation, comprising non-native trees.

The proposal is for the use and development of a 'Utility Installation' and does not require access or an internal driveway other than during construction and maintenance. Access to and from the site (associated with the Utility Installation) will be limited to the existing site access from Middle Road and any access approved and constructed in association with the solar farm development. These access locations have been shown on the updated Development Plan attached at Appendix A.

The setbacks of the proposed infrastructure from the road corridor and nearby dwellings have been shown on the submitted plans. This is in accordance with previous advice from DELWP, which considered that the location of the poles needs to be assessed in relation to potential amenity impacts and traffic safety. In this instance the proposed poles are located within the site itself and are suitably separated from both the road corridor and neighbouring properties.

The setbacks of the proposed infrastructure from existing trees has also been included on the revised plans. The ecology advice attached at Appendix C confirms that this vegetation is non-native and does not trigger any planning permit requirements. The works have been designed to avoid areas of established vegetation as illustrated on the revised Development Plan at Appendix A. There is a small section of works where the line will be installed above two (2) small non-native trees and some pruning may be required. No tree removal is proposed and there are no impacts which will adversely impact on vegetation within the site.

No works are proposed within Middle Road. The location of any vegetation within the road reserve of Middle Road is therefore not relevant to the assessment of this application.

2. Amended Planning report to include the following:

- i. The extent of the earthworks to be carried out on-site for the installation of the transmission poles;**
- ii. Whether any vegetation is proposed to be removed from the site; if so, its type and location; and**
- iii. Details of ingress and egress to the site for construction.**

Response:

Reference is made to the amended Town Planning Report attached at Appendix B. Section 3 of this report (Proposal) has been revised to provide additional details and clarification on the construction methodology, including the extent of any earthworks. The proposed poles will be installed via a trucks which auger the hole and then place the new pole into position. This construction methodology is standard for Powercor and has minimal disturbance to the surrounding area, with a total construction footprint of approximately 0.25m² – 0.5m² per pole. Some imagery of similar pole installation has also been included within the amended report.

In accordance with the attached ecology advice (refer Appendix C) the proposal will not result in the removal of any native vegetation. The proposed poles are located within land which has previously been used for agricultural purposes and does not contain any native species. Accordingly, the proposal does not seek approval for the removal of native vegetation. The amended Town Planning Report (Appendix B) confirms there will be no vegetation impacts, with the exception of some minor pruning as discussed in the response to Item 1 above.

Access to and from the site during construction will be limited to the existing site access and any access approved and constructed in association with the solar farm development (refer Appendix A). There will be no additional access locations along Middle Road, and no works are proposed with the road corridor.

3. A copy of plan of subdivision TP271189X for Crown Allotment 33 Section B Parish of Girgarre.

Response:

A copy of Title Plan TP271189X for Crown Allotment 33 Section B, Parish of Girgarre is attached at Appendix D.

Preliminary Assessment

Lot sizes and subdivision layout:

- 1. The proposal does not include the removal of vegetation, although the plans endorsed under Campaspe planning permit PLN050/2019 show this. It is noted that planning permit PLN050/2019 does not permit the removal of native vegetation.**

Response:

In accordance with the attached ecology advice (refer Appendix C) the proposal will not result in the removal of any native vegetation. Accordingly, the proposal does not seek approval for the removal of native vegetation.

The plans endorsed under Planning Permit PLN050/2019 are not related to this application. However, given that these endorsed plans show the removal of vegetation it is considered that Campaspe Shire Council would have previously assessed this and determined there were no native vegetation impacts or associated planning permit triggers. The ecology advice at Appendix A confirms the trees identified for removal on this endorsed plan are not native.

2. CONCLUSION

We trust that this response provides sufficient detail for DELWP to continue to assess the application. Whilst we have endeavoured to respond to all of the further information requirements, we formally seek a further extension to the response timeframe should all matters not be satisfactorily addressed by this letter.

It is noted that this application is extremely urgent for Powercor. It is therefore requested that this application can proceed to notice as quickly as possible, as construction of the utility infrastructure is due to commence immediately.

If you wish to discuss any aspect of the application, please do not hesitate to contact to contact me on (03) 9993 7064 or alternatively via email Glennie.nottle@spiire.com.au

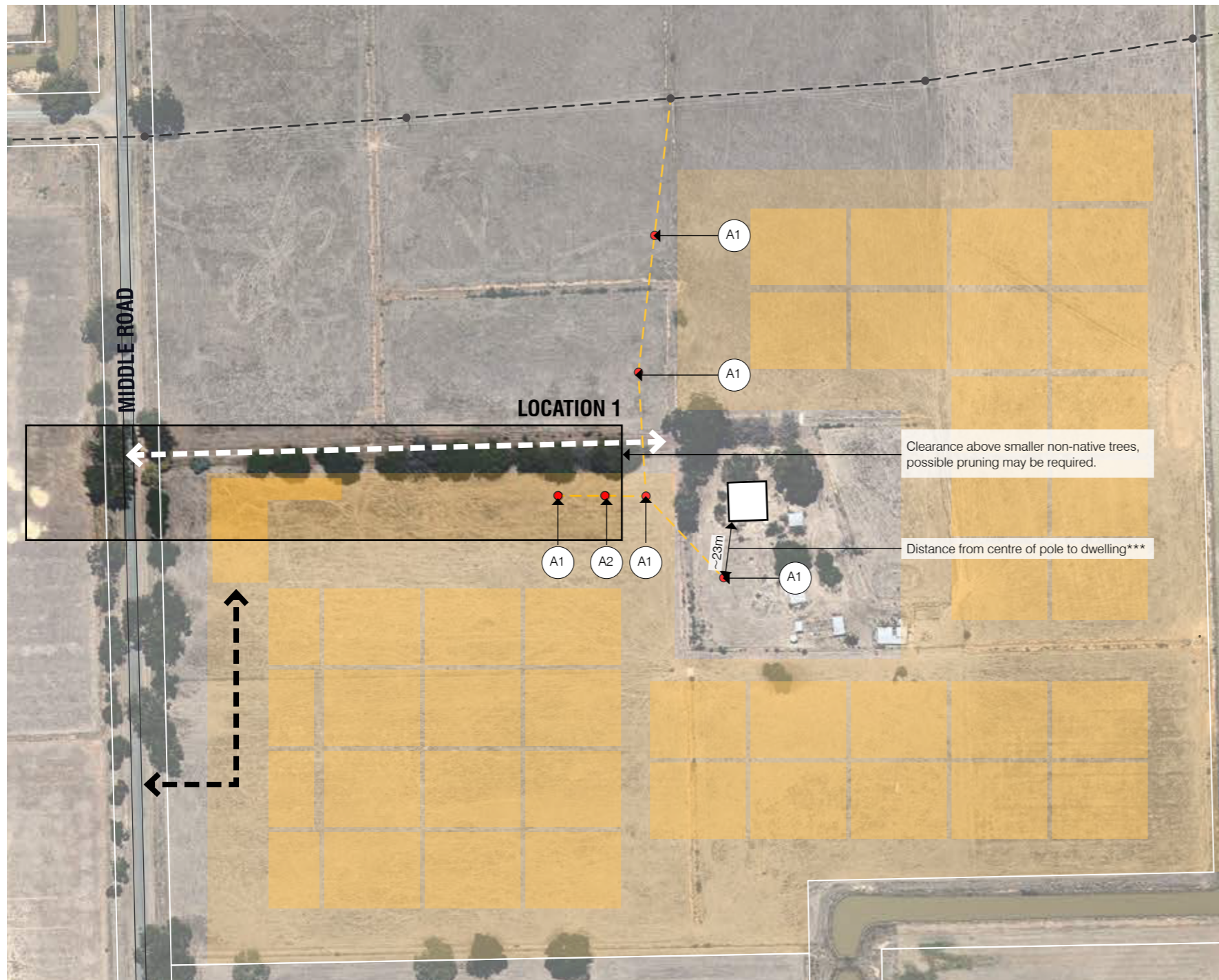
Yours sincerely



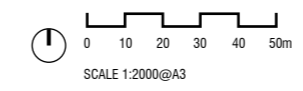
Glennie Nottle
Senior Professional – Planning



APPENDIX A
REVISED DEVELOPMENT PLAN



- LEGEND**
- Road reserve/boundary
 - Edge of carriageway (road line-marking) ***
 - - - Proposed overhead powerlines **
 - - - Existing overhead powerlines **
 - Solar farm site and proposed buildings location **
 - Existing poles **
 - New poles * * * * *
 - Existing access road
 - Approved solar farm access from south (PLN050/2019)



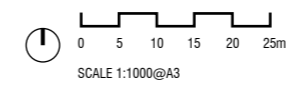
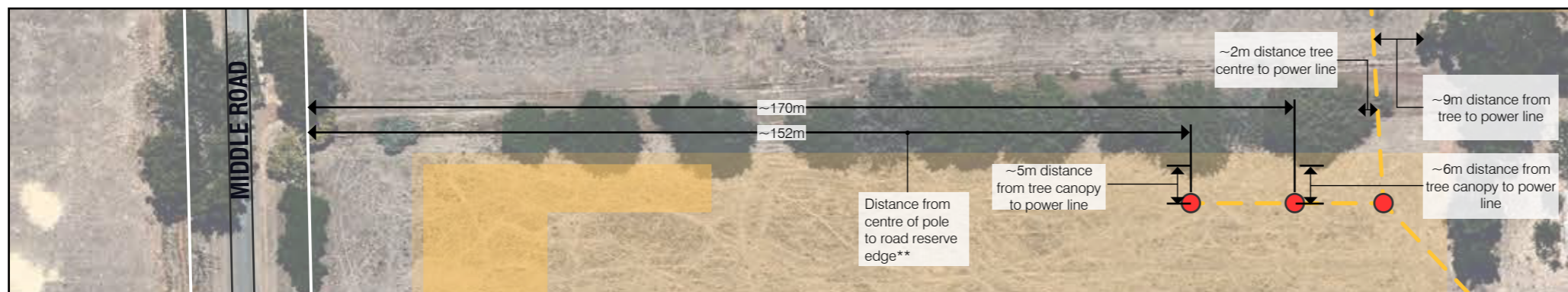
POWER POLE PROFILE TABLE

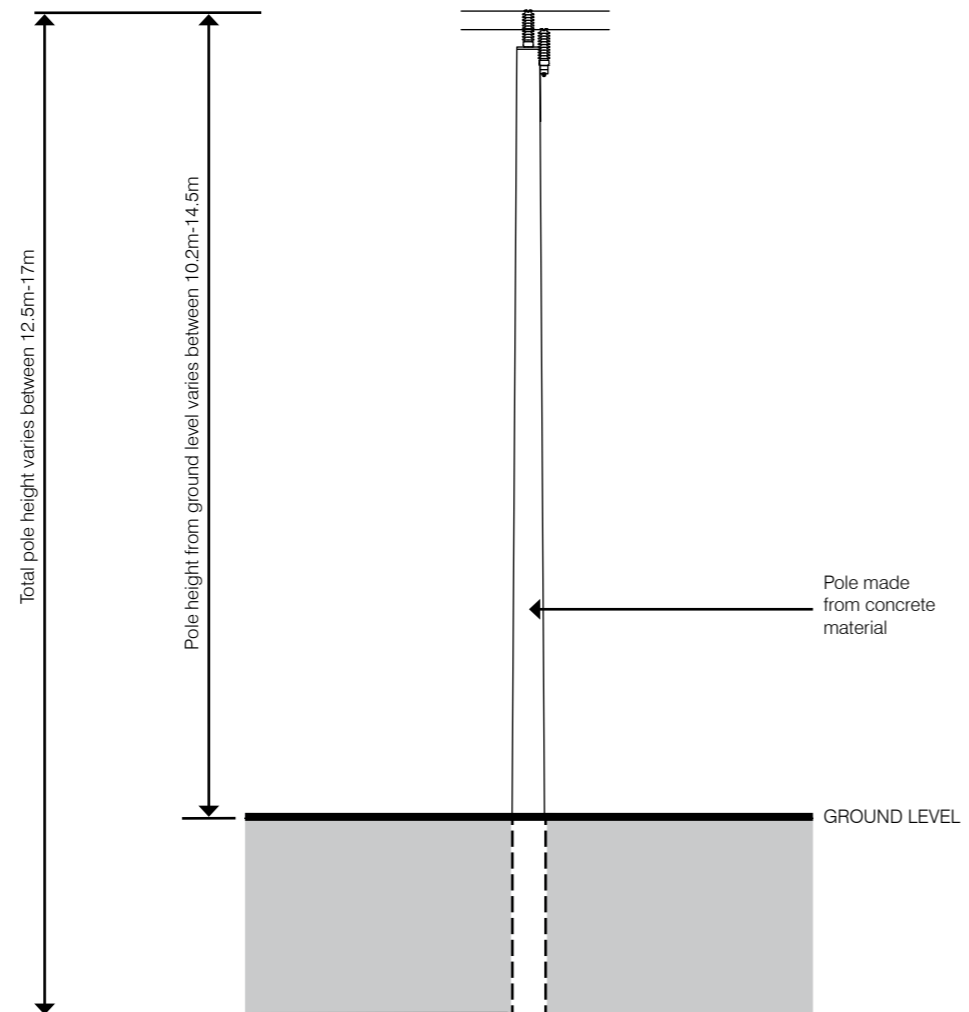
	TYPE	HEIGHT
A1	INT SIDE PROFILE	12.5m poles: 10.2m out of the ground
A2	ACR SIDE PROFILE	
B1	INT SIDE PROFILE	14m poles: 11.6m out of the ground
B2	ACR SIDE PROFILE	
C1	INT SIDE PROFILE	15.5m poles: 13m out of the ground
C2	ACR SIDE PROFILE	
D1	INT SIDE PROFILE	17m poles: 14.5m out of the ground
D2	ACR SIDE PROFILE	

LIMITATION OF PLAN

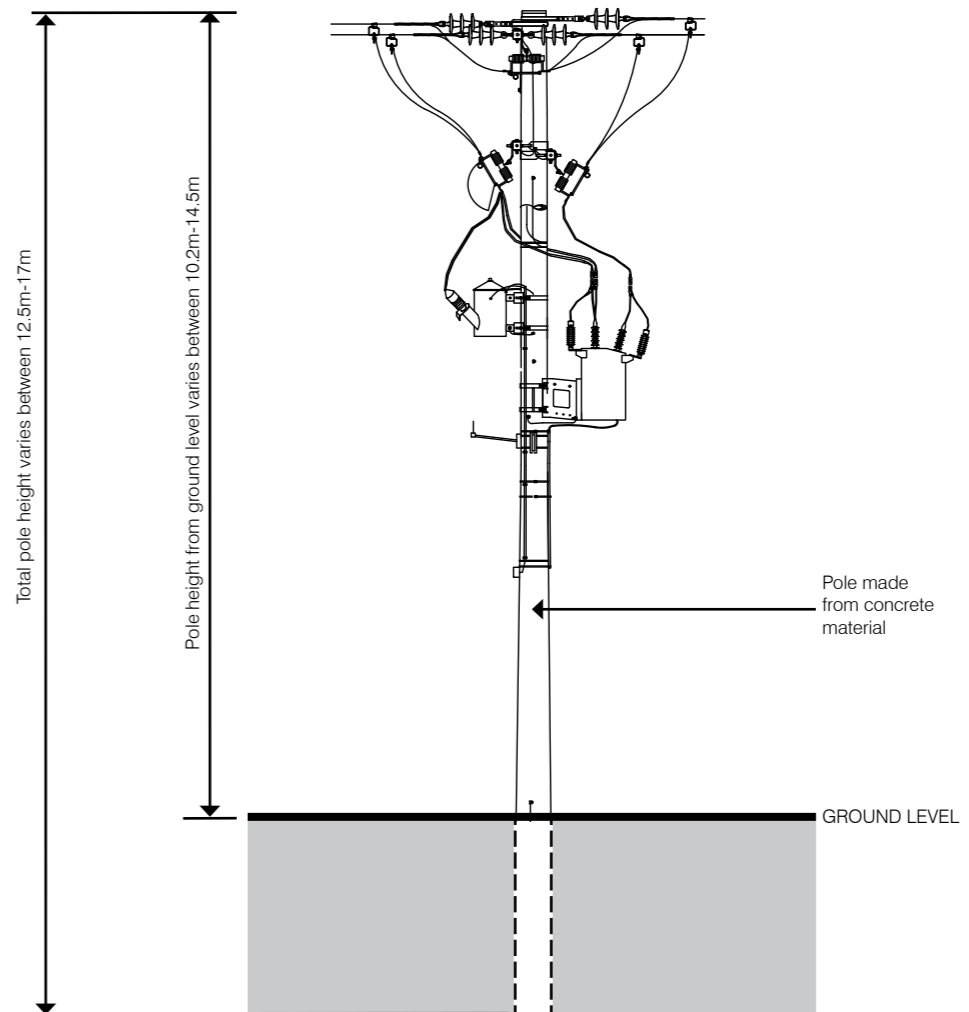
- * New and replacement poles will be made of concrete materials. Refer to elevation plans for specifics
- ** Layout is based on City Power Drawing No. PCA80 5120190-1. Aerial imagery is sourced from nearmap and is approximate in location.
- *** Offset to carriageway and dwellings has been traced from nearmap and is approximate. Detail survey is required for exact dimensions.
- ▶ Distances have been calculated from pole centre to road reserve when located within property boundary, and from pole centre to road line marking when within road reserve.
- ▶ Data has been collated from <https://www.data.vic.gov.au/>
- ▶ This plan has been based on MGA 2020 Zone 55

LOCATION 1





TYPE 1 - INT SIDE PROFILE



TYPE 2 - ACR POLE SIDE PROFILE



APPENDIX B
REVISED TOWN PLANNING REPORT

CONSTRUCTION OF A UTILITY INSTALLATION

CONNECTION TO SOLAR FARM AT 95 MIDDLE
ROAD, STANHOPE.

JULY 2020

PREPARED FOR POWERCOR AUSTRALIA

Level 6, 414 La Trobe Street PO Box 16084 **Melbourne** Victoria 8007

Acknowledgements and Recognition

Issue Date	Rev No	Authors	Checked	Approved
22/06/2020	01	GS	GN	PD
05/08/2020	02	KM	GN	PD

Spiire Job Number: 305658

Citation: Spiire 2020, CONSTRUCTION OF A UTILITY INSTALLATION Report for POWERCOR AUSTRALIA.
Authors: G Stevens Spiire Australia Pty Ltd. Project Number 305658

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Cover photo: Courtesy of N/A

TABLE OF CONTENTS

1.	INTRODUCTION.....	3
1.1	PROJECT SUMMARY	3
1.2	PROJECT BACKRGOUND.....	4
1.3	AMENDMENT VC157 AND PERMIT EXEMPTIONS.....	4
2.	APPLICATION AREA.....	6
3.	PROPOSAL	7
3.1	CONSTRUCTION METHODOLOGY.....	8
4.	PLANNING POLICY FRAMEWORK.....	11
4.1	STATE AND LOCAL PLANNING POLICY	11
4.2	ZONES.....	11
4.3	OVERLAY	12
4.4	CULTURAL HERITAGE.....	12
5.	PLANNING ASSESSMENT	14
5.1	PLANNING POLICY FRAMEWORK.....	14
5.2	USE & DEVELOPMENT OF THE LAND	14
5.3	VEGETATION IMPACT	14
6.	CONCLUSION	15
APPENDIX A DEVELOPMENT PLAN.....		17
APPENDIX B CONSTRUCTION PLANS.....		19
APPENDIX C SOLAR FARM PLANNING PERMIT.....		21

1. INTRODUCTION

This report has been prepared by Spiire Australia Pty Ltd on behalf of Powercor Australia Ltd in support of a planning permit application for the use and development of a utility installation in Stanhope, Victoria.

The proposed works are required as part of an upgrade to the existing electrical alignment to create a new connection to a solar farm at 95 Middle Road, Stanhope (the Solar Farm).

Powercor is committed to providing an electricity network that is safe and reliable while minimising any impacts on the environment. Powercor has undertaken numerous upgrade and new connection projects across Victoria with minimal or no vegetation, environmental or community impact.

The purpose of this report is to:

- ▶ Provide an overview of the subject site and the surrounding area;
- ▶ Outline the proposal;
- ▶ Identify the relevant planning controls, policies and decision guidelines within the Campaspe Planning Scheme; and
- ▶ Provide an analysis of the proposal against the relevant planning provisions.

This report is accompanied by, and should be read in conjunction with:

- ▶ Development Plan, prepared by Spiire, dated 05/08/2020 – Appendix A;
- ▶ Construction Plans (PCA80 5120190), dated 14/05/2020 – Appendix B; and
- ▶ Solar Farm Planning Permit, Campaspe Shire – Appendix C.

1.1 PROJECT SUMMARY

The below table summarise the relevant details of this application.

Table 1: Project Summary

Land Title Details	Lot 33 B/PP2660 (95 Middle Road, Stanhope)	
Applicable Planning Scheme	Campaspe Planning Scheme	
Planning Controls	Zones	Farming Zone – Schedule 1 (FZ1)
	Overlays	None
Proposal	Construction of a utility installation (6 new poles and approximately 229 metres of new conductor)	
Planning Permit Triggers	Clause 35.07-1	To use the land for a utility installation (Section 2 use) in the FZ

	Clause 35.07-4	To construct a building or carry out works associated with a use in Section 2 of Clause 35.07-1
Area of Aboriginal Cultural Heritage Sensitivity?	No	

1.2 PROJECT BACKGROUND

Planning Permit PLN050/2019 was issued in June 2019 (refer to Appendix C) and grants approval for the *use and development of a renewable energy facility (Micro Solar Farm) in the Farming Zone Schedule 1* at 95 Middle Road, Stanhope.

It is acknowledged that the plans endorsed under PLN050/2019 include the proposed utility installation. However, advice from DELWP has confirmed that given the permit preamble does not specifically reference approval for the use and development of a utility installation, a separate planning permit is required in accordance with the provisions of Amendment VC157.

Advice was also sought from Campaspe Shire Council who confirmed that the utility installation was considered to be ancillary to the solar farm and was therefore not required to be referenced under the permit preamble.

This planning permit application has been prepared on the basis of the advice from DELWP, as the Minister for Planning is the Responsible Authority in this instance.

1.3 AMENDMENT VC157 AND PERMIT EXEMPTIONS

The works are best described as a ‘utility installation’ rather than a ‘minor utility insulation’ as the definition of a minor utility installation excludes any power lines directly associated with an energy generation facility. The Solar Farm is considered an energy generation facility.

The Campaspe Planning Scheme defines a ‘utility installation’ as:

“Land used:

- a) for telecommunications;*
- b) to transmit or distribute gas or oil;*
- c) to transmit, distribute or store power, including battery storage;*
- d) to collect, treat, transmit, store, or distribute water;*
- e) to collect, treat, or dispose of storm or flood water, sewage, or sullage.*

It includes any associated flow measurement device or a structure to gauge waterway flow.”

In accordance with Amendment VC157, which was gazetted on 15 March 2019, a planning permit is required for power lines associated with an energy generation facility.

Pursuant to Clauses 62.01 and 62.02-1, the Campaspe Planning Scheme states the following in relation to permit exemptions:

- *The use of land for power lines and electrical sub-stations associated with an energy generation facility or geothermal energy extraction if a permit was issued for such use or development prior to the approval date of Amendment VC157; and*
- *Power lines and electrical sub-stations associated with an Energy generation facility or Geothermal energy extraction if a permit was issued for such use or development prior to the approval date of Amendment VC157 (construction or carrying out of works).*

As the Planning Permit for the Solar Farm was issued in June 2019, after the gazettal date of Amendment VC157, these exemptions do not apply. As such, a planning permit is required for the use and development of the land for a utility installation.

2. APPLICATION AREA

The project, to be undertaken by Powercor, will provide a connection from the Solar Farm to the existing electricity network. The project area is shown in Figure 1.

The project area is located entirely within the property at 95 Middle Road Stanhope (solar farm site) and does not include any road reserves.

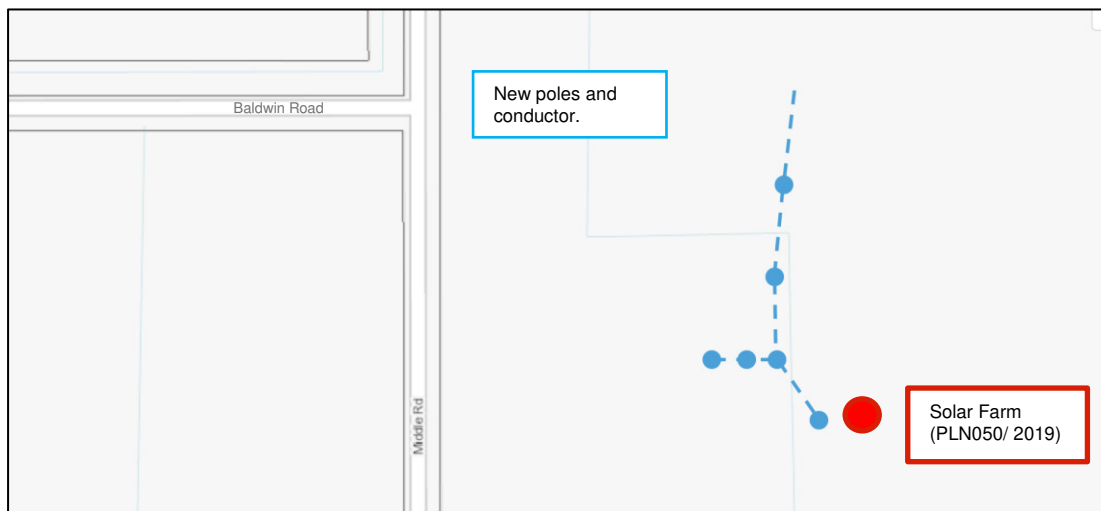


Figure 1: Project alignment

3. PROPOSAL

The project involves new infrastructure on the 'Patten Solar Spur Line' which will connect to the existing 'Kyabram to Stanhope' electrical alignment in Stanhope, located within Campaspe Shire. The proposed network upgrade will increase the carrying capacity of the existing electrical infrastructure to accommodate the additional supply generated by the Solar Farm.

This proposal is accompanied by, and should be read in conjunction with:

- ▶ Development Plan, prepared by Spiire, dated 05/08/2020 – Appendix A;
- ▶ Construction Plans (PCA80 5120190), dated 14/05/2020 – Appendix B; and
- ▶ Solar Farm Planning Permit, Campaspe Shire – Appendix C.

This project involves:

- ▶ The installation of six (6) new poles; and
- ▶ The installation of new electrical conductor (approximately 229 metres), all entirely located within the property boundary of 95 Middle Road, Stanhope.

The works are proposed within an area previously cleared for agricultural purposes and preliminary ecology advice has indicated the work area does not contain any native species. Therefore, it has been determined that no native vegetation will be impacted by the proposal, either within the site or in the adjacent road reserve.

Notwithstanding this, if native vegetation was found on site, the proposal would be exempt from the requirements of Clause 52.17 as it would be considered as 'regrowth'.

Regrowth can be described as:

Native vegetation that is to be removed, destroyed or lopped that has naturally established or regenerated on land lawfully cleared of naturally established native vegetation, and is:

- ▶ *Less than 10 years old.*

As the land has been lawfully cleared for agricultural purposes within the last 10 years, it is determined that the works would be considered exempt from the provisions of Clause 52.17 if native regrowth was found.

A section of new line is proposed to be installed above two (2) small, non-native trees and may require some minor pruning. No tree removal is proposed.

The new poles will be 10.2m in height (above ground) and will be constructed of concrete.

The proposed poles are located within the Solar Farm site and are set back a minimum of 152m (approx.) from the property boundary. No poles are proposed within the road reserve.

The new poles are located a minimum of 617m from the nearest dwelling.

Ingress and egress to the site will be from the existing crossover from Middle Road. This crossover currently services the existing dwelling, but given the site's history as former agricultural land, the crossover and access track are capable of providing access to wider construction vehicles. Therefore, there is no construction or vegetation removal associated with access to the site.

The location of the poles and relevant setback distances are included on the Development Plan attached at Appendix A.

3.1 CONSTRUCTION METHODOLOGY

Powercor’s construction technique/methodology enables works to occur with minimum disturbance to existing biodiversity.

Trucks will park within a suitable area in proximity to the proposed pole locations. The construction methodology will then involve an arm reaching from the parked truck to the pole location to auger a hole. Another arm will then put the pole into place within the augured hole.

Very little ground disturbance is required to install a new power pole. Each pole has a total construction footprint of approximately 0.25-0.5m², and therefore there is minimal excavation required. For the installation of six (6) poles, the maximum total construction footprint is approximately 3m².

The below images provide a snapshot of how Powercor contractors typically install a new pole. Note that these photos were taken during a roadside installation, however the technique is the same on private property.



Figure 2: Example of a hole being augured via arm from truck (note in this example the roadside vegetation was deemed to be non-native, hence the truck is parking slightly on the verge and the other truck in the background)



Figure 3: Example of a hole being augured via arm from truck (note in this example the roadside vegetation was deemed to be native in places and fencing was set up to keep the truck from the shoulder)



Figure 4: Example of pole being installed via truck crane. Note that the truck can be parked further away if required.



Figure 5: Example of contractors working on the new or replacement installation. Note the truck is still in the road carriageway.

As the works will be undertaken within private property, existing access tracks will be utilised where possible. If existing tracks are not available, construction vehicles will traverse the agricultural land in order to access the proposed pole locations. Bog mats may be utilised to minimise any disturbance.

Given that this land has previously been used for agricultural purposes, it has been determined that no native vegetation is present at the new pole locations or within the surrounding areas of the site. Notwithstanding this, vehicles will minimise any areas of disturbance in order to maintain the agricultural functions of the land.

Provided these construction techniques are implemented, it is considered the proposed works can be completed with minimal impacts to the agricultural land or vegetation. The above procedures would be outlined in the standard Construction Environmental Management Plan (CEMP) for the project to ensure compliance.

4. PLANNING POLICY FRAMEWORK

The purpose of this section is to provide a summary of the relevant planning controls and provisions contained within the Campaspe Planning Scheme.

The proposal triggers the requirement for a planning permit for the following:

- ▶ To use the land for the purpose of a utility installation, within the Farming Zone (FZ), pursuant to Clause 35.07-1; and
- ▶ To construct a building or carry out works associated with a use in Section 2 within the Farming Zone (FZ) pursuant to Clause 35.07- 4.

4.1 STATE AND LOCAL PLANNING POLICY

The following State and Local planning policies contained within the Campaspe Planning Scheme are considered relevant to the proposal:

- ▶ Clause 13.02-1S Bushfire Planning;
- ▶ Clause 15.02-1S Energy and Resource Efficiency;
- ▶ Clause 19.01-1S Energy Supply;
- ▶ Clause 19.01-2S Renewable Energy;

The objectives of these policies relevant to the project are reproduced below:

- ▶ *To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life (13.02-1S).*
- ▶ *To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions (15.02-1S).*
- ▶ *To facilitate appropriate development of energy supply infrastructure (19.01-1S)*
- ▶ *To promote the provision of renewable energy in a manner that ensures appropriate siting and design considerations are met (19.01-2S).*

4.2 ZONES

The works are located within the Farming Zone – Schedule 1 (FZ1). This is illustrated in Figure 6.

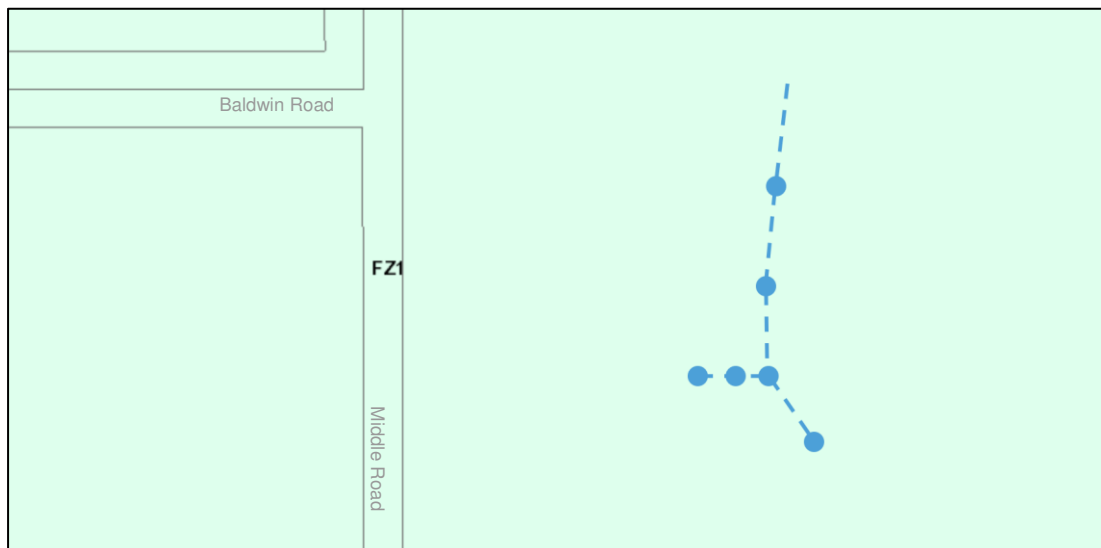


Figure 6: Zone

The purpose of the FZ includes:

- ▶ *To provide for the use of land for agriculture;*
- ▶ *To encourage the retention of productive agricultural land.*
- ▶ *To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture;*
- ▶ *To encourage the retention of employment and population to support rural communities;*
- ▶ *To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision;*
- ▶ *To provide for the use and development of land for the specific purposes identified in a schedule to this zone*

Schedule 1 does not apply any specific requirements to the land.

A utility installation is a 'Section 2' use within the FZ. Pursuant to Clause 35.07-1 of the Campaspe Planning Scheme, a planning permit is required to use the land for the purpose of a utility installation.

Pursuant to Clause 35.07-4 of the Campaspe Planning Scheme, a planning permit is also required to carry out works associated with a utility installation (being a Section 2 use).

4.3 OVERLAY

The proposed works are not subject to any overlays.

4.4 CULTURAL HERITAGE

The works are not located in an area of Aboriginal cultural heritage significance.

Figure 7 illustrates the nearest areas of Aboriginal cultural heritage significance.



Figure 7: Closest area of Aboriginal cultural heritage significance

5. PLANNING ASSESSMENT

5.1 PLANNING POLICY FRAMEWORK

Both State and Local policy identifies the need to ensure the efficient provision of services and infrastructure while considering potential environmental impacts.

These works will provide necessary electrical infrastructure within Campaspe Shire and will support the expansion of renewable energy industries. The Solar Farm, which this project supports, will provide for sustainable energy generation within the region. The works are required to ensure that the existing network can accommodate the increased power that will be generated by the solar farm and will also allow for the distribution of this power to the surrounding region.

Powercor are experienced in minimising any potential impacts on vegetation. A concerted effort was taken within the design process to ensure that any environmental impacts have been appropriately considered and minimised through strategic siting of the works and through mitigation strategies which will be implemented during construction. The works are proposed entirely within the property boundary upon land that has been used for agricultural purposes. Therefore, the proposal will not impact on any native vegetation due to the cleared nature of the site. The construction methods within the site do not require any restrictions to vehicle access, however areas of disturbance will be minimised to maintain the agricultural functions of the land. The design of the alignment will ensure that there are no unreasonable impacts to agricultural land or native vegetation as a result of these works.

Overall, it is considered that the proposal complies with State and Local planning policy by delivering a sensitively designed electrical upgrade that will provide a net community benefit.

5.2 USE & DEVELOPMENT OF THE LAND

The use of the land for the purpose of a utility installation is considered appropriate in the Farming Zone.

Although the works are proposed within private property, there will be minimal impact on productive agricultural land within the Farming Zone. The works are proposed within the site approved for development as a Solar Farm and adhere to the approved use of this land.

The proposed poles will not generate any road safety concerns as the works are located entirely within the private property will not impact on the existing function of the road. The minimum distance between any pole and the road marking is approximately 152 metres, as shown on the Development Plan (Appendix A).

New poles will be constructed of concrete and will be 10.2m metres tall (above ground). The height of the poles is consistent with existing electrical infrastructure in the area. The concrete poles will be significantly stronger and reduce the likelihood of electrical faults or damages.

The design and location of the poles is consistent within the surrounding site context and is unlikely to impact on any landscape features or visual amenity.

5.3 VEGETATION IMPACT

The site has been previously cleared for agricultural purposes. Therefore, it has been determined that no native vegetation is present on site.

6. CONCLUSION


This application seeks planning approval for the use and development of land for the purpose of a utility installation.

The proposed works are required to connect the recently approved solar farm at 95 Middle Road, Stanhope (the Solar Farm) to the existing electricity alignment.

In summary, the proposal is considered appropriate for the following reasons:

- ▶ The proposal is consistent with the PPF and LPPF and provides necessary upgrades to electrical infrastructure within Campaspe Shire;
- ▶ This project is required to support the recently approved development of the Solar Farm and will promote the expansion of renewable energy industries;
- ▶ The proposed works are within agricultural land and it has been determined that no native vegetation is present on site, and none will be affected by the proposed development;
- ▶ Powercor's construction methodology allows for no disturbance to biodiversity;
- ▶ There is sufficient access arrangements in place so that no additional access is required to be constructed; and
- ▶ The proposed works will not impact on cultural heritage.

Based on the details set out in this report, it is considered that a planning permit should be issued for this proposal.



APPENDIX C
ECOLOGY ADVICE



23 Rosie Place
Altona, Victoria 3018
PO Box 1088, Newport 3015
Phone: 03 9315 2031
Mobile: 0414 689 853
Email: rob@ecoaerial.com.au

Spiire Planning
Level 6, 414 La Trobe Street
Melbourne VIC 3000

6/08/2020

RE: Stanhope Solar Facility- 95 Middle Rd, Stanhope.

Dear Glennie,

Please find below my response in relation to the vegetation present in the proximity of the proposed new power poles and powerline alignment on the private property referred to as 95 Middle Road, Stanhope (refer to Figure 1).

The following conclusions,(in the absence of a site visit), are based on reviewing Google aerial imagery, my knowledge of the area from previous site assessments (approx.3.5km northwest and 7km south of the study site) and; site photos taken by Powercor representatives.

The Stanhope region is a dairy / farming producing district. Private property in the region is typically devoid of native vegetation because of farming activities. Native vegetation is confined to roadside reserves and channels. Fence lines are planted with introduced exotic species, Cypress pine *Cupressus sp*, as windbreaks and the introduced South Australian sugar gum *Eucalyptus cladocalyx* for firewood.

The vegetation at 95 Middle Road is consistent with other properties in the region (refer to Table 1; Photographs 1- 4). The site is dominated by planted introduced species and pasture. The pole installations and powerline alignment will not impact on any native species covered under Victoria's native vegetation provisions Clause 52.17. We note this finding is consistent with the original planning permit approval issued by Campaspe Shire Council (28 June 2019).

Should you have any questions in relation to above please do not hesitate to contact me.

Regards

A handwritten signature in black ink, appearing to read 'Rob Gratton'.

Rob Gratton

Director / Principal Ecologist



0 75 150 m



Figure 1: Pole Locations

ECOAERIAL
ENVIRONMENTAL SERVICES

Drawn By: R. Graton
Date: 5/08/2020
Ver No: 00312.1

Table 1: Site Photographs

ID	Site Photograph	Comments
DSC01267		<p>Location of Pole 5 looking south. Sugar gums are located at front and rear of house. BlackBerry can be seen in the depression in the foreground along with it looks to be <i>Prunus sp.</i> Cypress pine is planted as a wind break in the right of the photographs.</p> <p>Alignment avoids the sugar gum notwithstanding it is not covered under clause 52.17</p>
DSC01268		<p>Location of Poles 2, 3 & 4 as per construction plans. Windbreak consisting of introduced cypress pine can be seen adjacent to where poles are to be installed. Ground flora consists of pasture and a scotch thistle</p> <p>No native vegetation will be destroyed because of installation of poles and powerline alignment to Pole 5 to the left of the photograph.</p>
DSC01271		<p>Dead radiata pine can be seen on the left of the photograph, a large Peppercorn Tree in the left background and a Cypress pine in the right of photograph.</p>
DSC01275		<p>Location of Pole 1 as per construction plans. Dead radiata pine can be seen in the middle of the photograph with windbreak of cypress pines adjacent to where 2 poles are to be located.</p> <p>No native vegetation will be destroyed.</p>



APPENDIX D

TITLE PLAN



Imaged Document Cover Sheet

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Document Type	Plan
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TITLE PLAN	EDITION 2	TP 271189X
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<p>Location of Land</p> <p>Parish: GIRGARRE Township: Section: B Crown Allotment: 33 Crown Portion:</p> <p>Last Plan Reference: Derived From: VOL 9013 FOL 073 Depth Limitation: 50 FEET</p>	<p style="text-align: center;">Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
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Description of Land / Easement Information				
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefitted / In Favour Of
E-1	POWERLINE	12	C/E: AE352920J	POWERCOR AUSTRALIA LTD

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT

COMPILED: 13/01/2000
 VERIFIED: SO'C

